
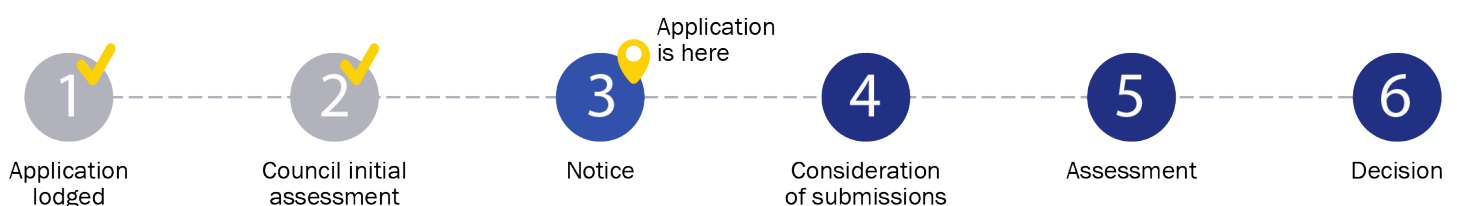


# Notice of Application for a Planning Permit

The land affected by the application is located at:	L2 LP220393 210 Mintern Road, Tynong North VIC 3813
The application is for a permit to:	Buildings and Works (Construction of a Deck/Balcony)

APPLICATION DETAILS	
The applicant for the permit is:	AJ's Drafting Service
Application number:	T240031
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website: <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.	

HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		07 August 2024
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.	An objection must: <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> If you object, the Responsible Authority will notify you of the decision when it is issued.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



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## Application Summary

Portal Reference A124720G

Reference No T240031

## Basic Information

Proposed Use	Proposed deck/balcony
Current Use	existing dwelling
Cost of Works	\$45,000
Site Address	210 Mintern Road Tynong North 3813
VIC Smart	No

## Contacts

Type	Name	Address	Contact Details
Applicant	[REDACTED] AJ's Drafting Service	PO BOX 373, Pakenham VIC 3810	[REDACTED]
Preferred Contact	[REDACTED] AJ's Drafting Service	PO BOX 373, Pakenham VIC 3810	[REDACTED]

## Documents Uploaded

Date	Type	Filename
01-02-2024	A Copy of Title	Title.pdf
01-02-2024	A Copy of Title	Plan of sub.pdf
01-02-2024	Site plans	23117_210 Mintern Road, Tynong North_PRELIM_06 NOV 2023.pdf
01-02-2024	Receipt A124720G	Receipt A124720G.pdf



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810



**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–  
5pm

**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Preferred Contact	 AJ's Drafting Service	PO BOX 373, Pakenham VIC 3810	
Submission Date	02 February 2024 - 10:53:AM		

## Declaration

By ticking this checkbox,  declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.

You can download a copy of your application [here](#).

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**Postal Address**  
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**Email:** [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

Monday to Friday 8.30am–  
5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784



Planning Enquiries  
 Phone: 1300 787 624  
 Web: [www.cardinia.vic.gov.au](http://www.cardinia.vic.gov.au)

**Office Use Only**

Application No.:

Date Lodged: / /

# Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

**i** Click for further information.

Clear Form

## The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

**Street Address \***

Unit No.:	St. No.: 210	St. Name: MINTERN ROAD
Suburb/Locality: TYNONG NORTH		Postcode: 3813

**Formal Land Description \***

Complete either A or B.

**⚠** This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A   Lodged Plan  Title Plan  Plan of Subdivision

OR

B

## The Proposal

**⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

**i** For what use, development or other matter do you require a permit? \*

Buildings and works (Construction of a deck)

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**📎** Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

**⚠** You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.


**i** Estimated cost of any development for which the permit is required \*





## Declaration

This form must be signed by the applicant \*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that this application is true and permit application.

Date: 26/02/2024

day / month / year

## Need help with the Application?

General information about the planning process is available at [planning.vic.gov.au](http://planning.vic.gov.au)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

No  Yes

If 'Yes', with whom?:

Date:


day / month / year

## Checklist

Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site.

A plan of existing conditions.

Plans showing the layout and details of the proposal.

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant council planning permit checklist?

Signed the declaration?

## Lodgement

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council  
PO Box 7  
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

**Contact information:**

Telephone: 1300 787 624

Email: [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

DX: 81006

**Deliver application in person, by post or by electronic lodgement.**

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# REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 09956 FOLIO 380

Security no : 124110233794M  
Produced 02/11/2023 10:11 AM

## LAND DESCRIPTION

Lot 2 on Plan of Subdivision 220393Q.  
PARENT TITLE Volume 07228 Folio 417  
Created by instrument LP220393Q 15/06/1990

## REGISTERED PROPRIETOR



## ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AK200910L 21/02/2013  
WESTPAC BANKING CORPORATION

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

## DIAGRAM LOCATION

SEE LP220393Q FOR FURTHER DETAILS AND BOUNDARIES

## ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX073225S (E)	DISCHARGE OF MORTGAGE	Registered	21/07/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 210 MINTERN ROAD TYNONG NORTH VIC 3813

## ADMINISTRATIVE NOTICES

NIL

eCT Control 16320Q WESTPAC BANKING CORPORATION  
Effective from 21/07/2023

DOCUMENT END

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# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>LP220393Q</b>
Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>02/11/2023 10:13</b>

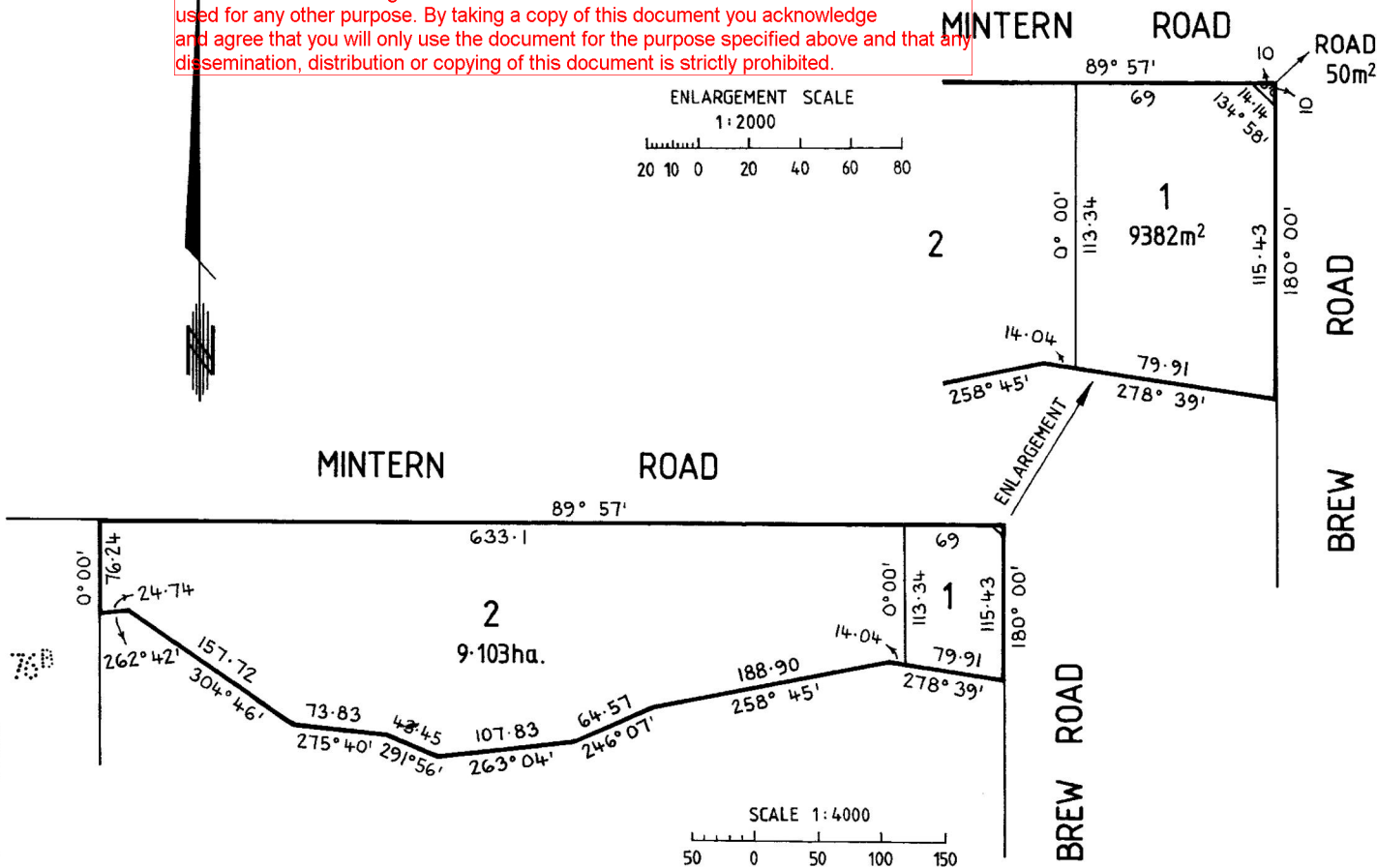
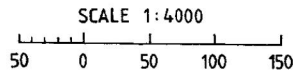
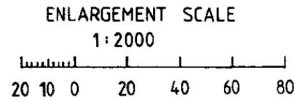
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OFFICE USE ONLY

# LP220393Q

## EDITION 1

PARISH

NOTATIONS

LAND SUBJECT TO EASEMENT  
NIL

LAND APPROPRIATED OR SET APART  
ROAD; WAY AND DRAINAGE

DEPTH LIMITATION - 15.24m

OTHER NOTATIONS  
THIS PLAN IS NOT THE RESULT OF SURVEY

TO BE COMPLETED WHERE APPLICABLE  
THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NOS: \_\_\_\_\_  
IN PROCLAIMED SURVEY AREA NO. \_\_\_\_\_

THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED BY THICK LINES  
TITLE REF: VOL. 7228 FOL. 417  
LAST PLAN REF: \_\_\_\_\_

**PLAN OF SUBDIVISION**

COUNTY MORNINGTON  
PARISH BUNYIP  
PART OF CROWN ALLOTMENT 76A

NUMBER OF SHEETS IN PLAN : 1  
NUMBER OF THIS SHEET : 1

SCALE  
AS SHOWN

ORIGINAL SCALE SHEET SIZE  
AS SHOWN A3

LENGTHS ARE IN METRES

OFFICE USE ONLY

**PLAN OF SUBDIVISION**

COUNTY MORNINGTON  
PARISH BUNYIP  
PART OF CROWN ALLOTMENT 76A

NUMBER OF SHEETS IN PLAN : 1  
NUMBER OF THIS SHEET : 1

SCALE  
AS SHOWN

ORIGINAL SCALE SHEET SIZE  
AS SHOWN A3

LENGTHS ARE IN METRES

OFFICE USE ONLY

# LP220393Q

VICTORIA

**CERTIFICATION BY SURVEYOR**

**EDITION 1**  
**LP220393Q**

AMENDMENTS

SURVEYORS REF  
**MD101**

LAND SURVEYORS - HAMILTON  
36 GRAY STREET, HAMILTON 3300.  
PHONE (0551) 72 1455. FAX (0551) 71 1393.

**CERTIFICATE OF MUNICIPAL CLERK**

MUNICIPALITY SHIRE OF PAKENHAM COUNCIL REF **68/4/256**

CERTIFICATE A  
THIS PLAN ACCORDS WITH A PLAN

- SEALED BY THE COUNCIL UNDER SECTION 569B OF THE LOCAL GOVERNMENT ACT 1958 ON
- CONFIRMED BY THE PLANNING APPEALS BOARD ON
- AND A REQUIREMENT/NO REQUIREMENT PURSUANT TO SECTION 569E OF THE LOCAL GOVERNMENT ACT 1958 HAS BEEN MADE

DATE \_\_\_\_\_ MUNICIPAL CLERK \_\_\_\_\_

CERTIFICATE B  
THIS PLAN ACCORDS WITH A PLAN EXEMPTED FROM SUBDIVISION (3) OF DIVISION (9) OF PART XIX OF THE LOCAL GOVERNMENT ACT 1958 BY

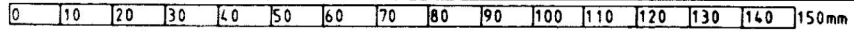
- THE COUNCIL ON
- THE PLANNING APPEALS BOARD ON

DATE \_\_\_\_\_ MUNICIPAL CLERK \_\_\_\_\_

OFFICE USE ONLY

PLAN APPROVED  
AT  
ON **15-6-90**

(ASSISTANT) REGISTRAR OF TITLES



ONLY CERTIFICATE A OR CERTIFICATE B TO BE COMPLETED  
• DELETE WORDS NOT APPLICABLE



**GENERAL NOTES :**

DO NOT SCALE DRAWING - WORK TO DIMENSIONS

ALL MATERIALS & METHODS OF CONSTRUCTION SHALL COMPLY WITH BCA AND VIC. BUILDING REGULATIONS

ALL SIZES, LEVELS AND CONDITIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

FOUNDATION CLASSIFICATION - "?" CLASSIFICATION AS PER SOIL REPORT BY ??????????????. DATED ?/??/2023 REF No. ?????

WIND CLASSIFICATION - "??" CLASSIFICATION. TO COMPLY WITH AS 4055-2021

BUSHFIRE CLASSIFICATION - BAL = XXX REFER BUSHFIRE ATTACK ASSESSMENT BY XXXXXXXX  
BUSHFIRE PROTECTION REQUIREMENTS TO COMPLY TO AS3959-2018

TIMBER FRAME / BRACING & TIE DOWNS TO COMPLY WITH TIMBER FRAMING MANUALS AND A.S 1684-2010.

STRUCTURAL STEEL TO COMPLY WITH AS 4100-1998 AND AS/NZS 4600-2018  
PROVIDE CORROSION PROTECTION IN ACCORDANCE WITH TABLE 4.1 OF AS 4773.1-2015

FOOTINGS TO COMPLY WITH AS 2870-2011  
CONCRETE TO COMPLY WITH AS 3600-2018

THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S AND TRUSS MANUFACTURER'S DESIGNS AND DETAILS / SPECIFICATIONS

STEPS - GOINGS MIN 240 MM TO MAX 355 MM  
- RISERS MIN 115 MM TO MAX 190 MM  
- 2R + 1G MIN 550 MM TO MAX 700 MM  
- MAX 124MM GAP TO OPEN TREADS  
- NON SLIP FINISH TO ALL TREADS & LANDINGS  
- DRY CONDITIONS: P3 OR R10 TREADS, P3 NOSING  
- WET CONDITIONS: P4 OR R11 TREADS, P4 NOSINGS

PROVIDE BALUSTRADE/BARRIER WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH FLOORS, LANDINGS, RAMPS AND/OR TREADS. BALUSTRADE/BARRIER (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:

- 1000MM ABOVE FINISHED SURFACE LEVEL (865MM ABOVE STAIR NOSING OR RAMP)  
- VERTICAL, WITH MAX 124MM GAPS  
- ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE/BARRIER BETWEEN 150MM AND 760MM ABOVE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH FLOORS, LANDINGS, RAMPS AND/OR TREADS.

TOP OF HANDRAILS TO BE MIN 865MM ABOVE STAIR NOSING OR RAMP SURFACE. PROVIDE CONTINUOUS HANDRAIL TO AT LEAST ONE SIDE OF STAIRS.

MIN CLEARANCE FROM UNDERSIDE OF BEARER TO GROUND - 150MM IF TERMITE TREATMENT THAT REQUIRE INSPECTION IS INSTALLED BEARER CLEARANCE SHOULD BE INCREASED TO 400MM WHICH MAY REDUCE TO 150MM WITHIN 2000MM OF EXTERNAL WALLS.

- ENSURE GROUND SLOPES AWAY FROM BUILDING - MIN 50MM FOR THE FIRST METRE.  
- GRADE GROUND BENEATH SUBFLOOR TO PREVENT PONDING.

BUILDER AND RELEVANT SUBCONTRACTORS TO ENSURE ALL STORMWATER PIPES, SEWER PIPES, TRENCHING, EXCAVATIONS AND THE LIKE ARE LOCATED AT SUFFICIENT DISTANCE FROM ANY BUILDINGS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND IT'S FOOTING SYSTEM.

ENSURE TEMPORARY DOWNPIPES ARE INSTALLED DIRECTLY AFTER ROOFING AND MAINTAINED UNTIL PERMANENT DOWNPIPES ARE INSTALLED

ALL PLUMBING AND DRAINAGE TO COMPLY WITH AS 3500-2021

**DEMOLITION NOTES :**

CONSENT & REPORT FROM LOCAL COUNCIL MAY BE REQUIRED PRIOR TO ANY DEMOLITION WORKS. BUILDER TO CONFIRM WITH RBS WHEN APPLYING FOR DEMOLITION PERMIT.

PRECAUTIONS MUST BE TAKEN BEFORE & DURING DEMOLITION IN ACCORDANCE WITH AS2601-2001 "THE DEMOLITION OF STRUCTURES" - MEASURES MUST BE INSPECTED & APPROVED BY RBS PRIOR TO COMMENCEMENT OF DEMOLITION WORKS.

PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES & THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE & PROPERTY AND AS REQUIRED BY RBS.

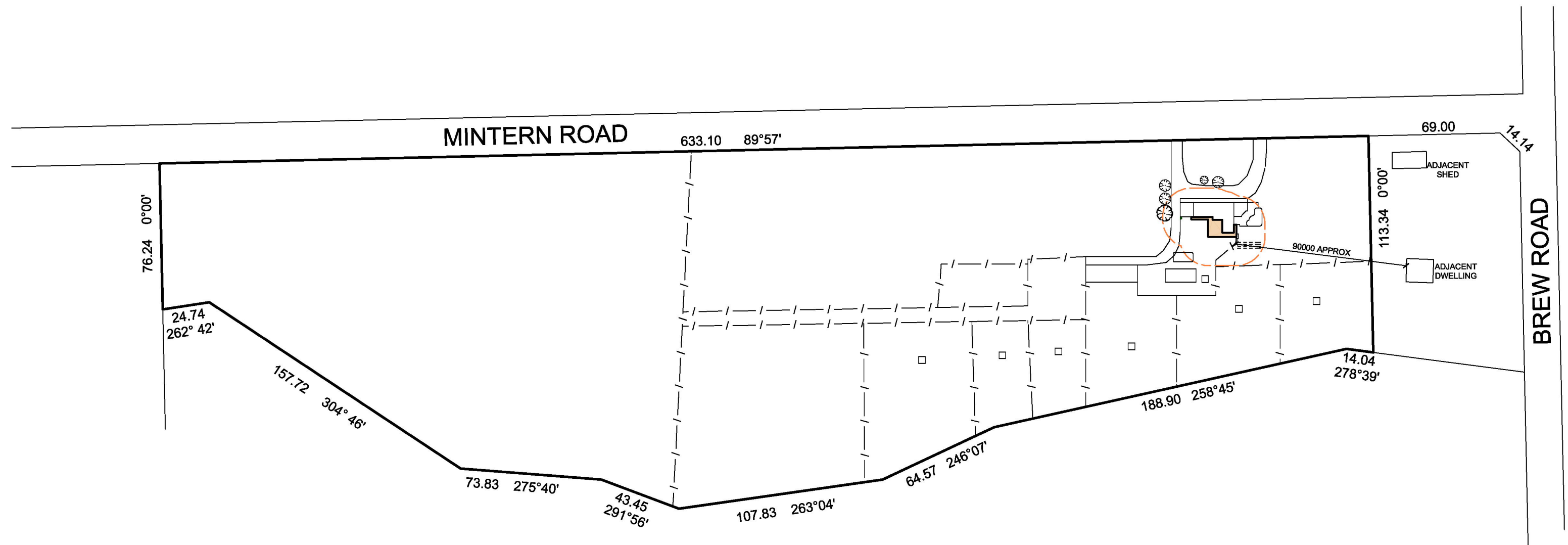
STRUCTURAL STABILITY OF ANY REMAINING STRUCTURE IS BUILDERS RESPONSIBILITY.

DISCONNECT ALL ELECTRICITY, TELECOMMUNICATION, GAS, WATER, STORMWATER & SEWAGE TO AFFECTED AREAS PRIOR TO ANY DEMOLITION WORKS.

BUILDER TO DO ASBESTOS AUDIT OF ENTIRE BUILDING PRIOR TO ANY WORKS AND ORGANISE FOR SAFE REMOVAL & DISPOSAL OF ANY ASBESTOS FOUND.

AREAS:		
SITE TOTAL:	91Ha	
EXISTING:	425m <sup>2</sup>	
NEW DECK 103.5:	m <sup>2</sup>	
SITE COVERAGE:	m <sup>2</sup>	%
PERMEABLE COVERAGE	m <sup>2</sup>	%
GARDEN AREA:	m <sup>2</sup>	%

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**SITE PLAN**  
1:2000



**AG's DRAFTING SERVICE**

ANDREW BERRY DP-AD 43292  
P.O BOX 373, PAKENHAM VIC 3810 0424 589 793  
www.ajsdrafting.com.au andrew@ajsdrafting.com.au

**Design Matters** Member

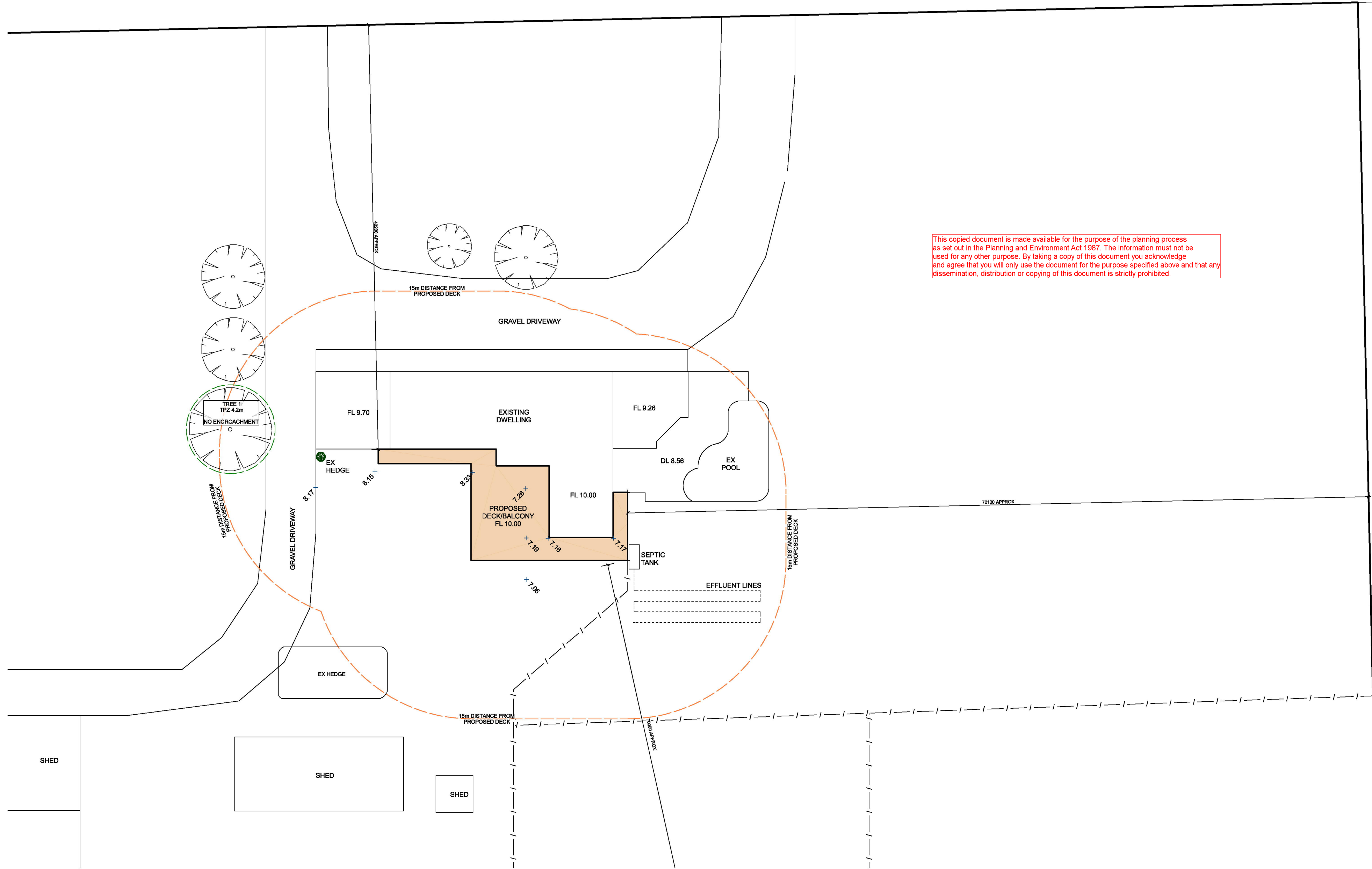
**PROPOSED BALCONY**

210 MINTERN ROAD, TYNONG NORTH VIC 3813

REV.	DESCRIPTION	DATE	DRAWN BY: A. BERRY
A.	COUNCIL RFI CHANGES	26/02/2024	SCALE: AS SHOWN
			DATE: 06/11/2023
			SHEET: 1 OF 7
			SHEET SIZE: A2
			DWG No: 23117

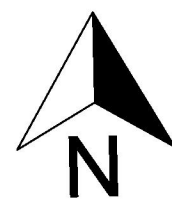
NOTE: OWNER TO ENSURE A BUILDING PERMIT IS IN PLACE (IF REQUIRED) PRIOR TO ANY WORK COMMENCING ON SITE

MINTERN ROAD



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PARTIAL SITE PLAN  
1:250



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 www.ajsdrafting.com.au andrew@ajsdrafting.com.au

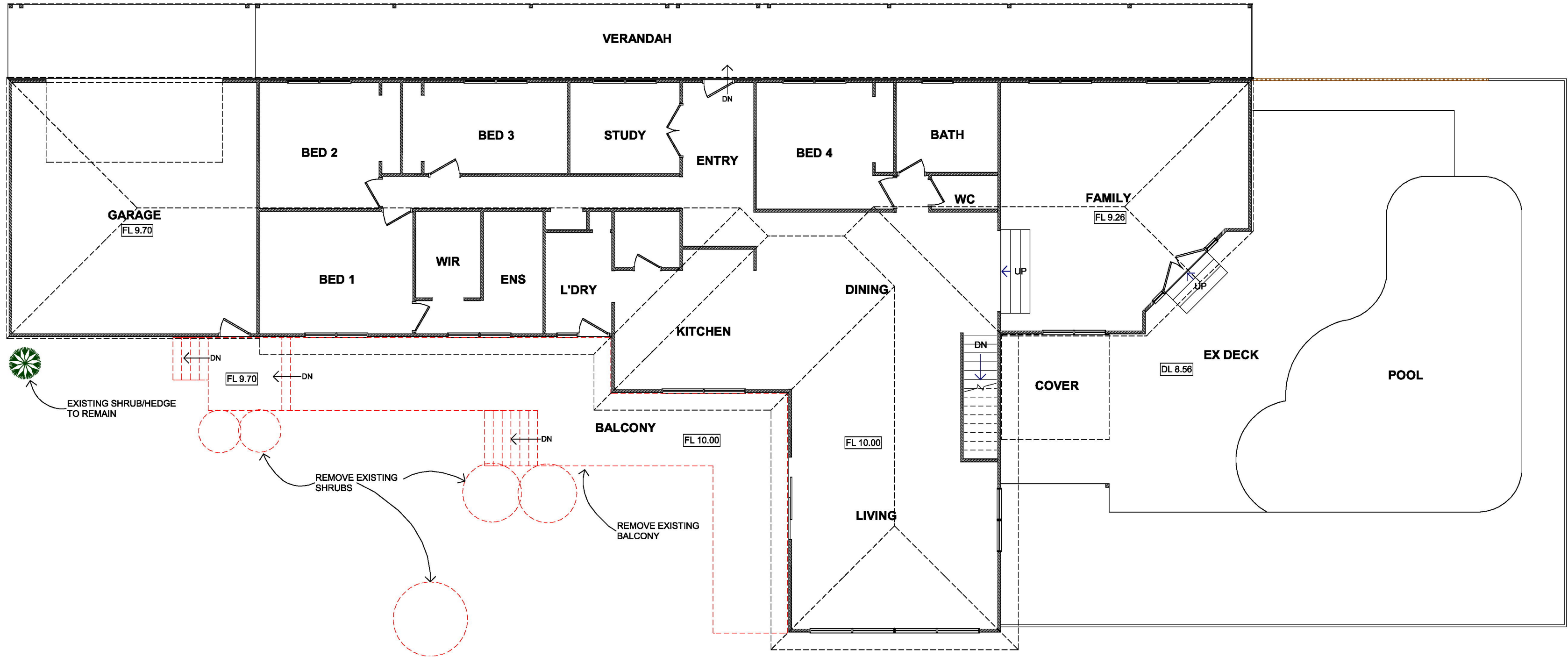
**PROPOSED BALCONY**  
 210 MINTERN ROAD, TYNONG NORTH VIC 3813

REV.	DESCRIPTION	DATE	DRAWN BY: A. BERRY
A.	COUNCIL RFI CHANGES	26/02/2024	SCALE: AS SHOWN
			DATE: 06/11/2023
			SHEET: 2 OF 7
			SHEET SIZE: A2
			DWG No: 23117

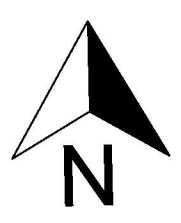
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EXISTING/DEMOLITION GROUND FLOOR PLAN  
1:100



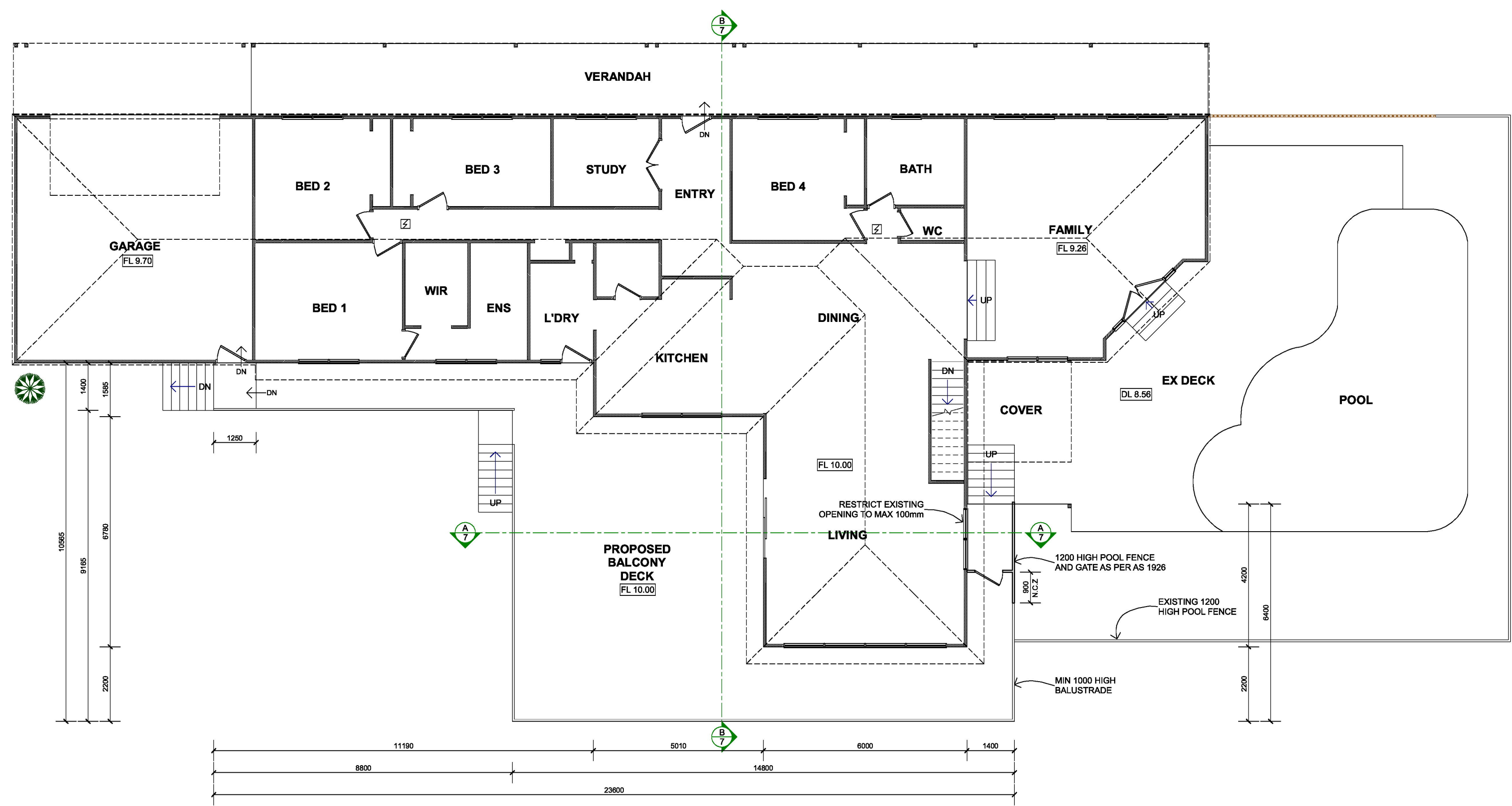
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 P.O BOX 373, PAKENHAM VIC 3810 0424 589 793  
 www.ajsdrafting.com.au andrew@ajsdrafting.com.au

**PROPOSED BALCONY**  
 210 MINTERN ROAD, TYNONG NORTH VIC 3813

REV.	DESCRIPTION	DATE	DRAWN BY: A. BERRY
A.	COUNCIL RFI CHANGES	26/02/2024	SCALE: AS SHOWN
			DATE: 06/11/2023
			SHEET: 3 OF 7
			SHEET SIZE: A2
NOTE: OWNER TO ENSURE A BUILDING PERMIT IS IN PLACE (IF REQUIRED) PRIOR TO ANY WORK COMMENCING ON SITE			DWG No: 23117

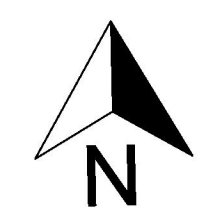
☑ PROVIDE INTER-CONNECTED SMOKE DETECTORS (HARDWIRED TO MAINS WITH BATTERY BACKUP) - TO COMPLY WITH A.S 3786-2014 -REFER PLANS FOR POSITIONS

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PROPOSED GROUND FLOOR PLAN  
1:100

NOTE:  
NO EARTHWORKS OR RETAINING WALL AS PART OF PROPOSED WORKS



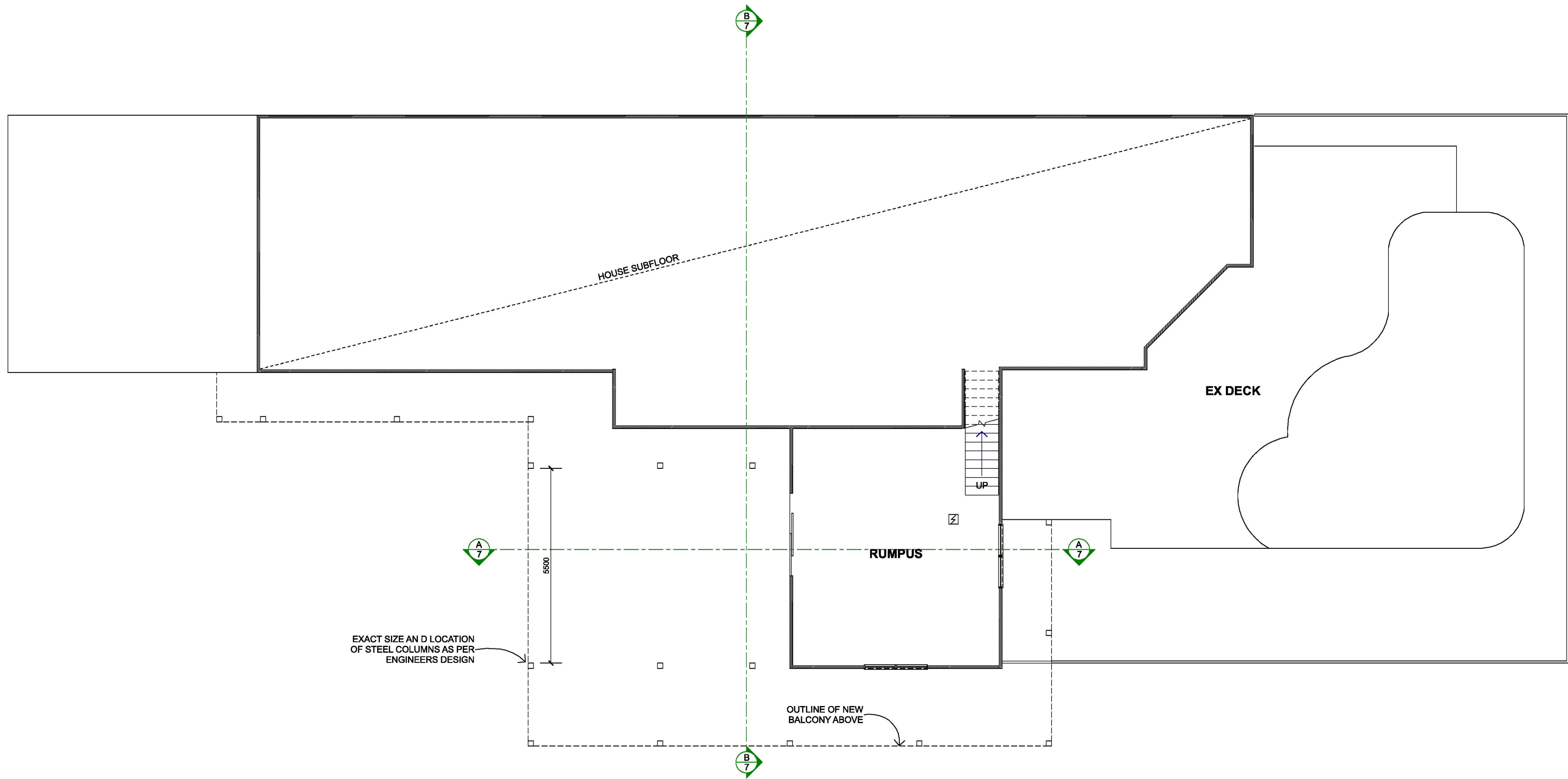
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PROPOSED BALCONY  
 210 MINTERN ROAD, TYNONG NORTH VIC 3813

REV.	DESCRIPTION	DATE	DRAWN BY: A. BERRY
A.	COUNCIL RFI CHANGES	26/02/2024	SCALE: AS SHOWN
			DATE: 06/11/2023
			SHEET: 4 OF 7
			SHEET SIZE: A2
			DWG No: 23117

NOTE: OWNER TO ENSURE A BUILDING PERMIT IS IN PLACE (IF REQUIRED) PRIOR TO ANY WORK COMMENCING ON SITE

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PROPOSED LOWER FLOOR PLAN  
1:100

**NOTE:**  
NO EARTHWORKS OR RETAINING WALL AS PART OF PROPOSED WORKS



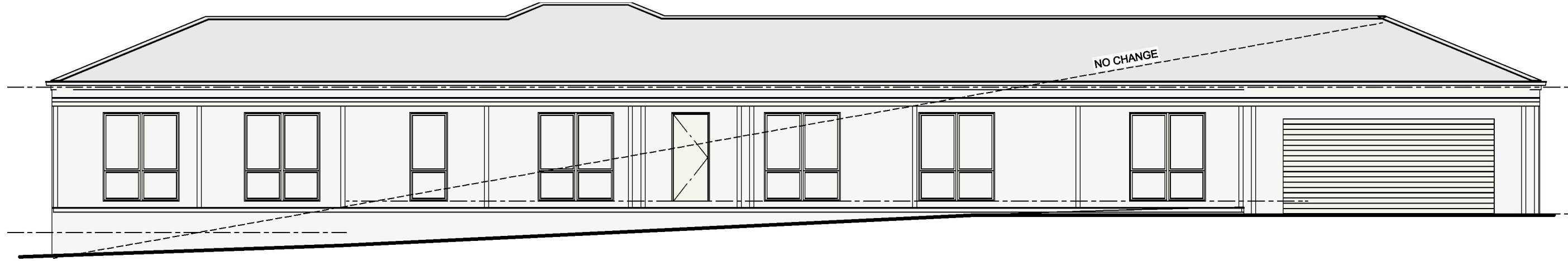
**AG's DRAFTING SERVICE**  
 ANDREW BERRY DP-AD 43292  
 P.O BOX 373, PAKENHAM VIC 3810 0424 589 793  
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**PROPOSED BALCONY**  
 [REDACTED]  
 210 MINTERN ROAD, TYNONG NORTH VIC 3813

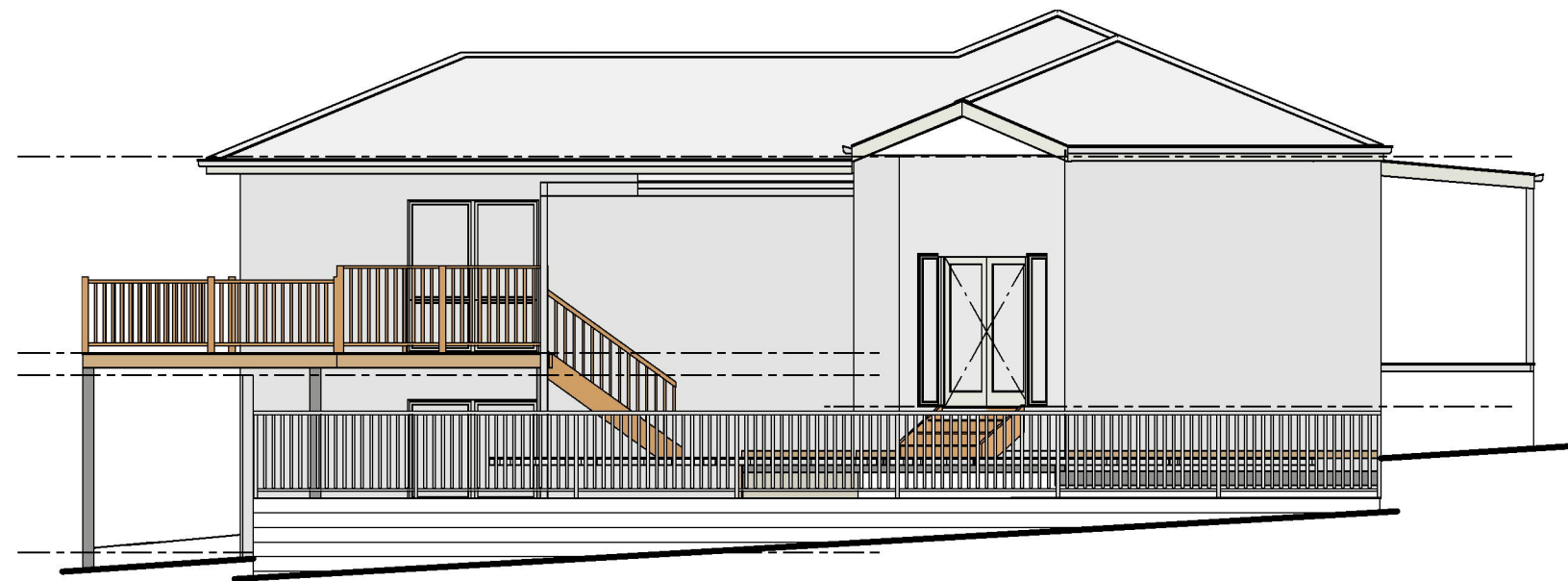
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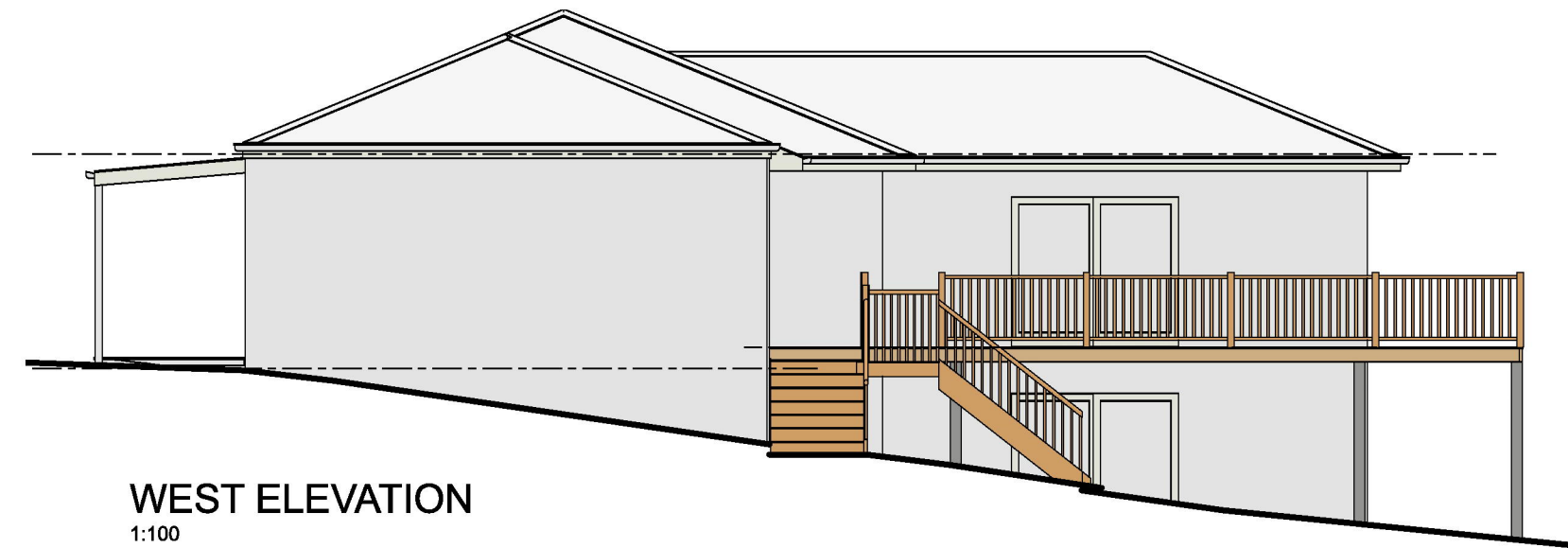
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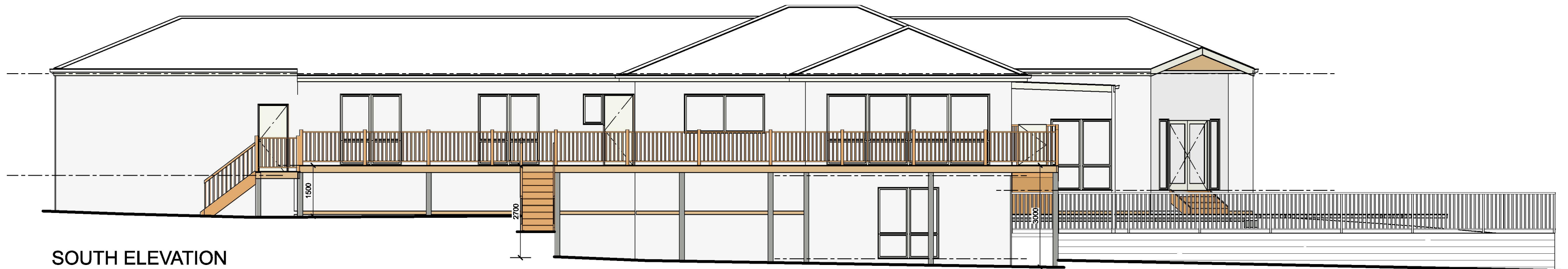
**NORTH ELEVATION**  
1:100



**EAST ELEVATION**  
1:100



**WEST ELEVATION**  
1:100



**SOUTH ELEVATION**  
1:100

**NOTE:**  
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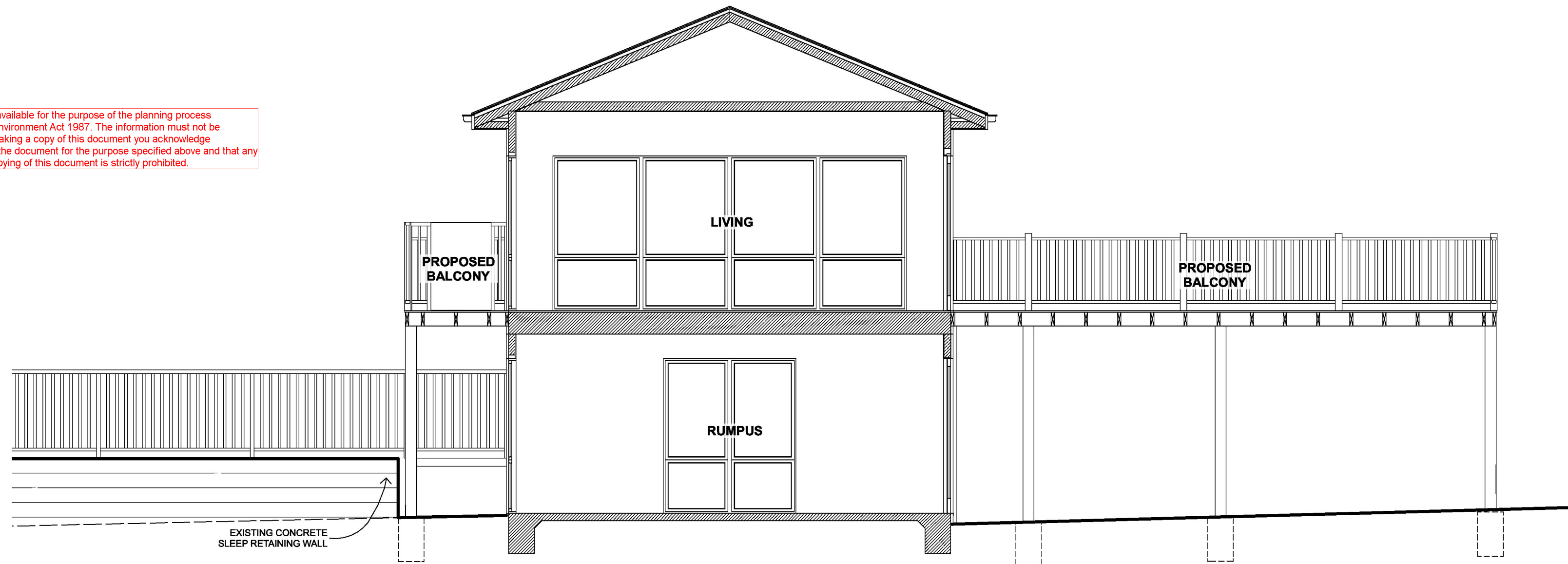
**PROPOSED BALCONY**

210 MINTERN ROAD, TYNONG NORTH VIC 3813

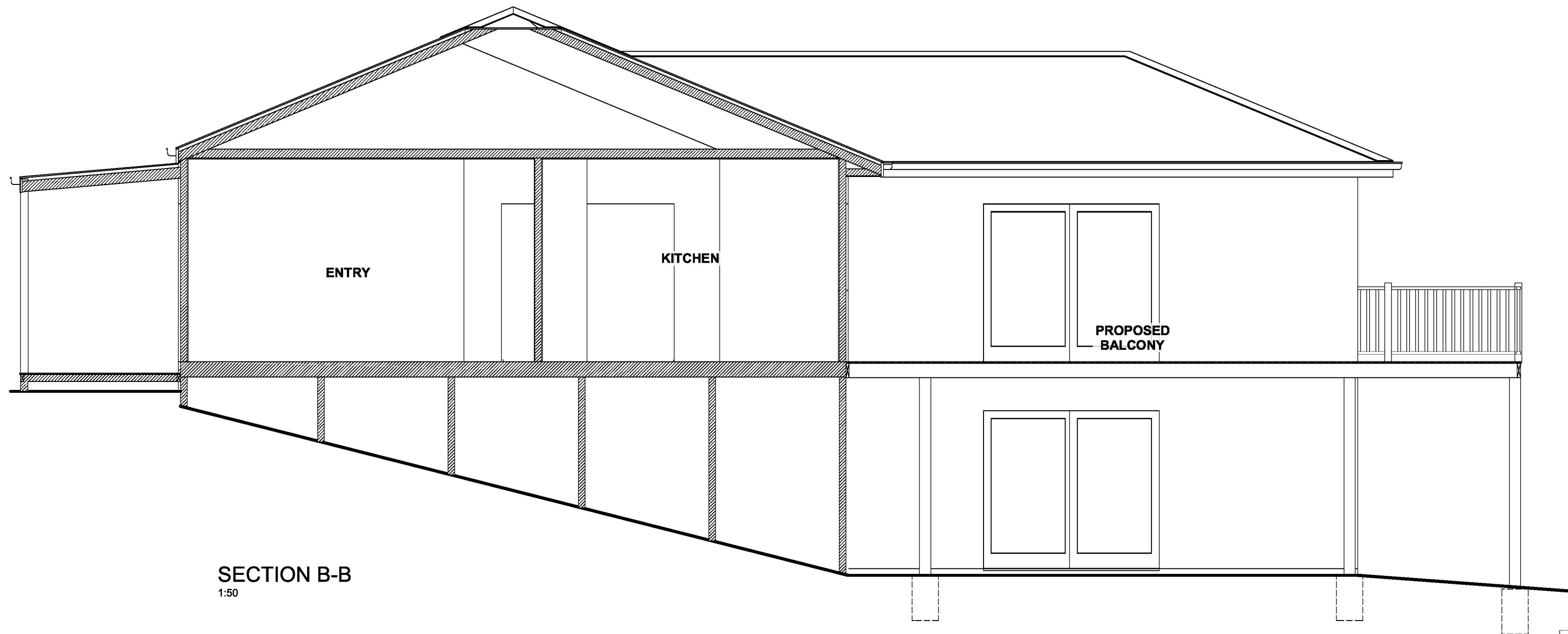
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SECTION A-A  
1:50



SECTION B-B  
1:50

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