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Revision Summary

Portal Reference	R423772U
Reference No	T230338

Basic Information

Proposed Use	Use of the land as a medical centre (radiology) and the reduction of the car parking requirement.
Current Use	Dwelling
Cost of Works	\$900,000
Revised Cost of Works	\$900,000
Revisions	Plans Changed
Proposed Changes	S57A application plans incorporating the following changes: • Retention of the street tree. • The existing crossover to be utilised. • Originally 10 car parking spaces were provided, now, with the new layout, 8 are proposed. Along with this new layout and the crossover retention, two on street car parking spaces are now available, which balances this out. • Some changes to the parking layout as a result of the above are proposed, however compliance with Clause 52.06 is/will still be achieved. An updated traffic report has been submitted with the amended application. • The building has been setback partially from the northern boundary, towards the front of the building. Given the significant front setback proposed for the building, along with the landscaping that will be planted along the northern boundary of the carpark, this is the only part of the building that may be appreciable from the street. • In terms of the landscaping, 10 trees are proposed • 6 within the front setback and 4 within the rear setback, along with various other plantings.
Site Address	2 John Street Koo Wee Rup VIC 3981

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	[REDACTED] ASK Planning Services	31 Mills Street, ALBERT PARK VIC 3206	E: effie@askplanningservices.com
Owner	[REDACTED]	[REDACTED]	[REDACTED]
Preferred Contact	[REDACTED] ASK Planning Services	31 Mills Street, ALBERT PARK VIC 3206	E: effie@askplanningservices.com

Fees

Regulation Fee Condition	Amount	Modifier	Payable
	Total		\$0.00



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
20-12-2023	Additional Document	2 John report S57A.pdf
20-12-2023	Additional Document	2 John St S57A letter.pdf
20-12-2023	Additional Document	S57A lodged plans.pdf
20-12-2023	Additional Document	Traffic report.pdf
20-12-2023	Additional Document	Updated Arborist report.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	[REDACTED] ASK Planning Services	31 Mills Street, Albert Park VIC 3206	M: 0438-428-203 E: effie@askplanningservices.com
Submission Date	20 December 2023 - 09:28:AM		

Declaration

By ticking this checkbox, I, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.

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Fax: 03 5941 3784

[REDACTED]
Senior Statutory Planner
Cardinia Shire Council

Via the portal

19 December 2023

[REDACTED]
S57A application
Planning Permit Application number: T230338
2 John Street, Koo Wee Rup

ASK Planning continues to act for the permit applicant with respect to the above.

Please find attached a S57A application plans incorporating the following changes:

- Retention of the street tree.
- The existing crossover to be utilised.
- Originally 10 car parking spaces were provided, now, with the new layout, 8 are proposed. Along with this new layout and the crossover retention, two on street car parking spaces are now available, which balances this out.
- Some changes to the parking layout as a result of the above are proposed, however compliance with Clause 52.06 is/will still be achieved. An updated traffic report has been submitted with the amended application.
- The building has been setback partially from the northern boundary, towards the front of the building. Given the significant front setback proposed for the building, along with the landscaping that will be planted along the northern boundary of the carpark, this is the only part of the building that may be appreciable from the street.
- In terms of the landscaping, 10 trees are proposed – 6 within the front setback and 4 within the rear setback, along with various other plantings.

An updated arborist report has been submitted with the amended application along with an updated town planning report.

We look forward to the further processing of this application and advice regarding public notice. If there is anything further required or if there are any queries, please contact me on effie@askplanningservices.com

Kind regards

[REDACTED]
Senior Associate
askplanningservicesptyltd
Town Planning

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2 John Street, Koo Wee Rup

Town Planning Report

Use of the land as a medical centre and reduction of the carparking requirement.

2 John Street,
Koo Wee Rup



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Version Control

Version	Date	Details
1	July 2023	For lodgement
2	December 2023	S57A

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1. Introduction

This report sets out the details and relevant planning considerations relating to a Planning Permit application for use of the land as a medical centre and a reduction of the carparking requirement at 2 John Street, Koo Wee Rup.

The report also sets out the relevant State and Local Planning Policies and provides an assessment of the proposal against the Cardinia Planning Scheme.

The site is located within an established suburb, and the proposed use will enhance the nearby town centre.

The location will be highly accessible to staff and customers being near a main road. The use will satisfy a local need and will compliment the important role of Koo Wee Rup as a service centre to the surrounding rural area.

Having regard to these factors, this report demonstrates that the proposal is reasonable, consistent with the zone and will also have a high level of compliance with amenity considerations.

Application summary

Current Zoning	Neighbourhood Residential Zone, Schedule 1
Overlays	Design and Development Overlay, Schedule 8 Land Subject to Inundation Overlay
Proposal	Use of the land as a medical centre. Reduce carparking
Key considerations	Amenity impacts to adjoining and nearby properties. Compliance with Policy. Traffic and parking.

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2. Subject Site and Neighbourhood

The subject site comprises one allotment located on the western side of John Street, near the corner of Rossiter Road. It has an area of approximately 842sqm. The site contains a single storey weatherboard dwelling, which is currently vacant. There is a garage and large outbuilding at the rear of the site. The site is mainly grassed and there are small trees/shrubs scattered across the site, located in the front and rear yard and one large tree located on the Title boundary to the north. There is a ROW to the north.



Vehicular access to the site is provided via the crossover from John Street on the north side of the site. Image below depict current site conditions:



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The subject site is located within an eclectic residential precinct near Rossiter Road which is a busy main road leading directly to the Koo Wee Rup Town Centre which is located approximately 350m from the site.

The land uses in the immediate vicinity of the subject site are typically a mixture of retail, commercial and residential uses. In addition, there is generally a mix of built forms including single and double storey buildings and mixed setbacks. In this respect the site is unusual due to its context of mixed uses.



The site to the north at 354 Rossiter Rd is a mixed use building comprising a medical centre (dentist) and apartments. As can be seen in the image above, the parking lot for this site abuts the ROW.

The site to the south is a single storey building on a large lot. This site is used to store articles as can be seen in the image above.

The site to the rear (west) at 9-15 Mickle Street is a single storey unit (one of four) and has its verandah built to the common boundary with the site.

In streetscape terms, the nearby built form is characterised by a mix of commercial buildings and residential dwellings. Dwelling types vary and various architectural styles comprising post war dwellings, new and old unit development featuring both pitched and flat roofs, blocks of flats, and some newer development is evident.

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3. The Proposal

It is proposed to demolish the existing buildings on the site and construct a new single storey building for use as a medical centre (radiology).

Buildings and works

- The existing crossover is proposed to be utilised – no change to the existing crossover is proposed.
- The parking lot is proposed at the front of the site and will contain 8 car parking spaces, one of which is proposed to be an accessible space.
- Landscaping is proposed around the perimeter of the frontage, and includes 6 trees, 3 each to be located along the north and south sides.
- The new building will be setback 18.3m from John Street and 3m from the rear boundary.
- Three trees are proposed to be planted along the rear, behind the building.
- The building is proposed to be constructed partially along the northern boundary with a 1.1m setback at toward the front of the building.
- The setback from the southern boundary 1m and 3m (near the front).
- The height of the building is proposed to be 5.7m.

Operational details

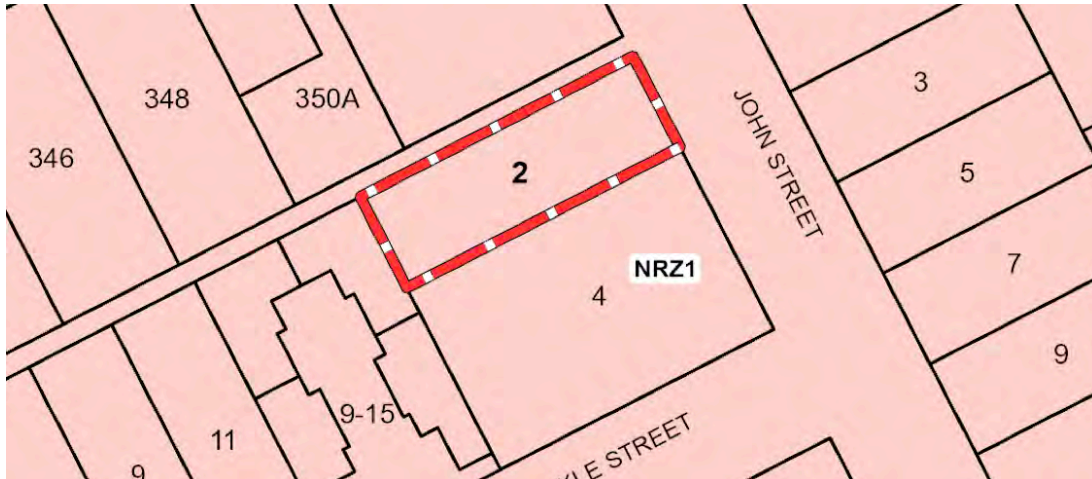
- The medical clinic is proposed to be used for radiology.
- Hours of operation will be between 9am and 5pm on weekdays and between 9am and 2pm on Saturday and Sunday.
- There will be a maximum of 3 staff at any one time.

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4. Planning Controls & Policy

4.1 Decision Rules

The subject site is located within a Neighbourhood Residential Zone, Schedule 1 (NRZ1) under the Cardinia Planning Scheme.



The purpose of the NRZ1 is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To recognise areas of predominantly single and double storey residential development.
- To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Pursuant to the Table at Clause 32.09-2, a medical centre is a Section 1 use if the following apply:

- The gross floor area of all buildings must not exceed 250 square metres.
- Must be located in an existing building.
- The site must adjoin, or have access to, a road in a Transport Zone 2 or a Transport Zone 3.
- Must not require a permit under Clause 52.06-3.

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The following criteria are met:

- The site has access to a road in a Transport Zone 2 Zone, approximately 60m to the north (Rossiter Road).

The following criteria are not met:

- The gross floor area of all buildings exceeds 250 square metres at 445sqm (see excerpt of development table below).
- The proposal requires a permit under Clause 52.06-3 (see below).

AREAS

1. SITE AREA = 843M²

2. GFA = 445M²

3. NFA = 418M²

4. 10 CAR BAYS.

As not all the criteria are not met, a planning permit is required for the medical centre use.

The NRZ also includes the following specific decision guidelines (as relevant to non-residential uses):

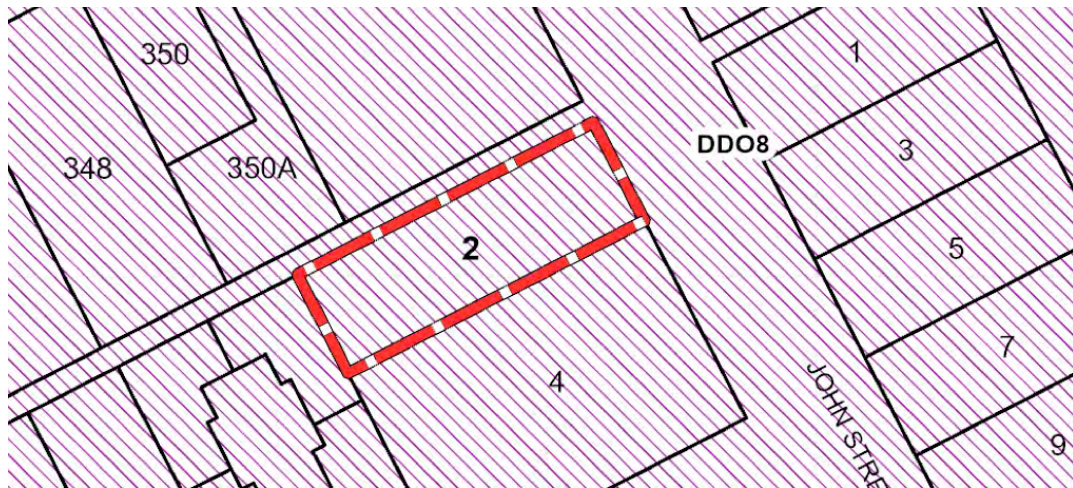
Non-residential use and development

In the local neighbourhood context:

- Whether the use or development is compatible with residential use.
- Whether the use generally serves local community needs.
- The scale and intensity of the use and development.
- The design, height, setback and appearance of the proposed buildings and works.
- The proposed landscaping.
- The provision of car and bicycle parking and associated accessways.
- Any proposed loading and refuse collection facilities.
- The safety, efficiency and amenity effects of traffic to be generated by the proposal.

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The site is located within a Design and Development Overlay, Schedule 8.



The purpose of the Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

Schedule 8 refers to the Koo Wee Rup Established Residential Areas. Design objectives include:

- To encourage development and subdivision that maintains and enhances the existing township character.
- To ensure new development is responsive to existing building heights and setbacks.

A permit is not required to construct a building or construct or carry out works if the following requirements are met:

- Buildings are setback at least 7 metres from front boundaries or no less than the average of adjacent two dwellings.
- Buildings are setback at least 2.5 metres from side boundaries.
- The building height does not exceed 7.5 metres above natural ground level.
- The building site coverage does not exceed 40 per cent for single dwellings developments or 50 per cent for multi-unit developments.
- The building is an extension to an existing dwelling.

As the building is setback less than 2.5m from the side boundaries a permit is required under the Overlay.

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The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

Built form

- Avoid repetitive built form and design.
- Upper stories setback from ground floor facades or concealed within pitched roof forms and constructed from a variety of materials.
- Building design to be contemporary, whilst responding to the architectural style of the existing neighbourhood, including any identified heritage buildings, without replicating the building style.
- Dwelling entries clearly defined.
- Garages setback from the front facade and recessive to the built form.
- Any common driveway to be located on one side of the lot and provide landscaping including trees.
- No front fencing or low, open style fencing where fencing can not be avoided.

Landscaping

- Existing vegetation that is in good condition and that makes a positive contribution to the existing character to be retained with new landscaping to respond to the landscape character of the surrounding area.
- New street tree species consistent with existing street tree species on adjoining streets unless otherwise specified by the responsible authority.

In response:

Repetitive built form and design is not proposed as there is only one building on the site which is sited centrally.

There is no upper story and therefore the new building is low in scale and modest in its appearance in terms of it not being a dominant element to the streetscape. The front setback at 18.3m ensures this.

A variety of materials, colors and finishes are proposed which will enhance the building's appearance to the street/area and will be an attractive building in the street. The schedule is below:

EXTERIOR COLOUR SCHEDULE
P1 - PAINT FINISH-WHITE
P2 - PAINT FINISH- GREY
P3 - PAINT FINISH- LIGHT GREY
L1 - BRONZE LOUVERCLAD
A1 - BRONZE CLADDING

While the roof is not pitched as suggested, there are numerous examples of flat roofs in the immediate area as shown (circled) in the aerial image below. As such, the flat roof as proposed is entirely consistent with the character of the neighbourhood. Further, it will be hidden from view behind a parapet wall.



The design of the building is proposed to be contemporary, which responds to the architectural style of the existing neighbourhood. The north elevation is proposed to be inscribed and setback from the north boundary in part, to provide for visual interest, and articulation and which will also provide for an attractive appearance to the ROW rather than a blank wall. Images below show the high quality and carefully thought out design:



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Proposed north wall to ROW

The driveway is located in the same position that it currently is which ensures that there is no impact to the street tree. Ease of access to parking lot is provided and the submitted traffic report confirms compliance with the design guidelines at Clause 52.06. The parking lot is functional, complies and access is convenient, with cars being able to enter and exit the site in a forward direction. No front fencing is proposed.

There is no existing vegetation that is in good condition that would require retention and there is no tree or vegetation protection (such as an Overlay) that affects the site. As such, the removal of the trees/vegetation as proposed is suitable. While there is a large tree located along the northern boundary (spotted gum), the submitted arborist report rates this tree (tree 3) only as "medium" and the assessment regarding this tree is as follows:

"Tree 3 is of Medium Arboricultural Value because of it has multiple leaders originating from the same union which potentially increases the potential for major leader failures in the future. It is proposed to be removed for which a permit is not required."

As such, its removal is warranted.

Replacement landscaping is proposed as shown on the submitted plans which includes 10 trees along with several other plantings and groundcovers. The rear wall and the north wall will have climbers, which also add to a green appearance. As such, the new landscaping responds to the landscape character of the surrounding area and which will provide an attractive appearance.

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The site is located within a Land Subject to Inundation Overlay.



The purpose of the Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify flood prone land in a riverine or coastal area affected by the 1 in 100 (1 per cent Annual Exceedance Probability) year flood or any other area determined by the floodplain management authority.
- To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, responds to the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity.
- To minimise the potential flood risk to life, health and safety associated with development.
- To reflect a declaration under Division 4 of Part 10 of the Water Act, 1989.
- To protect water quality and waterways as natural resources by managing urban stormwater, protecting water supply catchment areas, and managing saline discharges to minimise the risks to the environmental quality of water and groundwater.
- To ensure that development maintains or improves river, marine, coastal and wetland health, waterway protection and floodplain health.

Pursuant to Cause 44.04-2, a permit is required to construct a building or to construct or carry out works.

The finished floor levels to AHD have been shown on the plans. The application has been referred to the relevant floodplain management authority under Section 55 of the Act who advise that there is no objection to the application and required the following to be provided, as per their letter of 19 September 2023:

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1. Prior to the endorsement of plans under this permit, amended plans to the satisfaction of Melbourne Water and Council must be submitted to and approved by Melbourne Water and Council. The plans must be generally in accordance with the plans submitted with the application but modified to include:

- Compliance with Melbourne Water's minimum floor level requirements

2. The building must be constructed with finished floor levels set no lower than 6.0 metres to Australian Height Datum (AHD), which is 600 mm above the applicable flood level of 5.4 metres to AHD.

3. Prior to the issue of an Occupancy Permit under the Building Act 1993, a certified survey plan showing finished floor levels (as constructed) reduced to the Australian Height Datum (AHD), must be submitted to Melbourne Water to demonstrate that the floor levels have been constructed in accordance with Melbourne Water's requirements.

4. The open space areas within the property must be maintained at natural surface levels and no fill or retaining walls are to be used in the development of this land.

5. Any new fencing or gates must be of an open/permeable style (minimum 50% permeable) to allow for the passage of floodwater.

6. Imported fill must be kept to a minimum on the property and only be used for the sub floor areas of the building.

The above requirements have been shown on the plans.

Particular Provisions

Clause 52.06 – Car Parking

The number of car parking spaces required for the specified uses is listed under Table 1 of Clause 52.06-5 as shown below:

Use	Rate Column A	Rate Column B	Car Parking Measure Column C
Medical centre	5		To the first person providing health services plus
	3		To every other person providing health services
		3.5	To each 100 sq m of leasable floor area

A traffic report prepared by EB Traffic Solutions has been submitted with the application. It concludes as follows:

- The proposed development results in a statutory parking deficiency of one parking space;

- the results of the parking surveys (refer Section 2.3) indicates that there is ample available parking in the immediate vicinity of the site to accommodate the development's statutory parking deficiency of one space; and
- The proposed development is not anticipated to adversely impact upon the amenity of the surrounding area.

Clause 52.34 Bike Parking

Clause 52.34 nominates bike-parking rates as follows:

Use	Employee/Resident	Visitor/Shopper/Student
Medical centre	1 to each 8 practitioners	1 to each 4 practitioners
Minor sports and recreation facility	1 per 4 employees	1 to each 200 sq m of net floor area

Application of the statutory parking rates to the proposal results in a statutory requirement to provide one bicycle space for patients.

The plans show that two spaces are proposed to be provided at the front of the medical clinic.

The submitted traffic report provides assessment regarding the above.

4.2 Planning Policies

The subject site is affected by numerous strategies in the Planning Policy Framework, the most relevant to this application being:

Clause 13.05 – Noise

Clause 13.05-1S – Noise Abatement aims to assist the control of noise effects on sensitive land uses through the following strategy:

- Ensure that development is not prejudiced and community amenity is not reduced by noise emissions, using a range of building design, urban design and land use separation techniques as appropriate to the land use functions and character of the area.

In response:

The site, while not in a commercial zone, is near to a busy commercial area where neighbours expect and would be accustomed to noise associated with the commercial area. However and more importantly, noise associated with medical centres are very minimal. Car parking would be located at the front of the site, abutting a ROW to the north and beyond that the parking lot of the building located at the corner of John Street and Rossiter Road rather than to the rear where there is a residential interface.

The abutting site to the south has no sensitive interfaces given its use as storage for articles. There will be no activity to the rear which is just a landscaped area with no access with only two windows proposed.

Clause 17.01 – Diversified Economy sets out the following objective:

- To strengthen and diversify the economy.

Strategies include:

- Protect and strengthen existing and planned employment areas and plan for new employment areas.
- Facilitate regional, cross-border and inter-regional relationships to harness emerging economic opportunities.
- Facilitate growth in a range of employment sectors, including health, education, retail, tourism, knowledge industries and professional and technical services based on the emerging and existing strengths of each region.
- Improve access to jobs closer to where people live.
- Support rural economies to grow and diversify.

In response:

The proposal will introduce essential job opportunities to the surrounding residential areas in the health industry and will contribute to economic growth and prosperity and is therefore consistent with these policy statements.

Clause 18.01 – Land Use and Transport, seeks to encourage the provision of adequate car parking that is appropriately designed and located.

In this case it is submitted that while 11 car spaces are required, adequate car parking for the use (8 spaces) has been provided on the land and their design and location comply with the relevant design guideline requirements of Clause 52.06. Further information regarding this matter is to be found within the submitted traffic report.

4.3 Local Planning Policies

The following Policies for this Planning Permit application are relevant:

Clause 21.04 Economic Development identifies Koo Wee Rup as a Neighbourhood Activity Centre.

Under 21.03-3 the function of Activity Centres are outlined as important in providing:

“a range of retail, commercial, entertainment and community services activities integrated with housing in a location which is highly accessible by road, public

transport, foot and bicycle. Activity Centres are a focus for community activity and interaction in a location with a strong sense of place and urban character.”

Clause 21.07 Local Areas identifies particular precincts and townships in the municipality with specific reference to Koo Wee Rup under Clause 21.07-7.

Notably, Clause 21.07-7 states the important function of the Koo Wee Rup township as a service provider to the surrounding rural areas. It further notes the challenges Koo Wee Rup is facing through the rationalisation and withdrawal of services to regional centres and a reduced level of self-sufficiency. This policy identifies Koo Wee Rup as having a growing population and encourages the development of diverse local employment opportunities. Furthermore, the policy encourages opportunities for residents to age in place.

A key finding in relation to Community support and health services outlined in Council's *Positive Ageing Strategy 2012-15* is that there is an inherent concern for the lack of specialist services in the Shire and no services in some rural areas. All the above can be fulfilled by the proposed medical centre.

Further, development and expansion of non-residential and institutional uses in residential areas is an issue that warrants attention. Medical centres, places of worship, childcare and kindergartens all RSL's and bowling clubs and the like, all quite clearly have a place within residential areas and traditionally this is where they have been placed, in order to be accessible.

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5 Substantiation

The key issues addressed by this assessment include the following:

1. Whether the proposal consistent with state and local policy.
2. Whether the proposal consistent with the decision guidelines of the NRZ.
3. Whether the proposed uses result in any negative amenity outcomes.

5.1 Compliance with State and Local Planning Policy

Zone considerations

As part of its purpose, the Neighbourhood Residential Zone envisages various non-residential uses:

- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

The NRZ contains the following decision guidelines relating to non-residential use and development:

- Whether the use or development is compatible with residential use.
- Whether the use generally serves local community needs.
- The scale and intensity of the use and development.
- The design, height, setback and appearance of the proposed buildings and works.
- The proposed landscaping.
- The provision of car and bicycle parking and associated accessways.
- Any proposed loading and refuse collection facilities.
- The safety, efficiency and amenity effects of traffic to be generated by the proposal.

The service to be provided is an essential service to meet the needs of the local residential catchment. The subject site is located within an area displaying a mix of residential and commercial uses. It is located close to the Koo Wee Rup centre.

The use will be compatible with the residential uses in the area given the location in extremely close proximity to a commercial area. As such, the introduction of another commercial use to the area is not new.

The new parking area and layout will work well given the wide accessway and the number of carparking spaces.

Overall, it is considered that the proposal is consistent with the purpose and decision guidelines of the NRZ.

Policy considerations

Further to the assessment above, the subject site offers an excellent land approach to the managed change of the site in terms of the proposed use as a medical centre. The hours of operation are reasonable and akin to the hours of most medical centres.

The proposal is also well supported at the state level. A key objective contained within state policy is to facilitate the integration of non-residential uses with local communities. Given the nature of the immediate area around the site, there should be no dispute that a commercial use at the subject site will integrate within this neighbourhood.

19.02-1S - Health facilities

Objective includes:

- To assist the integration of health facilities with local and regional communities.

Strategies include:

- Facilitate the location of health and health-related facilities (including acute health, aged care, disability services and community care facilities) taking into account demographic trends, the existing and future demand requirements and the integration of services into communities.
- Plan public and private developments together, where possible, including some degree of flexibility in use.
- Locate hospitals and other large health facilities in designated health precincts and areas highly accessible to public and private transport.
- Provide adequate car parking for staff and visitors of health facilities.

The relevant above strategies have been considered by the proposal. The medical centre would only have three practitioners, therefore is low in intensity. There are a wide range of uses that are compatible with residential land use. Uses can include medical centres, convenience stores, schools, child care centres and service stations, providing local access to services within residential areas and creating a reinforced sense of community. Non-residential uses need to be managed to ensure the amenity of the residential area is not negatively impacted upon and the proposal is a prime example of this.

Does the proposal result in any unreasonable amenity impacts by virtue of the change in use?

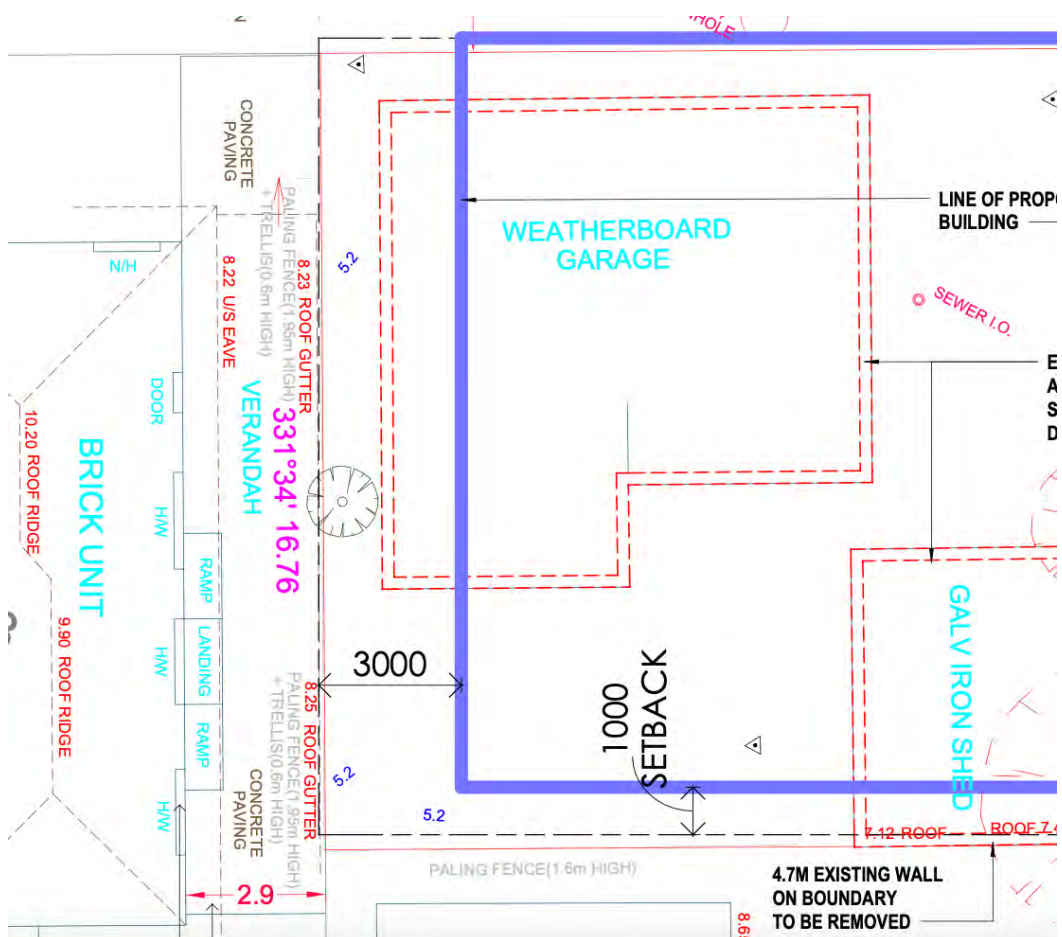
This proposal seeks hours of between 9am and 5pm on weekdays and between 9am and 2pm on Saturday and Sunday.

With a maximum of only 3 practitioners (persons providing health services) on site, combined with the reasonable hours of operation, not early in the morning nor late at night, the intensity of the use is very low.

The design response will be attractive, while functional with the parking provided to the front of the site, abutting the large existing parking lot (over the ROW) and as such parking lots are not a stranger to the streetscape and therefore the pattern of development is respected.

The parking area has been designed to ensure connectivity to the buildings entrance point. The parking and access points have been designed appropriately for all people. Access ramps and an accessible parking space is provided.

The design also ensures suitable separation from adjoining dwellings, noting that the only residential property is located to the rear. This site has its verandah abutting the common boundary (see excerpt below with outline of proposed building shown in purple) and such will have no view to the proposed building. Further, the proposed building has no active interface to its rear, it being a landscaped area only.



Given the above assessment, it is considered that the intensity of the medical centre use will be suitable for the location.

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6. Conclusion

A detailed analysis against the Cardinia Planning Scheme has been completed demonstrating that the proposal presents an appropriate outcome for the site.

The use is consistent with the purpose and decision guidelines of the NRZ, along with State and Local Planning Policy.

The use also aligns with policy aspirations which seek to encourage the provision of community infrastructure which serves local communities while limiting amenity impacts upon surrounding residential areas.

It is our submission that the proposal is appropriate for the following reasons:

- Adequate number of parking spaces have been provided on the site for the use, in an attractive and non-disruptive manner.
- Traffic generated by the use is not unreasonable as demonstrated by the submitted traffic report.
- Noise associated with the site and use will not be unreasonable.
- The proposed built form will be constructed of high quality materials and will provide an attractive presence to the streetscape.

Accordingly, for the above reasons, it is considered appropriate for Council to support the application as submitted.

askplanningservices

Town Planning

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Lot 44, John Street, Koo Wee Rup

Car Parking Impact Assessment

Client: Medifit

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Prepared by


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19 December 2023

1. INTRODUCTION

1.1 Purpose of this report

This report sets out an assessment of the parking implications of the proposed development, with specific consideration of the following:

- the existing conditions and a description of the proposal;
- an assessment of the development's car and bicycle parking requirements;
- adequacy of the on-site and on-street car parking supply to accommodate the car parking demands anticipated to be generated by the proposal;
- an assessment of the layout of the proposed on-site car parking bays; and
- the impact of the proposed development upon the surrounding road network.

1.2 Referenced documents

This report has been based upon a number of sources. These include:

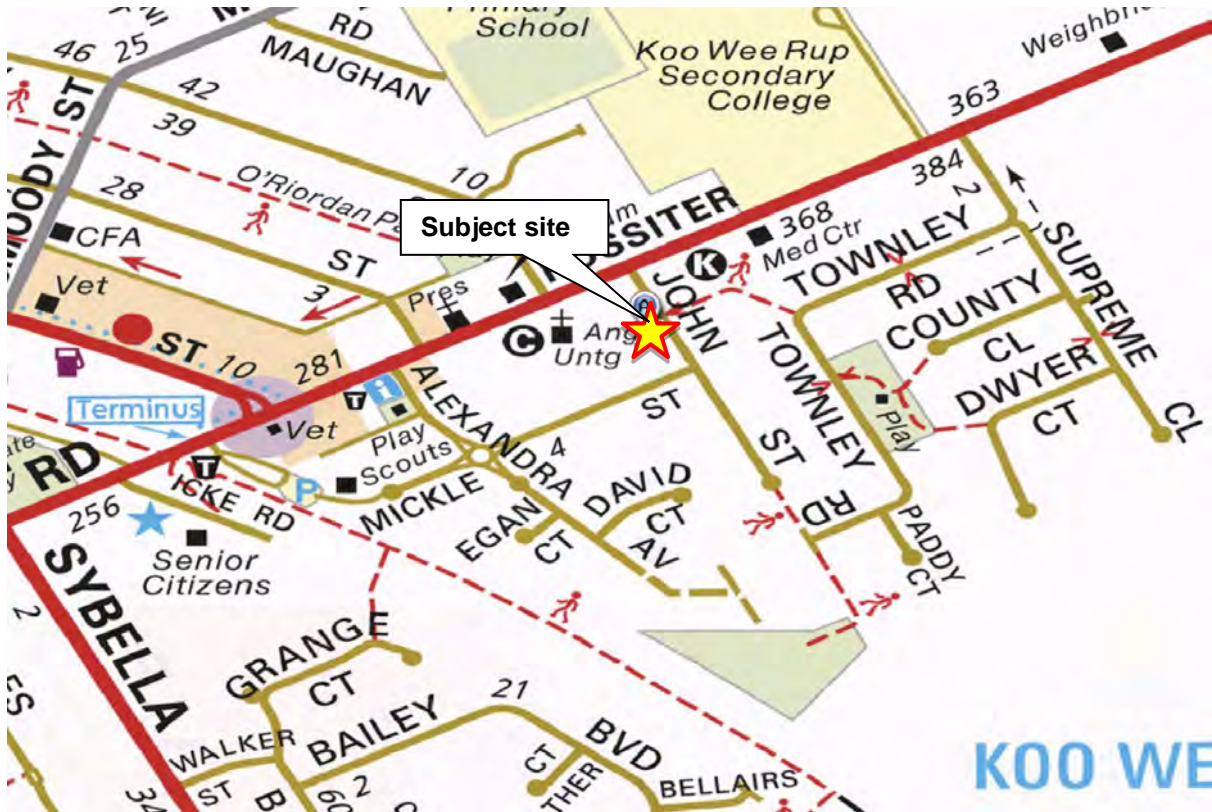
- Site observations;
- Melways maps and Google maps;
- Case study surveys undertaken by EB Traffic Solutions;
- Discussions with and information provided by the applicant;
- Cardinia Planning Scheme, Cardinia Public Transport and PPTN Maps and Cardinia Travelsmart map;
- Australian Standard AS 2890.1:2004, AS 2890.6:2009 and AutoTURN computer software for the swept path analysis;
- Parking surveys undertaken on Friday 9 June 2023 between 8 am and 6 pm and on Saturday 10 June 2023 between 9 am and 2 pm; and
- Layout plan prepared by Medifit, Job M5160, Sheet A3, Rev 4, dated 18 December 2023.

2. EXISTING CONDITIONS

2.1 Location and Land Use

The site is located along the west side of John Street approximately 40 m south of Rossiter Road, as shown in **Figure 2.1**.

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 Figure 2.1: Location of subject site and surrounding road network

The subject site contains a dwelling and associated outbuildings at the rear of the site. A medical centre abuts the north side of the site. The nature of the subject site and the surrounding area is shown in **Figure 2.2**.



Source: google maps
 Figure 2.2: Aerial view of subject site and surrounding area

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2.2 Road Network

John Street is a local road with an undivided cross section containing a shared traffic and parking lane in each direction. Unrestricted parking occurs along the roadway.

The cross section of John Street is demonstrated through photos taken looking to the north and south as shown in **Figures 2.3** and **2.4**.



Source: google maps

Figure 2.3: John Street looking north



Source: google maps

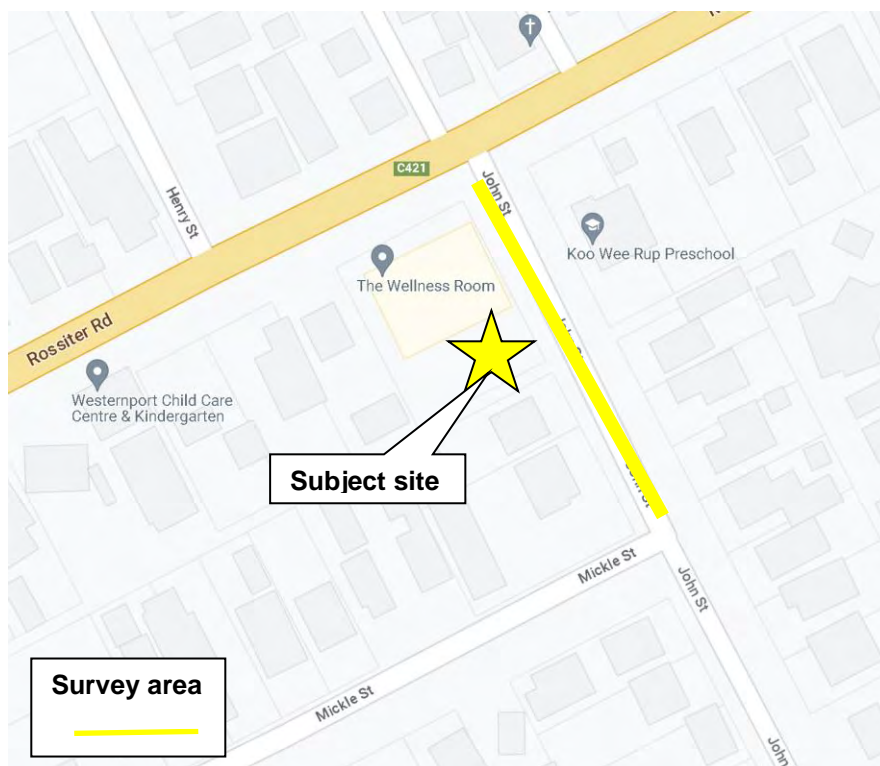
Figure 2.4: John Street looking south

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2.3 Existing Parking Supply and Demand

There are around 21 spaces in on-street locations within the immediate vicinity of the subject site. The area adopted for the parking surveys corresponds to a distance of up to 75 m from the subject site, as shown in **Figure 2.5**.

To establish the existing parking demands in the nearby on-street car parking areas, surveys were undertaken on Friday 9 June 2023 between 8 am and 6 pm and on Saturday 10 June 2023 between 9 am and 2 pm.



Source: google maps

Figure 2.5: Survey area adopted for parking surveys

The results of the surveys, which are summarised in **Attachment A**, indicated that the peak car parking demand during the:

- Friday daytime period occurred at 2 pm and corresponded to 3 cars (in a maximum of 21 spaces) or 14 % of the available parking supply; and
- Saturday daytime period occurred at 11 am and corresponded to 1 car (in a maximum of 21 spaces) or 5 % of the available parking supply.

2.4 Public Transport Facilities

The Koo Wee Rup bus interchange is located on Rossiter Road opposite Station Street a walking distance of 500 m west of the subject site.

There are four buses which operate from the bus interchange with destinations to Melbourne, Yarram, Cowes and Inverloch

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3. THE PROPOSAL

It is proposed refurbish the existing dwelling to provide a medical clinic with a maximum of three practitioners at one time.

Discussions with the applicant indicate that the medical clinic will operate between 9 am and 5 pm on weekdays and between 9 am and 2 pm on weekend days.

A total of eight spaces will be provided on-site inclusive of a disabled space. Access to the car parking area will be via a proposed crossover located midway along the site's frontage.

The layout plan of the proposed development is shown in **Attachment B**.

4. CAR PARKING

4.1 Statutory Car Parking Requirements

The statutory requirements for car parking are set out in Clause 52.06 of the Cardinia Planning Scheme, with parking rates stipulated in the table to Clause 52.06-5.

Reference to Clause 52.06-5 of the Cardinia Planning Scheme indicates that the car parking requirement for a proposed medical centre is:

5 spaces to the first person providing health services plus 3 spaces to every other person providing health services.

Further, reference to the Building Code of Australia indicates that there is a requirement to provide one disabled parking space, which is proposed to be provided.

Application of the above revised statutory parking rate to the proposed development results in a statutory parking requirement of 11 parking spaces, including a disabled space.

The provision of eight on-site spaces is less than the development's statutory parking requirement of 11 spaces. Dispensation or a waiver of three parking spaces is therefore sought for the proposed development.

Reference to the results of the parking surveys (refer Section 2.3) indicates that there is ample available parking in the immediate vicinity of the site to accommodate the development's statutory parking deficiency of one space.

4.2 Statutory Bicycle Parking Requirements

Clause 52.34 of the Cardinia Planning Scheme seeks to encourage cycling as a mode of transport with the provision of secure, accessible and convenient bicycle parking spaces.

The statutory bicycle parking requirements (Clause 52.34 of the Cardinia Planning Scheme) of the proposal are set out in **Table 4.1**.

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Table 4.1: Assessment of Statutory Bicycle Parking Requirements

Description	Size	Bicycle Parking Rate		Bicycle Parking Requirement	
		staff	patients	staff	patients
Medical	3 practitioners	1 space per 8 practitioners	1 space per 4 practitioners	0 space	1 space

Application of the statutory parking rates to the proposal results in a statutory requirement to provide one bicycle space for patients.

Reference to the layout plan indicates that two spaces are proposed to be provided at the front of the medical clinic.

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4.3 Car Park Layout

4.3.1 Dimensions of car accommodation

The perpendicular parking bays are proposed to be provided at a width of 2.6 m and a length of 4.9 m with an aisle width of 6.4 m.

Further, the disabled bay has been provided at a width of 2.4 m and a length of 4.9 m and an adjacent shared space at a width of 2.4 m with a centrally located bollard offset at a distance of 800 mm from the edge of the accessway which complies with AS 2890.6:2009.

The length of the disabled bay would extend into the abutting accessway as permitted by Clause 52.06-9 of the Cardinia Planning Scheme (design standard 2), which states, amongst other things:

‘Disabled car parking spaces may encroach into an accessway width specified in Table 2 by 500 mm’.

The parking bays comply with the requirements of Clause 52.06-9 (design standard 2) of the Cardinia Planning Scheme.

Whilst a blind aisle extension of 1 m has not technically been provided at the western end of the accessway (as required by AS 2890.1:2004), reference to the swept path analysis in Section 4.3.3 and **Attachment C (sheet A3.03)** indicates that a motorist can safely enter and exit the end bay.

It is however recommended that bay 1 be allocated and signed as a staff space.

4.3.2 Width of access

The access has been provided at a width of 5.5 m which complies with the requirements of Clause 52.06-9 of the Cardinia Planning Scheme (design standard 1) and AS 2890.1:2004.

4.3.3 Access to/from car spaces

Clause 52.06-9 (design standard 1) of the Cardinia Planning Scheme requires a motorist to exit from the site in a forward manner if:

“the accessway serves four or more car spaces or connects to a road in a Road Zone.”

The swept paths of a vehicle entering and exiting the proposed on-site car spaces on the development site has been assessed with the use of the AutoTURN computer software for a B85 motor car.

The swept path analysis, which is shown in **Attachment C**, indicates that all motorists can safely enter and exit the on-site parking bays and exit from the site in a forward manner, in accordance with the requirements of Clause 52.06-9 (design standard 1) of the Cardinia Planning Scheme.

A further assessment was undertaken to examine the ability for two motorists to simultaneously pass each other at the car park access. The analysis, which is shown in **Attachment C**, indicates that two motorists can safely simultaneously pass each other at the car park access.

4.3.4 Sight lines for exiting motorists

Clause 52.06-9 (design standard 1) of the Cardinia Planning Scheme specifies that the development is required to:

“Have a corner splay or area at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.”

Reference to the car park layout indicates that clear sight line triangles are able to be provided on either side of the accessway.

Further, any obstructions within the sight line triangles such as vegetation or letter boxes, should have a height less than 900 mm.

5. COMMERCIAL VEHICLES

5.1 Refuse

It is understood that wheelie bins will be serviced from the front car park area outside of the medical centre’s operating hours.

The refuse bins will be located on the south side of the centre. The bins will be serviced once per week by a private contractor in a 6.4 m Waste Wise Mini Refuse Truck. An example of a Waste Wise Mini Refuse Truck is shown in **Attachment D**.

An assessment has been undertaken with the use of the AutoTURN computer software to examine the ability for a 6.4 m long Waste Wise Mini Refuse Truck to safely enter the site, manoeuvre within the front car parking area and then exit from the site in a forward direction.

The assessment, which is shown in **Attachment E** indicates that waste wise mini refuse truck is able to enter the site, manoeuvre within the car parking area to then exit from the site in a forward manner.

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5.2 Deliveries

Deliveries associated with the proposed medical centre are anticipated to be minimal and will be predominantly undertaken by small courier vehicles, which could be accommodated within the on-site parking bays.

6. TRAFFIC IMPACT

The level of traffic anticipated to be generated at the development access is considered minimal and will not represent any adverse impact upon the operation of the surrounding road network or the amenity of the adjacent residential precinct.

7. CONCLUSIONS AND RECOMMENDATIONS

Having regard to the above, it is considered that:

- The proposed development results in a statutory parking deficiency of three parking spaces;
- The results of the parking surveys (refer Section 2.3) indicates that there is ample available parking in the immediate vicinity of the site to accommodate the development's statutory parking deficiency of three spaces; and
- The proposed development is not anticipated to adversely impact upon the amenity of the surrounding area.

Further, it is recommended that :

- bay 1 be allocated and signed as a staff space; and
- any obstructions within the sight line triangles such as vegetation or letter boxes, should have a height less than 900 mm.



Director
EB Traffic Solutions Pty Ltd

B.Eng (Civil), MEng Sc (Traffic), MBA

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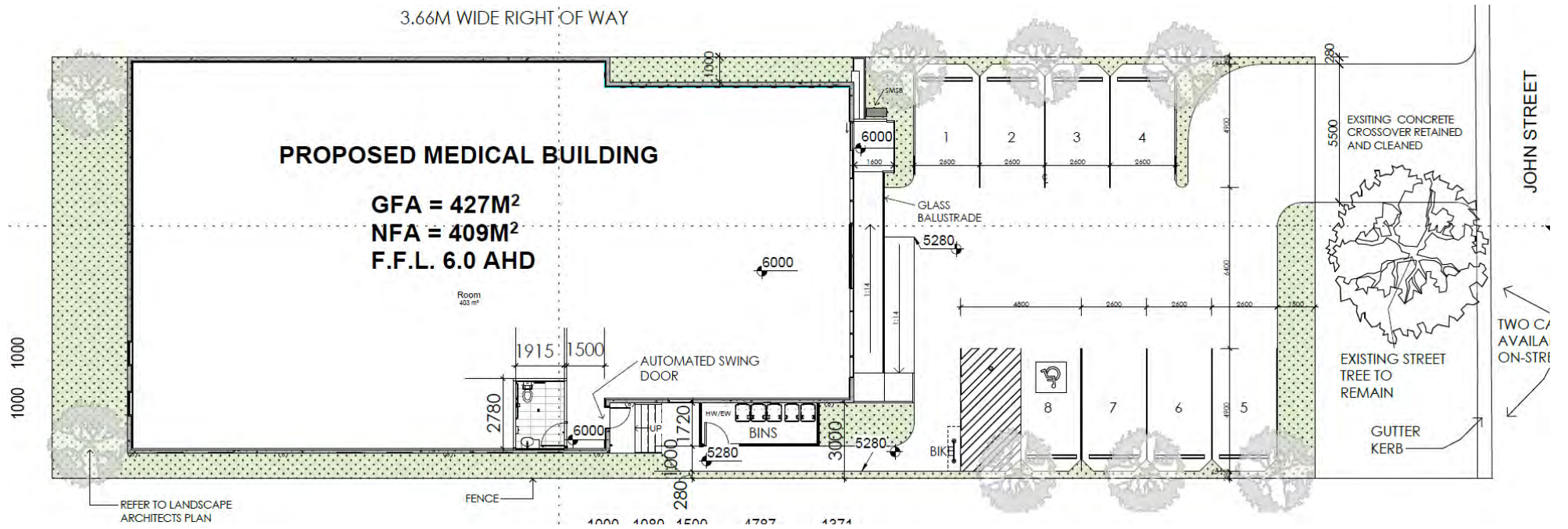
ATTACHMENT A PARKING SURVEY RESULTS

ROAD LENGTH	Max. Spots	NUMBER OF PARKED VEHICLES								
		Friday 9 June 2023					Saturday 10 June 2023			
		9 am	11 am	1 pm	3 pm	5 pm	9 am	11 am	1 pm	
JOHN STREET										
Between Rossiter Rd and Mickle St										
<i>west side</i>										
unrestricted	11	0	1	1	2	1	0	0	0	
<i>east side</i>										
unrestricted	10	0	0	1	1	0	0	1	0	
TOTAL	21	0	1	2	3	1	0	1	0	

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ATTACHMENT B
CAR PARK LAYOUT PLAN

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ATTACHMENT C
SWEPT PATH ANALYSIS (B85/B99 CAR)

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EB Traffic Solutions

Design Vehicle

BB5 mm

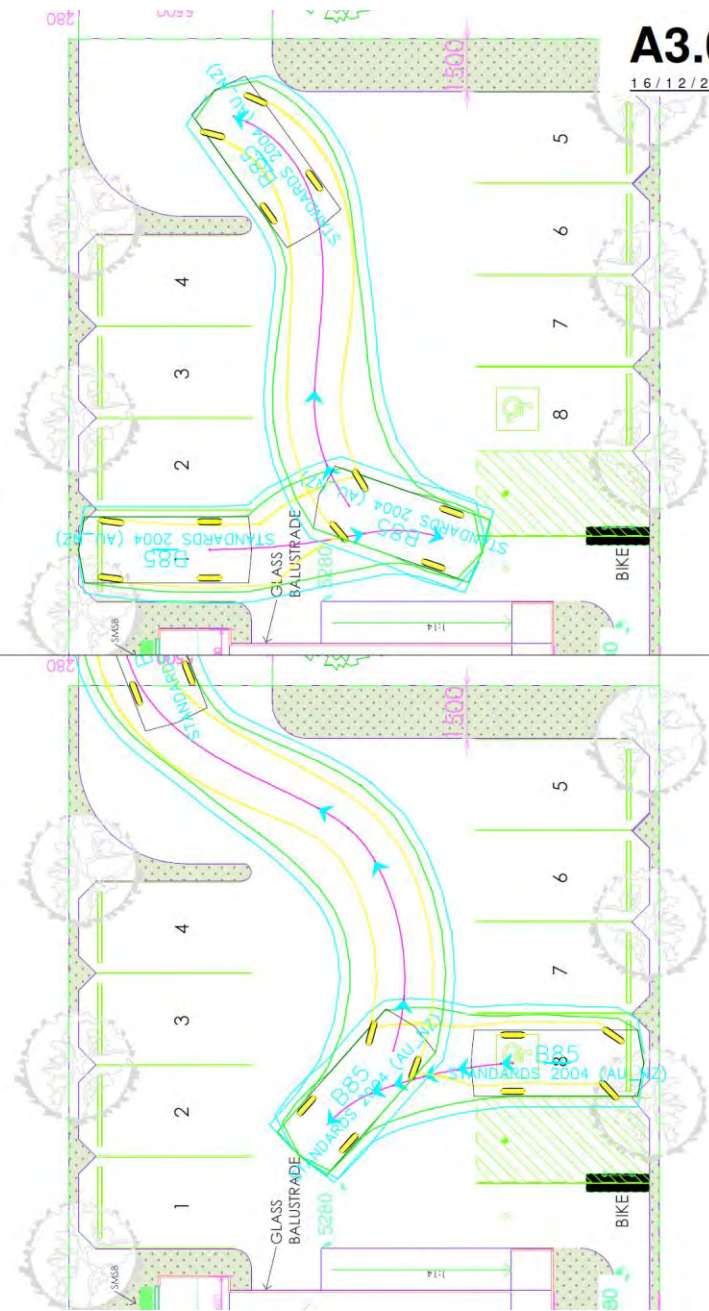
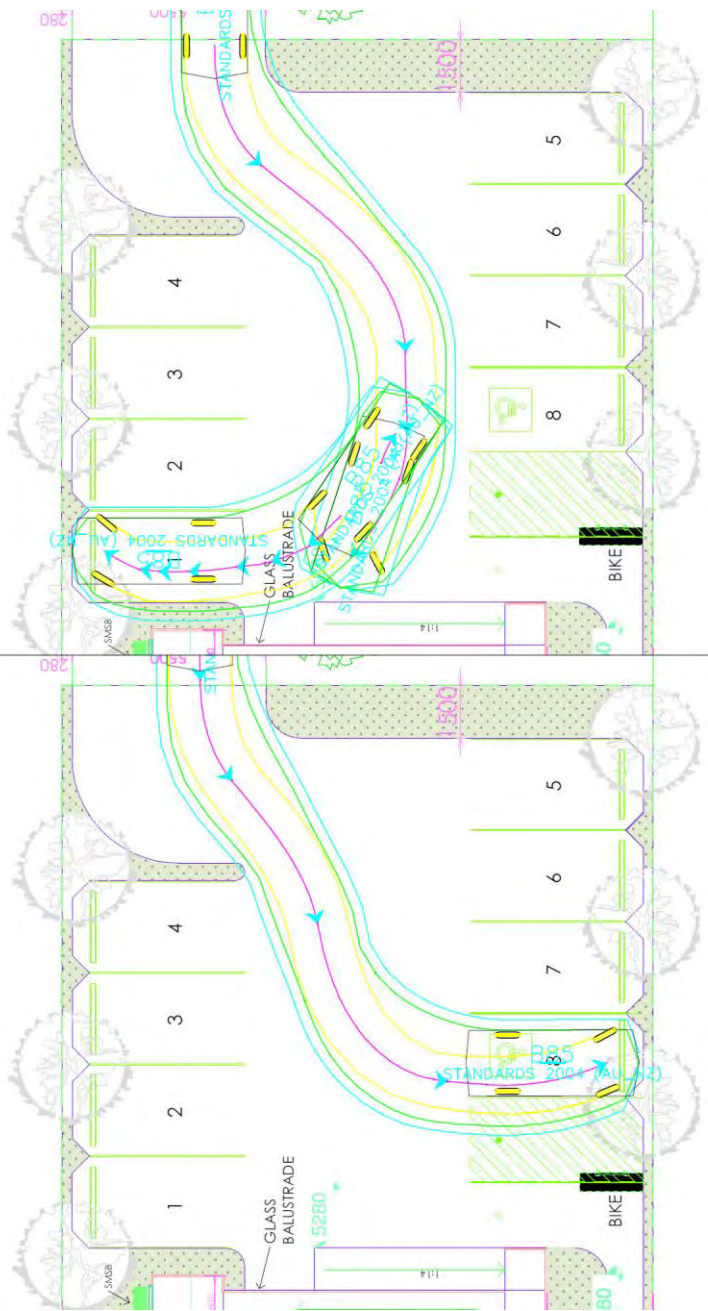
Width	1870
Track	1770
Lock to Lock	6.0
Steering Angle	34.1

Lot 44, 2 John Street, Koo Wee Rup

Scale 1:125 @ A3

Swept Path Analysis (B85 Car)

Plan prepared by EB Traffic Solutions Pty Ltd



A3.03
16/12/2023



Lot 44, 2 John Street, Koo Wee Rup

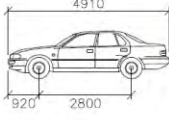
Scale 1:125 @ A3

Swept Path Analysis (B85 Car)

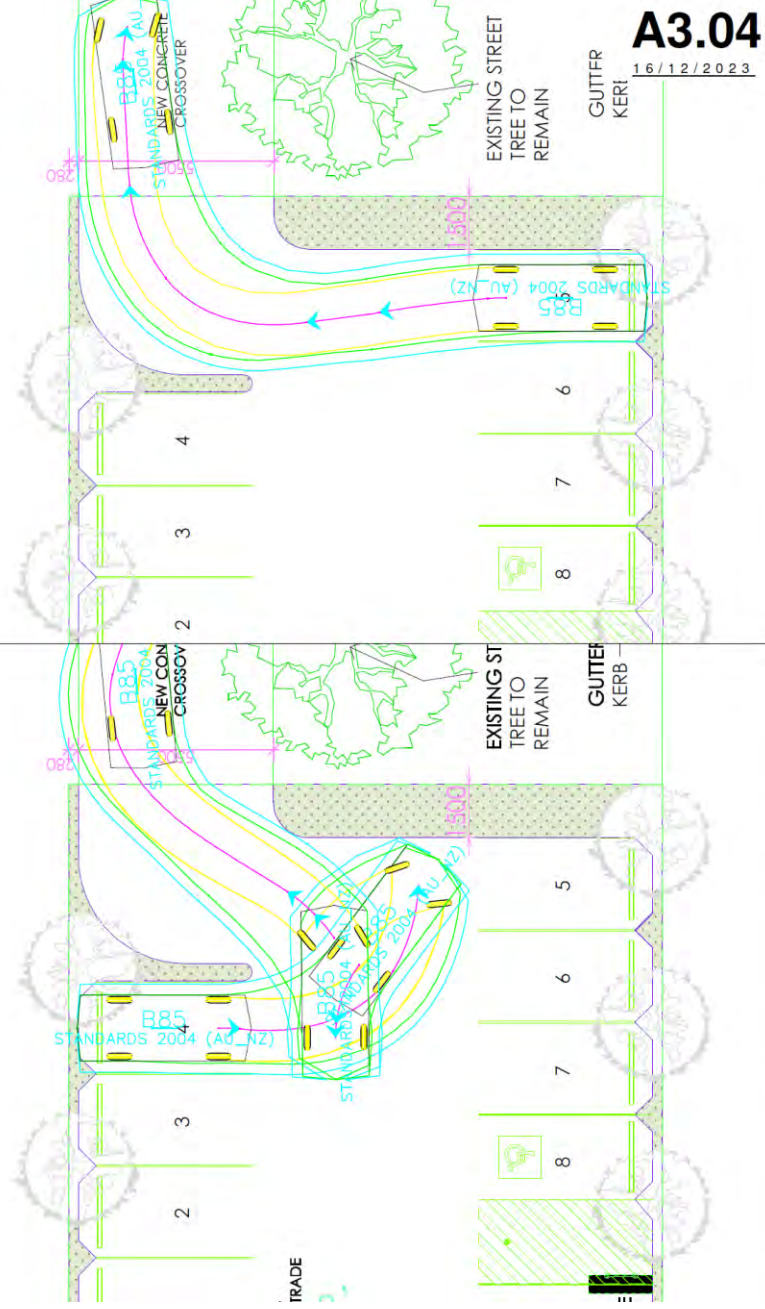
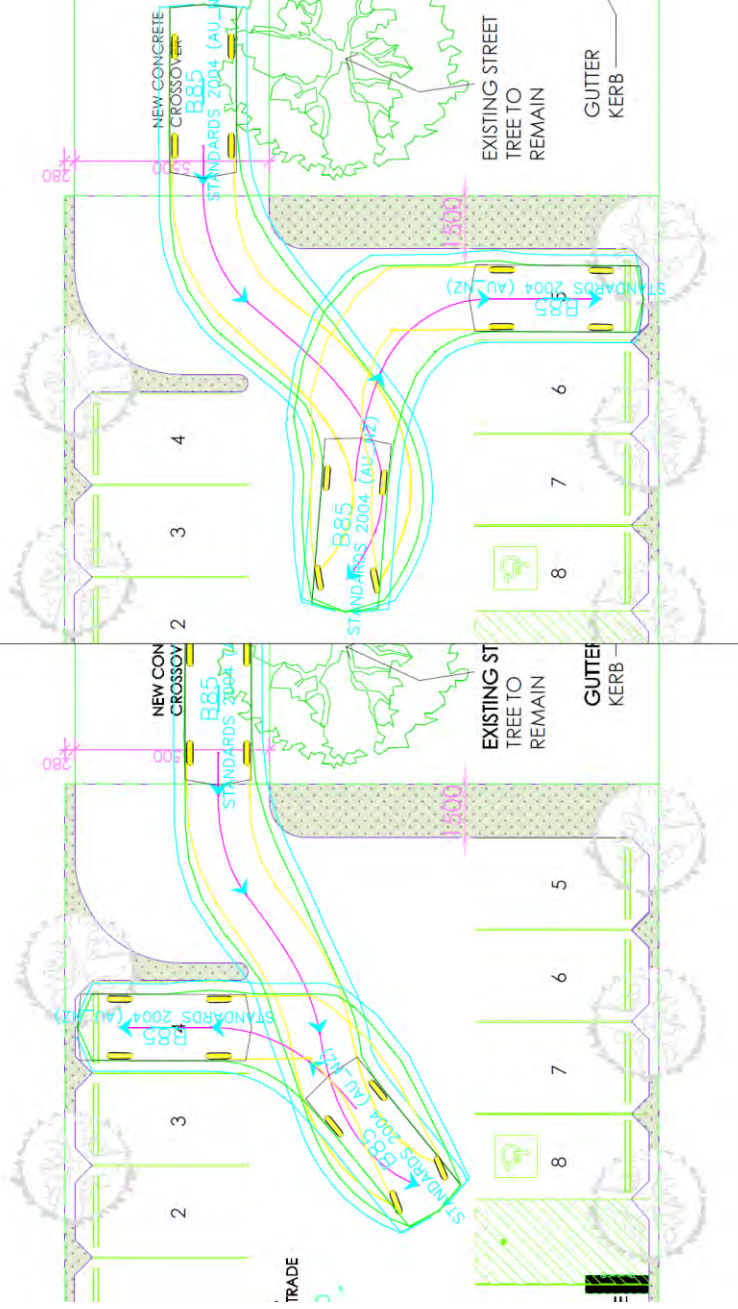
Plan prepared by EB Traffic Solutions Pty Ltd



Design Vehicle



B85	mm
Width	1870
Track	1770
Lock to Lock	6.0
Steering Angle	34.1

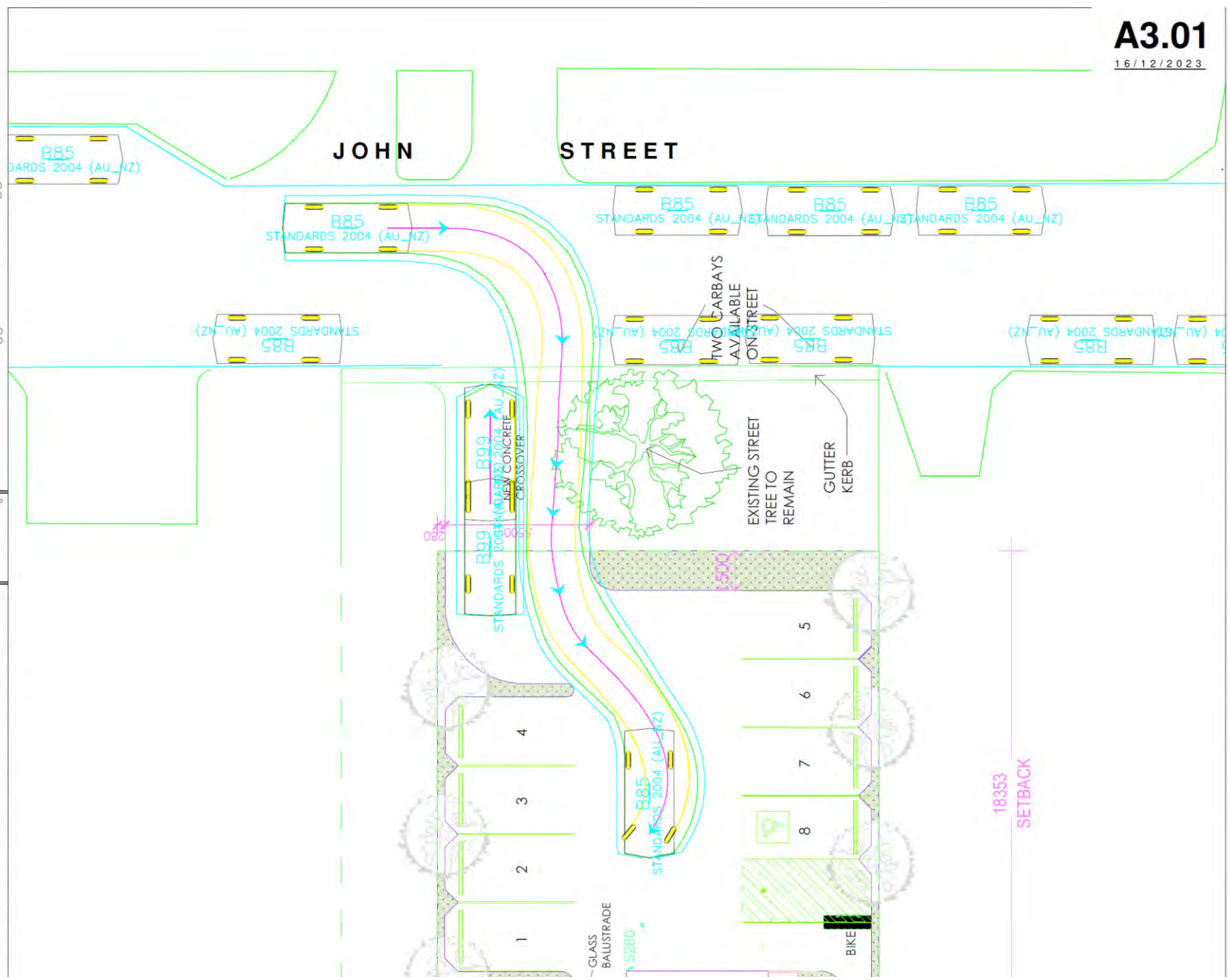
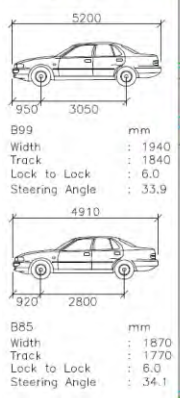


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Design Vehicle

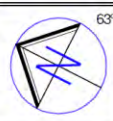


Lot 44, 2 John Street, Koo Wee Rup

Scale 1:125 @ A3

Swept Path Analysis (B85 & B99 Car)

Plan prepared by EB Traffic Solutions Pty Ltd



ATTACHMENT D

6.35 M LONG TRUCK WASTE WISE MINI REFUSE TRUCK

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WASTE WISE[®] environmental

Introducing the WASTE WISE MINI



REAR LOADER

Waste Wise Environmental[®] introduced the first MINI rear loader vehicle into Australia in September 2011.

The success of the MINI rear loader has been well documented over the first 12 months of service. The ability to manoeuvre in confined areas within basement car parks, where bin rooms are located, and laneways where other vehicles find difficulty in reversing is unique, but achievable for this compact unit.

With an overall height of just 2.08 metres and length of 6.40 metres, this vehicle can enter most car parks, going down three (3) basement levels or climbing up eight (8) car park levels to empty MGB 240 litre & MGB 660 litre bins within its own height capacity.

MGB 1100 litre bins will be lifted higher than the vehicle and generally find a spot within the complex to do so.

The MINI rear loader is valuable to all: architects, developers, owners corporations (space saving and cost saving) and councils (no bins at kerbside affecting the streetscape).



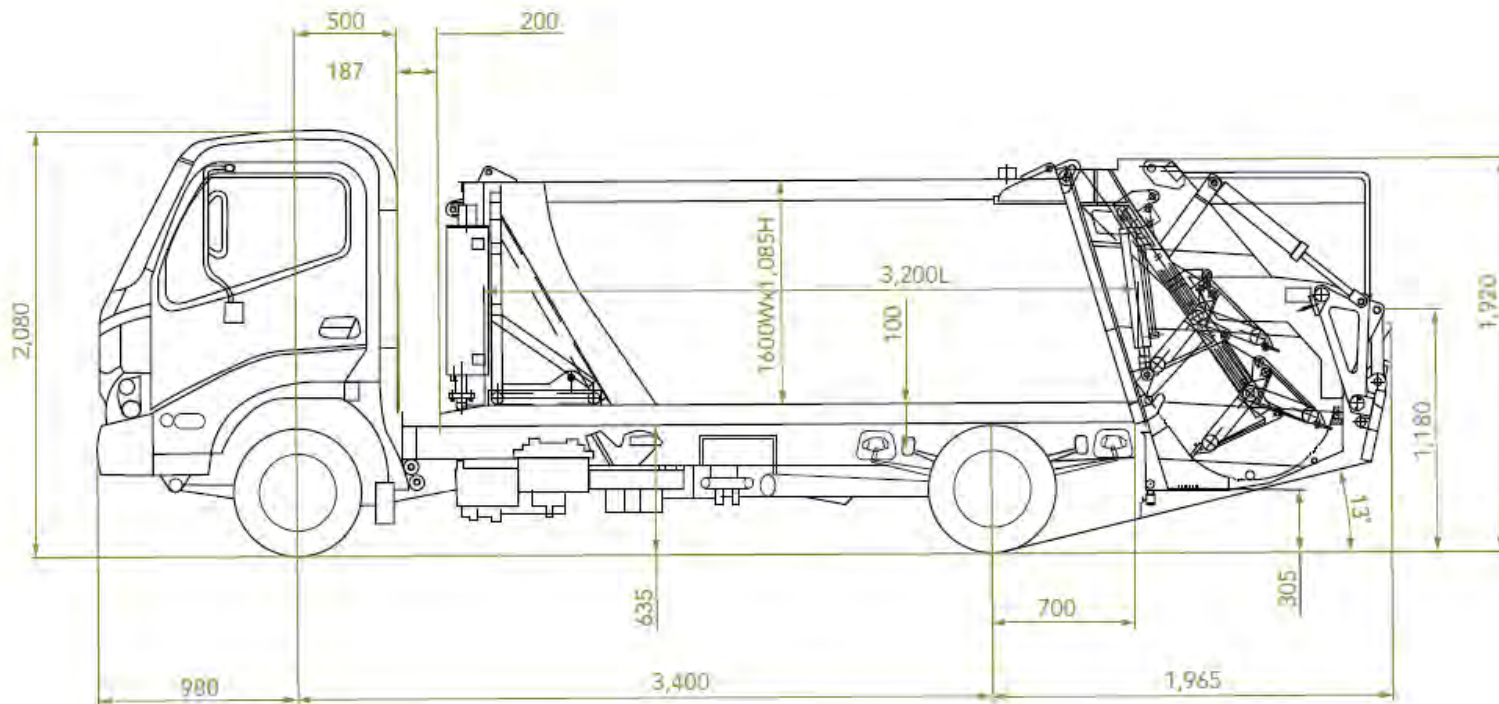
The Waste Wise Environmental[®] fleet of MINI'S has successfully demonstrated its ability as the most valuable & versatile MINI rear loader on the road today. Not only in confined areas, but also under standard rear loader conditions at street level.



1300 550 408

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Vehicle Dimensions



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ATTACHMENT E

SWEPT PATH ANALYSIS (6.4 m REFUSE TRUCK)

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ARBORICULTURAL REPORT

2 JOHN STREET, KOO WEE RUP.

18 DECEMBER 2023

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PREPARED BY:


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Assoc. Dip. App. Sc. (Arb)



LANDSCAPE ARCHITECTS
ENVIRONMENTAL HORTICULTURISTS
LANDSCAPE HERITAGE CONSULTANTS
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CONTENTS

- 1 INTRODUCTION3**
- 2 OBJECTIVES.....3**
- 3 METHODOLOGY.....3**
- 4 OBSERVATION4**
 - Site Aerial.....4
 - Tree Data5
 - Photos.....5
 - Vegetation Controls.....6
- 5 DISCUSSION6**
- 6 CONCLUSION6**
- 7 TREE IMPACT ASSESSEMENT PLAN7**
- APPENDIX 1: DESCRIPTORS8**

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1 INTRODUCTION

- 1.1 Doepel Marsh Architects have engaged [REDACTED] Arboricultural Consultants to prepare this Arboricultural Report.
- 1.2 Their client is proposing to redevelop the subject site known as 2 John St, Koo Wee Rup and construct a medical centre 8 car spaces at the front, (Medifit, Job No. M5160, 06/07/2023).
- 1.3 This report was amended on then 18/12/202 based on the latest floor plan that requires the the street tree at the front to be retained, (Medifit, Job No. M5160, 18/12/2023).

2 OBJECTIVES

- 2.1 The intent of this report is to.
 - i. Assess the condition of trees within the subject site and those directly neighbouring that may be impacted by the proposed works.
 - ii. Identify any trees worthy of retention and provide arboricultural advice to assist in their protection and retention.
- 2.2 Individual trees identified with a DBH of 100mm or less i.e., shrubs, were not assessed in this report unless rare or of unusual attributes.
- 2.3 The report will include the following.
 - Tree number
 - Botanic / Common names
 - Origin
 - Tree Size (Height & Width)
 - DBH (Trunk Diameter)
 - Tree Health & Structural Condition
 - ULE (Useful Life Expectancy)
 - TPZ (Tree Protection Zones)
 - Arboricultural Value

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3 METHODOLOGY

- 3.1 On Monday 14 August 2023, I visited the site and undertook a Visual Tree Assessment (VTA - Claus Matheck) of the trees within the subject site and those immediately neighbouring that may be impacted by the proposed development.
 - The DBH of trees, was measured using a diameter tape, in accordance with AS-4970.
 - DBH were estimated where access was not directly available to neighbouring trees.
 - Heights of trees were measured using a laser range finder.
 - Widths were calculating by stepping out.
 - Tree Protection Zones (TPZ's) were calculated in accordance with AS-4970.
 - TPZ encroachments were calculated utilising Computer Aided Design (CAD) software.

- 3.2 The tree assessment was undertaken from the ground by a suitably qualified and experienced arborist, with minimum AQF 5 qualification or equivalent.
- 3.3 No aerial or diagnostic testing was undertaken of the trees or the soil in which they were growing.
- 3.4 Each tree was assigned an identification number for reference purposes, denoted in the Tree Data and on the Impact Assessment Plan, which is based on the Feature Survey, (Medifit, Job No. M5160, DWG A00, 06/07/2023).

4 OBSERVATION

- 4.1 The site is located on the western side of John St facing east and is approximately 850m² in size.
- 4.2 It consists of a Mid-20 century single storey weatherboard dwelling on stumps. A weatherboard garage and carport are located in the north-west corner of the site and a tin shed on the southern boundary at the rear.
- 4.3 Two trees are growing in the nature strip at the front and directly to the north.
- 4.4 The site only has one tree worthy of assessing due to its size which is growing on the northern boundary halfway down the site.
- 4.5 A hedge of young native trees is growing along the northern boundary in the neighbours.

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Site Aerial



Image 1: Site Aerial - Nearmap September 2023.

Tree Data

Table 1: Tree Data												
Tree No.	Botanic Name	Common Name	Origin	Size (m) HXW	DBH CALC	TPZ (m)	Age	Health	Structure	ULE (Yrs.)	Arb Value	Comments
1	<i>Melaleuca linariifolia</i>	Snow In Summer	Aust. Native	7 x 6	30/30/40/45	8.8	Mature	Good	Good	20+	High	Street tree at front
2	<i>Eucalyptus conferruminata</i>	Bushy Yate	Aust. Native	11 x 11	56	6.7	Mature	Good	Fair	10-20	High	Stret tree in front of neighbours to north.
3	<i>Corymbia maculata</i>	Spotted Gum	Vic. Native	12 x 12	62	7.4	Mature	Good	Fair	20+	Medium	
4	<i>Callistemon viminalis (Hedge)</i>	Weeping Bottlebrush	Aust. Native	37 x 1	5	2.0	Semi-Mature	Good	Fair	20+	Low	Hedge in neighbours at 352 - 354 Rossiter Rd.

Note: Trees in neighbouring properties must be protected in accordance with AS-4970, and their TPZs not encroached greater than 10% unless negotiated with their owners or further non-destructive root investigation (NDRI) proves that greater encroachment will not detrimentally impact on their healthy retention.

Photos



Image 2: 2 John Street frontage.



Image 3: Tree 3.



Image 4: Trees 4 growing along the northern boundary in 352 - 354 Rossiter Rd.

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Vegetation Controls

- 4.6 A search of the Vic Plan website identified a 'No' Planning Overlays protecting vegetation on the site.
- 4.7 A search of the Cardinia Shire Council website identified 'No' Local Law protecting vegetation on the site.
- 4.8 It would appear from my preliminary investigation that no permit is required to remove any vegetation on the site.
- 4.9 The land is less than 4,000m² and therefore exempt from Clause 52.17 Native Vegetation. Tree 3 would be exempt anyway as it has been planted.

***Note: Tree removal requirements should be confirmed in writing from the Responsible Authority before any removals occur.**

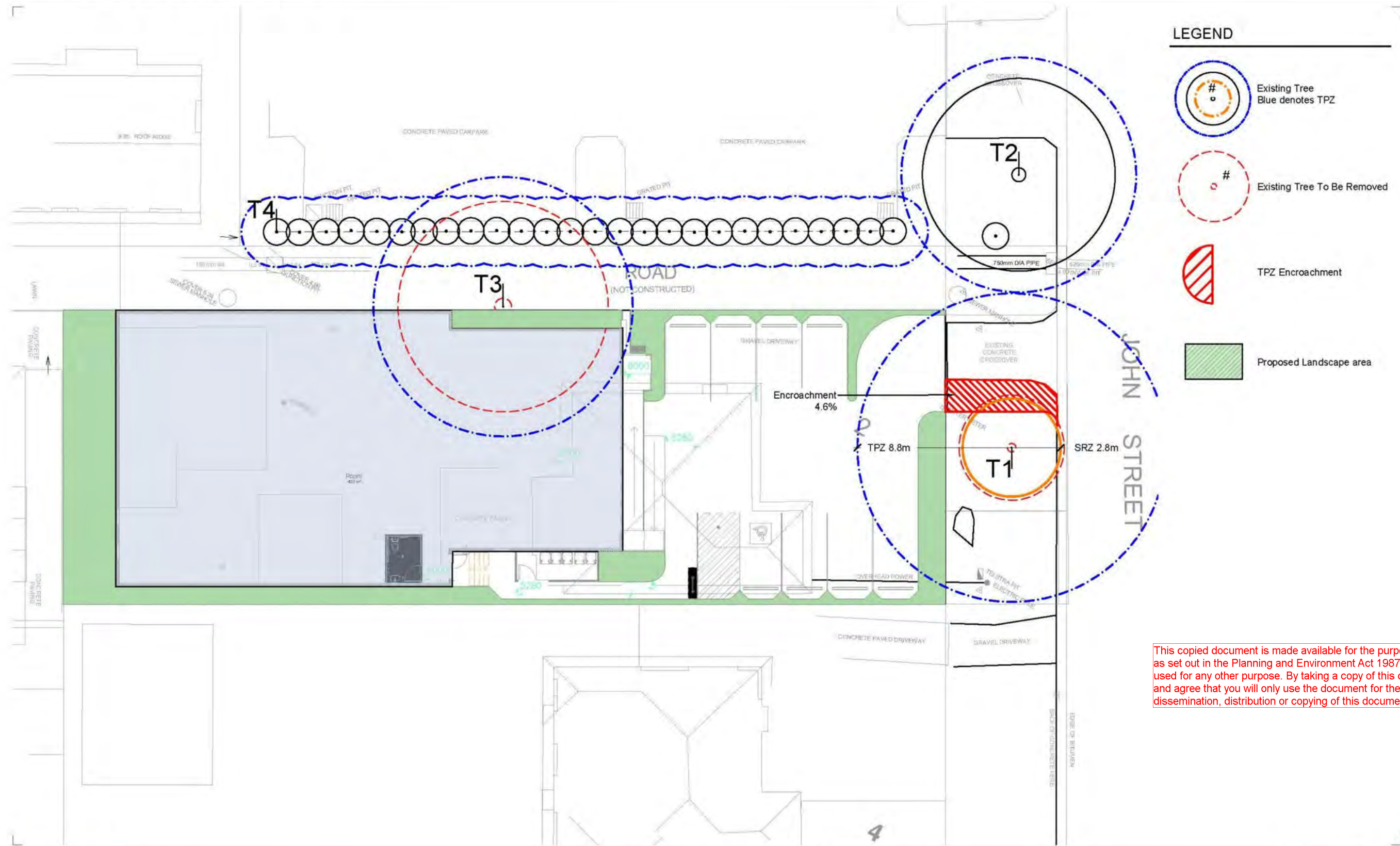
5 DISCUSSION

- 5.1 Tree 1 is a Paperbark of good condition and therefore of High Arboricultural Value. The new proposal 18/12/2023 has reconfigured the front carparking area to utilise the existing crossover to allow the street Tree 1 to be retained at the front. However, the crossover is proposed to be widened which brings it to 2.2m from the tree, 1.6m closer than previously and encroaches into Tree 1 TPZ an additional 4.6%.
- 5.2 Melaleucas are very tolerant of root pruning, and it is expected that it will tolerate the greater encroachment for the crossover, that only requires 250mm excavation. It is recommended that to minimise the impact on the tree that the new alignment of the crossover be hand dug or hydro-excavated ensuring any roots located are cut cleanly and not indiscriminately ripped out by machinery. It is preferable if this is done when the tree is not actively growing April – October. Severing roots in summer will most likely cause the tree to decline in health.
- 5.3 Tree 2 is of generally fair condition and also considered of High Arboricultural Value. It is not anticipated to be impacted by the proposed redevelopment, if its TPZ is isolated with temporary fencing.
- 5.4 Tree 3 is of Medium Arboricultural Value because of it has multiple leaders originating from the same union which potentially increases the potential for major leader failures in the future. It is proposed to be removed for which a permit is not required.
- 5.5 Tree 4 is a young hedge of Australian native bottlebrush growing on the northern boundary that is not anticipated to be impacted.

6 CONCLUSION

- 6.1 On Monday 14 August 2023, I visited the site and undertook a Visual Tree Assessment (VTA - Claus Matheck) of the trees within the subject site and those immediately neighbouring that may be impacted by the proposed development.
- 6.2 Tree 1 can be retained under the new proposal that widens the existing crossover. It is expected some roots will require severing, but Melaleucas are very tolerant of root pruning especially if undertaken in winter when the tree is not actively growing. The widening must be undertaken by hand or hydro and ensure any roots must be cleanly cut and not ripped out by excavator.
- 6.3 Trees 2 and 4 neighbouring are not expected to be impacted.
- 6.4 Tree 3 within the site is proposed to be removed. No permits are required for its removal.

7 TREE IMPACT ASSESSEMENT PLAN



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PROJECT: **RESIDENTIAL DEVELOPMENT**
 DRAWING: Impact Assessment Plan
 ADDRESS: **2 John Street, Koo Wee Rup**

SCALE: 1:200 @A3
 DATE: August 2023
 DRAWN: CY
 CHECKED: MR
 JOB NO: 23-317
 DWG NO: IAP01



APPENDIX 1: DESCRIPTORS

Tree Number:

Refers to the identification number for reference purposes, denoted on the Tree Data and Tree Survey Plan.

Botanical Name:

Botanical name of species based on nomenclature and spelling used by Spencer in *Horticultural Flora of South Eastern Australia* (vols 1-5). Where *Eucalyptus spp.* are not found in this source, nomenclature is based on *Euclid: Eucalypts of Australia* (2006). Eucalypt subspecies information is also based on this source.

While accurate tree identification is attempted, and uncertainties are indicated, some inaccuracies in tree identification may still be present – especially in certain, difficult to determine, genera (e.g., *Cotoneaster* and *Ulmus*) and with cultivars which can have similar characteristics.

Where a doubt as to exact species is indicated, the common name and origin are based on the listed species and would change if the species were found to be incorrect.

From time-to-time taxonomists revise plant classification, and name changes are assigned. If it is known names have been revised post the publication of the relevant above listed source, the new nomenclature has been used.

Common Name:

Common names are based primarily on names and spelling used by Spencer in *Horticultural Flora of South Eastern Australia* (vols 1-5). The source of common names is taken in the following order:

- Single name supplied in *Horticultural Flora of South Eastern Australia*.
- First in list of names supplied in *Horticultural Flora of South Eastern Australia* unless another name in the list is deemed more appropriate.
- As per name supplied in *Trees of Victoria and Adjoining Areas*.
- Then by best known common name if not available in either source.
- Common names are provided for thoroughness; the botanical name should be used when referring to the tree taxon.

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Origin:

Exotic: Tree origin is from outside the Australian mainland, Tasmania or near islands.

Australian Native: Origin is from within the Australian mainland or near islands, but outside Victoria.

Melbourne: Origin is from within Melbourne, as defined by plants listed in the *Flora of Melbourne*. This includes trees also found outside Melbourne, and those only within the area at the far extent of their range.

Indigenous: Tree's range includes the local area.

Type:

Deciduous: Tree seasonally loses its leaves in Victoria.

Evergreen: Tree maintains its leaves throughout the year.

Semi-deciduous: Tree may or may not lose its leaves or may only partially lose them.

Palm: Tree is a monocotyledon Palm (that is *Arecaceae*).

Palm Like: Tree is a monocotyledon but is not a palm (that is not *Arecaceae*).

Weed Potential: Trees known to show tendencies to weediness within Victoria.; refer to the Department of Primary Industries website for further information.

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Age:

Juvenile: Tree has recently been planted and is still in its establishment phase. Tree currently makes little contribution to the amenity of the landscape. Trees of this age are possible candidates for relocation during development.

Semi-mature: Tree has established. It still has not developed its mature habit. It is starting to contribute to the landscape. The size of the tree would still be expected to increase considerably given no significant changes to the current situation.

Maturing: Tree has developed its mature structural habit but still has substantial potential to increase in size.

Mature: Tree has or is close to reaching its full potential and expected size. Growth has slowed, and the size of Tree is not exhibiting any major signs of health or structural weakness because of age.

Over mature: Tree is no longer actively putting out extension growth and is starting to show signs of decline in health because of age. Canopy is thinning and signs of die back in the canopy may be present.

Height: The tree's height in metres

Width: The trees average canopy width in meters. There may be widths of the canopy that are shorter or longer depending on the dissection of the canopy.

DBH:

The tree's trunk Diameter at Breast Height (1.4m above ground) In accordance with AS-4970, unless specified as having been taken lower. This can be either estimated or measured as specified in the report.

Stems of multi-stemmed trees may be listed individually, or a measurement given at a lower point where the tree still has one stem. In some cases, especially where trees are not considered worthy of retention or stems are too numerous the DBH may simply be listed as 'multi-stemmed'.

Health:

Good: Tree is not stressed and shows no obvious signs of pest or disease. It is free of wounding. Annual growth rate is what would be expected of a healthy specimen in the area. There are no signs of die back and canopy is dense. Tree maybe partially suppressed by neighbouring trees.

Fair: Tree is showing signs of reduced health. It maybe drought stressed or show partial signs of pest or disease. Foliage density is less than ideal and may have minor die back. Tree is typical of its species. Remedial works could improve its health.

Poor: Tree is showing signs of stress. Has sparse canopy and possibly stunted growth. Large number of dead branches present or dieback. Likely to have pests or disease. Tree often in decline. Remedial works not expected to improve long-term health.

Dead: Tree shows no signs of life and is not growing.

Note on Deciduous Species:

Assessment of deciduous species can be problematic, and results may vary depending on the time of year of assessment. Descriptor comments in relation to foliage density do not apply to deciduous trees assessed when dormant or entering or exiting dormancy. Time of leaf drop, or bud burst, and extent of bud swell may be considered in the health rating of these trees.

The ratings indicate that certain characteristics listed have or have not been observed. Inspections do not assess the whole tree in detail for each characteristic. The comments category should be referred to for further information.

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Structure:

As a rule, the structure rating is based on identified faults in the tree habit that reduce trees structural integrity and may lead to part / all of the tree failing.

However, it must be noted that this is not a full hazard or failure assessment of the tree.

Good: Tree appears to have no obvious structural defects that would diminish the trees structural integrity.

Fair: The tree has at least one or more obvious structural defects. E.g., dead branches, bifurcation. However, defects are unlikely to prevent the retention of the tree. Judicious remedial intervention could remove structural defects and improve rating.

Poor: Tree has at least one or more structural defects that remedial intervention cannot rectify without significantly reducing the retention value of the tree. These defects reduce the useful life expectancy of the tree.

Hazardous: The tree shows one or more structural faults that are prone to failure and present an immediate safety concern. Judicious intervention to remove structural faults and reduce safety risk would leave a tree not worthy of retention. These trees should be removed as a high priority.

Arboricultural Value:

There Arboricultural Values shown in the table below have been calculated on the ULE of the tree which considers the tree’s structure and health rating and its significance in the landscape.

The retention value assists in determining the positioning of structures and infrastructure outside the tree’s identified TPZ.

ULE	Arboricultural Value			
	High	Medium	Low	Very Low
20+ yrs.	High Retention	Medium Retention	Low Retention	Remove
10-20 yrs.	Medium Retention			
5-10 yrs.				
0-5 yrs.	Low Retention			
0 yrs.	Remove			

ULE:

The Safe, Useful, Life Expectancy of the tree from a health, structure, amenity and weediness viewpoint given no significant changes to the current situation. This category is difficult to determine, and should be taken as an estimate only, in addition to this, factors not observed at the time of inspection can lead to tree decline.

- **0 yrs.:** Tree should be removed due advanced decline/ dead or hazardous.
- **0-5 yrs.** Tree is in decline and has poor health or structural that intervention cannot resolve. Often over-mature
- **5-10yrs.** Tree of fair health or structure

- **10-20.** Semi-mature, mature tree of fair health and structure
- **20+ yrs.** Juvenile, semi-mature tree or long-lived species of good health and structure.

TPZ: Tree Protection Zone.

The Tree Protection Zone of the tree measured as a radial distance in metres from the centre of the trunk. The TPZ is calculated using the method specified in *Australian Standard AS4970-2009 Protection of trees on development sites*. $12 \times \text{DBH} = \text{TPZ}$

Recommendation:

i.e., Further exploratory root investigation, alterations to plan to retain trees successfully.

Comments:

Any additional comments specific to individual tree specimens.

AS-4970:

The recognised Australian Standard for the 'Protection of Trees on Development Sites'. It provides guidelines of how to protect trees and provides formulas for calculating Tree Protection Zones (TPZ's), Structural Root Zones (SRZ's) and the Diameter at Breast Height (DBH).

AS-4373:

The recognised Australian Standard for the 'Pruning of Amenity Trees'. It provides guidelines on how to prune a tree to encourage good health and structure.

EVC: Ecological Vegetation Class:

A type of native vegetation classification that is described through a combination of its floristics, life form and ecological characteristics, and through an inferred fidelity to environment attributes. Each EVC includes a collection of floristic communities (i.e., lower level in the classification that is based solely on groups in the same species) that occur across a biogeographic range, and although differing in species, have similar habitat and ecological processes operating.

NGL: Natural Ground Level.

Existing levels before any excavation or fill is undertaken.

NDRI: Non-Destructive Root Investigation.

The excavation of a trench by non-destructive method e.g., hand, air knife, hydro-vac, to remove soil while leaving roots in situ, for an arborist to determine what impact severing any located roots will have on the healthy retention of the tree. Trench alignment is usually along the footprint of a basement building.

TPP: Tree Protection Plan

A plan showing the Tree protection fencing and ground Protection.

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PROPOSED MEDICAL CENTRE

2 John Street, Koo Wee Rup, VIC 3981
LOT 44



DEVELOPMENT APPROVAL DRAWING LIST	
Sheet Number	Sheet Name
A0	COVER PAGE
A00	EXISTING SITE FEATURE SURVEY
A1	DEMOLITION PLAN
A2	SITE PLAN
A3	GROUND FLOOR PLAN & CEILING PLAN
A4	ELEVATIONS
A5	SECTIONS
A6	PERSPECTIVES

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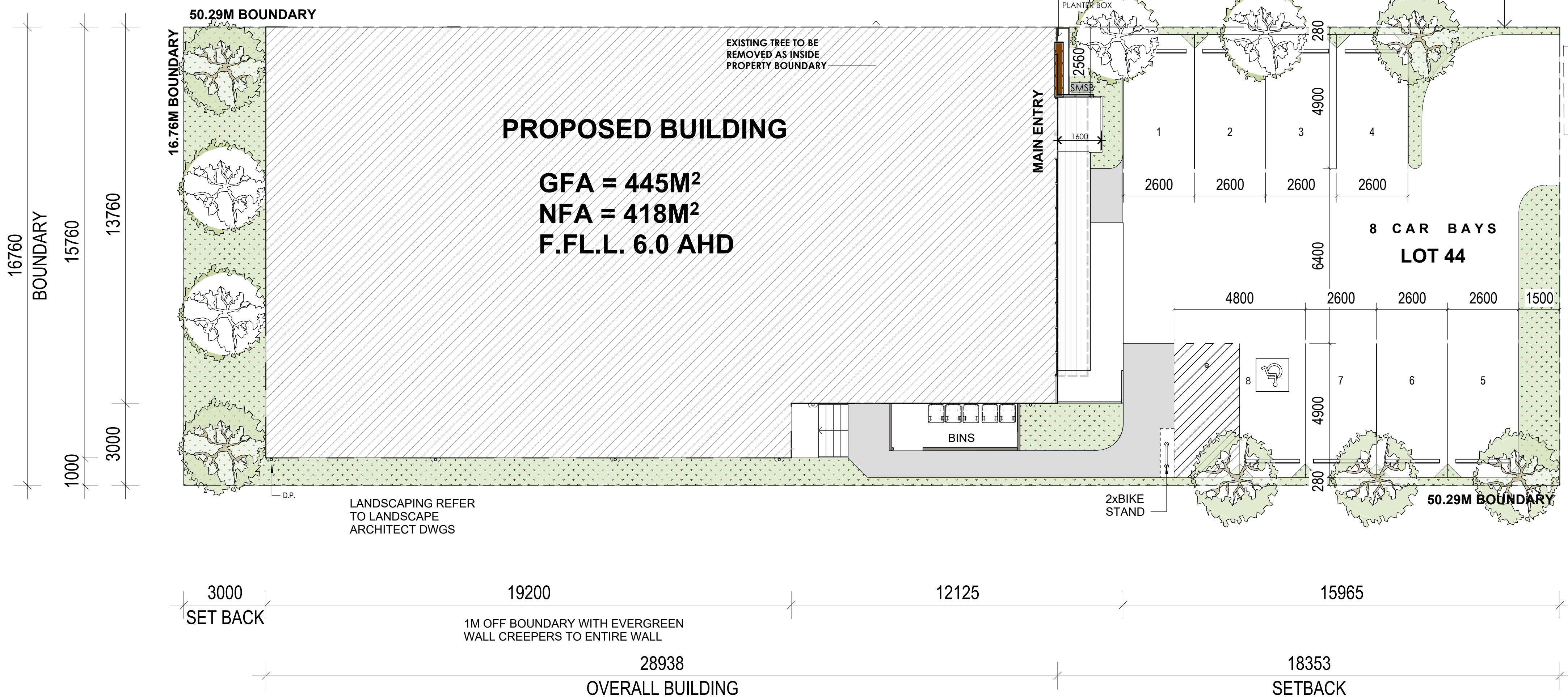
EXISTING MEDICAL CENTRE

3.66M WIDE RIGHT OF WAY

W A Y

STREET

JOHN



SITE PLAN
SCALE: 1 : 100

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- AREAS**
1. SITE AREA = 843M²
2. GFA = 445M²
3. NFA = 418M²
4. 10 CAR BAYS.

LANDSCAPE : REFER TO LANDSCAPE ARCHITECTS DRAWINGS

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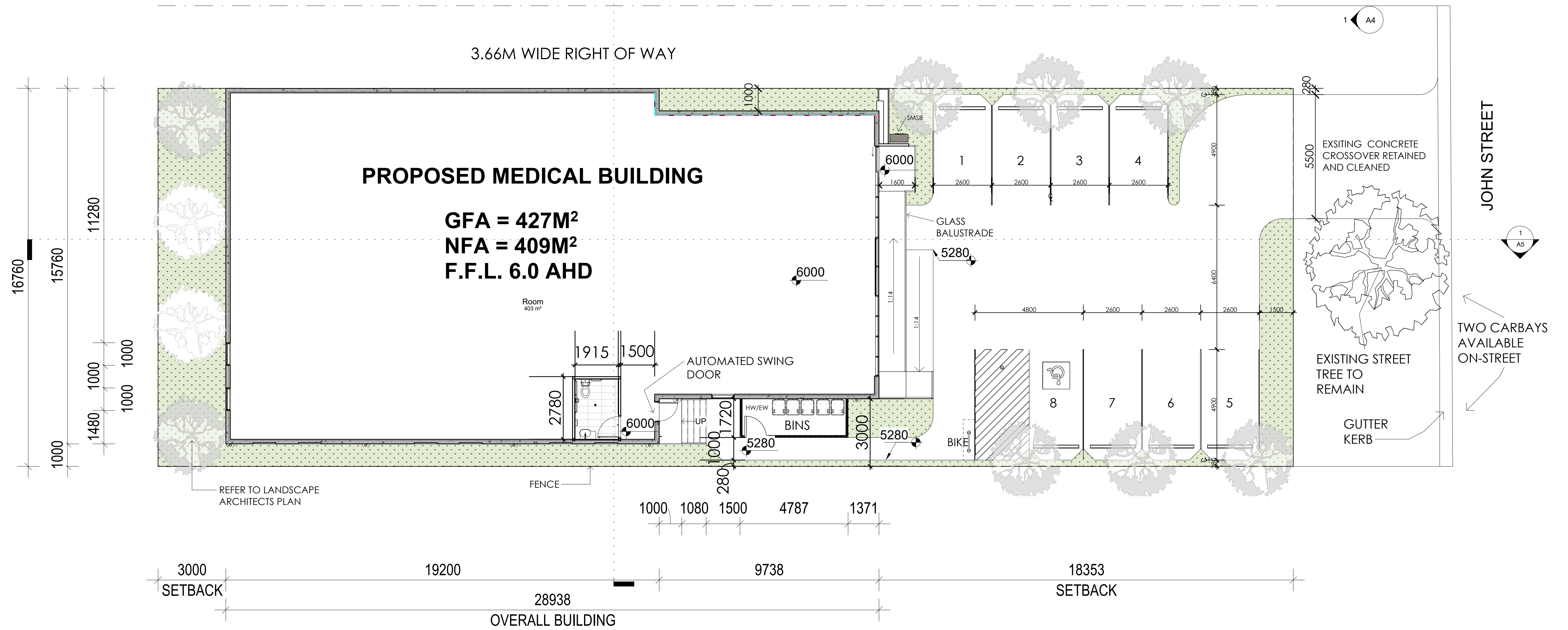
SITE PLAN

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 Scale @ A3 1 : 200

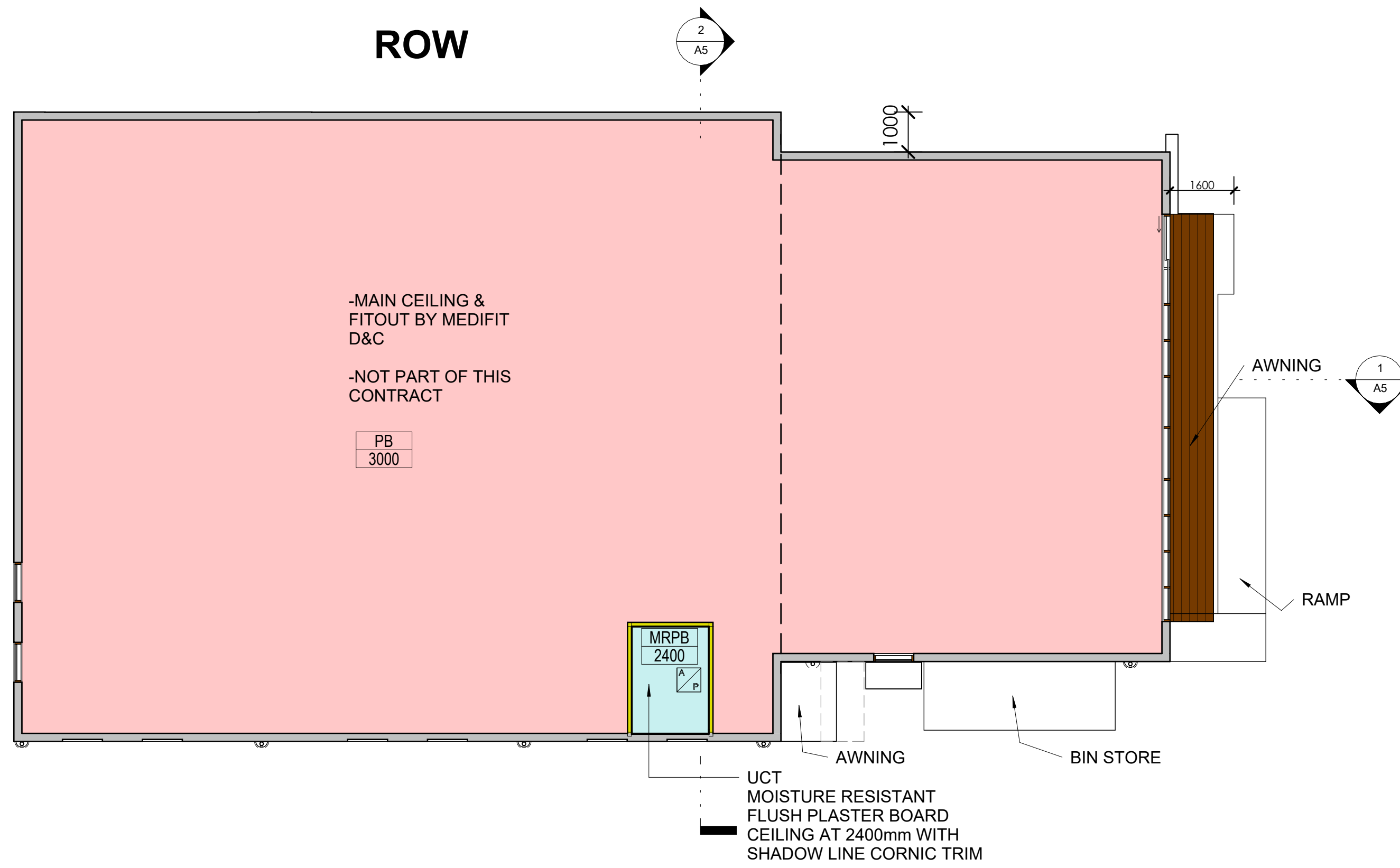
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	SHEET NO.	A2	REV.	3
			Checked	KD

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GROUND FLOOR PLAN
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CEILING PLAN
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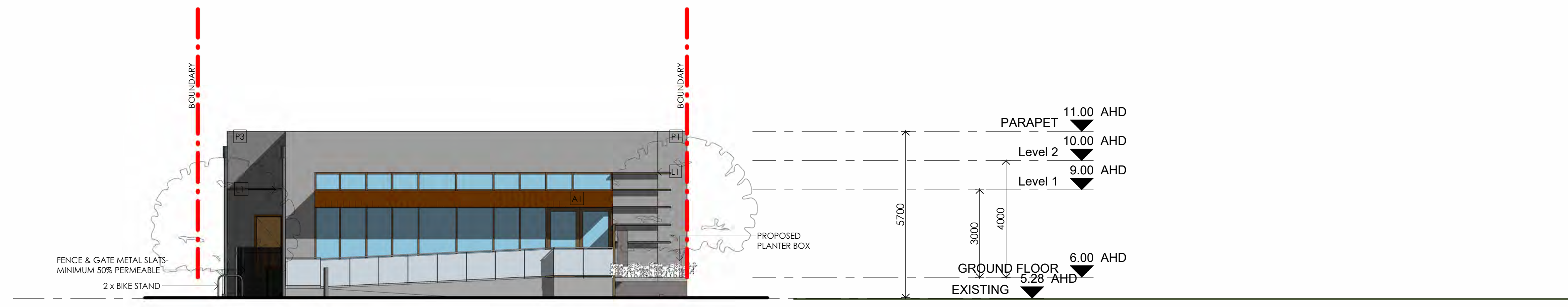
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GROUND FLOOR PLAN & CEILING PLAN

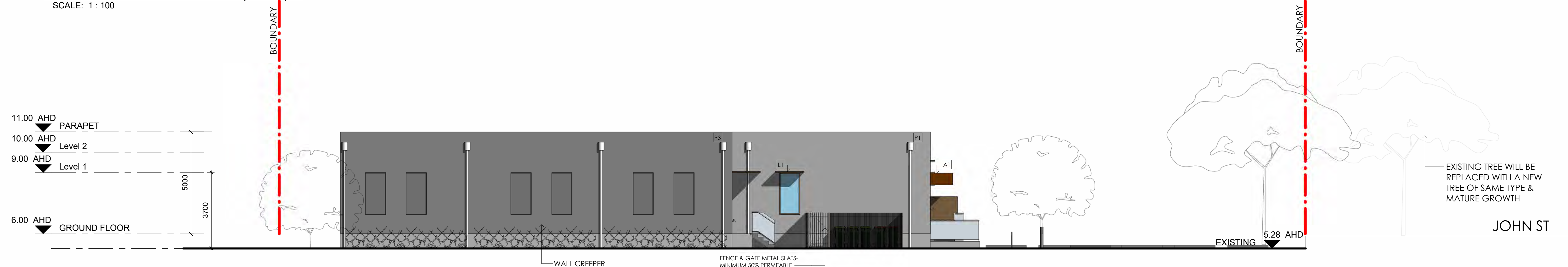
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		Rev.	4
		Checked	KD

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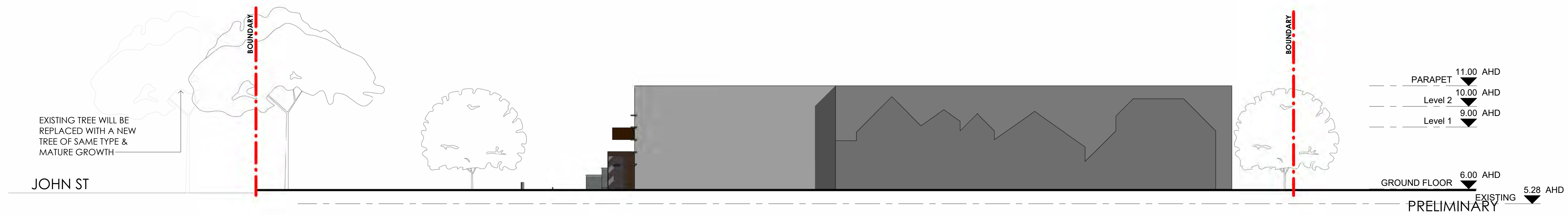
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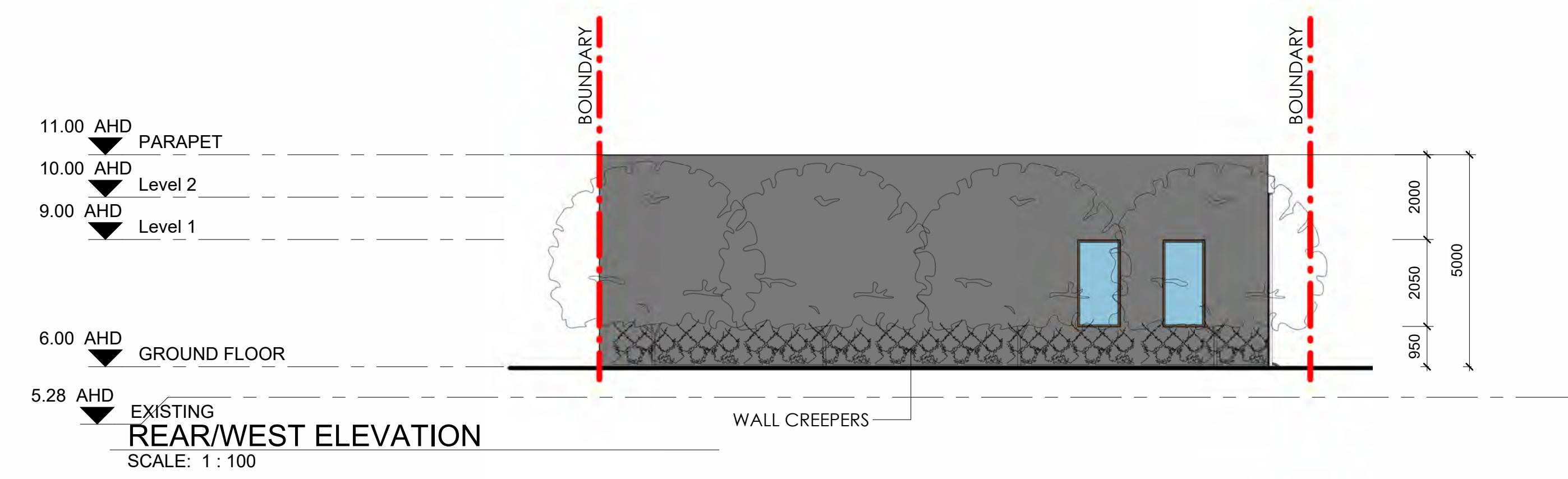
JOHN STREET ELEVATION (EAST)
SCALE: 1 : 100



SOUTH ELEVATION
SCALE: 1 : 100



RIGHT OF WAY ELEVATION (NORTH)
SCALE: 1 : 100



REAR/WEST ELEVATION
SCALE: 1 : 100

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EXTERIOR COLOUR SCHEDULE		SIMILAR COLOUR CODE IN JOB NO:15.80 (M3031) FOR REFERENCE	
P1 - PAINT FINISH-WHITE		P1 - COLORBOND- SURFMIST	
P2 - PAINT FINISH- GREY		P2 - COLORBOND- WOODLAND GREY	
P3 - PAINT FINISH- LIGHT GREY		P3 - COLORBOND- DUNE	
L1 - BRONZE LOUVERCLAD		L1- Louverclad "Caprice" series aluminium louvre system. Knotwood woodgrain powdercoat finish.	
A1- BRONZE CLADDING		A1- Shadowclad 12mm Ultra Groove timber cladding. Film forming stain finish.	

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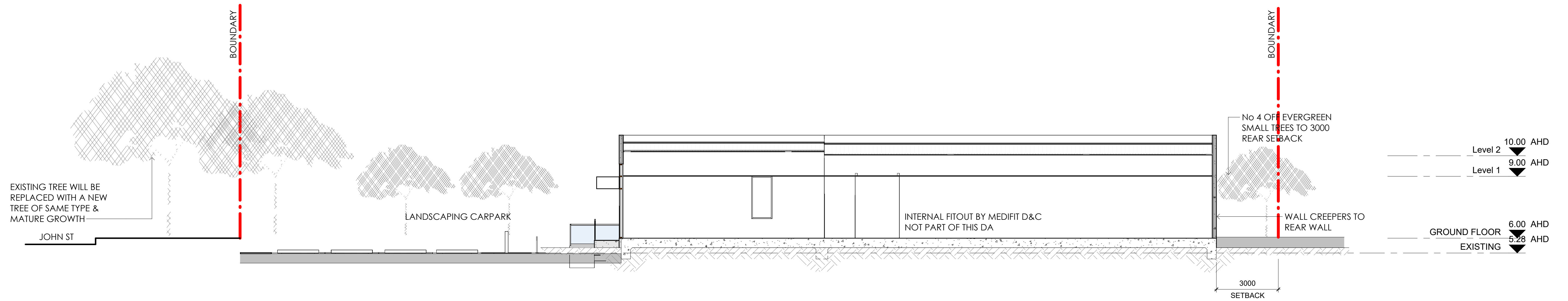
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Sheet Title
ELEVATIONS

Scale: As indicated	Date: 19-9-23
Job No: M5160	Drawn: YK
Sheet No: A4	Rev: 3
Checked: KD	

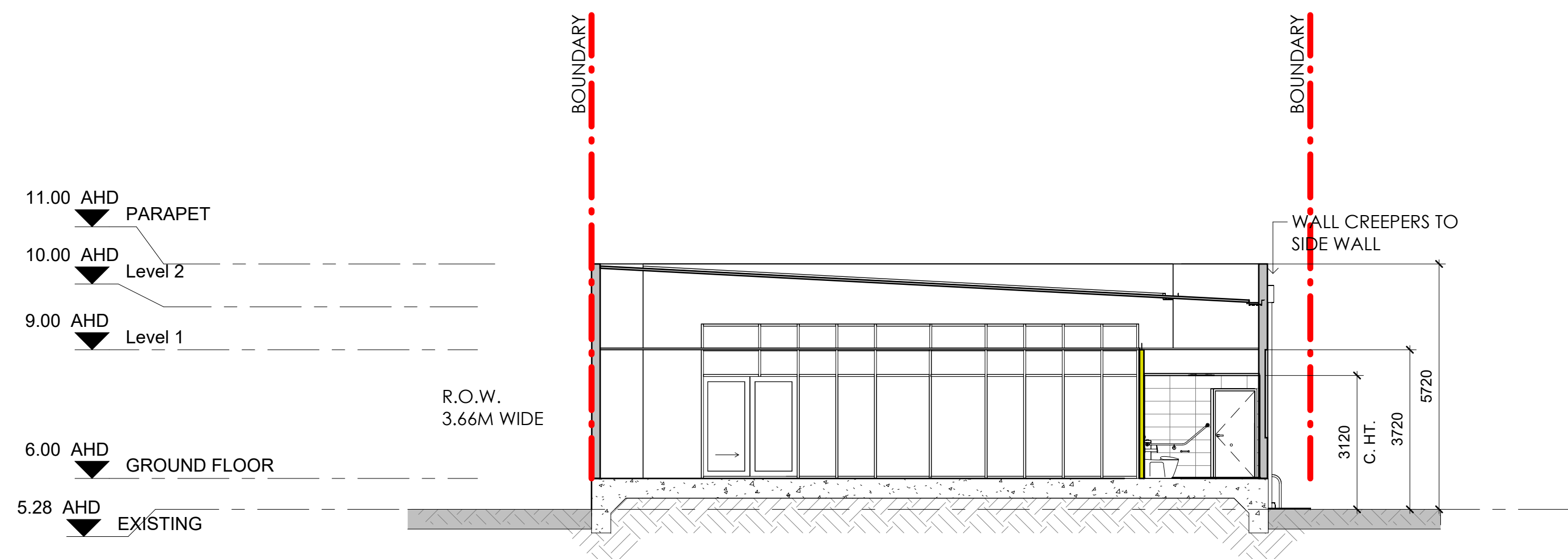
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Section 2
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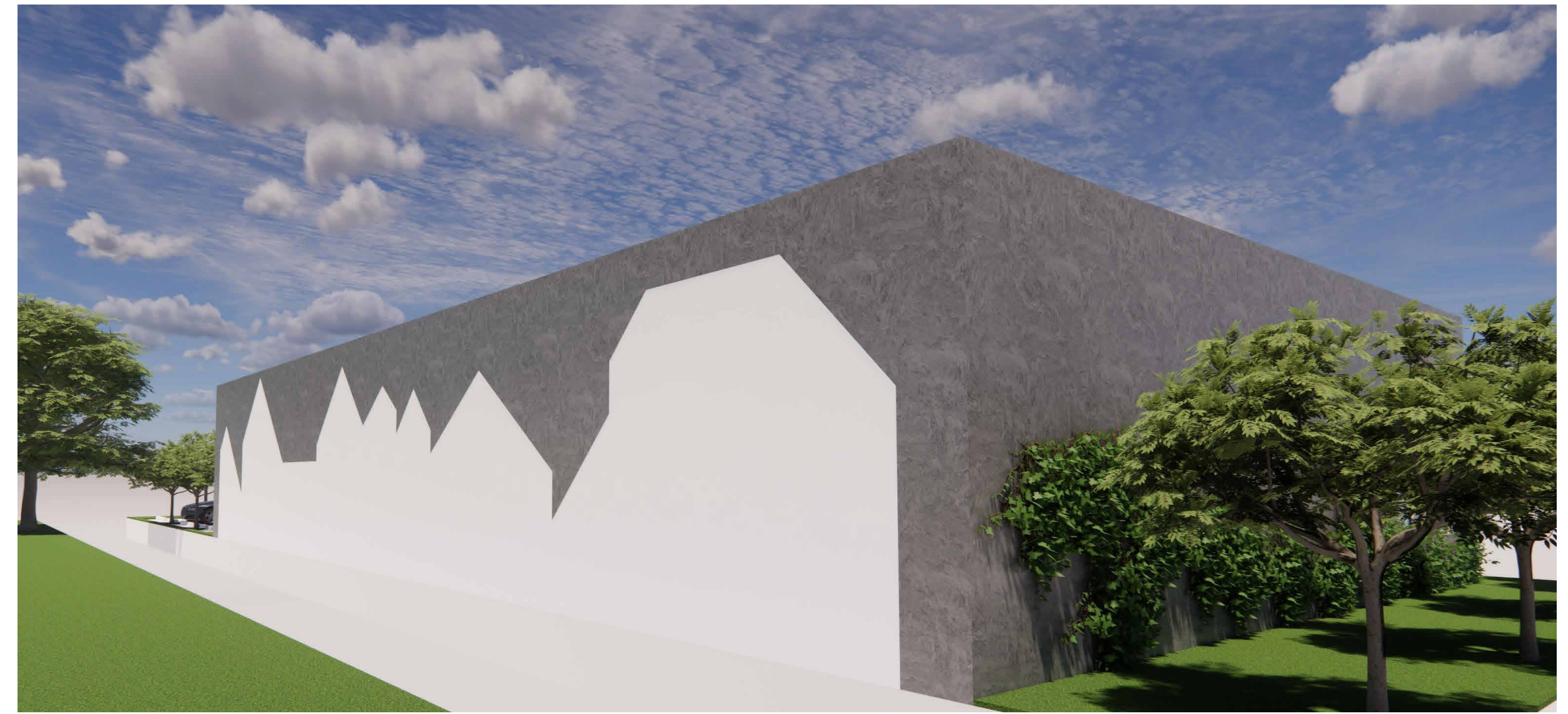
Project Name
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2 John Street, Koo Wee Rup, VIC 3981
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Sheet Title
SECTIONS

Scale @ A1 1 : 100 Date 18-12-23
Scale @ A3 1 : 200

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		Checked	KD

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Project Name

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Sheet Title
PERSPECTIVES

Scale @ A1 Date 18-12-23
Scale @ A3 1:200

JOB NO.	M5160	Drawn	YK
	DMA 23.02		
SHEET NO.	A6	REV.	2
		Checked	KD

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Application Summary

Portal Reference D423917E
Reference No T230338

Basic Information

Cost of Works \$900,000
Site Address 2 John Street Koo Wee Rup VIC 3981

Documents Uploaded

Date	Type	Filename
20-12-2023	Additional Document	Landscape plan.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User [REDACTED] ASK Planning Services 31 Mills Street, Albert Park VIC 3206 M: 0438-428-203
E: effie@askplanningservices.com
Submission Date 20 December 2023 - 06:39:PM

Declaration

By ticking this checkbox, I, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.

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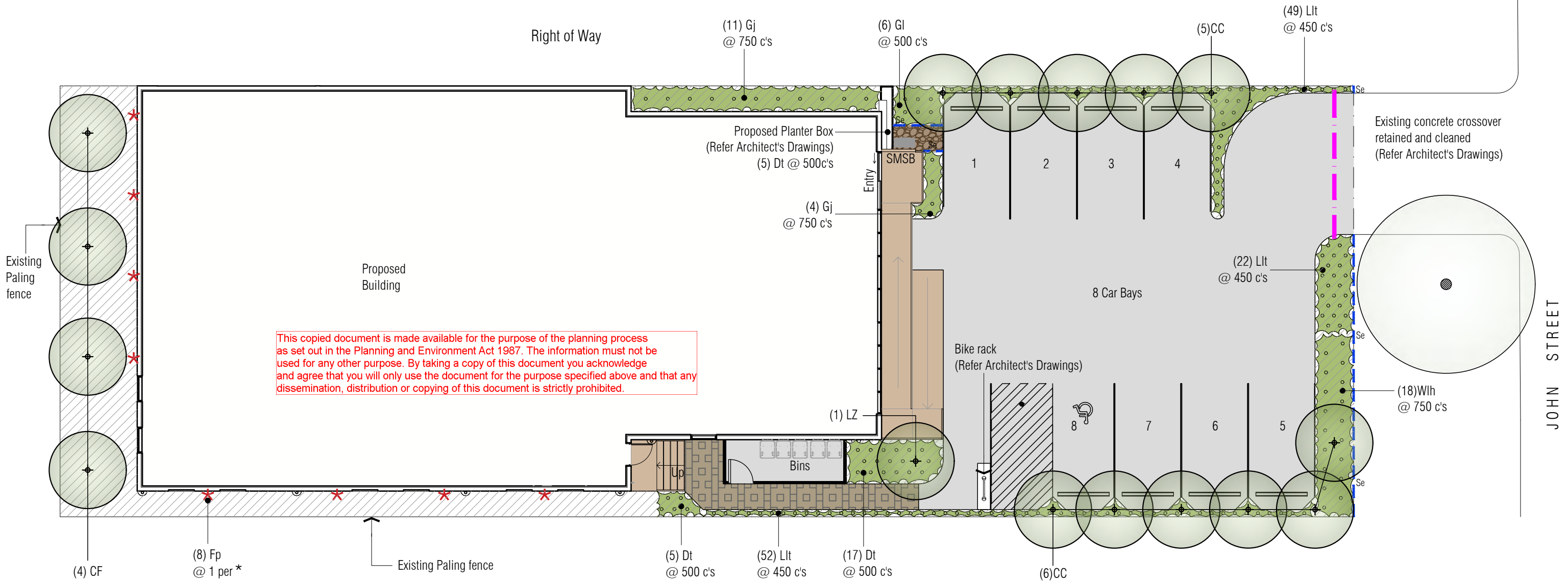
Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



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Legend

- Existing street tree *Melaleuca linariifolia* (Refer Arborist's report for protection measures.)
- Tree planting within wood mulched garden bed area.
- Groundcover planting within wood mulched garden bed area.
- Climber planting within mulched garden bed area.
- Steel Edge (Refer 3/L2)
- 100mm waste pipe conduit for irrigation. Confirm exact location on site
- Pedestrian pavement (tiled) Refer Architect's Drawings
- Pedestrian pavement (Permeable Paving) Refer Architect's Drawings
- Car park and Bin storage (Concrete Paving) Refer Architect's Drawings
- 75mm compacted depth approved gravel toppings on 75mm compacted depth F.C.R. base with steel edge.

Plant Schedule

KEY	BOTANICAL NAME (COMMON NAME)	MATURE SIZE HEIGHTxWIDTH	PURCHASE SIZE	QTY. GUIDE ONLY
Trees				
CC	<i>Corymbia citriodora</i> 'Scentuous'	6 x 4	45 Litre	11
CF	<i>Corymbia ficifolia</i> 'Burgundy'	5 x 4	45 Litre	4
LZ	<i>Lagerstroemia</i> 'Zuni'	4 x 2.5	45 Litre	1
Groundcovers				
Dt	<i>Dianella tasmanica</i> 'Blaze'	0.4 x 0.4	150mm	22
Gj	<i>Grevillea juniperina</i> 'Gold Cluster'	0.3 x 1	150mm	15
Gl	<i>Grevillea lanigera</i> 'Mt Tamboritha'	0.3 x 1	150mm	6
Lit	<i>Lomandra longifolia</i> 'Tanika'	0.6 x 0.6	150mm	123
Wlh	<i>Westringia</i> 'Low Horizon'	0.3 x 0.7	150mm	18
Climbers				
Fp	<i>Ficus pumila</i> 'Minima'	Spreading	150mm	8

Notes

- Contractor to verify location of all services prior to commencement of any works.
- Contractor to verify all dimensions and levels prior to commencement of works.
- Contractor to note that required location and dimensions of works may not exactly correspond with existing conditions.
- Verify all plant quantities.
- Trees are to be planted no closer than 3 metres to sewerage and stormwater pipes. 1.5m for all other services, unless otherwise directed.
- Prior to commencement of garden bed works apply non-residual knockdown herbicide (eg 'Roundup') or similar, to weed growth as necessary. Remove all building materials and other extraneous materials from garden bed areas.
- Excavate garden bed areas as necessary to allow for 250mm min. depth imported topsoil.
- All imported topsoil for raised planter box is to be 70% Gro-All "Garden Blend" or approved equivalent, 20% hammer milled pine bark, 10% coarse washed river sand and shall be installed to a minimum depth of 450mm unless noted otherwise on the Drawings. A layer of geotextile fabric is to be installed between topsoil and 20mm nom size screenings.
- Garden beds to have 250mm min. depth approved imported topsoil, supplied and installed. Imported topsoil to comply with AS 4419-2003 and toxicity index to AS 3743. Contractor to supply certificate of compliance for imported topsoil, prior to delivery.
- Prior to installing topsoil, cultivate subgrade to 150mm depth with gypsum added at recommended rates.
- Garden bed areas to grade away from building at 1% gradient minimum.
- Garden bed areas and raised planter box to have 75mm minimum depth, weathered bark mulch 20-35mm x 5-10mm thick with max 5% fines to an approved sample.
- Climber to be regularly maintained to be clear of building assets.
- Plant Establishment : All plant materials to be maintained (including watering, pruning and fertilizing) as necessary. Replacement of dead and poorly performing plant material on a minimum 4 weekly basis. All weeds to be removed & mulch to be replenished as necessary for a period of 13 weeks following Practical Completion. Owner to be responsible for regular garden maintenance following completion of 13 week plant establishment period.

Irrigation Note

Design, supply and install automatic commercial grade in-line drip irrigation system to all garden bed areas, raised planter box and individual trees in garden bed areas. The irrigation system shall be designed to be connected to the town water supply. Design to be approved by the Superintendent and shall comply with all regulatory requirements. Suitable filtration, rain shut-off sensor, backflow prevention and pressure regulation shall be allowed for. An approved irrigation system controller shall be supplied and installed at location shown on plan or as otherwise approved by the Superintendent. A 240V GPO will be required if the controller is externally mounted a lockable waterproof cabinet shall be supplied and installed to the satisfaction of the Superintendent and is to be supplied and installed adjacent to the controller unit. 100mm waste pipe as conduit required to be supplied and installed under paved areas to all isolated garden bed areas. Twelve month defects liability period shall apply to the irrigation system. The Contractor shall supply an 'as installed' irrigation plan along with all information relevant to the maintenance and operation of the system.

No.	Issue	Drawn by	Date
01	Preliminary	NS	30.06.2023
02	For Approval	NS	05.07.2023
03	Planning	NM	20.12.2023

PRELIMINARY

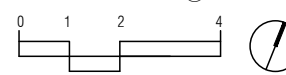
Medifit Koo Wee Rup
2 John Street
Koo Wee Rup

Landscape Plan



MEXTED RIMMER ASSOCIATES PTY LTD
A B N 8 1 0 0 6 0 8 0 8 2
14 MC LARTY PLACE GEELONG VIC 3220
TEL : 03 5229 1414 FAX : 03 5223 2530
EMAIL : mail@mextedrimmer.com

project no: 3495
drawing no: L1
issue: P3
sheet no: 1 of 2
designed by: GM
date: 20.12.2023
scale: 1:150 @ A3

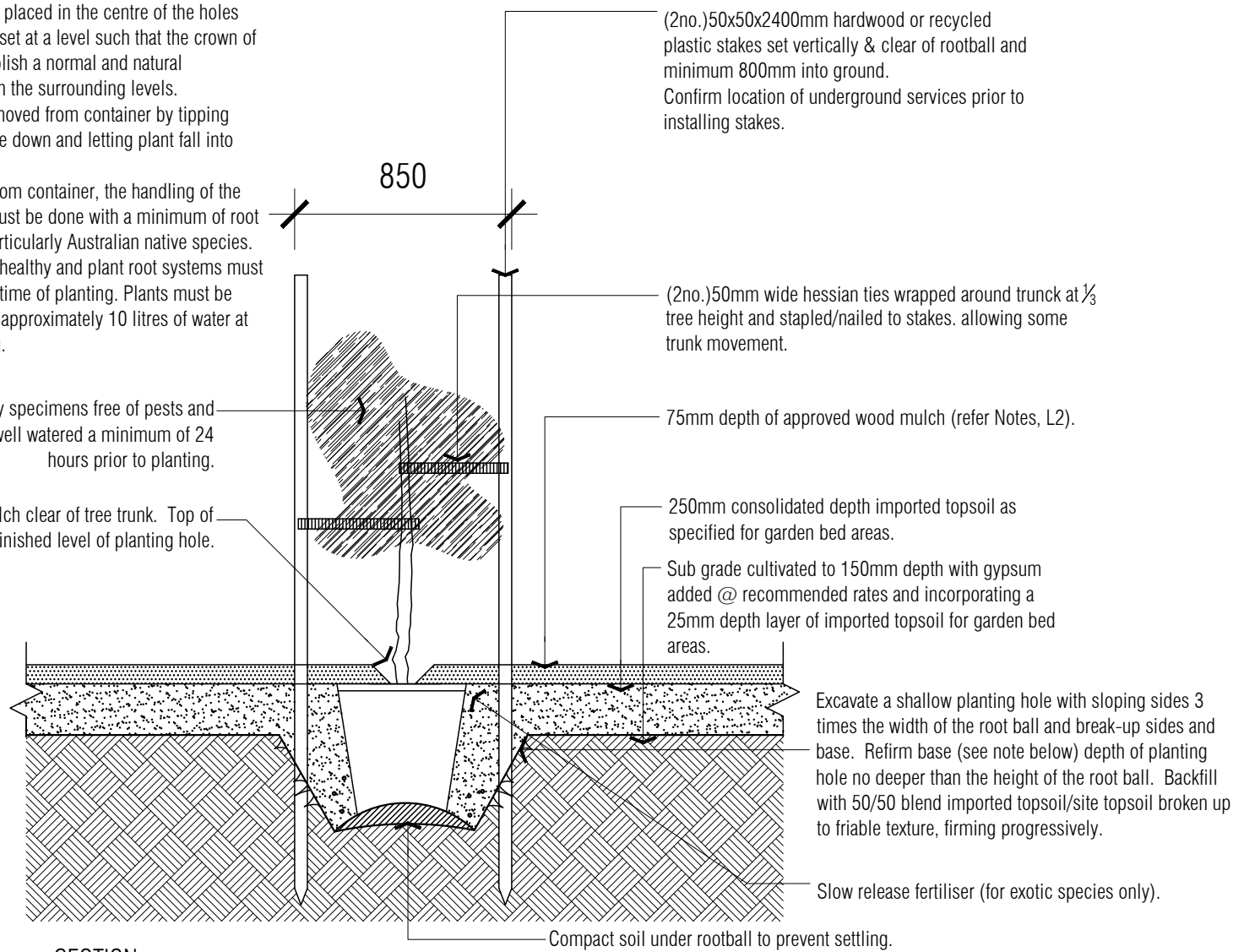


TYPICAL PLANTING DETAIL NOTES:

1. Plants are to be placed in the centre of the holes
2. Plants must be set at a level such that the crown of the plants establish a normal and natural relationship with the surrounding levels.
3. Plants to be removed from container by tipping container upside down and letting plant fall into hand.
4. After removal from container, the handling of the root systems must be done with a minimum of root disturbance, particularly Australian native species.
5. Plants must be healthy and plant root systems must be moist at the time of planting. Plants must be watered in with approximately 10 litres of water at time of planting.

All trees to be healthy specimens free of pests and diseases. Trees to be well watered a minimum of 24 hours prior to planting.

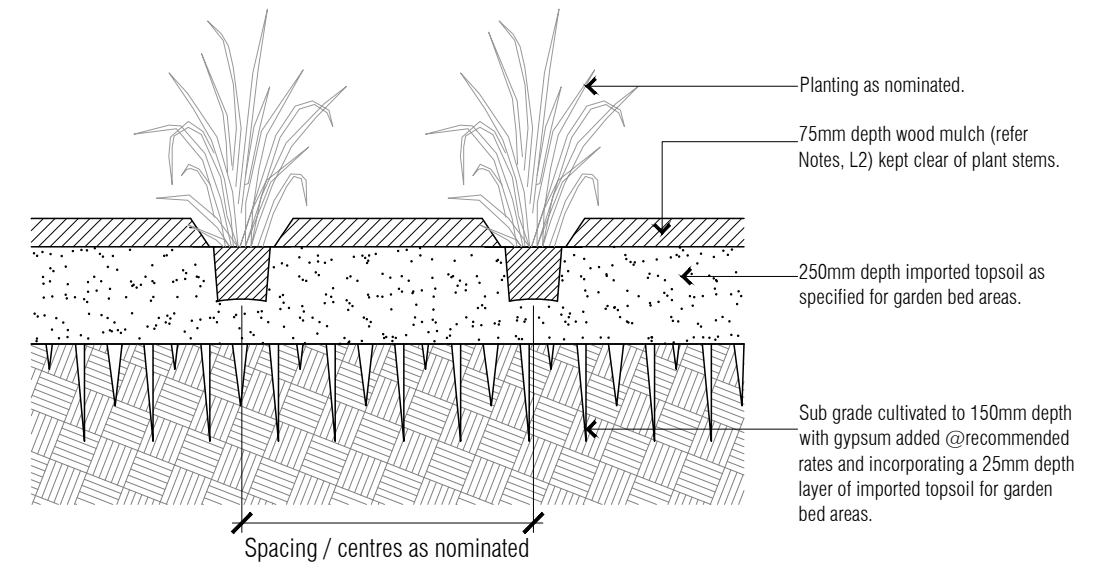
Create dish to keep mulch clear of tree trunk. Top of root ball flush with finished level of planting hole.



SECTION

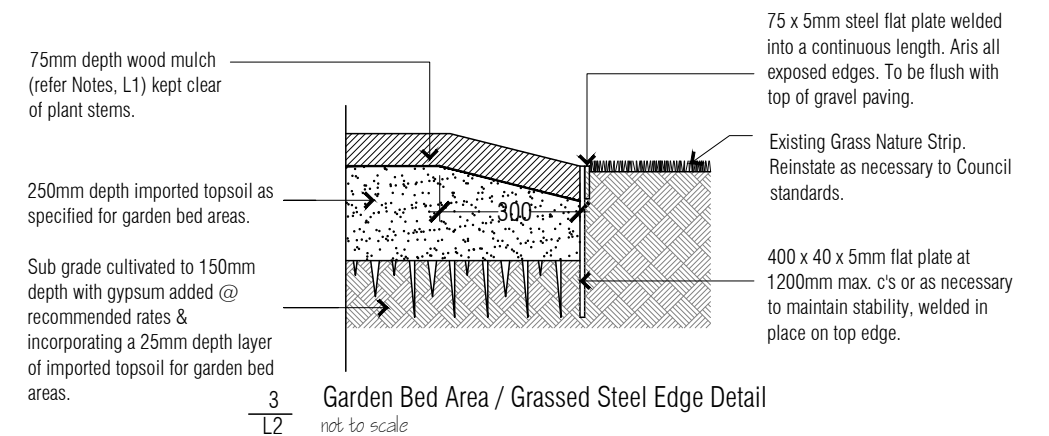
1 Typical Tree Planting Within Mulched Garden Bed Area

L2 scale: not to scale



2 Typical Shrub & Groundcover Planting Within Garden Bed Area Detail.

L2 scale: not to scale



3 Garden Bed Area / Grassed Steel Edge Detail

L2 not to scale

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Trees



Corymbia citriodora 'Scentuous'



Corymbia ficifolia 'Burgundy'



Lagerstroemia 'Zuni'

Groundcovers



Dianella tasmanica 'Blaze'



Grevillea juniperina 'Gold Cluster'



Grevillea lanigera 'Mt Tamboritha'



Lomandra longifolia 'Tanika'



Westringia 'Low Horizon'

PRELIMINARY

Medifit Koo Wee Rup
2 John Street
Koo Wee Rup

Landscape Details



MEXTED RIMMER ASSOCIATES PTY LTD
A B N 8 1 0 0 6 6 0 8 0 8 2
14 MC LARTY PLACE GEELONG VIC 3220
TEL : 03 5229 1414 FAX : 03 5223 2530
EMAIL : mail@mextedrimmer.com

project no: 3495
drawing no: L3
issue: P2
sheet no: 2 of 2
designed by: GM
date: 20.12.2023

No.	Issue	Drawn by	Date
01	Preliminary	NS	30.06.2023
02	For Approval	NS	05.07.2023
03	Planning	NM	20.12.2023

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 07277 FOLIO 310

Security no : 124107351464E
Produced 04/07/2023 01:18 PM

LAND DESCRIPTION

Lot 44 on Plan of Subdivision 011252.
PARENT TITLE Volume 06509 Folio 709
Created by instrument 2222776 16/06/1949

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT 1803901

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP011252 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2 JOHN STREET KOO WEE RUP VIC 3981

ADMINISTRATIVE NOTICES

NIL



DOCUMENT END

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Number of Pages (excluding this cover sheet)	2
Document Assembled	04/07/2023 13:35

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Document Identification	1803901
Number of Pages (excluding this cover sheet)	6
Document Assembled	04/07/2023 13:35

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3909266 Cellars **KEO** 1803901

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FEB 17 1941
FEB 2 1941
FEB 2 1941

WHITING & BYRNE
VICTORIA
30. JAN. 1941

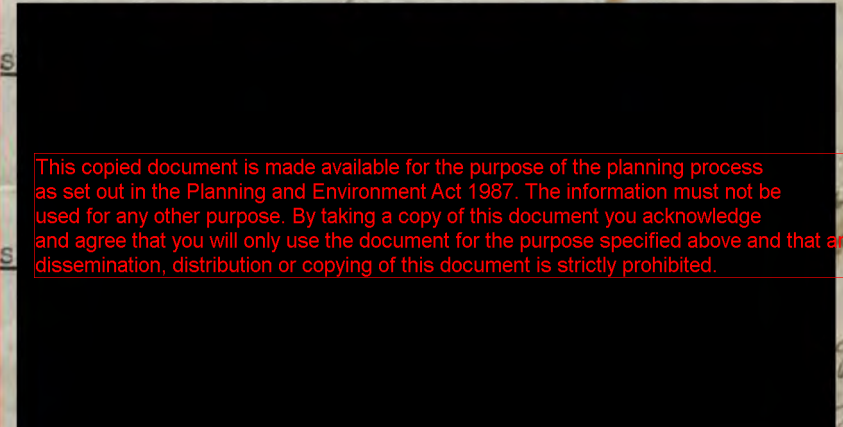
Freehold TRANSFER LAND

VICTORIA THIS INSTRUMENT IS NOT CHARGEABLE WITH ANY STAMP DUTY ACTING COLLECTOR OF IMPROVED STAMPS ACTS 16-1-1941

IMAGED

L. No. Mickle
Re-signd in Victoria by the said Laura Mickle Dickson in presence of D. J. Young

I [redacted] Milan Street Mentone Widow being registered or entitled to be registered as the proprietor of an estate in fee simple in the land hereinafter described subject to the encumbrances notified hereunder in consideration of [redacted] LE of 58 Maribyrnong Road Moonee Ponds Widow being entitled in equity to the said land DO HEREBY TRANSFER to the said Laura Marton Mickle all my estate and interest in FIRSTLY all that piece of land being parts of - Crown Sections 3 and 4 Parish of Yallock County of Mornington and being the land now comprised in Certificate of Title Volume 5002 Folio 1004266 SECONDLY All those pieces of land being parts of Crown Sections 3 and 4 Parish and County aforesaid and being the land now comprised in Certificate of Title Volume 5002 Folio 1004265 Together with all registered appurtenant being lots and roads on Plan of Subdivision No 11252 lodged in the Office of Titles and easements and THIRDLY All those pieces of land being parts of Crown Sections 3 and 4 Parish and County aforesaid and being the land now comprised in Certificate of Title Volume 5459 Folio 1091754 DATED the Twenty third day of December, 1940.



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ENCUMBRANCES REFERRED TO :

As to the land Firstly described :
Mortgages registered Nos. 392976, 459069 and 670266.
As to part of the land firstly described :- Any easements affecting the same.
The easement created by Instrument of Transfer No 1529419 in the Register Book. The easement created by Instrument No 1025422 in the Register Book.

Witnessed by G. W. Wilson JP
See attached sheet for setting-out.
17.2.41

gatha
gatha

As to the land Secondly described :

Mortgage registered No. 685621.

1/30/10/21

~~As to parts of the said land. The easements implied under Act No. 3168.~~

As to the land Thirdly described :

Mortgage registered No. 685622.

As to the land coloured blue on Certificate of Title Volume 5459 Folio 1091754.

Any easements implied under Act No. 3168

As to the land coloured green on the said Certificate of Title.

Any easements affecting the same.

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left in

APPEARED before me at

day of 1940

[Redacted]

one of the

attesting witness [Redacted] declared that he

personally knew [Redacted] one of the persons

signing the same and whose signature the said [Redacted]

[Redacted] stated and that the name purporting to be the signature

of the said [Redacted] is her own handwriting and that

she was of sound mind and freely and voluntarily signed such

Instrument.

Witness sign here X

TR. 1803901

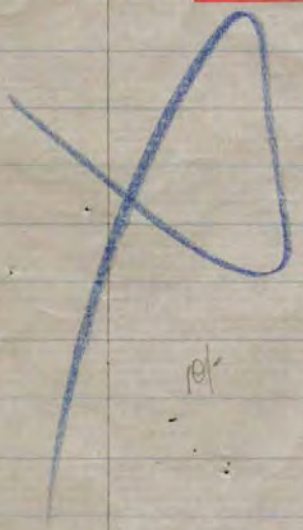
Examining Draughtsman's Report.

R.I. No. 3909206

3403/41.

3 Certs to issue

1ST CERT.



Fee Red Blue Green and Purple

5022 - 266 bal.

Area 215A 0R 31P.

being parts of brown Sections 3 and 4
Parish of Yallock City of Mornington

Ence as to Blue :- Any ements affecting

Ence as to Green :- The ement. created by In. 1045142

Ence as to Purple :- The c'way ement. created by Tr. 1529419

Ence as to whole :- Mtges 392976, 459069 and 670266.

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2ND CERT

5022 - 265 bal.

Area 1A 1R 2P.

being Lots 4, 12, 24, 28 and 29 on L.P. 7900
and being part of brown Sections 3 and 4
Parish of Yallock City of Mornington

As to Lot 4 :- Joqr. c'way Alexandra Avenue brown
on said L.P. and over road purple.

As to Lot 12 :- Joqr. c'way Alexandra Avenue and John
Street brown on said L.P. and over road brown

As to Lots 24, 28 and 29 :- Joqr. c'way John Street brown on
said L.P. and over road yellow.

Ence as to whole :- Mtge. 685621.

7/6

3RD CERT

Fee Red Blue and Green

5459 - 754 bal.

Area not to be given

being Lots 30, 31, 35, 36, 37, 40 to 48 both inc., and 55 to 61
on L.P. 11252
both inc. and land appropriated as Roads on L.Ps 11252 and 7900 and
being part of br. Secs. 3 and 4 Par. of Yallock City of Mornington

Ence as to Blue :- The ements etc. set. 212

Ence as to Green :- Any ements affecting

Ence as to whole :- The covenant in Tr. 1803901.

Ence as to whole :- Mtge 685622.

8069-203
8114-067

6.
10/11/41
10/11/41
10/11/41
10/11/41

25.11.41

30.10.41

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DATED

1940

X

[REDACTED]

TO

[REDACTED]

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206
226

T R A N S F E R

MEMORIAL OF INSTRUMENT

NATURE OF INSTRUMENT	TIME OF ITS PRODUCTION FOR R&G STR	TO WHOM GIVEN	NUMBER OF SYMBOL
TRANSFER AS TO BALANCE	THE 30- Jan 19-	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	[REDACTED]	[REDACTED]

I CERTIFY THAT A MEMORIAL OF THE TIME LAST MENTIONED IN

ASSISTANT REGISTRAR OF DEEDS