


# Notice of Application for a Planning Permit

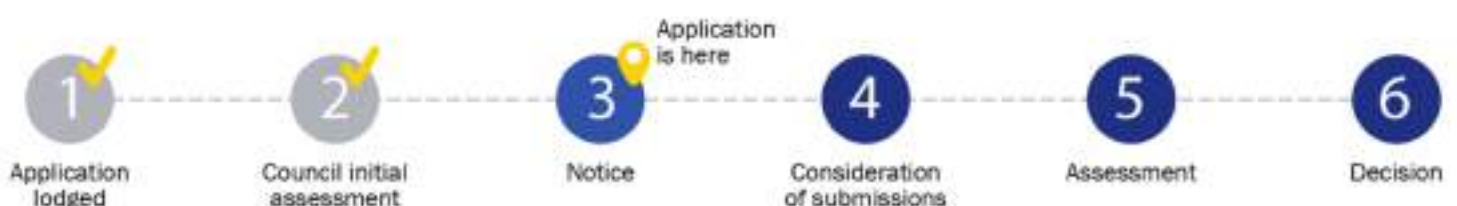
The land affected by the application is located at:	L1 PS848282 V12463 F639 32 Kings Road, Emerald VIC 3782
The application is for a permit to:	Buildings and works (construction of a dwelling and earthworks)

## APPLICATION DETAILS

The applicant for the permit is:	[REDACTED]
Application number:	T230554
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website: <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.	

## HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	04 October 2024	
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.	<b>An objection must:</b> <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> If you object, the Responsible Authority will notify you of the decision when it is issued.	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



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## Application Summary

Portal Reference A42321JK

## Basic Information

Proposed Use	The construction of a Single Story Dwelling.
Current Use	Newly Subsidised block. Currently has a 2 Car garage onsite; soon to be demolished and cleared to create a vacant block ready for the construction process.
Cost of Works	\$458,038
Site Address	32 Kings Road Emerald 3782

## Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

## Contacts

Type	Name	Address	Contact Details

## Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,383.30	100%	\$1,383.30
	<b>Total</b>		<b>\$1,383.30</b>

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**Civic Centre**  
20 Siding Avenue, Officer, Victoria  
**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810  
**Email:** mail@cardinia.vic.gov.au

**Monday to Friday 8.30am - 5pm**  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

## Documents Uploaded

Date	Type	Filename
04-11-2023	Site plans	Lot 1, No.32 Kings Road, Emerald_PRELIM E.PDF
04-11-2023	Overlay Requirements	BMP V1.0 32 Kings Road Emerald.pdf
04-11-2023	Additional Document	Survey.pdf
04-11-2023	Additional Document	Aborist Report.pdf
04-11-2023	A Copy of Title	Title.pdf
04-11-2023	A Copy of Title	Full POS.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

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# Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

### PERMIT APPLICATION DETAILS

Application No.:	T230554
Address of the Land:	32 Kings Road, Emerald

### APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	[REDACTED]
Address:	[REDACTED]
Phone:	[REDACTED]
Email:	[REDACTED]

### AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 - Amendment to application at request of applicant <b>before</b> notice:	<input type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority <b>before</b> notice:	<input type="checkbox"/>
Section 57A - Amendment to application <b>after</b> notice is given:	<input checked="" type="checkbox"/>

### AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Change to setback <sup>cut</sup> of house to protect Tree 2 TPZ.		
↳ Cut reduced in setback area. + reduced retaining wall height.		
↳ cut reduction reflected in Arborist Tree Impact Report.		
Plans have been revised.		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

#### DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been



Please submit this form, including all amended plans/documents, to [mail@cardinia.vic.gov.au](mailto:mail@cardinia.vic.gov.au)

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

#### IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 12463 FOLIO 639

Security no : 124109176625J  
Produced 19/09/2023 09:06 AM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 848282H.  
PARENT TITLE Volume 09359 Folio 898  
Created by instrument PS848282H 26/03/2023

**REGISTERED PROPRIETOR**



**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AW726373X 13/04/2023  
SUNCORP-METWAY LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AW482797V 24/01/2023

**DIAGRAM LOCATION**

SEE PS848282H FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 32 KINGS ROAD EMERALD VIC 3782

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 18478R FIRST LEGAL  
Effective from 13/04/2023

DOCUMENT END

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Document Identification	<b>PS848282H</b>
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Document Assembled	<b>19/09/2023 09:12</b>

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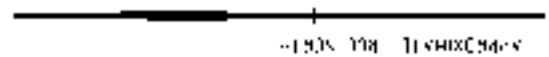
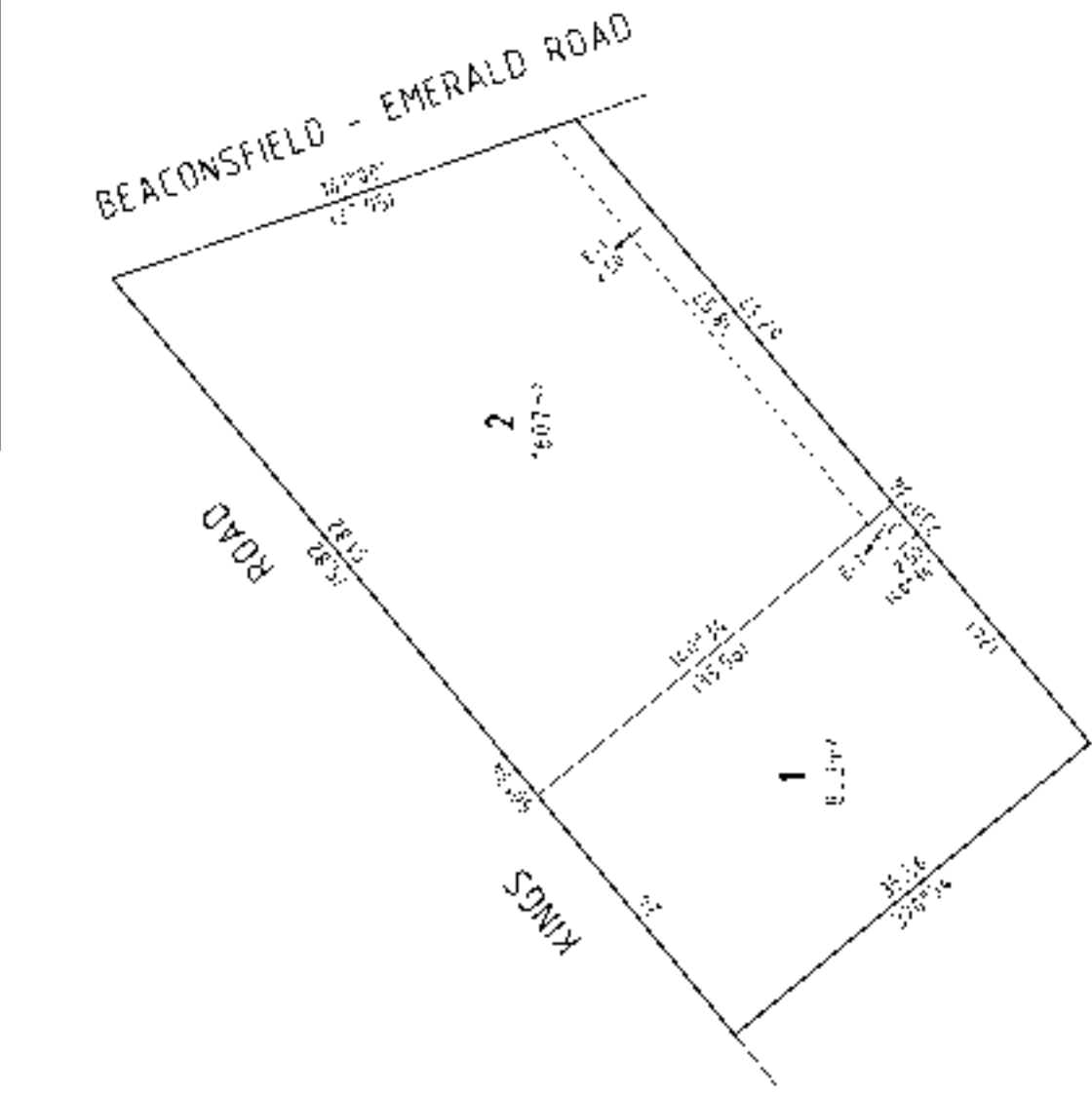
<b>PLAN OF SUBDIVISION</b>		<b>EDITION 1</b>	<b>PS 848282H</b>		
<p><b>LOCATION OF LAND</b></p> <p>AREA: 1.1100K                  TOWNSHIP: PLEASANT                  SECTION: 8                  BLOCK: 10                  LOT: 10                  DISTRICT: 03                  CANTON: 01                  COUNTY: 02                  TOWNSHIP: 01                  SECTION: 08                  BLOCK: 10                  LOT: 10</p> <p>POSTAL ADDRESS: 11500 115th Ave NE, Edina, MN 55425                  AT THE INTERSECTION:                  OF 115TH AVE NE AND                  OF 115TH ST NE</p>		<p>City and Name: Cassady Street Group</p> <p>Council Reference Number: 52-1037                  Planning Final File #: 2200407                  SPEAR Reference Number: S-76462-</p> <p><b>Certification</b></p> <p>This plan is certified under section 5 of the Subdivision Act 1988</p> <p>Public Open Space:                  An application for public open space under section 14 of the Subdivision Act 1988 has not been made</p> <p>Digitally signed by: Cassady Street Group, on 26/03/2023</p> <p><b>Statement of Compliance</b> issued 22/03/2023:</p>			
<b>VESTING OF ROADS AND/OR RESERVES</b>		<b>NOTATIONS</b>			
TRAFFIC:	COUNTY RESERVE:	TYPICAL: - DOES NOT APPLY THIS IS NOT A STAFFED SUBDIVISION			
N/A	N/A				
<p style="color: red;">This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>					
<b>EASEMENT INFORMATION</b>					
EASEMENT: 4. Appurtenant Easement      5. Encroaching Easement      6. Encroaching Easement (Recd)					
SECTION 107(1) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LOTS IN THIS PLAN					
Easement Reference	Priority	Width/Metric	Origin	Use Benefited or in Favor of	
1	DRAGAGE	2.10	THIS PLAN	CASSADY STREET GROUP	
 Speede Development Consultants Pty. Ltd. 10/115th Ave NE, Edina, MN 55425 25 Main Street, Suite 201, 115th St NE, Edina, MN 55425 Tel: 763-853-8888		SUBJECT: PS- 127455-02 DATE: 26/03/2023 Digitally signed by: John Peter Kerlan, Licensed Surveyor, Issuance of this document on: 15/03/2023 SPEAR Ref: S-76462-		CBS 94-1447 SCL 13	APPLICANT: JASMIN
				PLAN REGISTERED TIME: 12:07pm DATE: 26/03/23 BJS Assistant Registrar of Titles	



PS 848282H

PLAN OF SUBDIVISION

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**Spacie Development Consultants**  
 Pty. Ltd.  
 50/505 BIRKENHEAD AVENUE  
 MILDURA VIC 3214  
 G.P. MAIL BAG 10000 MELB VIC 3000  
 T 03 9450 6000 F 03 9450 6001

SCALE: 1:100

0 5 10 15  
 METRES

APPROVED BY: 127855 V2  
 EXPIRES: 30/06/2024  
 PREPARED BY: JAMES RICHARDS  
 SURVEYOR'S PLAN NUMBER: 16/01/2023 SPEAR Pt 848282H

DATE: 12/06/23  
 DRAWN BY: JAMES RICHARDS  
 CHECKED BY: JAMES RICHARDS  
 PROJECT: PS 848282H



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Document Identification	<b>AW482797V</b>
Number of Pages (excluding this cover sheet)	<b>16</b>
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**CARDINIA SHIRE COUNCIL**

and



**AGREEMENT MADE PURSUANT TO  
SECTION 173 OF THE PLANNING AND  
ENVIRONMENT ACT 1987**

Land: 8 Beaconsfield-Emerald Road, Emerald  
Victoria 3782

Russell Kennedy Pty Ltd ACN 126 792 470 ABN 14 940 129 185  
Level 12, 469 La Trobe Street, Melbourne VIC 3000 PO Box 5146, Melbourne VIC 3001 DX 494 Melbourne  
+61 3 9609 1555 +61 3 9609 1600 info@rk.com.au russellkennedy.com.au

Liability limited by a scheme approved under Professional Standards Legislation.

An international member of

**Ally Law**

## THIS AGREEMENT IS DATED

14 December 2022

2022

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## PARTIES

- 1 **CARDINIA SHIRE COUNCIL**  
of 20 Siding Avenue, Officer, Victoria 3809  
(Council)

## RECITALS

- A The Council is the responsible authority under the Act for the Scheme.  
B The Owner is registered or is entitled to be registered as proprietor of the Land.  
C Conditions 11(f), 12 and 14 of the Permit provide as follows:

\*11.

- (f) *Prior to the issue of a Statement of Compliance, the owner must enter into an agreement with the Responsible Authority made pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:*
- i. *The existing shed on Lot 1 of PS848282H will not be used for any other purpose other than a non-habitable outbuilding associated with a dwelling on the existing lot (CP109656) until such time that a Dwelling is constructed on Lot 1 PS848282H;*
  - ii. *Should no dwelling be commenced on Lot 1 of PS848282H within twelve (12) months of the registration of PS848282H, that the Owner/s will demolish and remove the outbuilding from the site within 60 days of this date; and*
  - iii. *Should no Certificate of Occupancy for the completion of that dwelling on Lot 1 of PS848282H be issued within twenty-four (24) months of the registration of PS848282H, that the Owner/s will demolish and remove the outbuilding from the site within 60 days of this date.*

*The owner/operator under this permit must pay the reasonable costs of the preparation, execution and registration of the section 173 agreement.*

12. *Before the statement of compliance is issued under the Subdivision Act 1988, the owner must enter into an agreement with the responsible authority under Section 173 of the Planning and Environment Act 1987. The agreement must:*
- (a) *State that it has been prepared for the purpose of an exemption from a planning permit under Clause 44.06-2 of the Cardinia Planning Scheme.*
  - (b) *Incorporate the plan prepared in accordance with Clause 53.02-4.4 of this planning scheme and approved under this permit.*
  - (c) *State that if a dwelling is constructed on the land without a planning permit that the bushfire protection measures set out in the plan incorporated into the agreement must be implemented and maintained to the satisfaction of the responsible authority on a continuing basis.*

*The land owner must pay the reasonable costs of the preparation, execution and registration of the Section 173 Agreement.*

14. *The section 173 agreement prepared in accordance with Clause 44.06-5 of the Cardinia Planning Scheme must explicitly exclude Lot 1 from the permit exemption in Clause 44.06-2 of the Scheme, for a building or works consistent with an agreement under Section 173 of the Act, prepared in accordance with a condition of permit issued under the requirements of Clause 44.06-5 of the Scheme."*

D This Agreement has been entered into in order to:

- (i) comply with conditions 11(f), 12 and 14 of the Permit;
- (ii) provide an exemption from a planning permit under Clause 44.06-2 of the Scheme;
- (iii) prohibit, restrict or regulate the use or development of the Land; and
- (iv) achieve and advance the objectives of planning in Victoria or the objectives of the Scheme in relation to the Land.

E This Agreement is made under Division 2 of Part 9 of the Act.

## OPERATIVE PROVISIONS

### 1 DEFINITIONS

In this Agreement:

- (a) **Act** means the *Planning and Environment Act 1987*.
- (b) **Agreement** means this Agreement, including the recitals and any annexures to this Agreement.
- (c) **Building** has the same meaning as it has in the Act.
- (d) **Bushfire Management Plan** means the plan prepared by BAL Assessments endorsed by Council on 16 May 2022 a copy of which is attached as Annexure 1 to this Agreement.
- (e) **Business Day** means Monday to Friday excluding public holidays in Victoria.
- (f) **Dwelling** has the same meaning as in the Scheme.
- (g) **Land** means the land known as 8 Beaconsfield-Emerald Road, Emerald Victoria 3782 being the whole of the land more particularly described in certificate of title volume 09359 folio 898.
- (h) **Lot 1** means lot 1 on plan of subdivision PS848282H.
- (i) **Mortgagee** means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as mortgagee of the Land or any part of it.
- (j) **Occupancy Permit** means an Occupancy Permit issued by a private building surveyor or municipal building surveyor under the provisions of the *Building Act 1993 (Vic)*.

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- (k) **Owner** means the person or persons who are registered or are entitled to be registered as proprietor of an estate in the Land or any part thereof, and includes a mortgagee in possession.
- (l) **Permit** means planning permit T210437, as amended from time to time, issued in respect of the Land by Council on 1 November 2021 allowing for a “two (2) lot subdivision, generally in accordance with the approved plans”.
- (m) **Plan** means the proposed plan of subdivision, a copy of which is attached as Annexure 2 to this Agreement.
- (n) **Scheme** means the Cardinia Planning Scheme or any other planning scheme which applies to the Land from time to time.

## 2 COMMENCEMENT

This Agreement comes into force on the date it was made as set out above.

## 3 ENDING OR AMENDING AGREEMENT

### 3.1 Ending or amending

This Agreement ends or may be amended in accordance with the Act.

### 3.2 Cancellation or alteration of recording

As soon as reasonably practicable after this Agreement has ended or has been amended, the Council must, at the request and at the cost of the Owner, apply to the Registrar of Titles under the Act to cancel or alter the recording of this Agreement on the folio of the Register to the Land.

## 4 OWNER'S COVENANTS

### 4.1 Bushfire management

The Owner covenants and agrees that:

- 4.1.1 this Agreement has been prepared for the purpose of an exemption from a planning permit under Clause 44.06-2 of the Scheme;
- 4.1.2 if a Dwelling is constructed on the Land without a planning permit, the bushfire protection measures set out in the Bushfire Management Plan must be implemented and maintained to the satisfaction of Council on a continuing basis;
- 4.1.3 any Building and any vegetation must be managed and maintained on the Land in accordance with the Bushfire Management Plan, in perpetuity;

all at no cost to Council and to the satisfaction of the Council.

- 4.1.4 Notwithstanding clauses 4.1.1, 4.1.2 and 4.1.3 above, the Owner covenants and agrees that Lot 1 is excluded from the following exemption under Clause 44.06-2 of the Scheme:

*“A building or works consistent with an agreement under section 173 of the Act prepared in accordance with a condition of permit issued under the requirements of clause 44.06-5.”*

## 4.2 Lot 1 requirements

The Owner covenants and agrees that:

- 4.2.1 the existing shed on Lot 1 must not be used for any purpose other than a non-habitable outbuilding associated with a Dwelling, until a Dwelling is constructed on Lot 1 in accordance with the permit;
- 4.2.2 if no works for a Dwelling are commenced on Lot 1 within 12 months of the registration of the Plan, the Owner must demolish and remove the shed from Lot 1 within 60 days from the date after the 12 month period expires; and
- 4.2.3 if no Occupancy Permit is issued for the Dwelling to be completed on Lot 1 within 24 months of the registration of the Plan, the Owner must demolish and remove the shed from Lot 1 within 60 days from the date after the 24 month period expires.

## 4.3 Successors in title

Until this Agreement is recorded on the folio of the Register which relates to the Land pursuant to section 181 of the Act, the Owner must ensure that the Owner's successors in title give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement including requiring the successors in title to execute a deed agreeing to be bound by the terms of this Agreement. Until that deed is executed, the Owner, being a party to this Agreement, remains liable to perform all of the Owner's obligations contained in this Agreement.

## 4.4 Further assurance

The Owner must do all things necessary (including signing any further agreement, acknowledgment or document) to enable the Council to record this Agreement on the folio of the Register which relates to the Land.

## 4.5 Payment of Council's costs

The Owner agrees to pay on demand to the Council the Council's costs and expenses (including any legal fees incurred on a solicitor-client basis) of and incidental to the preparation, execution, recording, removal, amendment and enforcement of this Agreement.

## 4.6 Mortgagee to be bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes mortgagee in possession of the Land.

## 4.7 Indemnity

The Owner covenants to indemnify and keep the Council, its officers, employees, agents, workmen and contractors indemnified from and against all costs, expenses, losses or damages which they or any of them may sustain incur or suffer or be or become liable for or in respect of any suit, action, proceeding, judgement or claim brought by any person arising from or referable to this Agreement or any non-compliance with this Agreement.

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#### 4.8 Non-compliance

If the Owner has not complied with this Agreement within 14 days after the date of service on the Owner by the Council of a notice which specifies the Owner's failure to comply with any provision of this Agreement, the Owner covenants:

- 4.8.1 to allow the Council its officers, employees, agents, workmen and contractors to enter the Land and rectify the non-compliance;
- 4.8.2 to pay to the Council on demand, the Council's reasonable costs and expenses (**Costs**) incurred as a result of the Owner's non-compliance;
- 4.8.3 to pay interest at the rate of 2% above the rate prescribed under section 2 of the *Penalty Interest Rates Act 1983* on all moneys which are due and payable but remain owing under this Agreement until they are paid in full;
- 4.8.4 if requested to do so by the Council, to promptly execute in favour of the Council a mortgage to secure the Owner's obligations under this Agreement,

and the Owner agrees:

- 4.8.5 to accept a certificate signed by the Chief Executive Officer of the Council (or any nominee of the Chief Executive Officer) as prima facie proof of the Costs incurred by the Council in rectifying the Owner's non-compliance with this Agreement;
- 4.8.6 that any payments made for the purposes of this Agreement shall be appropriated first in payment of any interest and any unpaid Costs of the Council and then applied in repayment of the principal sum;
- 4.8.7 that all Costs or other monies which are due and payable under this Agreement but which remain owing shall be a charge on the Land until they are paid in full; and
- 4.8.8 if the Owner executes a mortgage as required by clause 4.8.4, any breach of this Agreement is deemed to be a default under that mortgage.

#### 4.9 Standard of works

The Owner covenants to comply with the requirements of this Agreement and to complete all works required by this Agreement as expeditiously as possible at its cost and to the satisfaction of the Council.

#### 4.10 Council access

The Owner covenants to allow the Council and its officers, employees, agents, workmen and contractors or any of them, to enter the Land (at any reasonable time) to assess compliance with this Agreement.

#### 4.11 Covenants run with the Land

The Owner's obligations in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Land and every part of the Land.



#### 4.12 Owner's warranty

The Owner warrants and covenants that:

- 4.12.1 the Owner is the registered proprietor (or is entitled to become the registered proprietor) of the Land and is also the beneficial owner of the Land;
- 4.12.2 the execution of this Agreement by the Owner complies with the Registrar's Requirements for Paper Conveyancing Transactions made under section 106A of the *Transfer of Land Act 1958*;
- 4.12.3 there are no mortgages, liens, charges or other encumbrances or leases or any rights inherent in any person other than the Owner affecting the Land which have not been disclosed by the usual searches of the folio of the Register for the Land or notified to the Council;
- 4.12.4 no part of the Land is subject to any rights obtained by adverse possession or subject to any easements or rights described or referred to in section 42 of the *Transfer of Land Act 1958*; and
- 4.12.5 until this Agreement is recorded on the folio of the Register which relates to the Land, the Owner will not sell, transfer, dispose of, assign, mortgage or otherwise part with possession of the Land or any part of the Land without first disclosing to any intended purchaser, transferee, assignee or mortgagee the existence and nature of this Agreement.

### 5 GENERAL

#### 5.1 No fettering of Council's powers

This Agreement does not fetter or restrict the Council's power or discretion in respect of any of the Council's decision making powers including but not limited to an ability to make decisions under the *Local Government Act 2020*, and the Act or to make or impose requirements or conditions in connection with any use or development of the Land or the granting of any planning permit, the approval or certification of any plans of subdivision or consolidation relating to the Land or the issue of a Statement of Compliance in connection with any such plans.

#### 5.2 Time of the essence

Time is of the essence as regards all dates, periods of time and times specified in this Agreement.

#### 5.3 Governing law and jurisdiction

This Agreement is governed by and is to be construed in accordance with the laws of Victoria. Each party irrevocably and unconditionally submits to the non-exclusive jurisdiction of the courts and tribunals of Victoria and waives any right to object to proceedings being brought in those courts or tribunals.

#### 5.4 Enforcement and severability

- 5.4.1 This Agreement shall operate as a contract between the parties and be enforceable as such in a Court of competent jurisdiction regardless of whether, for any reason, this Agreement were held to be unenforceable as an agreement pursuant to Division 2 of Part 9 of the Act.

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5.4.2 If a Court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void; then it shall be severed and the other provisions of this Agreement shall remain operative.

## 6 NOTICES

### 6.1 Service of notice

A notice or other communication required or permitted, under this Agreement, to be served on a person must be in writing and may be served:

- 6.1.1 personally on the person;
- 6.1.2 by leaving it at the person's address set out in this Agreement;
- 6.1.3 by posting it by prepaid post addressed to that person at the person's current address for service;
- 6.1.4 by email to the person's current email address notified to the other party; or
- 6.1.5 by facsimile to the person's current number notified to the other party.

### 6.2 Time of service

A notice or other communication is deemed served:

- 6.2.1 if served personally or left at the person's address, upon service;
- 6.2.2 if posted within Australia to an Australian address by express post, two Business Days; by standard post, six Business Days after posting;
- 6.2.3 if sent by email, subject to the clause 6.2.5, at the time of receipt as specified in section 13A of the *Electronic Transactions (Victoria) Act 2000*;
- 6.2.4 if served by facsimile, subject to the clause 6.2.5, at the time indicated on the transmission report produced by the sender's facsimile machine indicating that the facsimile was sent in its entirety to the addressee's facsimile; and
- 6.2.5 if received after 5.00pm in the place of receipt or on a day which is not a Business Day, at 9.00am on the next Business Day.

### 6.3 Proof of receipt of notice by email

In proving that a notice given by email has been received by the recipient, it is sufficient to produce an acknowledgement or receipt that the email has reached the recipient's email address.

## 7 INTERPRETATION

In this Agreement, unless the contrary intention appears:

- 7.1 the singular includes the plural and vice versa;
- 7.2 a reference to a document or instrument, including this Agreement, includes a reference to that document or instrument as novated, altered or replaced from time to time;

- 7.3 a reference to an individual or person includes a partnership, body corporate, government authority or agency and vice versa;
- 7.4 a reference to a party includes that party's executors, administrators, successors, substitutes and permitted assigns;
- 7.5 words importing one gender include other genders;
- 7.6 other grammatical forms of defined words or expressions have corresponding meanings;
- 7.7 a covenant, undertaking, representation, warranty, indemnity or agreement made or given by:
- 7.7.1 two or more parties; or
- 7.7.2 a party comprised of two or more persons;
- is made or given and binds those parties or persons jointly and severally;
- 7.8 a reference to a statute, code or other law includes regulations and other instruments made under it and includes consolidations, amendments, re-enactments or replacements of any of them;
- 7.9 a recital, schedule, annexure or description of the parties forms part of this Agreement;
- 7.10 if an act must be done on a specified day that is not a Business Day, the act must be done instead on the next Business Day;
- 7.11 if an act required to be done under this Agreement on a specified day is done after 5.00pm on that day in the time zone in which the act is performed, it is taken to be done on the following day;
- 7.12 a reference to an authority, institution, association or body (original entity) that has ceased to exist or been reconstituted, renamed or replaced or whose powers or functions have been transferred to another entity, is a reference to the entity that most closely serves the purposes or objects of the original entity;
- 7.13 headings and the provision of a table of contents are for convenience only and do not affect the interpretation of this Agreement.

**EXECUTED** pursuant to Division 2 of Part 9 of the Act.

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**SIGNED** by and on behalf, and with the Authority of the **CARDINIA SHIRE COUNCIL** by **L [REDACTED] MANAGER PLANNING AND DESIGN** in the exercise of a power conferred by an Instrument of Delegation dated 19 July 2021 in the Presence of:

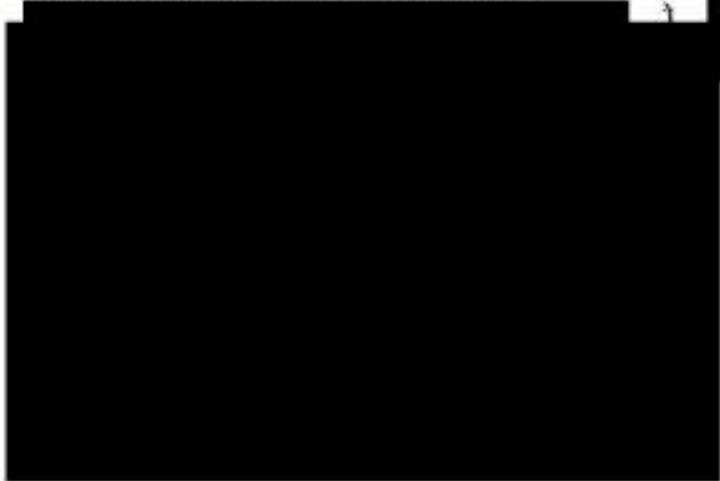
***[If witnessing in person and not by audio visual link, cross out the following paragraphs]***

I confirm that:

in accordance with section 12 of the *Electronic Transactions (Victoria) Act 2000*

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SIGNED SEALED AND DELIVERED )  
)



AW482797V

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SIGNED, SEALED AND DELIVERED

[Redacted signature area]

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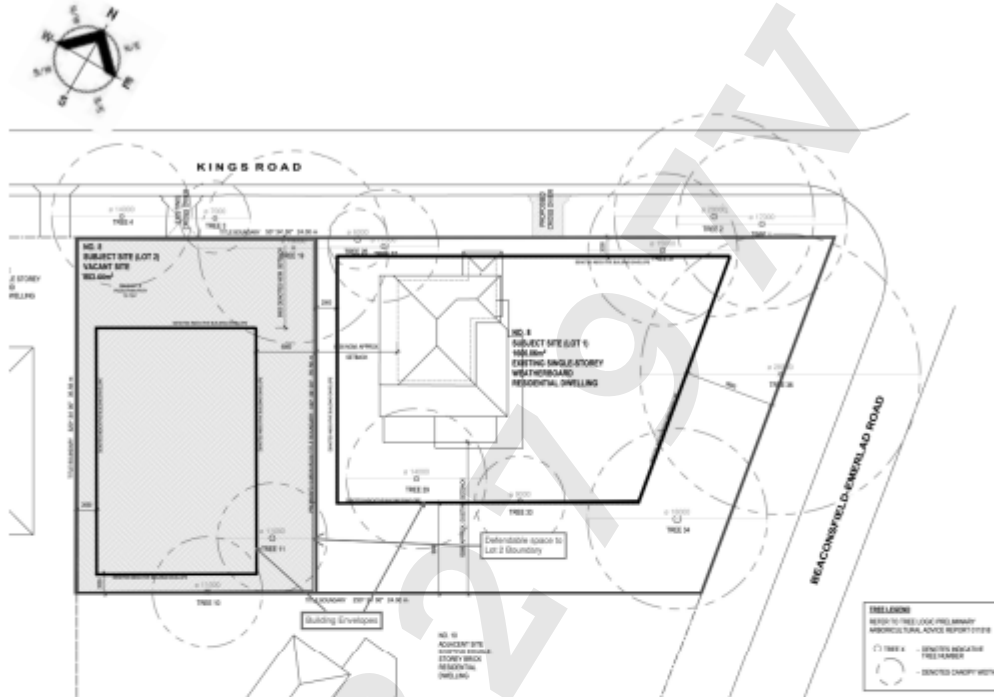
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## ANNEXURE 1 (Bushfire Management Plan)

### Bushfire Management Overlay Assessment: Beaconsfield-Emerald Rd 8, Emerald

#### Bushfire Management Plan – Lot 2

The building works will be designed and constructed to BAL-12.5



APPROVED PLAN  
PLANNING AND ENVIRONMENT ACT 1987  
CARDINA PLANNING SCHEME

Permit No.: T210437 PC-1 (Con. 01 BMP)  
Sheet: 1 of 2  
Approved by: Mary Rush  
CARDINA SHIRE COUNCIL  
Date: Monday, 16 May 2022

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## **Bushfire Management Overlay Assessment: Beaconsfield-Emerald Rd 8, Emerald**

### **Bushfire Management Plan – Lot 2**

The bushfire protection measures forming part of the permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorized by the permit has been completed.

#### **1. Defendable Space**

Defendable space to a distance of the property boundary around the buildings is provided and is managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of new trees must be separated by at least 5 metres, the existing trees shown on the enclosed Bushfire Management Plan may remain.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

#### **2. Construction standards**

The building works shall be designed and constructed to BAL-12.5.

#### **3. Water Supply**

5,000 litres of effective water supply for fire fighting purposes which meets the following requirements:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above-ground water pipes and fittings required for fire fighting purposes be made of corrosive resistant metal.

#### **4. Access**


CFA vehicle access will not be required as the CFA can work from the road and access is not required to the water tank.

APPROVED PLAN PLANNING AND ENVIRONMENT ACT 1987 CARDINA PLANNING SCHEME	
Permit No.	T210437 PC1 (Con. 01 BMP)
Sheet	3 of 2
Approved by	Mary Rush CARDINA SHIRE COUNCIL
Date	Monday, 16 May 2022

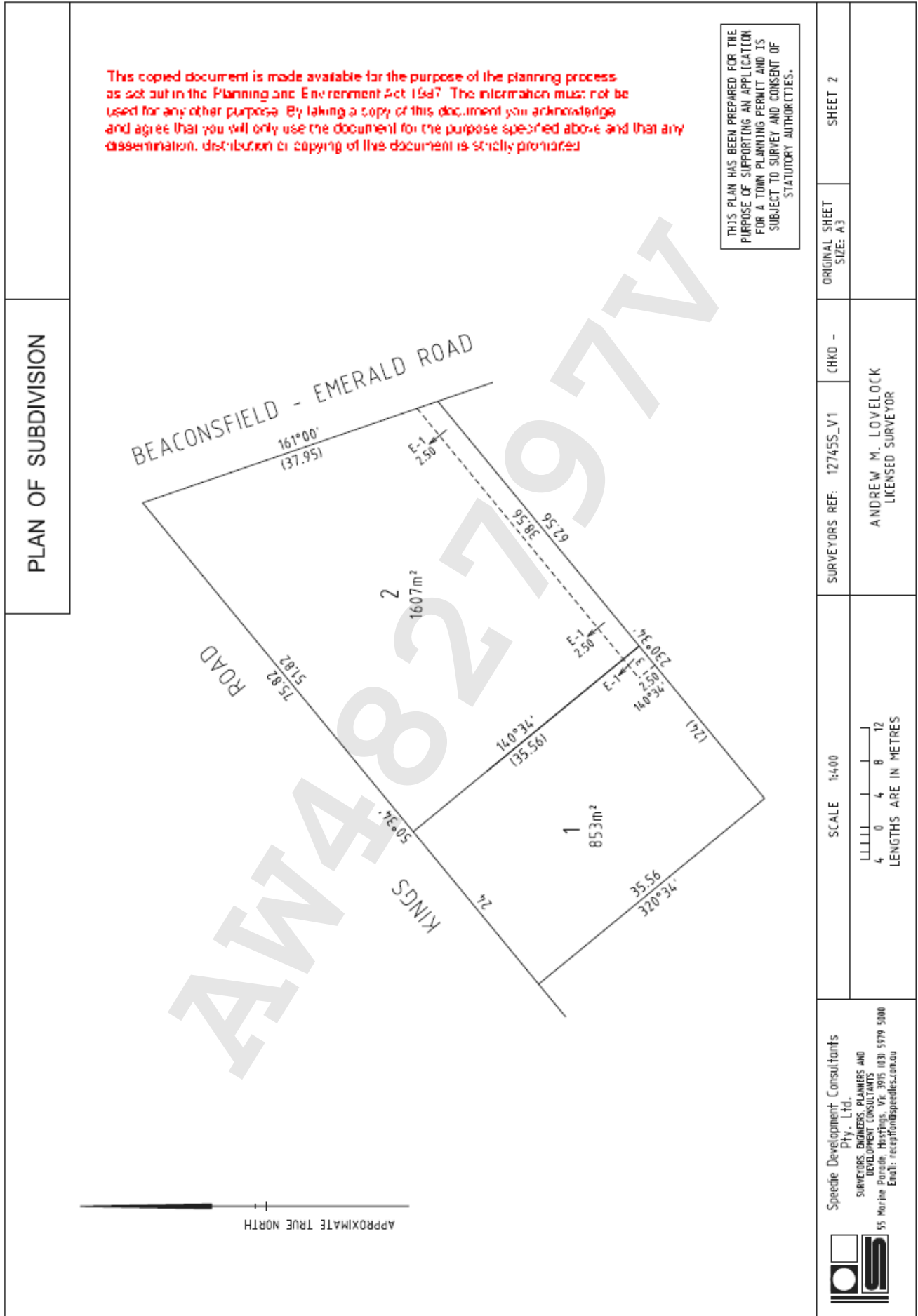
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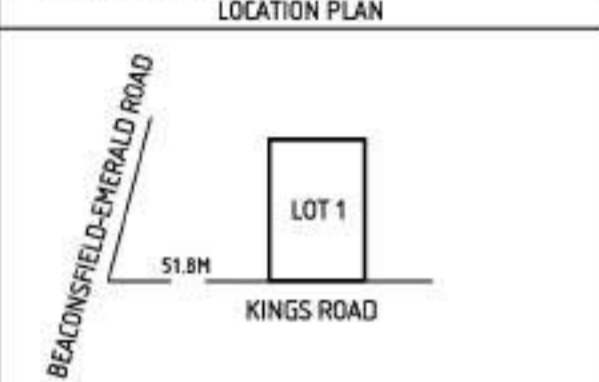
**ANNEXURE 2  
(Plan)**

<b>PLAN OF SUBDIVISION</b>		<b>EDITION 1</b>			
<b>LOCATION OF LAND</b>  PARISH: GEMBROOK TOWNSHIP: EMERALD SECTION: A CROWN ALLOTMENT: 10 (PART) CROWN PORTION: --- TITLE REFERENCE: VOL 9359 FOL 898  LAST PLAN REFERENCE: CP 109656  POSTAL ADDRESS (AT TIME OF SUBDIVISION) 8 BEACONSFIELD-EMERALD ROAD EMERALD 3782 MGA2020 COORDINATES (OF APPROX. CENTRE OF PLAN) E: 363 395 ZONE: 55 N: 5 800 710 GDA 2020		Council Name: Cardinia Shire Council SPEAR Reference Number: S178462H			
VESTING OF ROADS AND/OR RESERVES		NOTATIONS			
IDENTIFIER	COUNCIL/BODY/PERSON	DEPTH LIMITATION - DOES NOT APPLY THIS IS NOT A STAGED SUBDIVISION THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARK Nos. 10 & 199.			
NIL	NIL				
THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF SUPPORTING AN APPLICATION FOR A TOWN PLANNING PERMIT AND IS SUBJECT TO SURVEY AND CONSENT OF STATUTORY AUTHORITIES.					
<b>EASEMENT INFORMATION</b>					
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THIS PLAN.					
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited or in favour of	
E-1	DRAINAGE	2.50	THIS PLAN	CARDINIA SHIRE COUNCIL	
 Speedie Development Consultants Pty. Ltd. SURVEYORS, ENGINEERS, PLANNERS AND DEVELOPMENT CONSULTANTS 55 Marine Parade, Hastings, Vic 3915 (03) 5979 5000 Email: reception@speedies.com.au		SURVEYORS REF: 12745S_V1	CHKD -	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 2 SHEETS
		ANDREW M. LOVELOCK LICENSED SURVEYOR			

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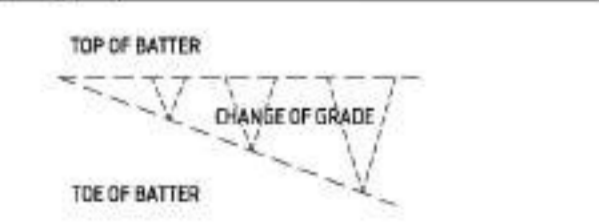


- SURVEY NOTES**
- LEVELS ARE TO AN ARBITRARY DATUM.
  - CONTOUR INTERVALS AT 0.2 METRES.
  - BOUNDARIES ARE UNFENCED UNLESS NOTED OTHERWISE.
  - THE BEARINGS AND DISTANCES OF BOUNDARIES SHOWN ON THIS PLAN ARE FROM PS 848282H ED.1 ONLY AND NOT BASED ON ANY ACCURATE TITLE SURVEY.
  - THIS IS NOT A PLAN OF TITLE BOUNDARY RE-ESTABLISHMENT. A RE-ESTABLISHMENT SURVEY IS REQUIRED TO CONFIRM THE RELATIONSHIP BETWEEN ANY FEATURES SHOWN ON THIS PLAN AND TITLE BOUNDARIES.
  - APPROXIMATE SETBACKS ARE SHOWN FROM EXISTING FENCES. REFER TO TITLE FOR EASEMENT DETAILS.
  - THE LOCATIONS OF SURFACE PITS, VALVE COVERS ETC. SHOWN HEREON HAVE BEEN DETERMINED BY THIS SURVEY. NO DIRECT KNOWLEDGE IS CLAIMED OF THE LOCATION OF UNDERGROUND SERVICES.
  - PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO LOCATE POSSIBLE UNDERGROUND SERVICES.
  - ADJOINING PROPERTY INFORMATION IS A COMBINATION OF GROUND MEASUREMENT AND INTERPRETATION OF AERIAL IMAGERY.
  - DATE OF SURVEY: 19/07/2023

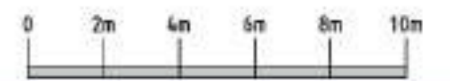
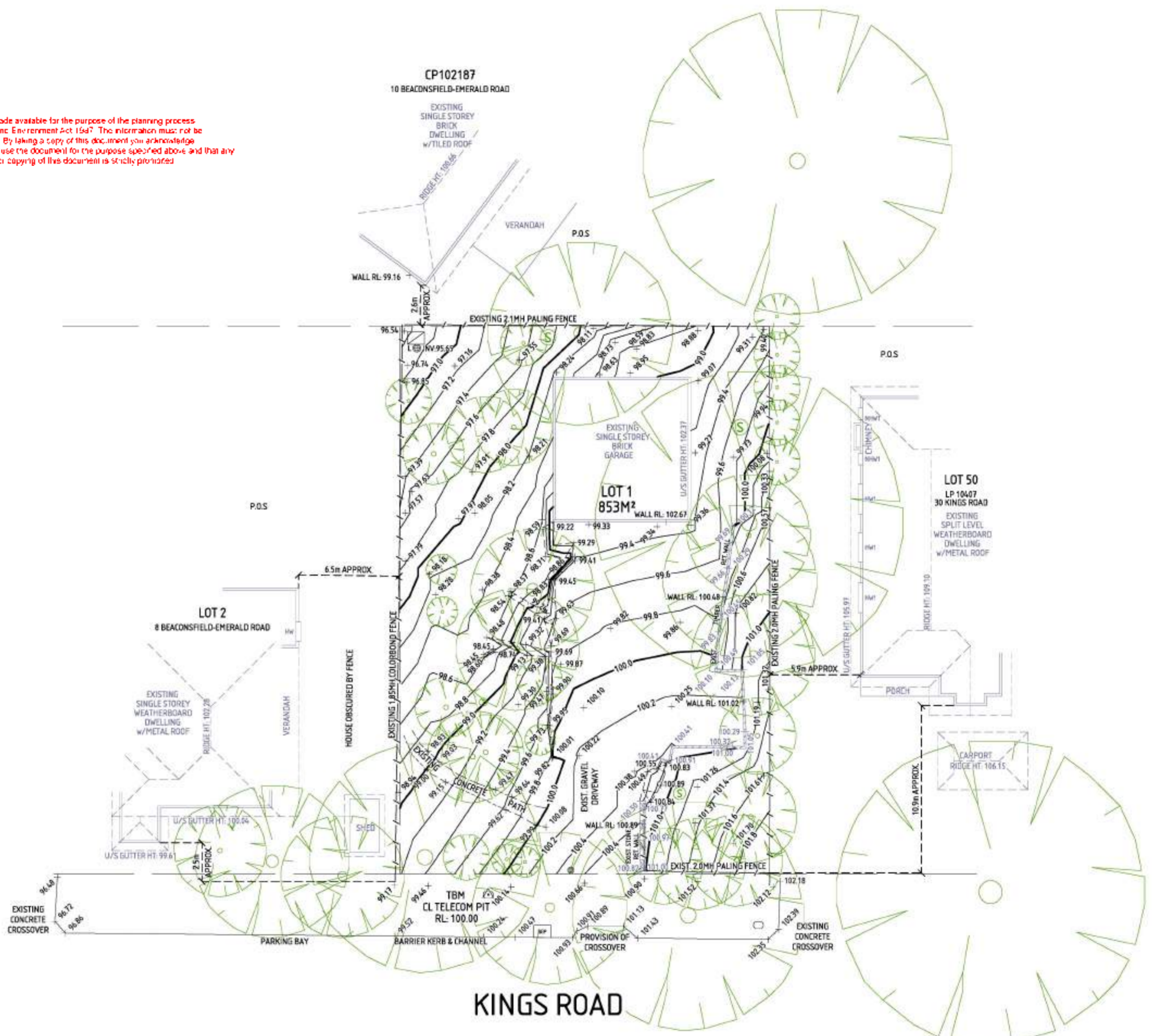


**LEGEND**

FFL	FINISHED FLOOR LEVEL
INV	INVERT LEVEL
P.O.S	PRIVATE OPEN SPACE
HW	HABITABLE WINDOW
NHW	NON HABITABLE WINDOW
1	FIRST FLOOR
⊙	PIPE (UNKNOWN)
L ⊙	LEGAL POINT OF DISCHARGE
⚠	TEMPORARY SITE LEVEL BENCHMARK
⊙	TREE STUMP
⊙	TREE TRUNK
⊙	SIDE ENTRY PIT
⊙	TELSTRA/NBN PIT
⊙	STORMWATER JUNCTION PIT



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LICENSED SURVEYOR	CLIENT	SJD HOMES	SHEET	FEATURE SURVEY PLAN	PROJECT ADDRESS	NO. 32 KINGS ROAD, EMERALD, VIC LOT 1 PS 848282H ED.1		DESIGN BY	TOTN	REVISION	1	PROJECT NO.	3.23.6572.1
			SCALE 1:200 @ A2					CHECKED		DATE	20/07/2023	SHEET NO.	1 of 1

## GENERAL NOTES (NCC 2019 BCA Vol 2)

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019, THE BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- UNLESS OTHERWISE SPECIFIED THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 2
- ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA, WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
- GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE & THICKNESS SO AS TO COMPLY WITH:

- BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND
- BCA VOL 1 PART B1.4 FOR CLASS 2 TO 9 BUILDINGS

- WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.

### SUSTAINABILITY MEASURES FOR NEW CLASS 1 BUILDINGS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED ENERGY RATER.

### SITE BUSHFIRE ATTACK ASSESSMENT.

REFERENCE DOCUMENT AS 3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS.

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
- SITE PLAN MEASUREMENTS IN MILLIMETRES - ALL OTHER MEASUREMENTS IN MILLIMETRES U.N.O.
- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

### SITE CLASSIFICATION

SITE CLASSIFICATION AS CLASS:	<b>F</b>
REFER TO SOIL REPORT NO:	<b>164801</b>
BY:	<b>STRUCTERRE</b>

### STORMWATER

- 90mmØ (UPTO 250m2) OR 100mmØ (OVER 250m2) CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN
- 100MM UNDER SOIL
- 50MM UNDER PAVED OR CONCRETE AREAS
- 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

### AUTHORITIES / CONSULTANTS

MUNICIPALITY NAME:	<b>CARDINIA SHIRE</b>
SEWERAGE AUTHORITY:	<b>YARRA VALLEY WATER</b>
CONSULTING STRUCTURAL ENGINEER:	<b>STRUCTERRE</b>
GEOTECHNICAL ENGINEER:	<b>STRUCTERRE</b>
THERMAL PERFORMANCE ASSESSOR:	<b>PASSIVENERGY</b>

### STEP AND LANDINGS

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
- RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM
- GOING (G) 355MM MAXIMUM AND 240MM MINIMUM
- 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM
- WITH LESS THAN 125MM MAXIMUM GAP BETWEEN OPEN TREADS
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIPRESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:
- 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
- 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
- VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND
- ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 400MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
- WIRE BARRIER CONSTRUCTION TO COMPLY WITH BCA PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE 865MM MINIMUM ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.
- WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
- CONCRETE STUMPS: UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE) 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO. H.D. WIRES) 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES)
- 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1-2010 MASONRY IN SMALL BUILDINGS PART 1:DESIGN
- ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF SJD HOMES (THE DESIGNER) FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF SJD HOMES EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO SJD HOMES.
- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

# SJDhomes



## CAVERSHAM GRAND (MODIFIED)

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### BUSHFIRE ATTACK LEVEL:- (BAL)

**BAL-12.5** - EMBER ATTACK

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

### WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: **N2 - 26 m/s**

**IMPORTANT NOTE:**  
THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)  
STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

ISSUE	AMENDMENT DETAILS
A	INITIAL WORKING DRAWINGS ISSUED JG (09.05.24)
B	PLAN & ELEC CHANGES - INTERNALS ADDED JG (13.06.24)
C	MINOR PLAN CHANGES - ISSUED BB (27.06.24)
D	FRENCH DOOR ADDED TO STORE - ISSUED BB (10.07.24)
E	SITE & PLAN CHANGES JG (12.08.24)
F	RUMPLUS WINDOW UPDATED JG (15.08.24)
G	
H	
I	
J	
K	
L	
M	
N	
O	
P	



433 Princes Hwy  
Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
info@sjdhomes.com.au

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PROPOSED:  
**HOUSE & GARAGE**

HOUSE TYPE:  
**CAVERSHAM GRAND (MODIFIED)**

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SIGNED BUILDER:  
.....

SIGNED OWNER:  
.....

DATE:  
.....

CLIENT:  
**LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782**

DRAWING TITLE:  
**GENERAL NOTES**

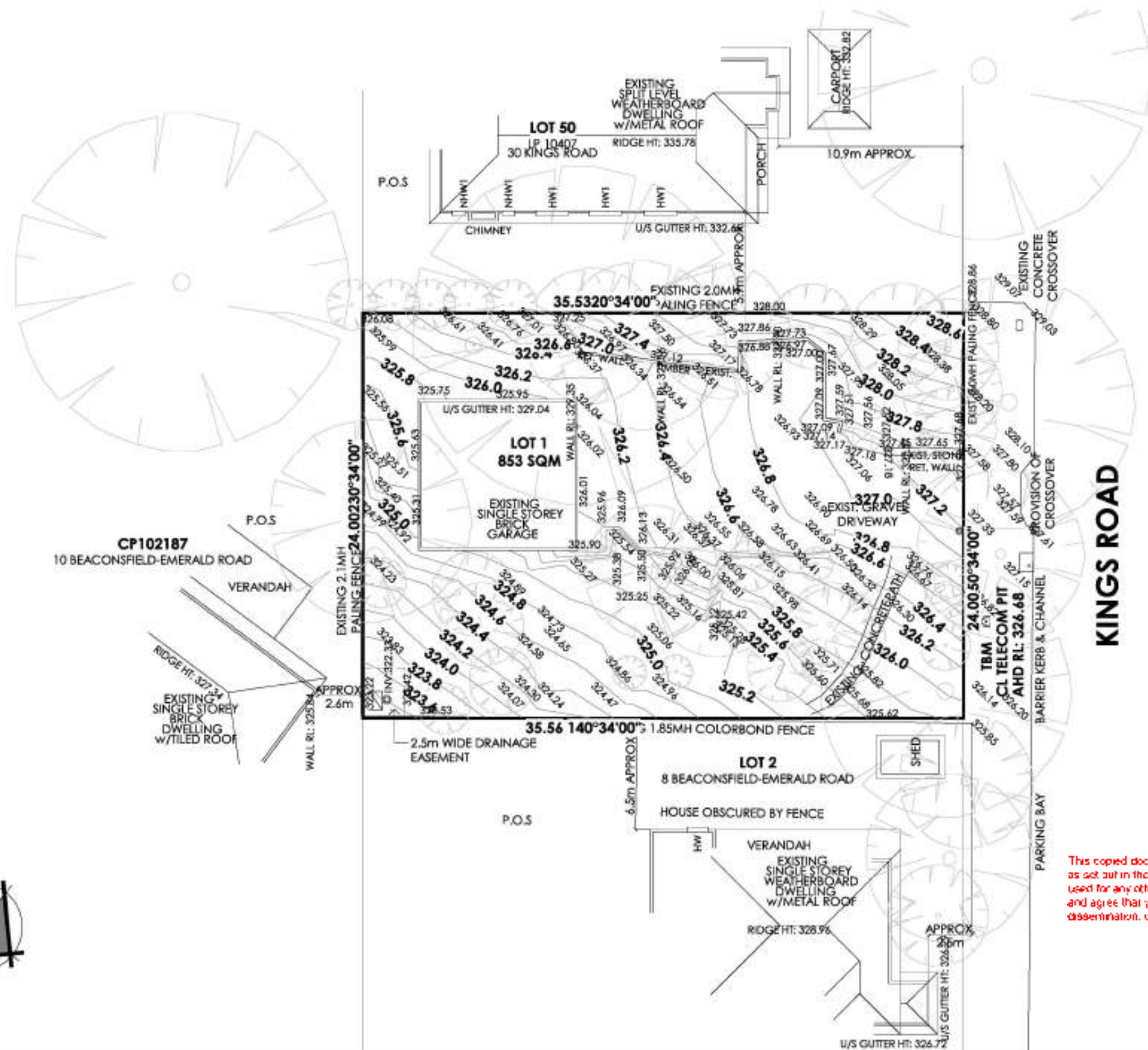
ISSUE: **F**

ISSUE DATE: **15.08.24**

SCALE: **MASTER DATE: 31.01.22**

DRAWN: **JG** CHECKED: **TLG**

SHEET NO: **01** OF: **12**



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**DATE:**  
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**SITE ADDRESS:**  
**LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782**

<b>DRAWING TITLE:</b> <b>EXISTING SITE PLAN</b>	
ISSUE: F	
ISSUE DATE: 15.08.24	
SCALE: 1 : 250	MASTER DATE: 31.01.22
DRAWN: JG	CHECKED: TLG
SHEET NO: 02	OF: 12

- DRAINAGE NOTES:**
- SEE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 DRAINAGE AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
  - BASE OF CUT GRADED TO SET TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
  - TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
  - STORMWATER DRAINS ARE INDICATIVE ONLY. DESIGNER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.
  - GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
  - GRADED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
  - PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SET PIT AT 1:100 MIN.
  - SET PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM.

- BUSHFIRE REQUIREMENTS - BAL 12.5**
- ALL JOINTS IN THE EXTERNAL WALL MATERIAL ARE TO BE SEALED COVERED OR OVERLAPPED TO PREVENT GAPS GREATER THAN 3mm.
  - GAPS BETWEEN DOORS AND DOOR JAWBS, HEADS AND SILLS TO RESISTANCE ARE TO BE MAX 3mm. ALTERNATIVELY INSTALL DRAFT EXCLUDERS.
  - PROVIDE INTERNAL OR EXTERNAL SCREENS TO ALL OPENABLE PORTIONS OF WINDOWS. SCREENS SHALL HAVE MESH WITH A MAX. APERTURE OF 2mm. MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
  - ENTRANCE & ALL EXTERNAL DOORS TO COMPLY WITH ONE OF THE FOLLOWING:
    - PROVIDE EXTERNAL SCREENS TO THE DOORS. SCREENS SHALL HAVE MESH WITH MAX. 2mm APERTURE AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
    - DOORS MUST BE:
      - 35mm THICK SOLID TIMBER FOR THE FIRST 400mm ABOVE THRESHOLD, OR
      - BE PROVIDED WITH A NON-COMBUSTIBLE KICK PLATE ON THE OUTSIDE FOR THE FIRST 400mm ABOVE THE THRESHOLD.
    - MUST BE TIGHT FITTING TO THE DOOR FRAME.
    - PROVIDE BUSHFIRE RESISTANT TIMBER TO PART OF THE DOOR FRAME WHICH IS LESS THAN 400mm FROM THE GROUND. INSTALL WEATHER STRIPS, DRAUGHT EXCLUDERS CLOSE TO THE BASE OF THE DOORS.
  - PROVIDE EXTERNAL GLASS SLIDING DOORS WITH ONE OF THE FOLLOWING MEASURES:
    - PROVIDE EXTERNAL SCREENS WITH A MAX. APERTURE OF 2mm MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
    - GLAZING TO BE MIN 5mm SAFETY GLASS. DOOR FRAME SHALL BE METAL OR BUSHFIRE RESISTANT TIMBER AND SLIDING DOORS MUST BE TIGHT FITTING IN THE FRAME.
  - GARAGE ROLLER PANEL LIFT DOOR TO BE PROTECTED WITHIN 400mm OF GROUND WITH ONE OF THE FOLLOWING MEASURES:
    - NON-COMBUSTIBLE MATERIAL OR
    - BUSHFIRE RESISTANT TIMBER OR
    - MIN 6mm THICK FC SHEET
  - GARAGE DOOR TO BE FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS OR GUIDE TRACKS WITH MAX. 3mm GAP. ROLLER DOOR SHALL HAVE A NYLON BRUSH WHICH IS IN CONTACT WITH THE DOOR.
  - ROOF SHALL BE FULLY SARKED, INCLUDING RIDGE AND EXTENDED TO FASCIAS AND GUTTERS.
  - ROOF PENETRATIONS TO BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3mm.
  - ANY ROOF OPENINGS, VENT PIPES ECT. ARE TO BE FITTED WITH EMER GUARDS WITH MAX. 3mm APERTURE AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
  - ANY ABOVE GROUND, EXPOSED WATER & GAS SUPPLY LINES TO BE METAL.
- WHERE APPLICABLE, THE PROPOSED DEVELOPMENT MUST COMPLY WITH ANY BUSHFIRE MANAGEMENT PLAN REQUIREMENT.

**POWER FEED-IN TO DWELLING:**  
PROVIDE THREE PHASE POWER TO DWELLING

**BUILDERS TO ALLOW FOR NBN CONNECTION (FIBRE OPTIC)**



**SJD homes**

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**CAVERSHAM GRAND (MODIFIED)**

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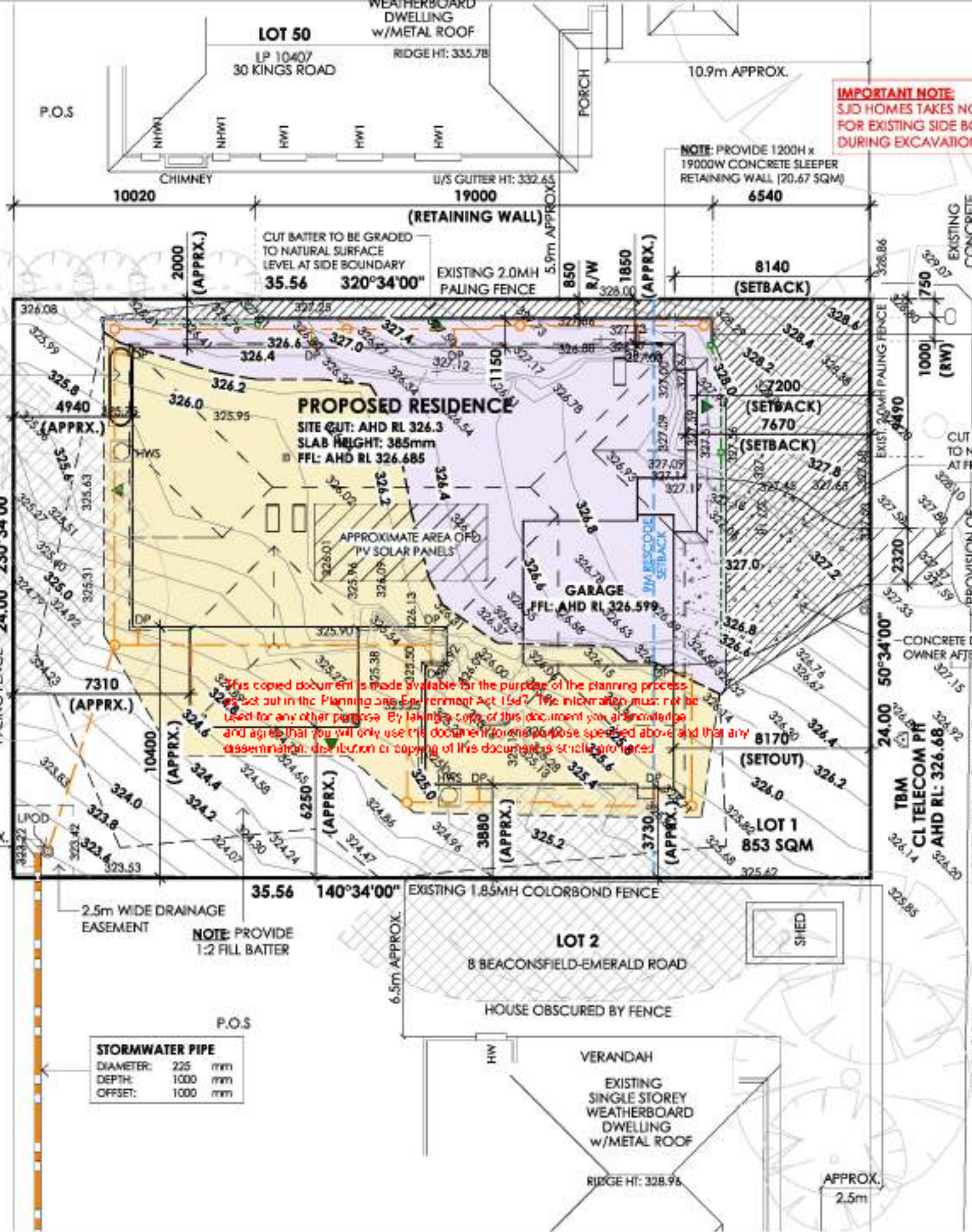
**SIGNED BUILDER:**  
.....  
**SIGNED OWNER:**  
.....  
**DATE:**  
.....

**CLIENT:**  
.....  
**LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782**

**DRAWING TITLE:**  
**SITE PLAN**

**ISSUE:** F  
**ISSUE DATE:** 15.08.24  
**SCALE:** 1:200  
**DRAWN:** JG  
**SHEET NO:** 02A

**MASTER DATE:** 31.01.22  
**CHECKED:** TLG  
**OF:** 12



- SITE CUT/FILL LEGEND & NOTES**
- DENOTES AREA OF SITE CUT
  - DENOTES AREA OF SITE FILL
- NOTE:**  
PENETRATIONS THROUGH THE SISALATION PAPER ARE TO BE TAPED AROUND CAREFULLY TO ENSURE ANY GAPS ARE SEALED.
- NOTE:**  
BUILDER RESERVES THE RIGHT TO ALTER THE SITE CUT HEIGHT TO THEIR DISCRETION, PENDING CONDITIONS ON SITE
- SITE CUT & FILL NOTE**  
PROVIDE SITE CUT OF 2300 mm & FILL 1900 mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE 86 mm STEPDOWN. NOTE: 45° BATTER ANGLE
- STORMWATER LAYOUT**  
STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.
- TERMITE TREATMENT REQUIRED**  
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660
- EXTERNAL STEPS**  
PROVIDE STEPS OR BUILD UP SOIL AROUND EXTERNAL DOORS WHERE THRESHOLD OF THE DOOR EXCEEDS 190MM

- OVERLOOKING LEGEND**
- WINDOWS THAT DO REQUIRE FIXED SCREENING BELOW 1700mm FROM FLOOR LEVEL
  - WINDOWS THAT DO NOT REQUIRE FIXED SCREENING BELOW 1700mm FROM FLOOR LEVEL
  - WINDOWS THAT DO NOT REQUIRE FIXED SCREENING DUE TO EXISTING FENCES

**SITE COVERAGE ANALYSIS**

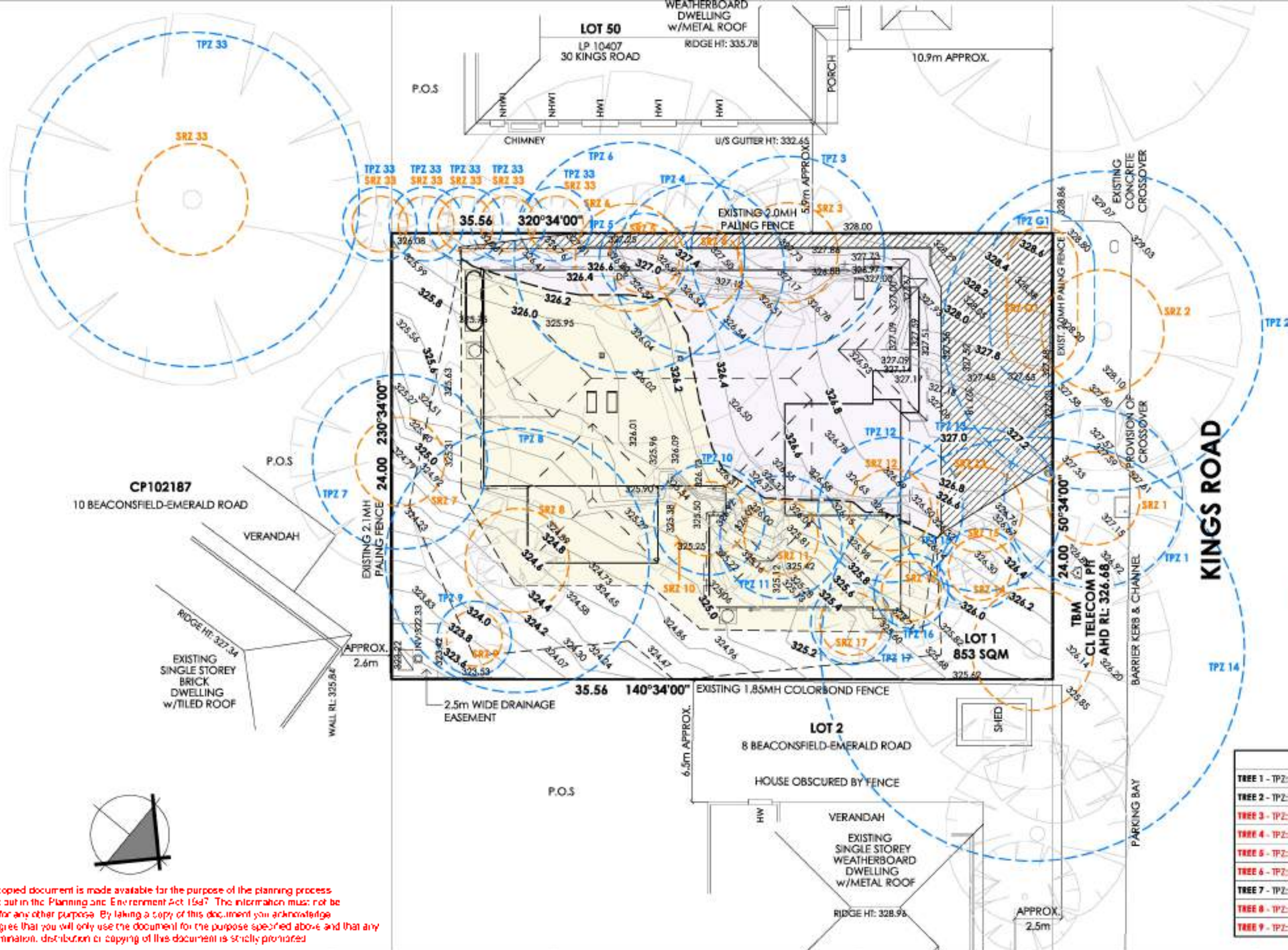
BUILDING AREA	362.37 m <sup>2</sup>	42.46%
PERMEABLE AREA	491.07 m <sup>2</sup>	57.54%
TOTAL SITE AREA	853.44 m <sup>2</sup>	100%

**GARDEN AREA ANALYSIS**

DRIVEWAY AREA	40.71 m <sup>2</sup>	
GARDEN AREA	454.19 m <sup>2</sup>	53.24 %

>650 SQM: MIN. GARDEN AREA REQUIRED IS 35%

**RESCODE - REPORT & CONSENT**  
REPORT & CONSENT REQUIRED FOR FRONT SETBACK NOT COMPLYING WITH RESCODE BUILDING REGULATION - reg. 74 (MIN. FRONT SETBACK)



TREES TO BE REMOVED SHOWN IN RED

- PERMIT REQUIRED FOR REMOVAL:**
- TREE 3
  - TREE 4
  - TREE 5
  - TREE 6
  - TREE 8
  - TREE 9
  - GROUP 1
  - TREE 10
  - TREE 11
  - TREE 12
  - TREE 13
  - TREE 16
  - TREE 17

TREE SCHEDULE			
TREE 1 - TPZ: 4.8M SRZ: 2.5M	TREE 10 - TPZ: 3.0M SRZ: 2.0M	TREE 11 - TPZ: 3.3M SRZ: 2.0M	TREE 12 - TPZ: 3.9M SRZ: 2.2M
TREE 2 - TPZ: 9.6M SRZ: 3.3M	TREE 13 - TPZ: 4.4M SRZ: 2.3M	TREE 14 - TPZ: 11.4M SRZ: 3.3M	TREE 15 - TPZ: 2.16M SRZ: 1.7M
TREE 3 - TPZ: 5.2M SRZ: 2.7M	TREE 16 - TPZ: 2.0M SRZ: 1.6M	TREE 17 - TPZ: 2.2M SRZ: 1.7M	GROUP 1 - TPZ: 2.8M SRZ: 1.9M
TREE 4 - TPZ: 4.6M SRZ: 2.3M			
TREE 5 - TPZ: 2.4M SRZ: 1.9M			
TREE 6 - TPZ: 6.2M SRZ: 2.9M			
TREE 7 - TPZ: 4.7M SRZ: 2.4M			
TREE 8 - TPZ: 7.1M SRZ: 2.8M			
TREE 9 - TPZ: 2.0M SRZ: 1.5M			

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433 Princes Hwy  
Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
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PROPOSED:  
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HOUSE TYPE:  
**CAVERSHAM GRAND (MODIFIED)**

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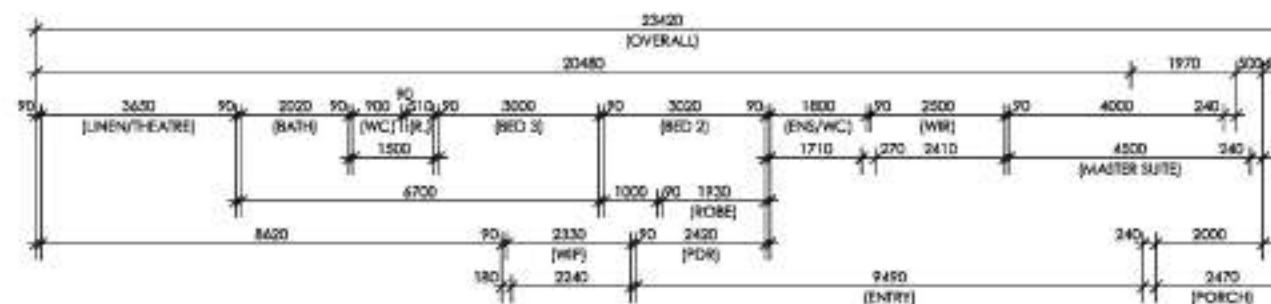
SIGNED BUILDER:  
SIGNED OWNER:  
DATE:

CLIENT:  
SITE ADDRESS:  
**LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782**

DRAWING TITLE:  
**TREE PLAN**

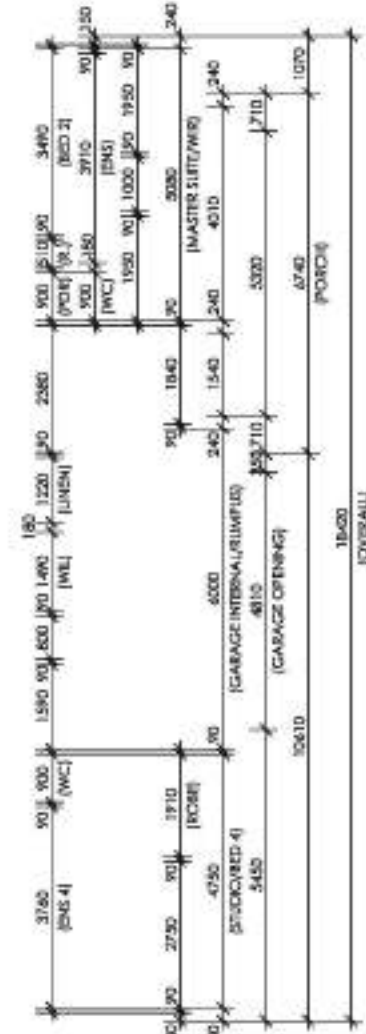
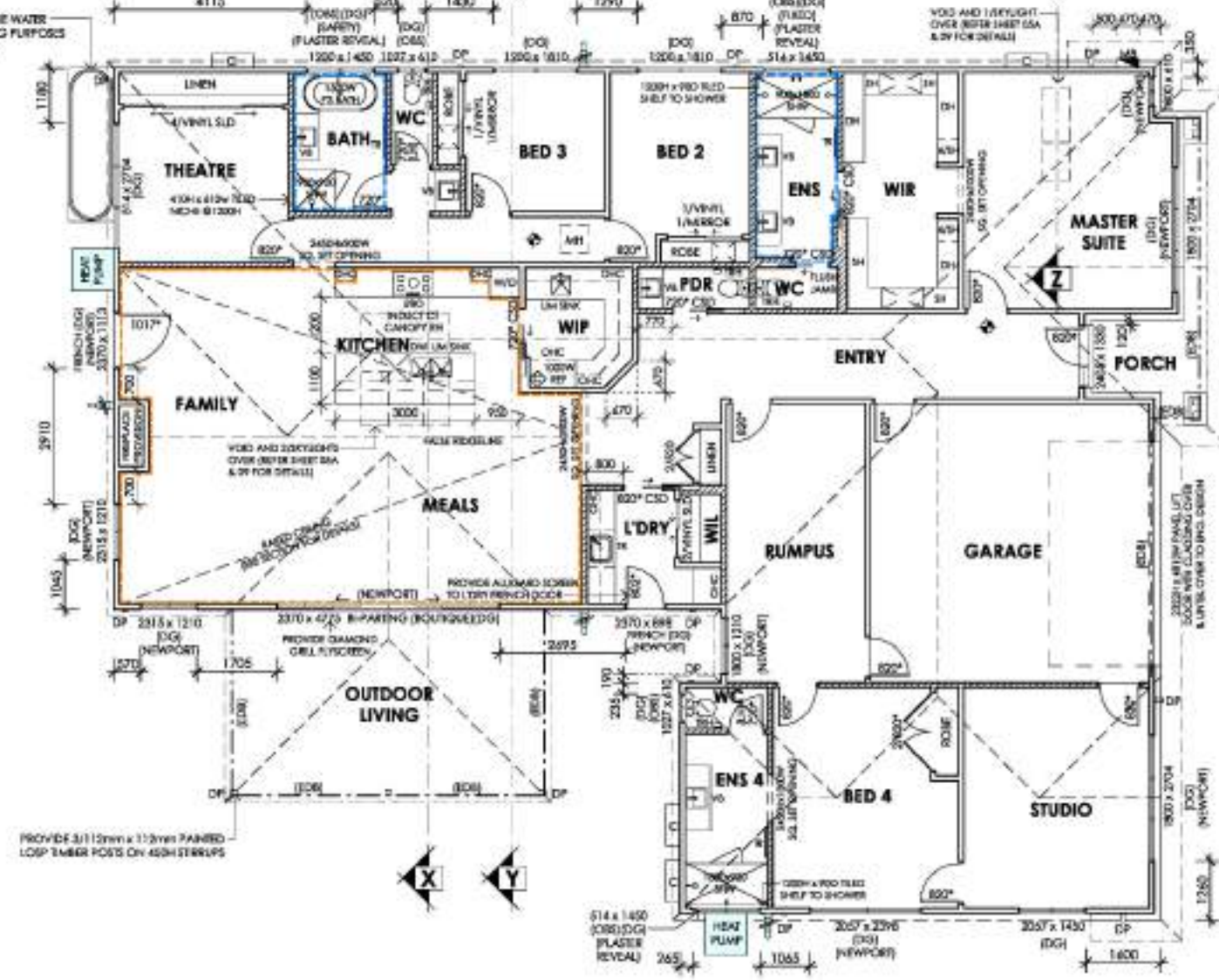
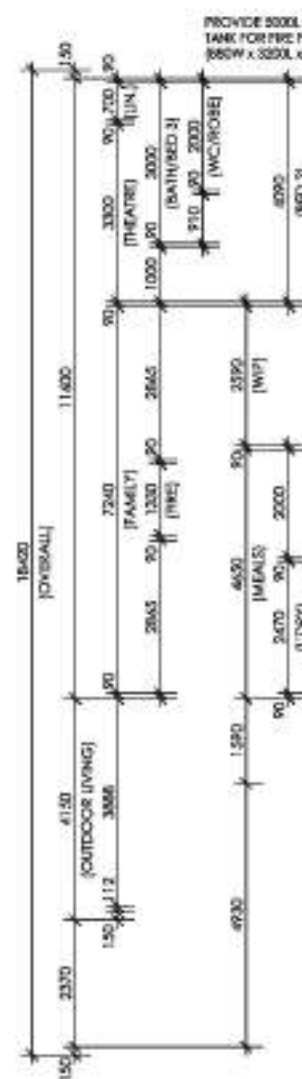
ISSUE: F  
ISSUE DATE: 15.08.24  
SCALE: 1:200  
DRAWN: JG  
SHEET NO: 02B OF 12

MASTER DATE: 31.01.22  
CHECKED: TLG



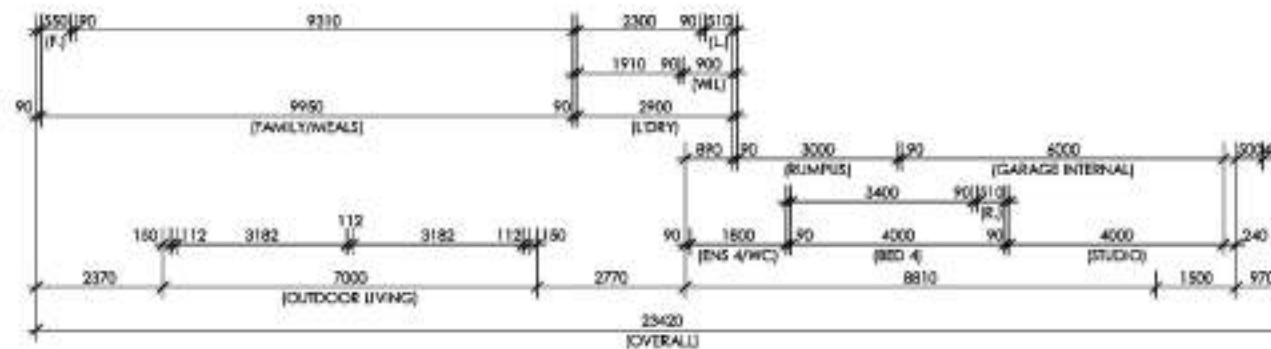
**IMPORTANT NOTE:**  
 SHOWS A SERVICE VOID SPACE FOR GARAGE AT REAR OF SITE. RELOCATED OR RELOCATED.  
 THESE LAYOUTS ARE TO BE CLEAR OF ALL VOID LOCATIONS AS PER FLOOR PLAN.

**GENERAL NOTES:**  
 1. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 2. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 3. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 4. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 5. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 6. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 7. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 8. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 9. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.  
 10. ALL DIMENSIONS ALWAYS SHOWN UNLESS OTHERWISE STATED.



- PROVIDE SQUARE SET CORNICE TO AREAS NOMINATED BY: [Symbol]
- COLD WATER POINT TO REF SPACE @2000mm HIGH, 150mm FROM SIDE WALL.
- PROVIDE FLOOR TO CEILING TILES TO AREAS NOMINATED BY: [Symbol]
- NOTE: ADDITIONAL FINISHES TO PLASTERBOARD AS REQUIRED.
- NOTE: PROVIDE SQ. SET CORNICE TO ROOMS WITH FULL HEIGHT WALL TILING.
- PROVIDE STUD SPACING AT 300mm CENTRES TO ALL TILED WET AREAS.
- \* DENOTES INTERNAL DOORS TO BE 2340mm HIGH.
- PROVIDE R2.0HP INSULATION TO AREAS NOMINATED AS: [Symbol]
- PROVIDE 50mm RECESS TO SLAB FOR FLUSH TILED SHR BASE TO ALL SHOWERS.

AREAS TABLE		
AREA	m <sup>2</sup>	SQ
GROUND FLOOR	266.91 m <sup>2</sup>	31.30
SUB TOTAL:	266.91 m <sup>2</sup>	31.30
OUTDOOR LIVING	39.05 m <sup>2</sup>	3.13
GARAGE	37.80 m <sup>2</sup>	4.07
PORCH	6.60 m <sup>2</sup>	0.71
SUB TOTAL:	73.45 m <sup>2</sup>	7.91
GRAND TOTAL:	340.37 m <sup>2</sup>	39.01



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 433 Princes Hwy  
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 Ph: 9095 8000  
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 Bl No. CD6-U 56523  
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PROPOSED  
**HOUSE & GARAGE**  
 HOUSE TYPE  
**CAVERSHAM GRAND (MODIFIED)**

**IMPORTANT NOTE: SHEET SIZE IS A2**  
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LOT 1, NO. 32 KINGS ROAD  
 EMERALD, 3782

DRAWING FILE:  
**GROUND FLOOR PLAN**  
 SHEET NO: 03 OF 12

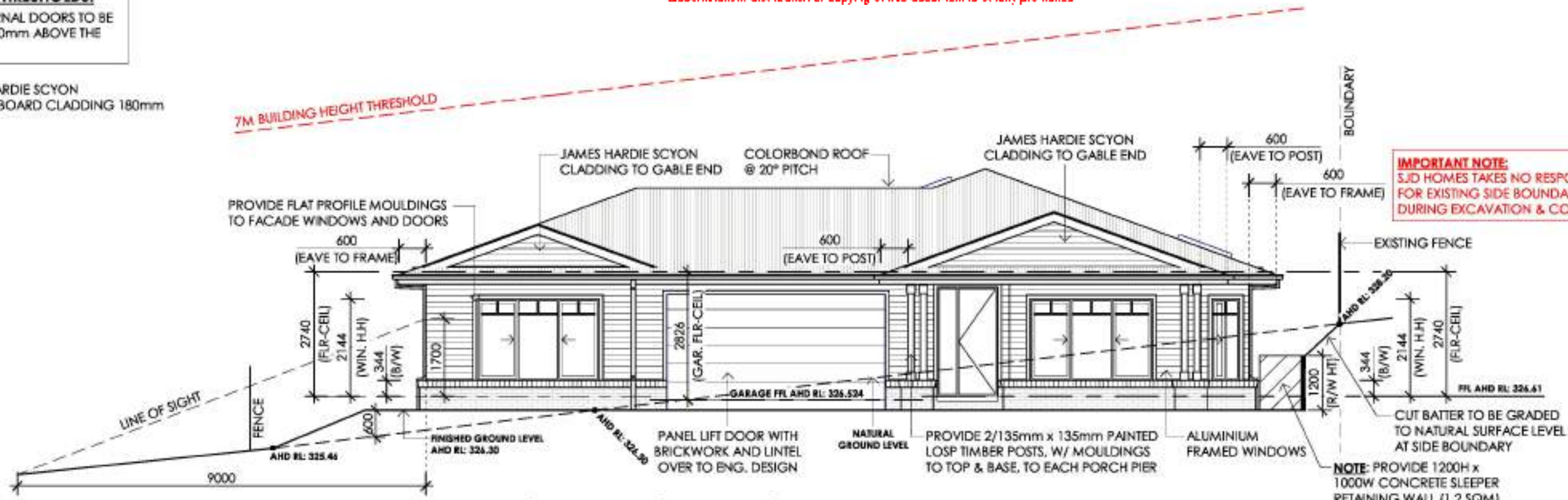


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**EXTERNAL DOOR THRESHOLDS:**

THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

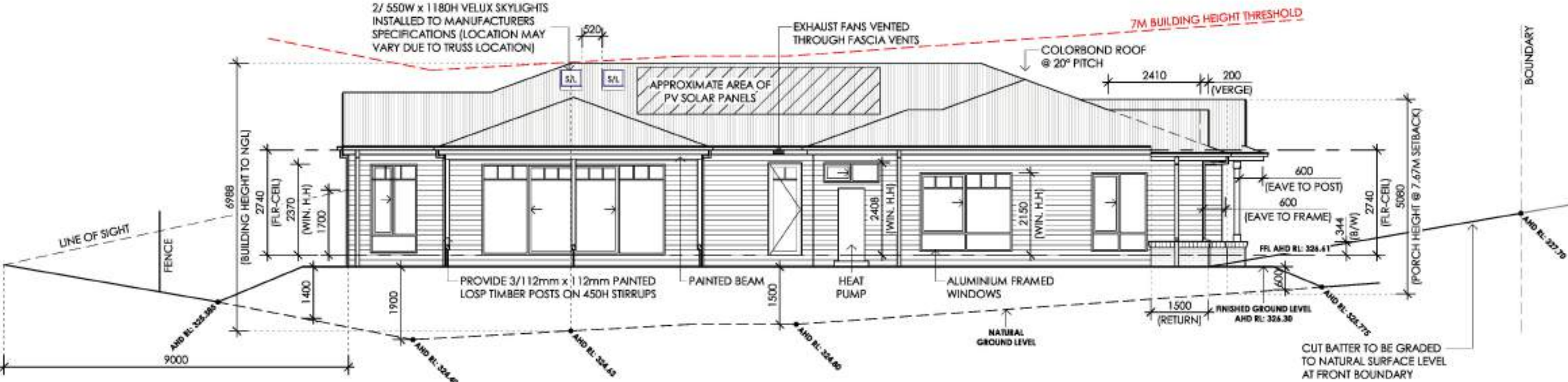
JAMES HARDIE SCYON WEATHERBOARD CLADDING 180mm



**ELEVATION A - NORTH WEST**

1 : 100

**IMPORTANT NOTE:**  
SJD HOMES TAKES NO RESPONSIBILITY FOR EXISTING SIDE BOUNDARY FENCE DURING EXCAVATION & CONSTRUCTION



**ELEVATION B - NORTH EAST**

1 : 100

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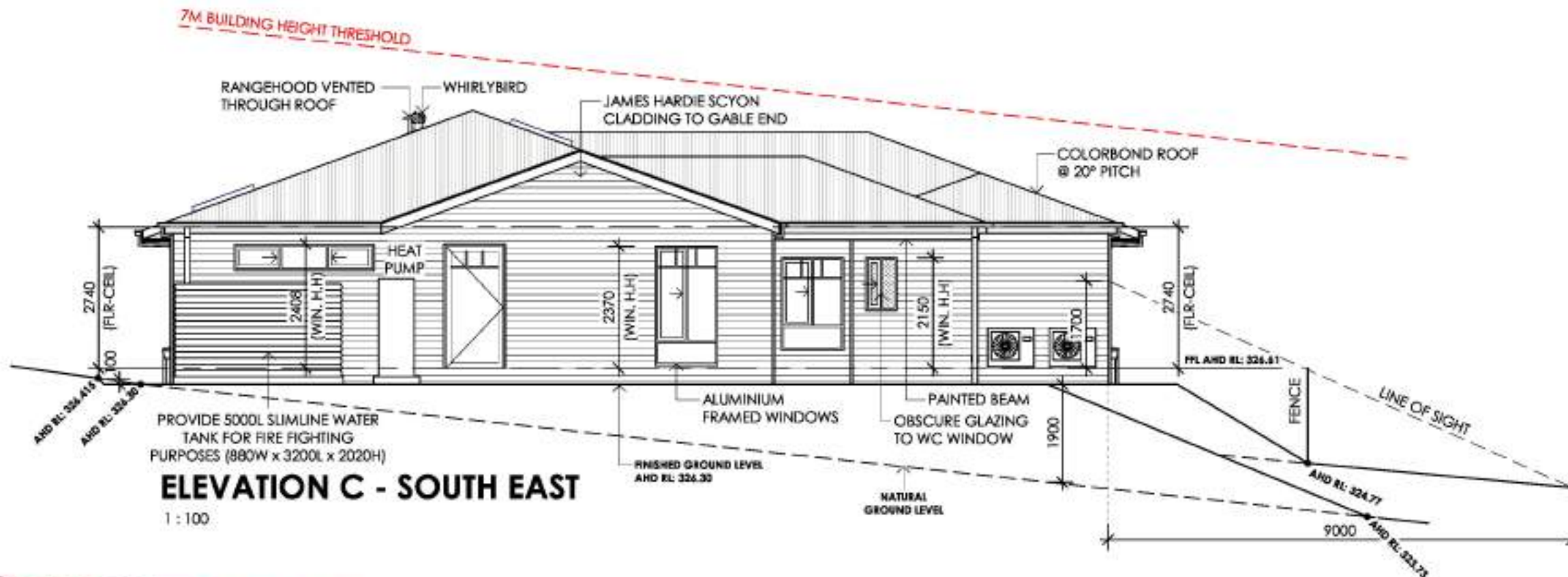
DRAWING TITLE: <b>ELEVATIONS</b>	
ISSUE: F	
ISSUE DATE: 15.08.24	
SCALE: 1 : 100	MASTER DATE: 31.01.22
DRAWN: JG	CHECKED: TLG
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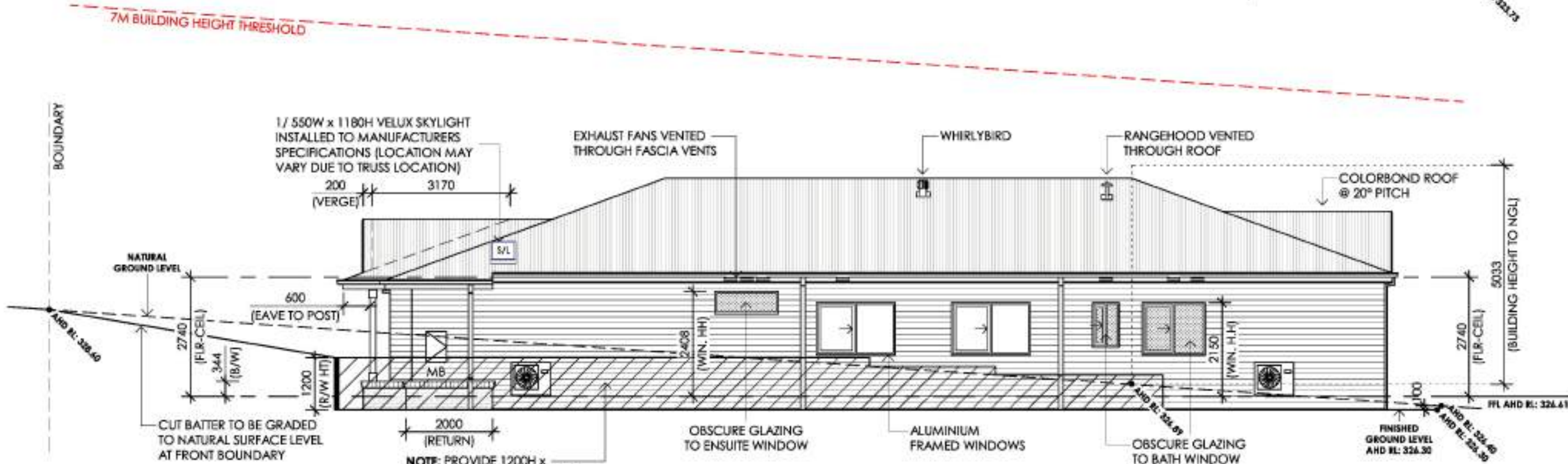
THRESHOLDS OF EXTERNAL DOORS TO BE NO GREATER THAN 230mm ABOVE THE ADJOINING SURFACE

JAMES HARDIE SCYON WEATHERBOARD CLADDING 180mm



**ELEVATION C - SOUTH EAST**

1 : 100



**ELEVATION D - SOUTH WEST**

1 : 100

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DRAWING TITLE:  
**ELEVATIONS**

ISSUE: F

ISSUE DATE: 15.08.24

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SHEET NO: 04A

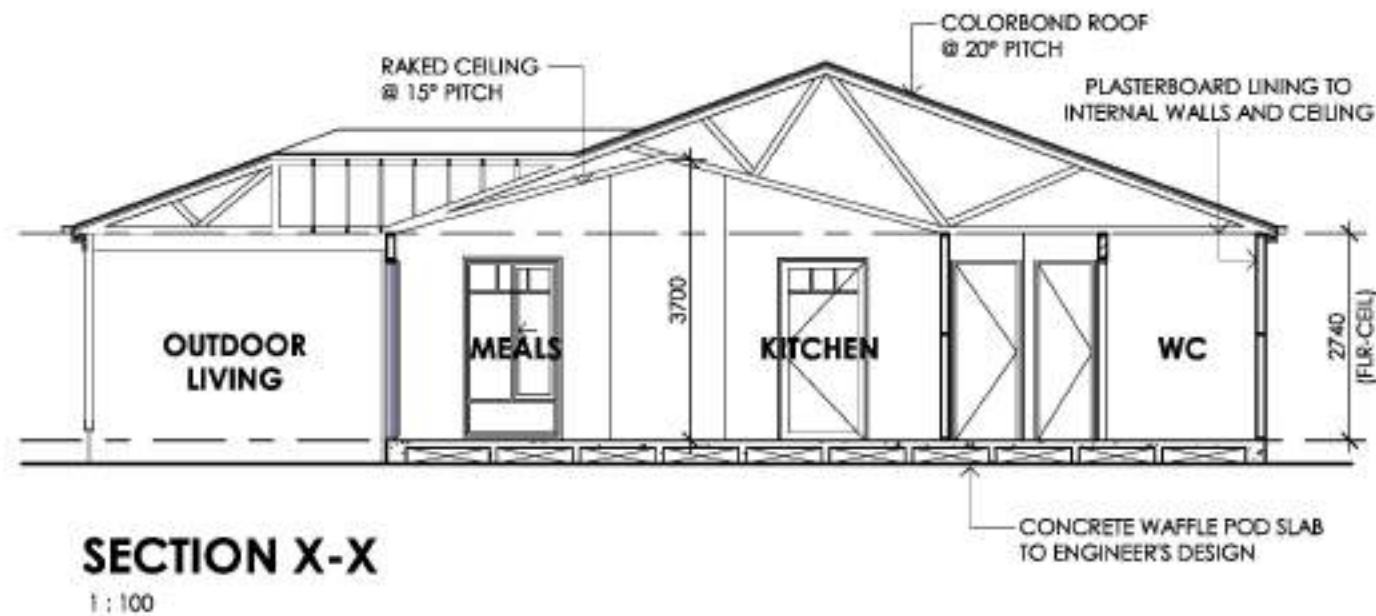
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**TIMBER FRAMING SCHEDULE** RLW : 7500  
SINGLE STOREY OR UPPER STOREY LOADBEARING WALLS  
COLORBOND SHEET ROOF - TRUSSES @ 600 CTS

MEMBER	SIZE	G	SPAN	CTRS
<b>WAFFLE POD CONCRETE SLAB FLOOR</b>				
Btm. plate	90x35	MGP10		
Top plate	2/90x35	MGP10		
Studs	90x35	MGP10		600
Jamb studs 1	90x45	MGP10		1800
Jamb studs 2	2/90x45	MGP10		3100
Wall bracing	IN ACCORDANCE WITH AS 1684-2010			
Noggings	70x35	MGP10		1350
Lintel 1	190x35	LVL15	2000	
Lintel 2	2/170x35	LVL15	2550	
Lintel 3	2/240x35	LVL15	3450	
Porch Beam	AS PER ENG.	-	-	

INTELS IN LOWER STOREY WALLS OF A TWO STOREY TO ENGINEERS DESIGN

**TRUSSED ROOF**  
TIMBER FABRICATED AS PER MANUF. SPECIFICATIONS @ MAX 600 CTS

\* Sizes may be built up using vertical nail lamination.  
**NON LOADBEARING WALLS**

MEMBER	SIZE	G	SPAN	CTRS
<b>WAFFLE POD CONCRETE SLAB FLOOR</b>				
Btm. plate	90x35	MGP10		
Top plate	2/90x35	MGP10		
Studs	90x35	MGP10		600
Jamb studs 1	90x45	MGP10		1300

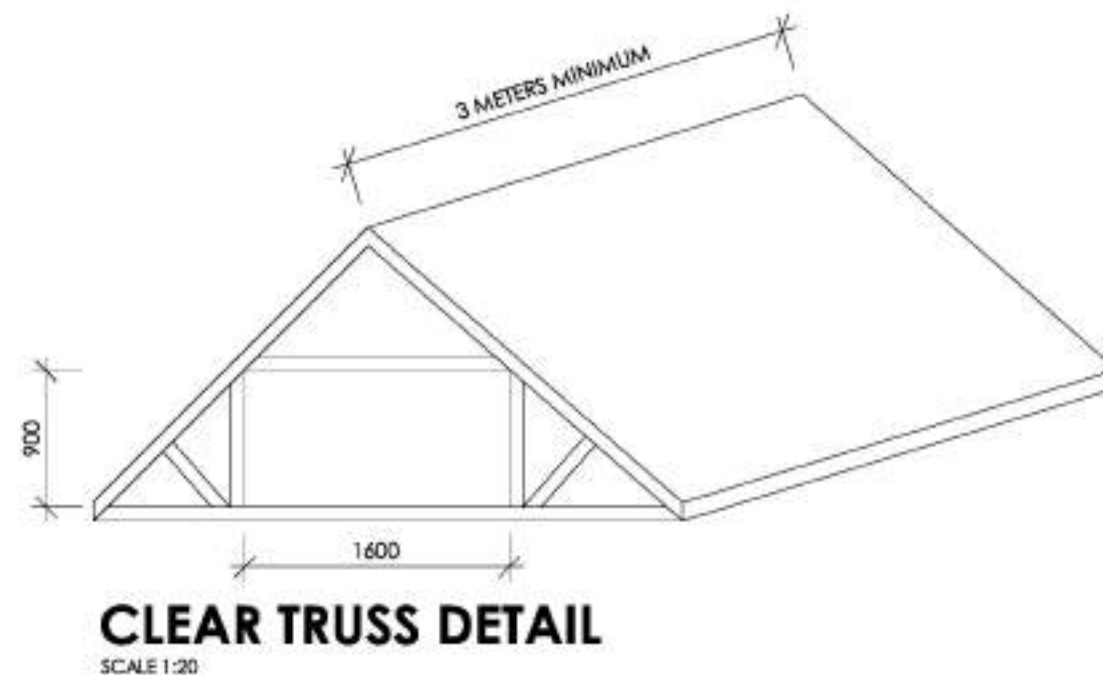
**EXTERNAL LINTEL SCHEDULE**  
Upper Floor lintels - Based on 500mm of veneer over

Span (up to)	Size	Angle
1200mm	75x75x8	45 angle
2100mm	75x100x8	45 angle
3000mm	100x100x8	45 angle

Lower Floor lintels - Based on 3000mm of veneer over

Span (up to)	Size	Angle
1200mm	75x100x8	45 angle
2100mm	100x100x8	45 angle
3000mm	150x100x10	45 angle

First Dimension Vertical/20mm min. end bearing to lintels



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**6 STAR ENERGY REQ'MENTS:**  
REQUIREMENTS AS PER 6 STAR ENERGY RATING REPORT.

- INSULATION TO CEILING (INCLUDING GARAGE): **R5.0**
- INSULATION TO EXTERNAL WALLS: **R2.5**
- INSULATION TO GARAGE INTERNAL WALLS: **R2.0**
- INSULATION TO WET AREAS: **R2.0HP**
- SEAL GAPS & CRACKS AROUND ALL EXTERNAL DOOR & WINDOW FRAMES: **Y**
- WEATHER SEALS TO ALL EXTERNAL DOORS: **Y**
- WEATHER SEALS TO INTERNAL UTILITY DOORS: **Y**
- REFER FLOOR PLAN & ELEVATIONS FOR DOUBLE GLAZED WINDOWS IF REQUIRED (DG): **Y**
- WEATHER STRIP(S) TO FRONT ENTRY DOOR(S): **Y**
- FULLY SEALED CEILING EXHAUST FANS: **Y**
- AG SISILATION TO ALL EXTERNAL WALLS - STD INCLUSION
- 100% SEALED ALUM. IMPR WINDOWS - STD INCLUSION
- WINDOWS & SLIDING DOORS TO DETAILS AS PER ENERGY RATING REPORT

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HOUSE TYPE:  
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**LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782**

DRAWING TITLE:  
**SECTION**

ISSUE: F

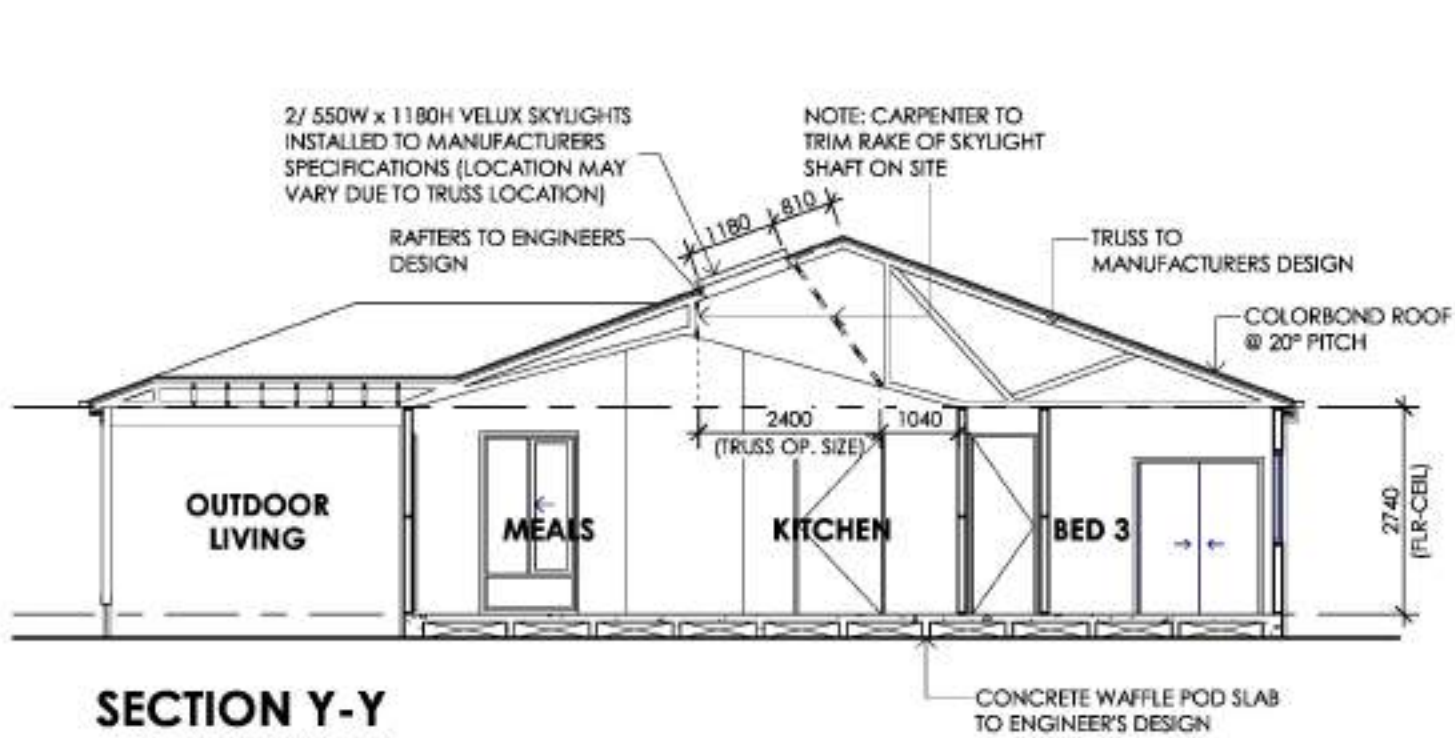
ISSUE DATE: 15.08.24

SCALE: 1 : 100

DRAWN: JG

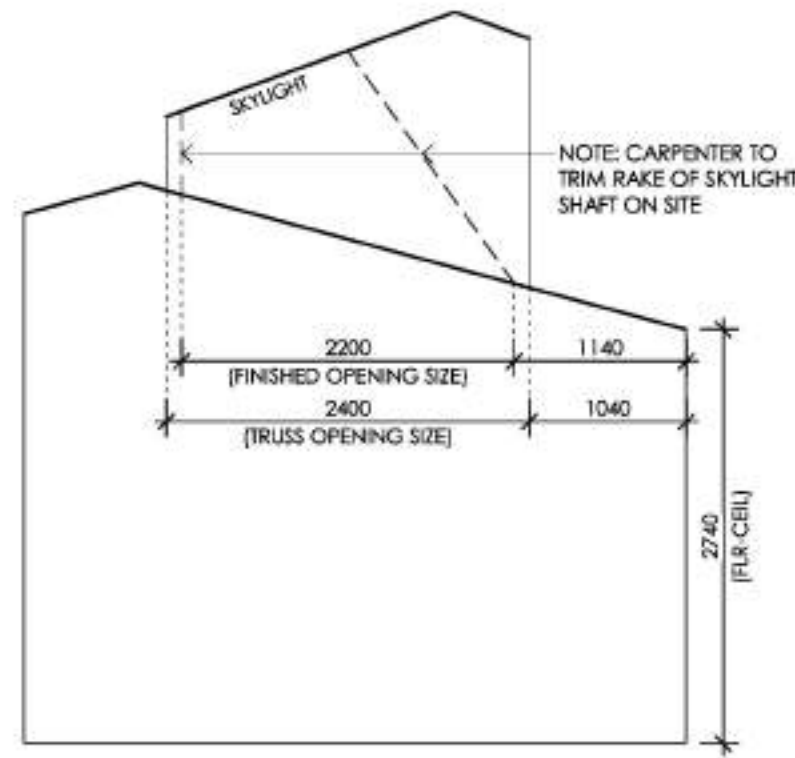
SHEET NO: 05 OF 12

MASTER DATE: 31.01.22  
CHECKED: TLG



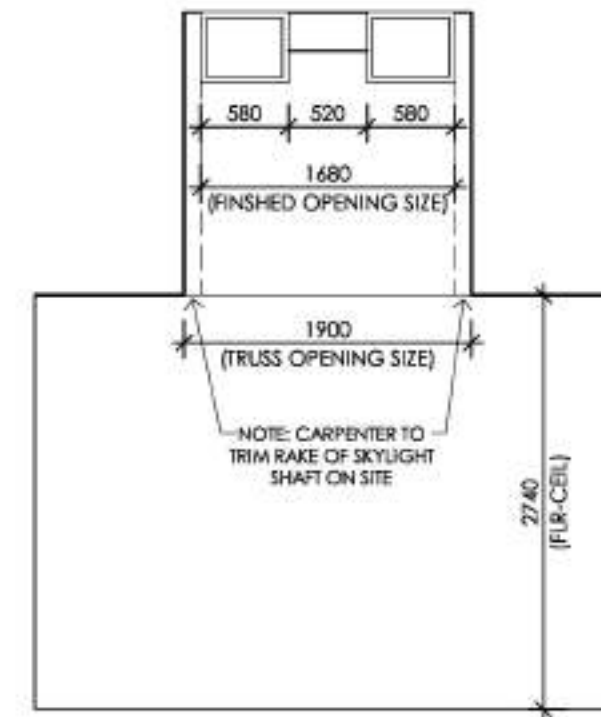
**SECTION Y-Y**

1 : 100 (KITCHEN SKYLIGHTS)



**SKYLIGHT DETAIL A**

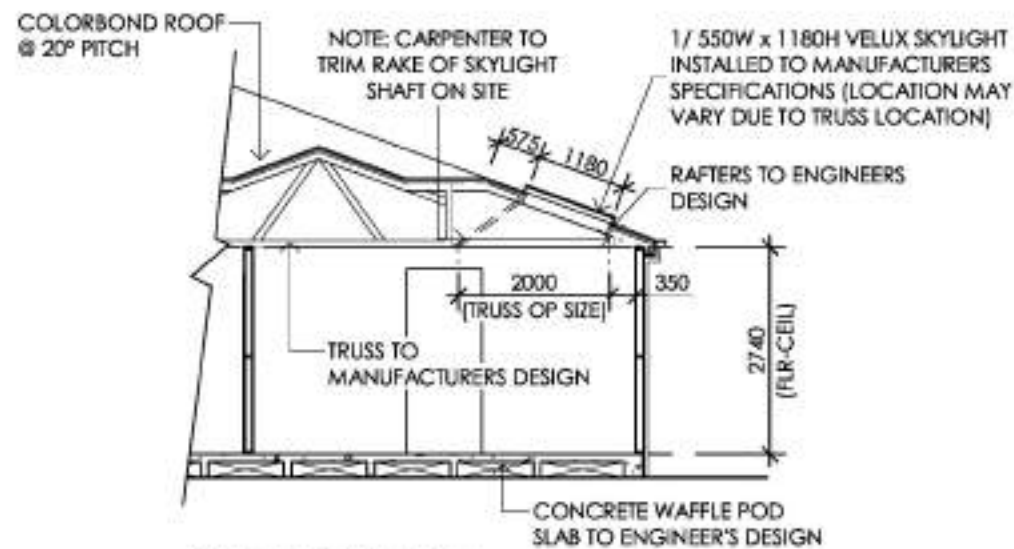
1 : 50 (KITCHEN SKYLIGHTS)



**SKYLIGHT DETAIL B**

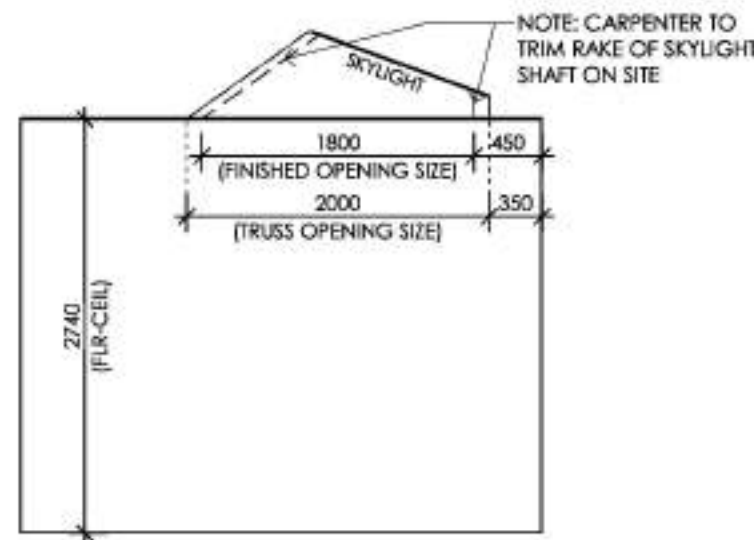
1 : 50 (KITCHEN SKYLIGHTS)

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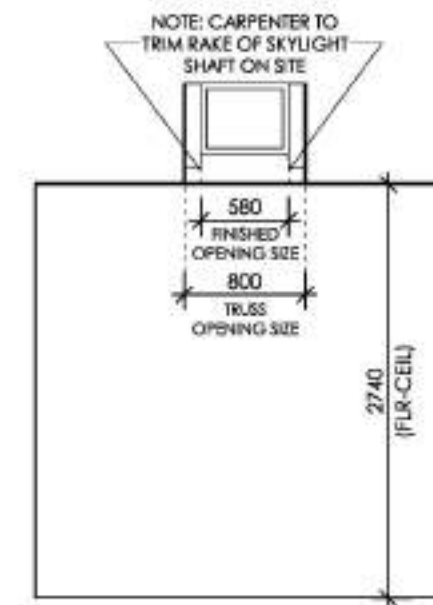
**SECTION Z-Z**

1 : 100 (MASTER SKYLIGHT)



**SKYLIGHT DETAIL A**

(MASTER SKYLIGHT)



**SKYLIGHT DETAIL B**

1 : 50 (MASTER SKYLIGHT)

433 Princes Hwy  
Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
info@sjdhomes.com.au

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EMERALD, 3782**

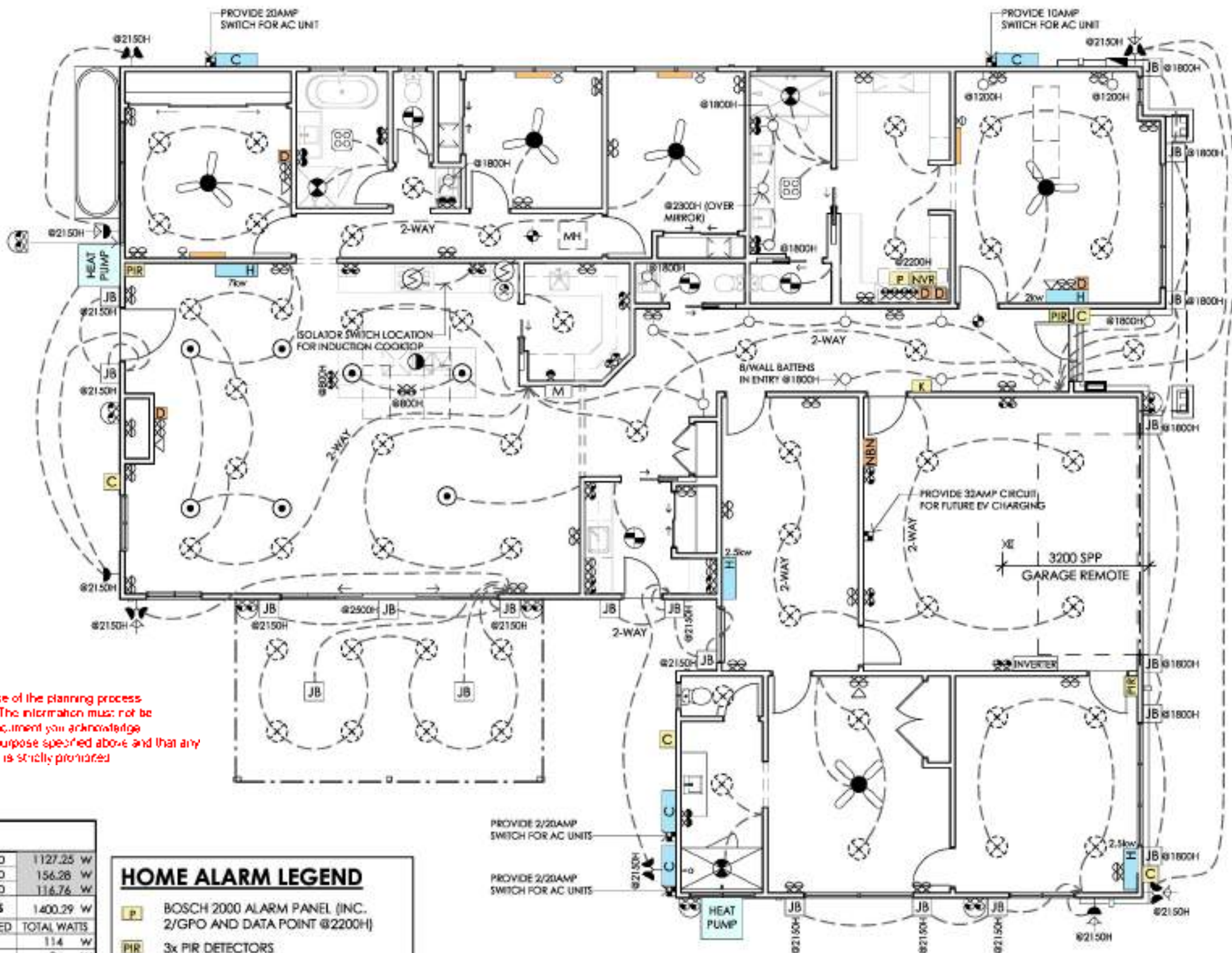
DRAWING TITLE: <b>DETAILS</b>	
ISSUE: F	
ISSUE DATE: 15.08.24	
SCALE: As indicated	MASTER DATE: 31.01.22
DRAWN: JG	CHECKED: TLG
SHEET NO: 05A	OF: 12

**IMPORTANT NOTE:** ALL ELECTRICAL ITEMS ARE IN APPROXIMATE LOCATIONS ONLY AND MAY BE VARIED TO SUIT TRUSS AND FRAME LOCATIONS

**POWER FEED-IN TO DWELLING:** PROVIDE THREE PHASE POWER TO DWELLING

PROVIDE SEPARATE 45AMP CIRCUIT FOR INDUCTION COOKTOP (INCLUDING ISOLATOR SWITCH)

INDICATES WALL MOUNTED 1500w RINNAI HEAT PANEL (INC. GPO @300H)



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**ARTIFICIAL LIGHTING TABLE**

FLOOR AREA	225.45 m <sup>2</sup>	WATTAGE ALLOWED	1127.25 W
PORCH/OUT. AREA	39.07 m <sup>2</sup>	WATTAGE ALLOWED	156.28 W
GARAGE	38.92 m <sup>2</sup>	WATTAGE ALLOWED	116.76 W
<b>TOTAL AREA</b>	<b>303.44 m<sup>2</sup></b>	<b>ALLOWABLE WATTS</b>	<b>1400.29 W</b>
<b>HOUSE 5 W/m2</b>		<b>NO. OF GLOBES USED</b>	<b>TOTAL WATTS</b>
LED GLOBES	6 w	19	114 w
LED DOWNLIGHTS	9 w	0	0 w
FLUORO TUBES	36 w	0	0 w
		<b>HOUSE TOTAL</b>	<b>114 w</b>
<b>POR./ OUT 4 W/m2</b>			
LED GLOBES	6 w	2	12 w
LED DOWNLIGHTS	9 w	0	0 w
FLUORO TUBES	36 w	0	0 w
		<b>PORCH TOTAL</b>	<b>12 w</b>
<b>GARAGE 3 W/m2</b>			
LED GLOBES	6 w	1	6 w
LED DOWNLIGHTS	9 w	0	0 w
FLUORO TUBES	36 w	0	0 w
		<b>GARAGE TOTAL</b>	<b>6 w</b>

**HOME ALARM LEGEND**

- P** BOSCH 2000 ALARM PANEL (INC. 2/GPO AND DATA POINT @2200H)
- PIR** 3x PIR DETECTORS
- K** BOSCH SOLUTION 2000 9 ZONE PANEL SECURITY SYSTEM WITH KEYPAD

**CAMERA LEGEND**

- C** 4x DORANI FIXED TURRET CAMERA
- NVR** DORANI 4 CHANNEL HHD RECORDER (INC. GPO AND DATA @2200H)

**INTERCOM LEGEND**

- AKUVOK** VIDEO DOOR INTERCOM
- M** AKUVOK 7" MONITOR (INC. SINGLE GPO @1500H)

**LIGHTING LEGEND**

- CEILING LIGHT BATTEN HOLDER
- IC4 90mm DOWNLIGHT
- WALL STAIR LIGHT
- EXTERNAL LIGHT POINT
- HEATER/FAN & LIGHT - 2 GLOBE
- HEATER/FAN & LIGHT - 4 GLOBE
- JUNCTION BOX
- CEILING FAN
- CEILING FAN WITH LIGHT
- PARA FLOOD LIGHT - SINGLE
- PARA FLOOD LIGHT - DOUBLE
- ROUND LED FLUORO
- 1200 LED FLUORO - SINGLE
- 1200 LED FLUORO - DOUBLE
- WALL LIGHT BATTEN HOLDER
- CEILING EXHAUST FAN
- CEILING EXHAUST FAN SWITCHED WITH LIGHT
- SUSPENDED PENDANT
- MOTION SENSOR
- DIMMER SWITCH

**HEAT/COOL LEGEND**

- CEILING HEATING DUCT (APPROX)
- DUCTED HEATING UNIT IN CEILING
- CEILING HEAT/COOL DUCT
- REV CYCLE DUCTED HEAT/COOL UNIT
- THERMOSTAT
- RETURN AIR
- EVAPORATIVE COOLING DUCT
- EVAPORATIVE COOLING UNIT
- AC CONDENSER UNIT
- AC HEAD UNIT

**POWER LEGEND**

- SINGLE GPO - 300mm
- SINGLE GPO - 1100mm
- SINGLE GPO - 1400mm
- SINGLE GPO - TO CEILING
- SINGLE GPO - HT VARIES
- SINGLE GPO - EXTERNAL
- DOUBLE GPO - 300mm
- DOUBLE GPO - 1100mm
- DOUBLE GPO - 1400mm
- DOUBLE GPO - TO CEILING
- DOUBLE GPO - HT VARIES
- DOUBLE GPO - EXTERNAL

**SINGLE GPO - FOR DISHWASHER**

- SINGLE GPO - FOR MICROWAVE
- TELEVISION POINT
- TELEPHONE POINT
- METER BOX
- SMOKE DETECTORS (INTERCONNECTED)
- LUBO & RHOOD CONNECTIONS
- DATA POINT WIRED TO NBN
- NBN BOX

**DUCTED VACUUM**

- DUCTED VACUUM UNIT & SGPO
- DUCTED VACUUM OUTLET

433 Princes Hwy  
Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
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PROPOSED:  
**HOUSE & GARAGE**

HOUSE TYPE:  
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LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782

DRAWING TITLE:  
**ELECTRICAL PLAN**

ISSUE: F

ISSUE DATE: 15.08.24

SCALE: 1:100

DRAWN: JG

SHEET NO: 06 OF 12

MASTER DATE: 31.01.22

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**FLOOR COVERINGS LEGEND**

-  TILES
-  ENGINEERED TIMBER FLOORING
-  LAMINATE FLOORING

**FLOOR COVERINGS**

FLOOR FINISH	AREA m2
LAMINATE	55.20 m <sup>2</sup>
TILES	33.94 m <sup>2</sup>
TIMBER	168.95 m <sup>2</sup>



433 Princes Hwy  
 Officer VIC 3809  
 Ph: 9095 8000  
 Fax: 9095 8010  
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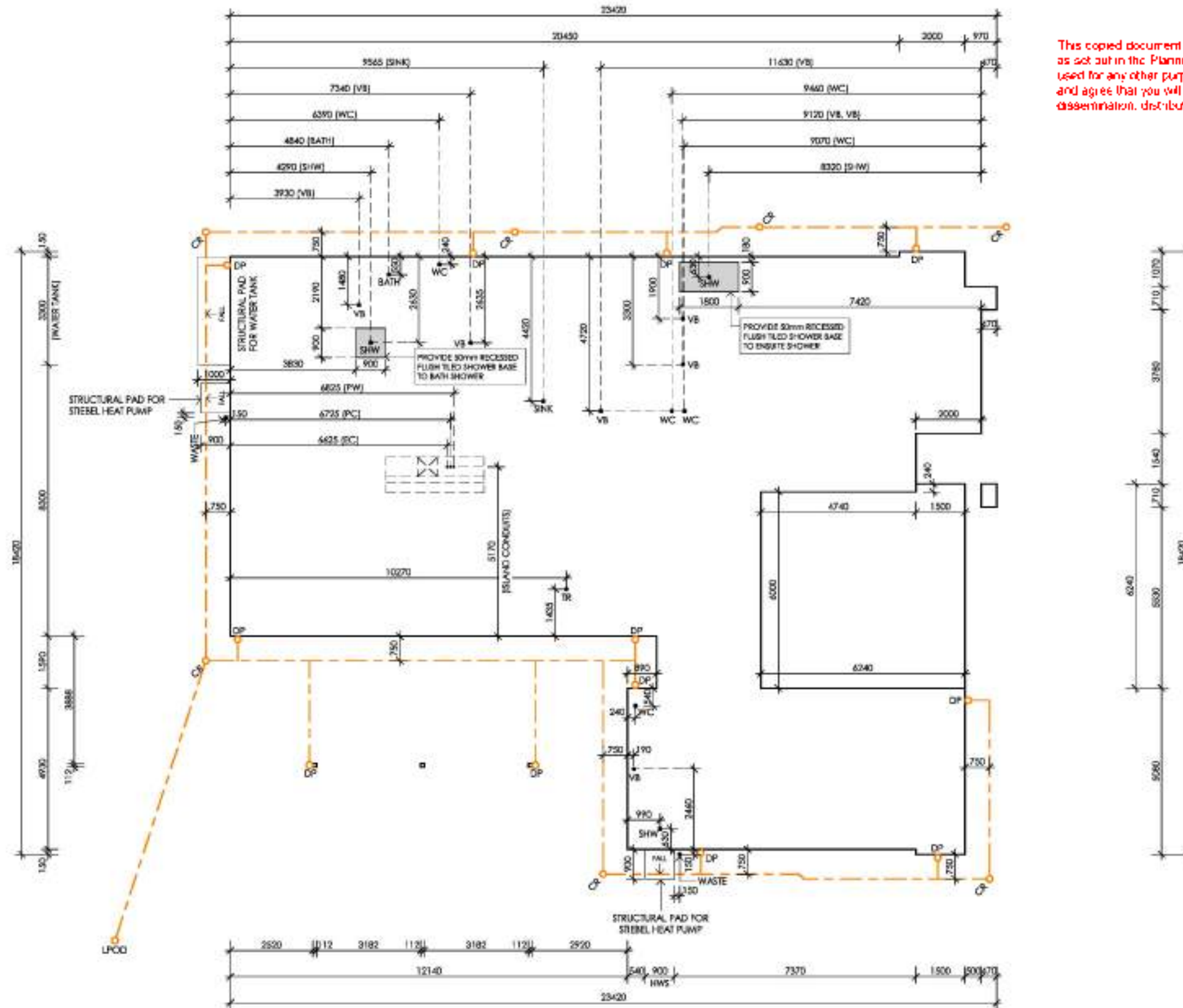
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SITE ADDRESS:  
**LOT 1, NO. 32 KINGS ROAD  
 EMERALD, 3782**

DRAWING TITLE:  
**FLOOR COVERINGS**

ISSUE: F	
ISSUE DATE: 15.08.24	
SCALE: 1:100	MASTER DATE: 31.01.22
DRAWN: JG	CHECKED: TLG
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**IMPORTANT NOTE:**  
STORMWATER LAYOUT NOMINATED AS:  
REFER OFFSET DIMENSIONS ABOVE FOR  
LOCATION OF STORMWATER  
DP - DOWNPIPE  
CR - CAPPED RISER

**IMPORTANT NOTE:**  
ALL DIMENSIONS ARE TO EXTERNAL WALLS

**IMPORTANT NOTE:**  
CONCRETERS TO CLEAR CONCRETE FROM  
TOP OF ALL WC, SHOWER AND BATH  
WASTE POINTS

**IMPORTANT NOTE:**  
CONCRETERS TO ENSURE APPROPRIATE  
FALL AWAY FROM HOUSE TO CONCRETE  
PADS FOR ALL SERVICES AND WATER  
TANKS WHERE APPLICABLE

**SJD homes**  
433 Princes Hwy  
Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
info@sjdhomes.com.au  
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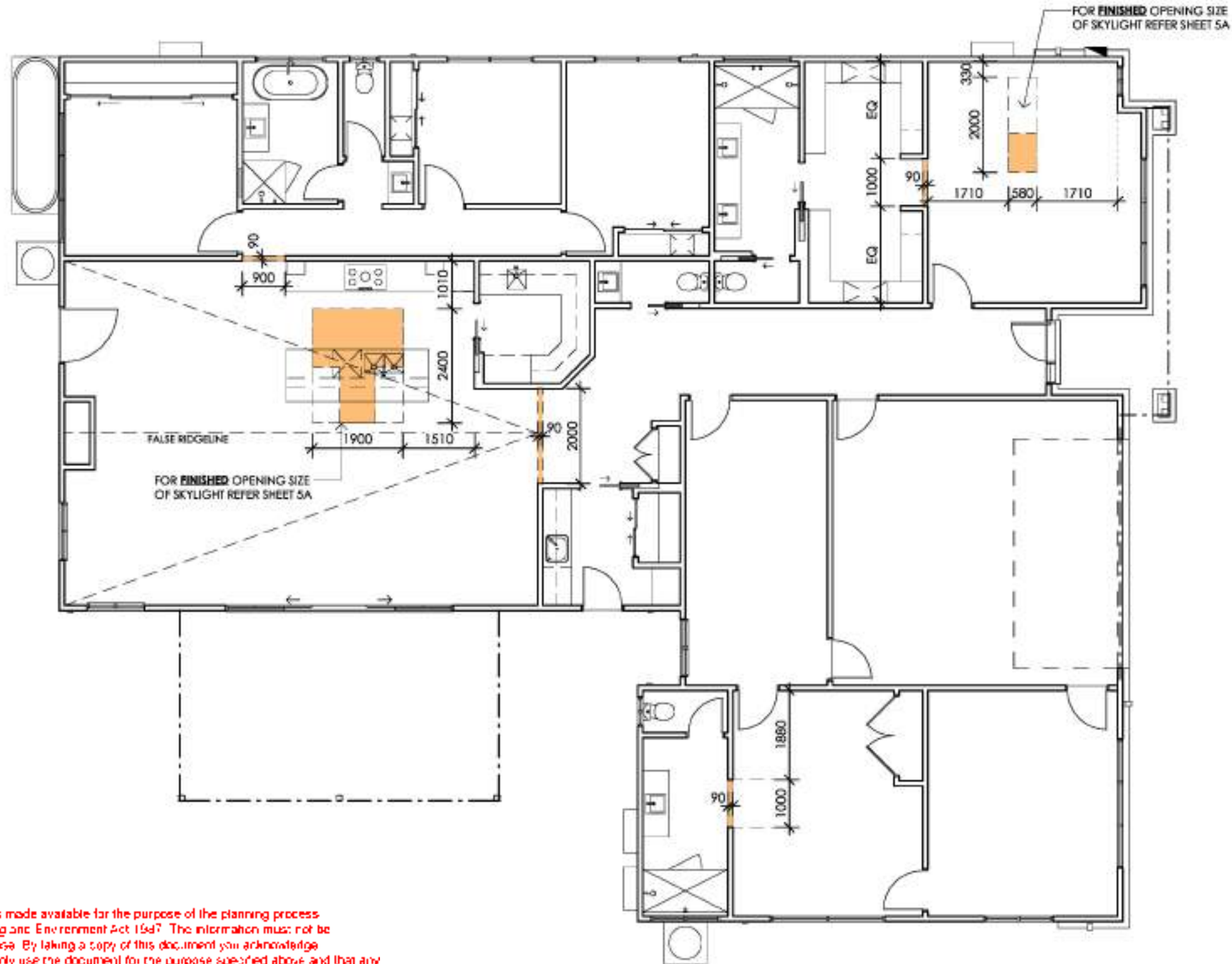
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**LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782**

DRAWING FILE: <b>SETOUT PLAN</b>	
ISS: 7	
ISS DATE: 15.08.24	
SCALE: 1 : 100	MADE DATE: 31.01.22
DRAWN: JG	CHECKED: ILS
SHEET NO: 08	OF 12



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EMERALD, 3782**

DRAWING TITLE:  
**BULKHEAD PLAN**

ISSUE: F

ISSUE DATE: 15.08.24

SCALE: 1:100

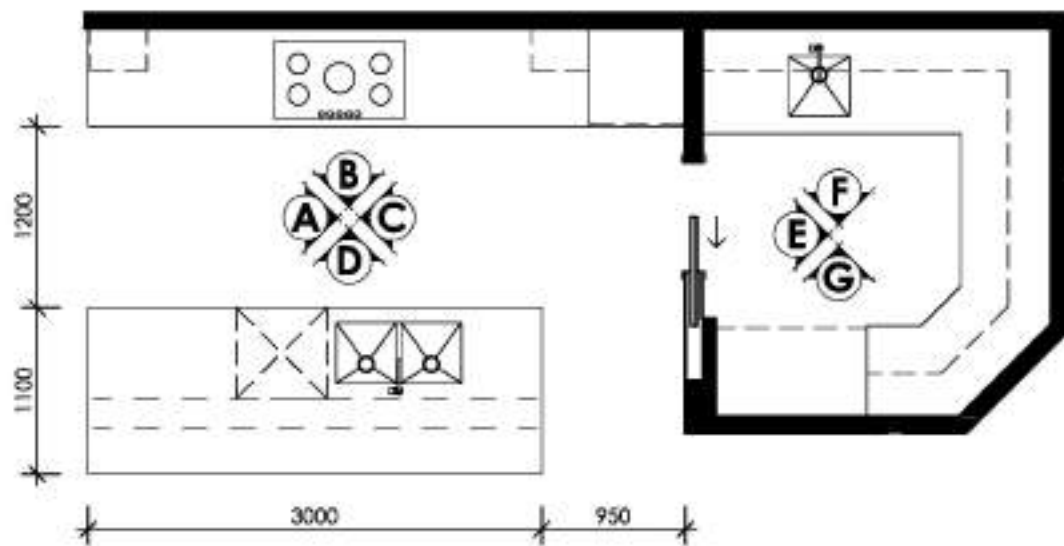
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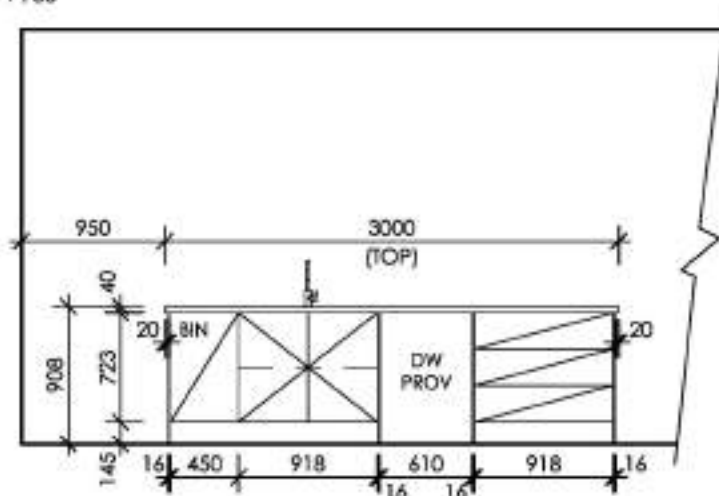
SHEET NO: 09 OF 12



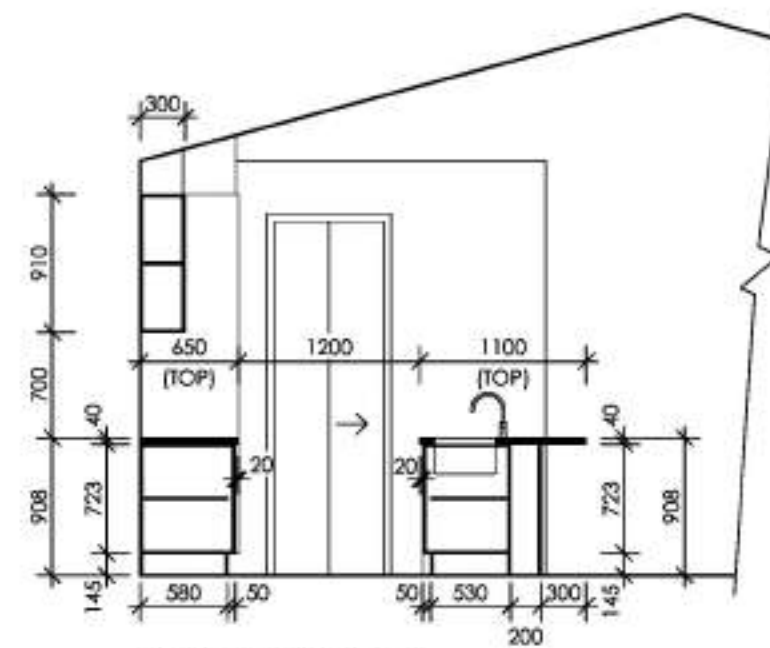


### KITCHEN/WIP

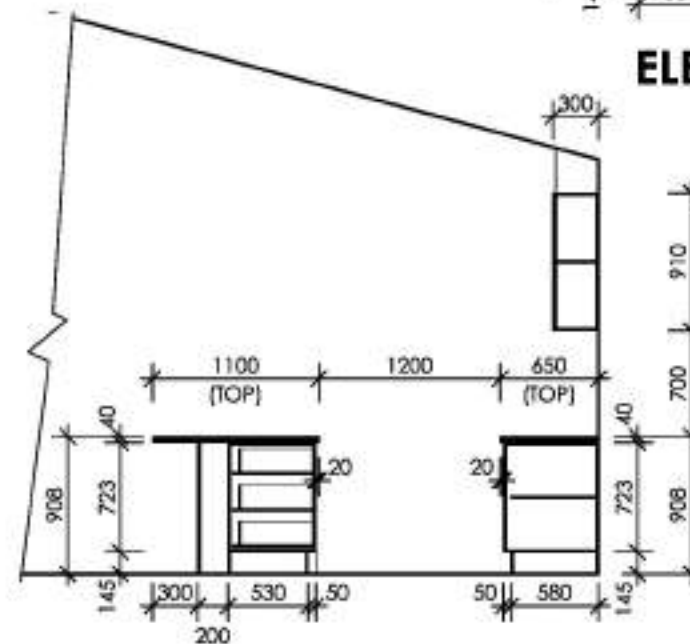
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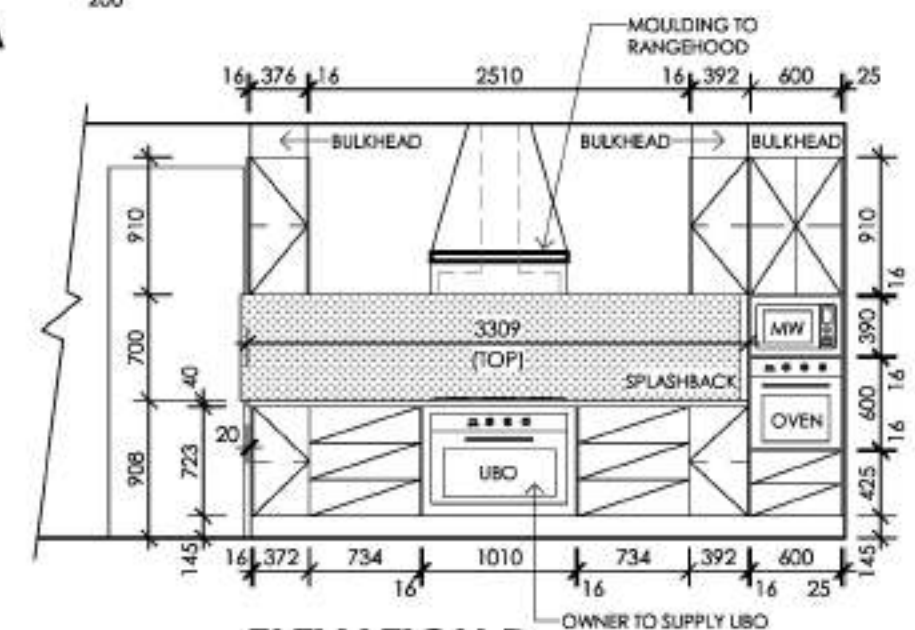
**ELEVATION B**



**ELEVATION A**



**ELEVATION C**

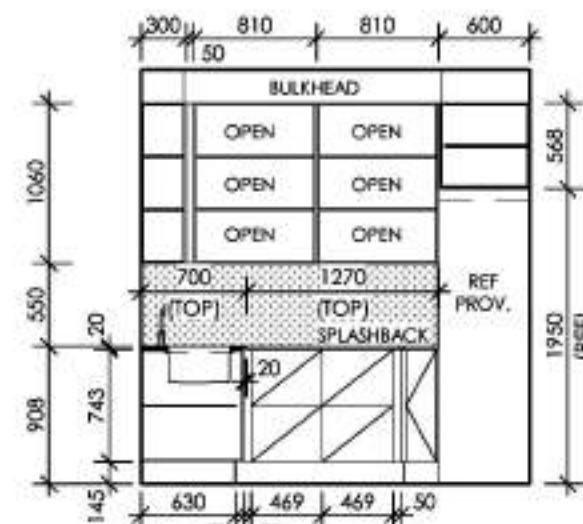


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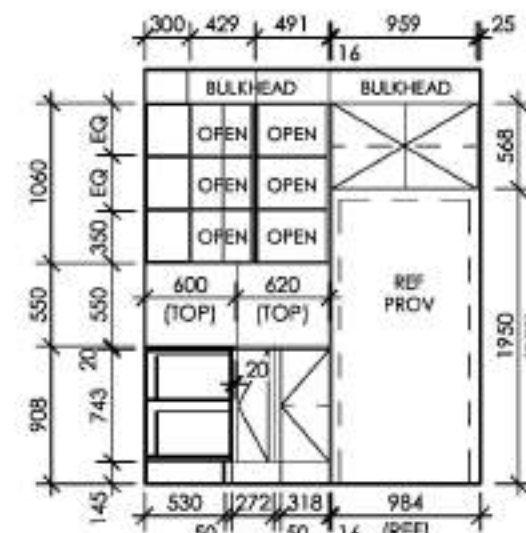
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#### GENERAL NOTES

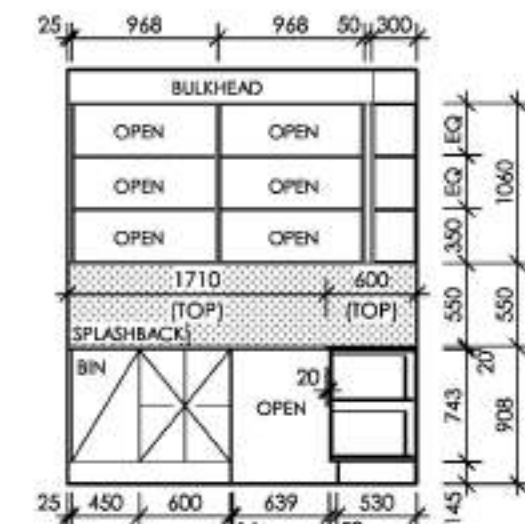
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- CABINERY DIMENSIONS ARE APPROXIMATE ONLY AND MAY BE ALTERED BY CABINET MAKER TO SUIT
- KITCHEN/WIP INTERNAL ELEVATIONS ARE DIMENSIONED TO PLASTER, NOT FRAME
- CONFIRM SPECIFICATION OF TOILET FOR HEIGHT OF WATER POINT
- WALL TILING HEIGHTS ARE NOMINAL ONLY AND ARE SUBJECT TO SELECTED WALL TILE SIZE



**ELEVATION E**



**ELEVATION F**



**ELEVATION G**

433 Princes Hwy  
Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
info@sjdhomes.com.au

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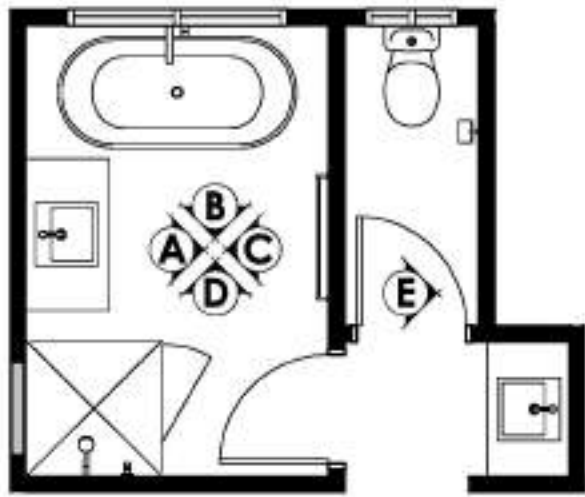
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DATE:

SITE ADDRESS:  
**LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782**

DRAWING TITLE:  
**KITCHEN INTERNALS**

ISSUE: F  
ISSUE DATE: 15.08.24  
SCALE: 1:50  
DRAWN: JG  
SHEET NO: 10 OF 12

MASTER DATE: 31.01.22  
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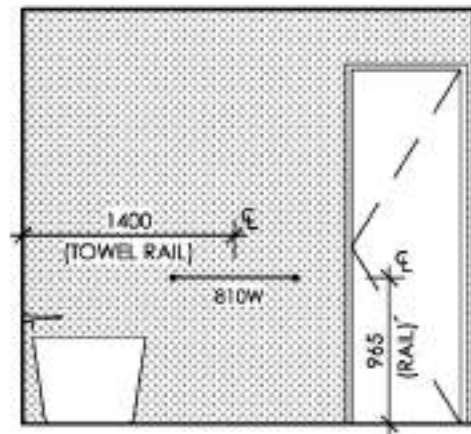


### BATHROOM/WC

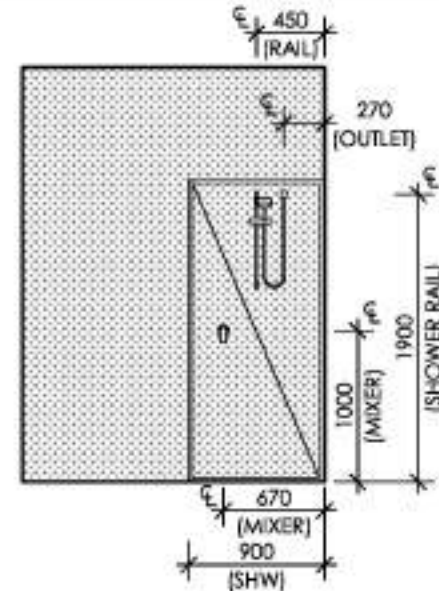
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#### GENERAL NOTES

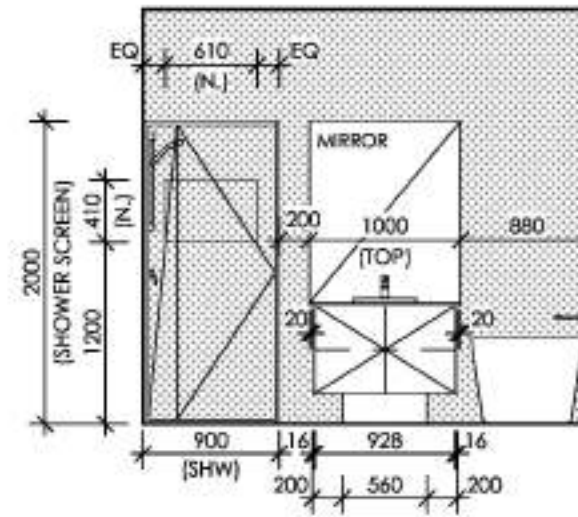
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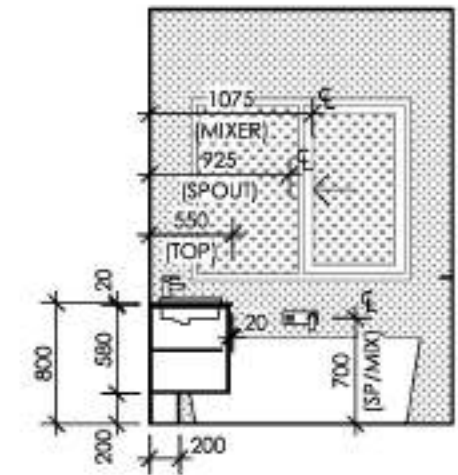
ELEVATION A



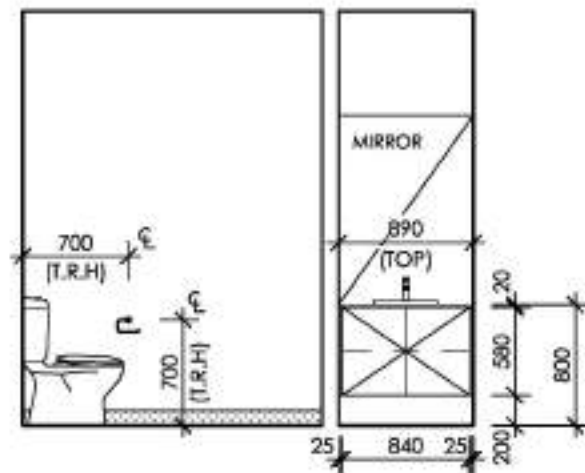
ELEVATION B



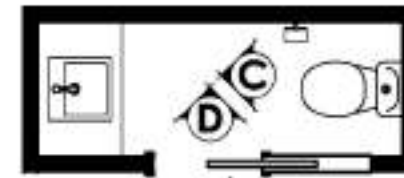
ELEVATION C



ELEVATION D



ELEVATION E



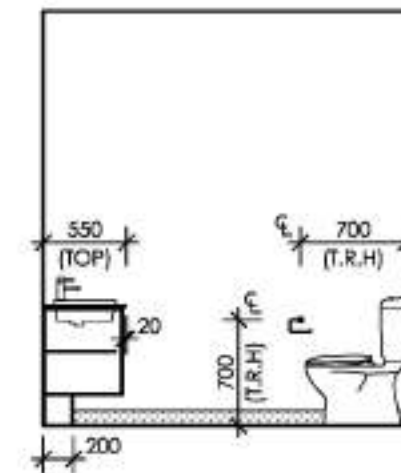
### POWDER

1 : 50

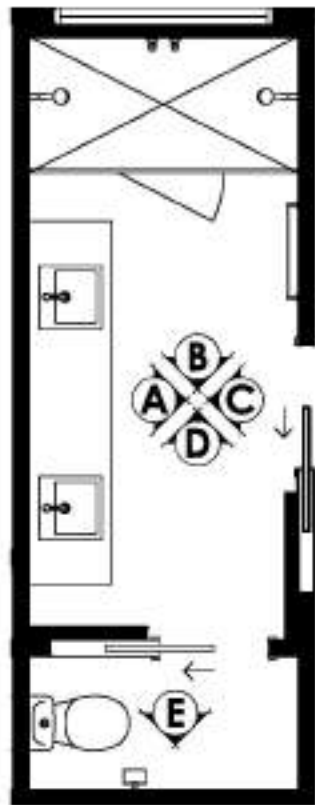
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ELEVATION C

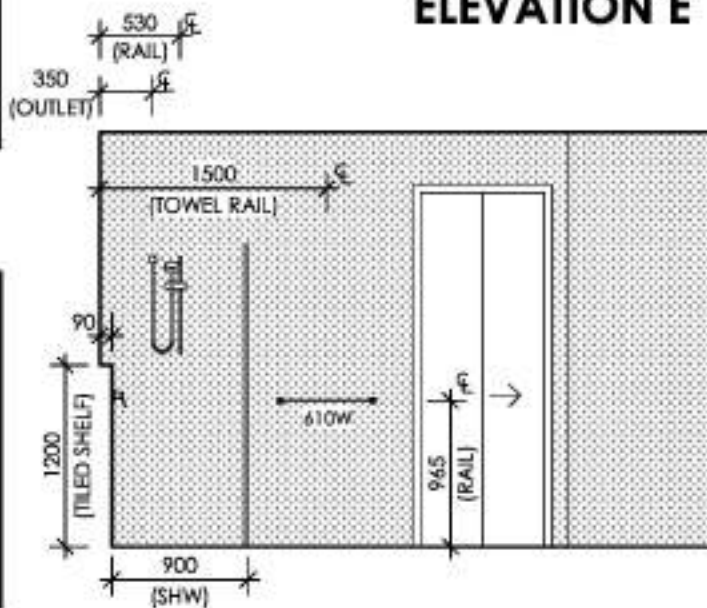


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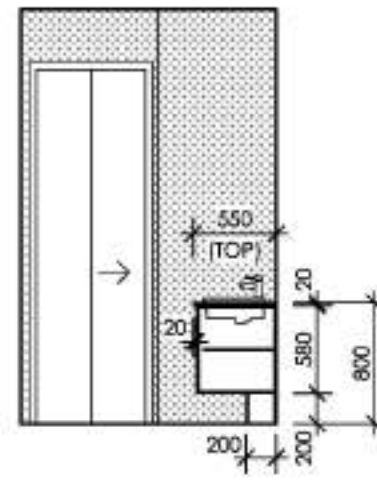


### ENSUITE

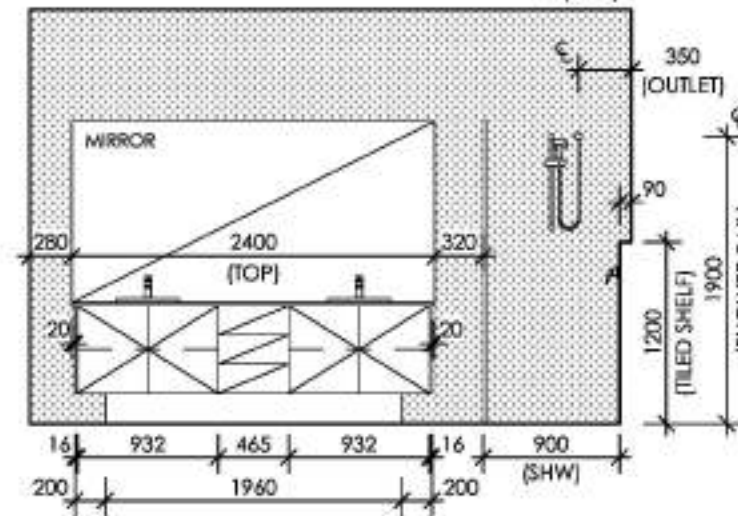
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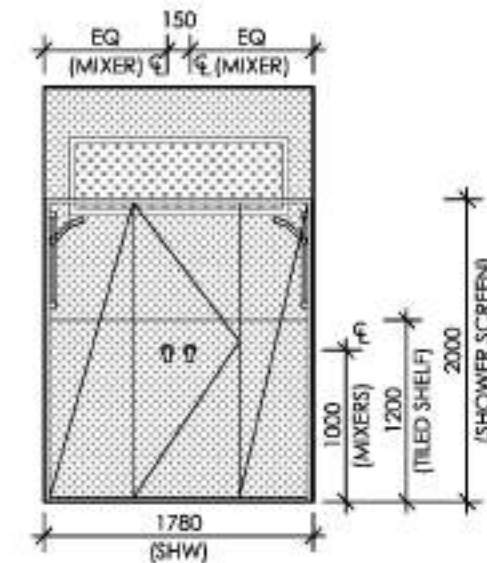
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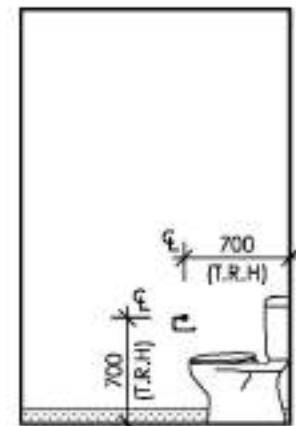
ELEVATION B



ELEVATION C



ELEVATION D



ELEVATION E



433 Princes Hwy  
Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
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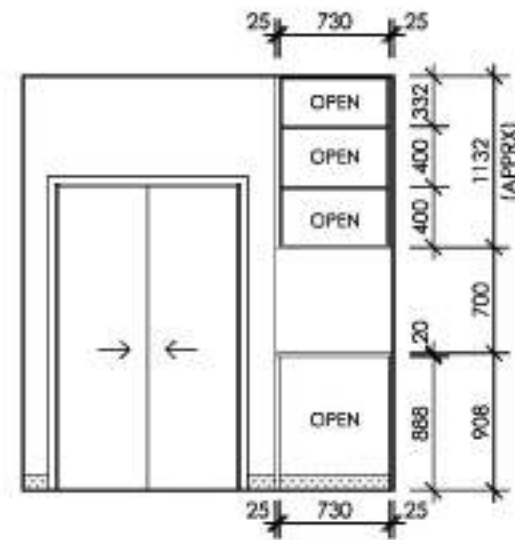
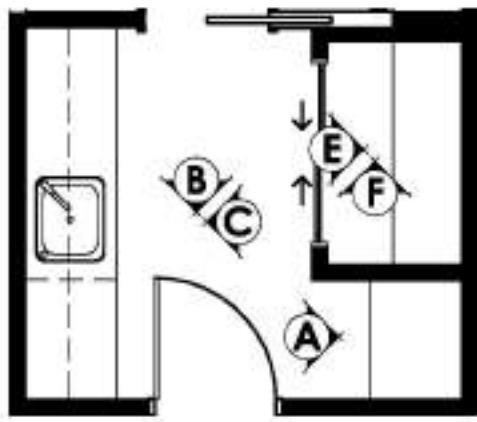
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DATE:

LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782

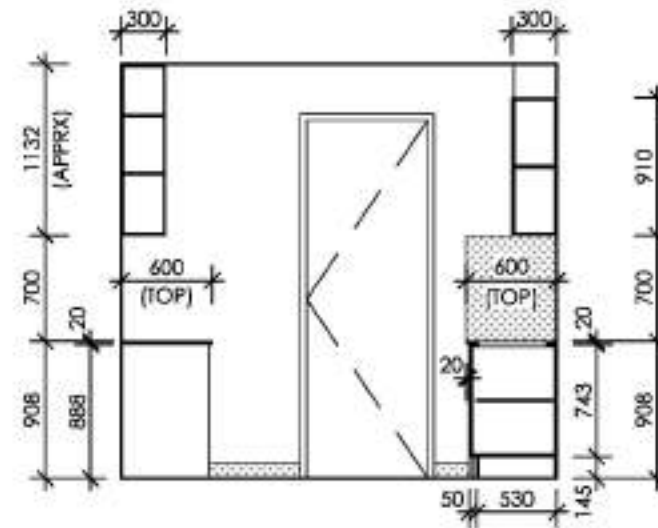
DRAWING TITLE:  
**INTERNAL ELEVATIONS**

ISSUE: F  
ISSUE DATE: 15.08.24  
SCALE: 1 : 50  
DRAWN: JG  
SHEET NO: 11 OF 12

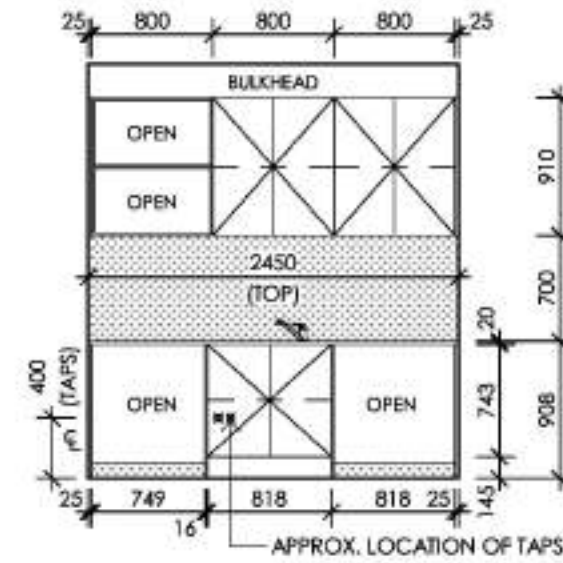
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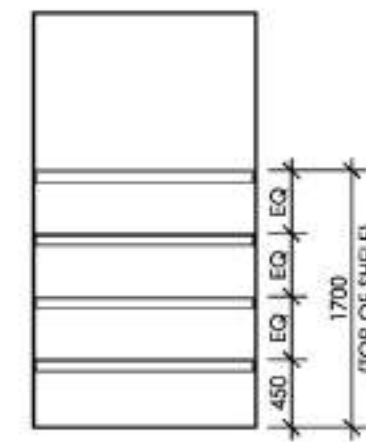
**ELEVATION A**



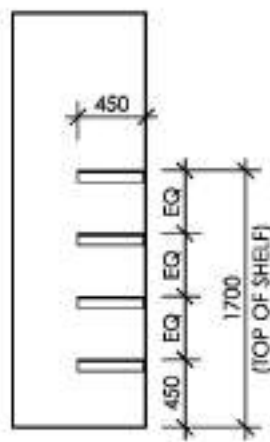
**ELEVATION B**



**ELEVATION C**



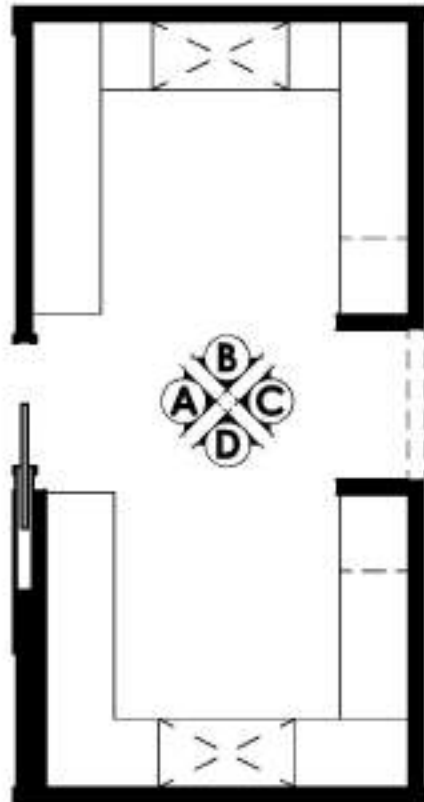
**ELEVATION E**



**ELEVATION F**

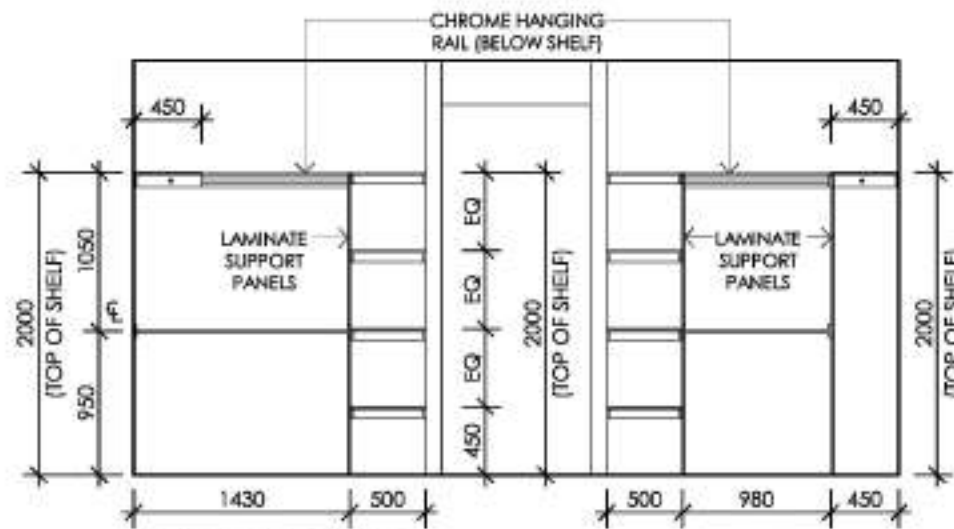
**LAUNDRY/WIR**

1 : 50

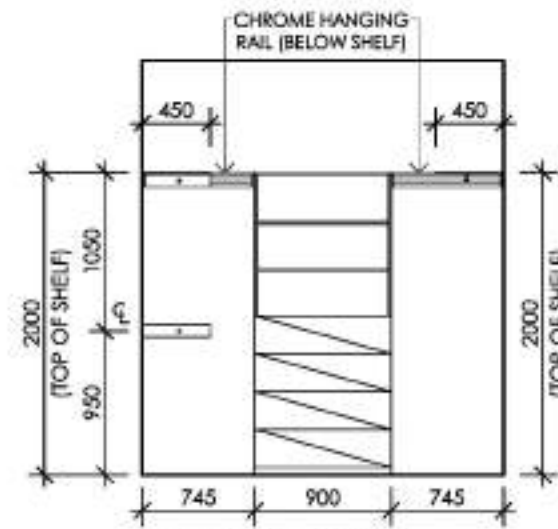


**WIR**

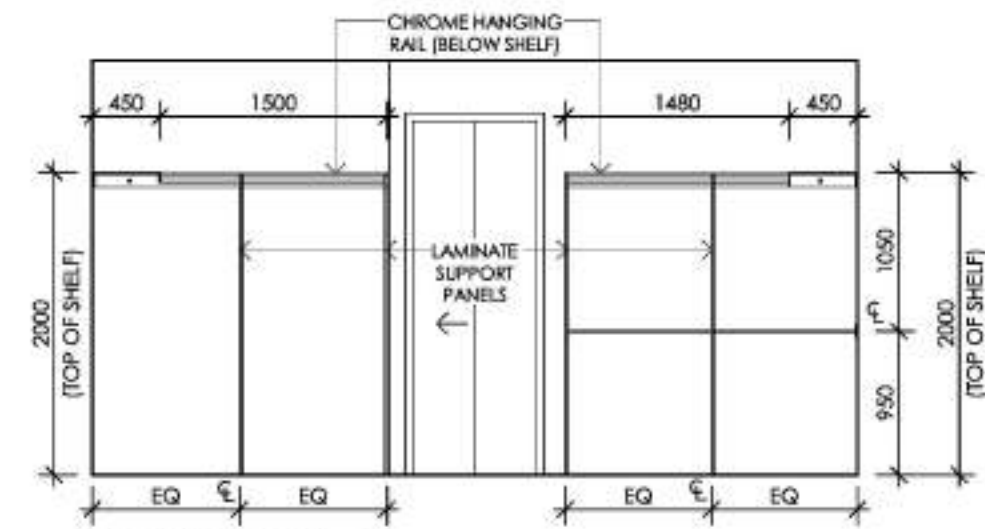
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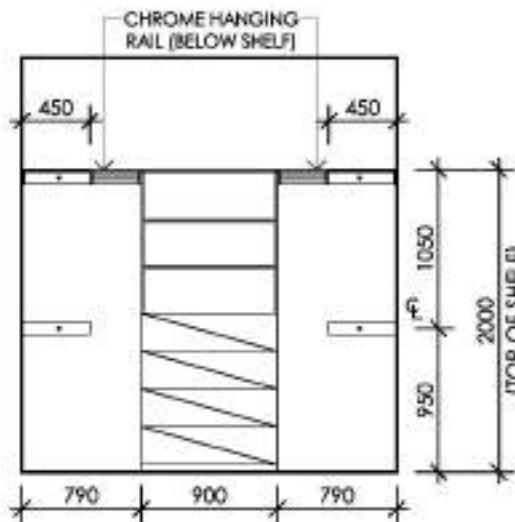
**ELEVATION A**



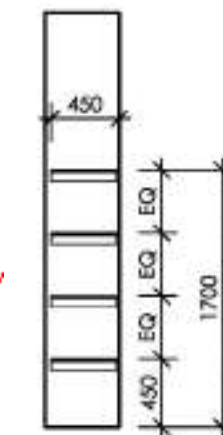
**ELEVATION B**



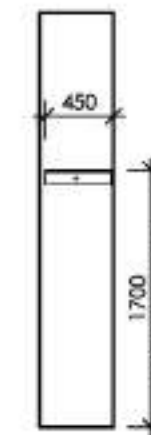
**ELEVATION C**



**ELEVATION D**



**LINEN**  
(TYPICAL)



**ROBE**  
(TYPICAL)

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- GENERAL NOTES**
- DIMENSIONS OF TAPWARE/WATER/GAS POINTS ARE APPROXIMATE ONLY AND ARE AT THE DISCRETION OF THE PLUMBER
  - CABINETRY DIMENSIONS ARE APPROXIMATE ONLY AND MAY BE ALTERED BY CABINET MAKER TO SUIT
  - KITCHEN/WIP INTERNAL ELEVATIONS ARE DIMENSIONED TO PLASTER, NOT FRAME
  - CONFIRM SPECIFICATION OF TOILET FOR HEIGHT OF WATER POINT
  - WALL TILING HEIGHTS ARE NOMINAL ONLY AND ARE SUBJECT TO SELECTED WALL TILE SIZE

433 Princes Hwy  
Officer VIC 3809  
Ph: 9095 8000  
Fax: 9095 8010  
info@sjdhomes.com.au

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PROPOSED:  
**HOUSE & GARAGE**

HOUSE TYPE:  
**CAVERSHAM GRAND (MODIFIED)**

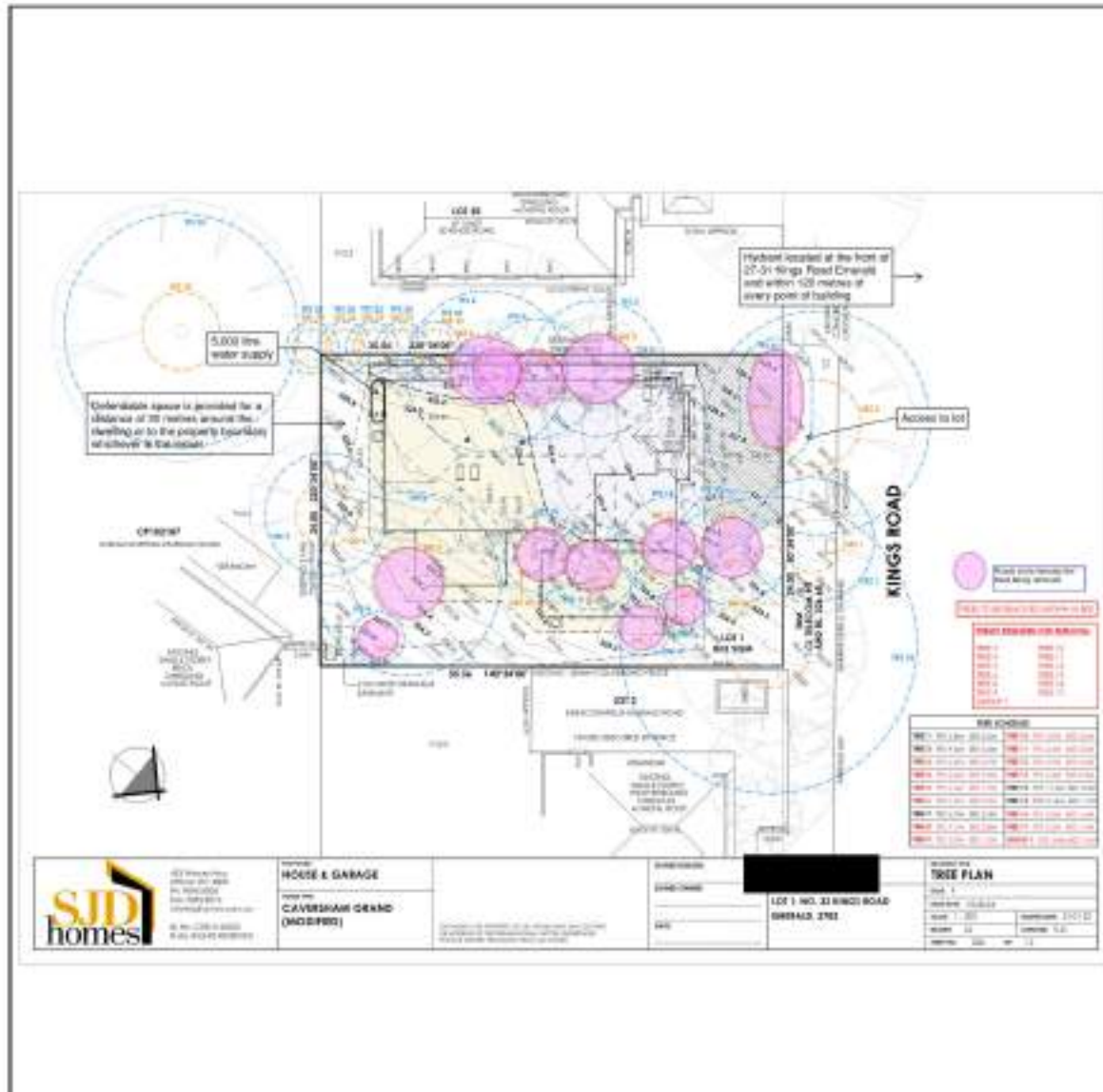
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SIGNED BUILDER:  
SIGNED OWNER:  
DATE:

**LOT 1, NO. 32 KINGS ROAD  
EMERALD, 3782**

<b>DRAWING TITLE: INTERNAL ELEVATIONS</b>	
ISSUE: F	
ISSUE DATE: 15.08.24	
SCALE: 1 : 50	MASTER DATE: 31.01.22
DRAWN: JG	CHECKED: TLG
SHEET NO: 12	OF: 12

# Bushfire Management Plan – 32 Kings Road Emerald VIC 3782



## Bushfire Protection Measures

### Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorized by this permit has been completed.

#### a) Defendable Space

Defendable space is provided for a distance of 30 metres around the dwelling or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 2 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

#### b) Construction Standard

Dwelling designed and constructed to a minimum Bushfire Attack Level of BAL – 12.5

#### c) Water Supply

The following requirements apply:

- + An effective capacity of 5,000 litres.
- + Be stored in an above ground water tank constructed of concrete or metal.
- + Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosion resistant metal.
- + Include a separate outlet for occupant use.

#### d) Access

Access Required: No

# Arboricultural Impact Assessment Report

32 Kings Road, Emerald

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22 March 2024

Tree Logic Ref. 011518



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Tree Report\_011518 - 32 Kings Road, Emerald-

File No.	Version	Author	Issue date	Edits	Issued by.
011518	V1	Bruce Callander	24/01/2024	Preliminary tree report	BC
011518	V2	Bruce Callander	22/03/2024	Add Neighbour’s Trees & Extents Of Cut & Fill	BC
011518	V3	Bruce Callander	22/08/2024	Update impacts based on no cut within TPZ of Tree 2	BC



# 1 Executive Summary

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## Objectives

Tree Logic was engaged by Ben White to undertake a tree assessment and prepare an arboricultural impact report for trees associated with 32 Kings Road, Emerald.

The primary objectives of the arboricultural report include;

- Ascertain the species and origin of the subject trees within the site and provide information including dimensions, health, structural condition and the arboricultural value of the trees.
- Determine appropriate tree protection zone dimensions compliant with Australian Standard AS4970 'Protection of trees on development sites'
- Identify if trees are subject to permit and / or offset requirement under various planning overlays.
- Identify potential tree impacts associated with proposed works and offer recommendations regarding the management of trees, including any tree protection modification or additional requirements for trees required to be retained.
- Identify trees on neighbouring properties within 15 metre radius of proposed development (including cut and fill)
- Identify trees to be retained or removed as part of the development proposal.

## Summary

- 1.1 Eighteen (18) tree features, comprising 17 individual trees and one group of 4 semi-mature weed trees, were inspected that were growing within the subject site, 32 Kings Road, Emerald or in the adjacent road reserve of Kings Road.
- 1.2 Observations of species, dimensions and condition were made of the trees identified on supplied survey plans as well as some smaller trees not previously surveyed. Tree assessment data is provided in Appendix 1 and tree location and TPZ mapping is provided in Appendix 2.
- 1.3 Fourteen (14) different species were recorded comprising of assorted Victorian and Australian Native trees interspersed with exotic tree species either planted for garden and amenity purposes or being self-sown weeds.  
Refer to Section 4 for site description.
- 1.4 Each tree feature was attributed an arboricultural rating which reflects the retention value of the trees.
  - Three (3) trees rated Moderate B, being middle of the range, typical of the species and worthy of retention.

- Three (3) trees were rated Moderate C, being of either small size, established woody weed species or displaying some deficiencies and were trending towards becoming of Low arboricultural value.
- Eleven (11) trees were rated Low, either being of diminutive size, shrubs or displaying symptoms of decline and / or structural defects.
- One (1) trees were attributed a rating of Very Low due to being a woody weed species.

Refer to Table 4 in Section 4 for Trees sorted by Arboricultural Rating.

- 1.5 The site falls within the Cardinia Shire Council Planning Scheme and is subject to several planning overlays, most notably, Schedule 2 of the Vegetation Protection Overlay (VPO2) which applies to all vegetation on site with specific exemptions to certain weed species or dead trees as detailed in the Table in VPO2.

The exemptions include numerous weed species that were observed on site including,

- Tree 3 - Cherry Laurel (*Prunus laurocerasus*)
- Trees 5 & 13 Evergreen Dogwood (*Cornus capitata*)
- Tree 12 Grey-leaved Cotoneaster (*Cotoneaster glaucophyllus*)
- Group 1 comprising 4 x English Holly (*Ilex aquifolium*)

Refer to Table 1 in Section 3 for Trees sorted by Permit Requirements.

- 1.6 Having been recently subdivided from 8 Emerald Beaconsfield Road to form a new residential allotment of 850 square metres, it is proposed to construct a new residential dwelling on the site with driveway access from the existing gravel crossover between trees 1 and 2.

- 1.7 The perceived impacts associated with the proposed development are identified in Section 6 of this report and summarised in Table 4. Under the current design;

- Tree 15 is not impacted.
- The TPZ of Trees 7 & 14 will have fill diminishing over their TPZs.
- The SRZ of council street trees are notionally impacted but no more than existing.
- Trees 3, 4, 5, 6, 8, 9, 10, 11, 12, 13, 16, 17, Group 1 will be removed.

Refer to Section 6 for design review and details of tree impacts.

- 1.8 Fourteen (14) additional trees have been identified that exist within 15 metres radius of the proposed development including areas of cut and fill. They include

- 9 trees in the eastern neighbours property
- 5 trees in the western neighbour's property including 4 young Dwarf Magnolia trees with a small root ball.
- Based on the appropriate TPZs and the limited root size of the young Magnolias it is concluded that none of these additional neighbours trees will be impacted by proposed development.



## 2 Method

- 2.1 A site inspection was carried out on Monday, January 22<sup>nd</sup>, 2024, during mild conditions by Bruce Callander, Senior Consultant Arborist (Dip Hort. Cert 5 Arb. NMIT, TRAQ trained and qualified).
- 2.2 Tree locations were recorded on mobile field computers equipped with GIS software displaying the level and feature survey plan of the site including all tree point data, property cadastral data, GPS and geo-referenced aerial imagery.
- 2.3 Observations were made of the assessed trees to determine the species, age category, and condition with measurements taken to establish tree crown height (measured with a height meter) and crown width (paced) and trunk dimensions (measured 1.4 metres above ground level with a diameter tape unless otherwise stated).
- 2.4 Assessment details of individual trees are listed in Appendix 1 and a copy of the tree location plan can be seen in Appendix 2.  
Descriptors used in the assessment can be seen in Appendix 3.
- 2.5 Photographs of the trees and the environs were taken for further reference when preparing the report.
- 2.6 Each of the assessed trees was attributed an 'Arboricultural Rating'. The arboricultural rating correlates the combination of tree condition factors (health and structure) with tree amenity value. Definitions of arboricultural ratings can be seen in Appendix 3.
- 2.7 The assessed trees have been allocated tree protection zones (TPZ). The Australian Standard, AS 4970-2009, has been used as a guide in the allocation of TPZs for the assessed trees. This method provides a TPZ that addresses both the stability and growing requirements of a tree. TPZ distances are measured as a radius, from the centre of the trunk at (or near) ground level. All TPZ measurements for are provided in Appendix 1.

### Documents reviewed:

- Planning Property reports for 32 Kings Road, Emerald. 3782. Department of Planning & Community Development, dated 18/1/2024
- Neighbourhood Residential Zone - Schedule 1 (NRZ1)
- Bushfire Management Overlay - Schedule 1 (BMO1)
- Design and Development Overlay - Schedule 2 (DDO2)
- Vegetation Protection Overlay - Schedule 2 (VPO2)
- Proposed Subdivision Plan (Levels and Features) - 32 Kings Road, Emerald Prepared by Speedie Development Consultants . Ref: 12745PF. Date: 24/5/2021
- Plan of Proposed House & Garage - Caversham Grand 327 (Modified) Tree Plan - Prelim G, Proj: Lot 1, No. 32 Kings Road Emerald prepared by SJD Homes. Date: 29/01/2024



### 3 Tree Permit Requirements

- 3.1 The site falls within the Cardinia Shire Council Planning Scheme and is within the Neighbourhood Residential Zone - Schedule 1 (NRZ1).
- 3.2 Schedule 2 of the Vegetation Protection Overlay (VPO2) applies to all vegetation on site with specific exemptions to certain weed species or dead trees as detailed in the Table in VPO2.

The exemptions include numerous weed species that were observed on site including,

- Tree 3 - Cherry Laurel (*Prunus laurocerasus*)
- Trees 5 & 13 Evergreen Dogwood (*Cornus capitata*)
- Tree 12 Grey-leaved Cotoneaster (*Cotoneaster glaucophyllus*)
- Group 1 comprising 4 x English Holly (*Ilex aquifolium*)

- 3.3 Trees within 2-4 metres of a boundary fence constructed prior to 2009 may be permit exempt under Bushfire Management Overlay exemptions under Clause 52.48.

- Several potentially large growing Southern Mahogany (*Eucalyptus botryoides*) are growing along the western boundary within 1.5 metres of the boundary fence and behind the existing car port. These trees are growing atop a retaining wall with insufficient space to accommodate the potentially large growing tree species. These trees have also been heavily pruned on the western side to remove branches overhanging the western neighbour's property.
- It is concluded these trees are inappropriately large for the growing area and are unsuitable to retain amid the existing residential dwellings and sheds to the east and west.
- Trees within 10 metres of the existing dwelling built prior to 2009 are also exempt under the Bushfire Protection Exemptions – Clause 52.12.

- 3.4 Native Vegetation Clause 52.17 does not apply to the subject site as it is less 0.4 of a hectare.

- 3.5 Based on the various permit requirements and exemptions, a column titled Permit has been included in the tree assessment data in Appendix1 indicating which trees trigger permit and which would be exempt were they to be removed. The tree numbers sorted by permit requirements are summarised below in Table 1.

Table 1: Permits	Total	
VPO2	8	8, 9, 10, 11, 14, 15, 16, 17
Weed	5	3, 5, 12, 13 Grp 1
BMO exemption (Within 4 metres of boundary fence)	3	4, 6, 7
Street trees	2	1, 2
<b>Total</b>	<b>18</b>	

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## 4 Observations

- 4.1 The subject site is a vacant residential allotment of approximately 850 square metres on the south side of Kings Road with a gravel driveway access from Kings Road between Trees 1 and 2 with an existing shed at the end of the driveway towards the southern boundary.

The site slopes downwards from the western boundary towards the east. The overall slope falls from the north-west corner to the south east corner with a slope of approximately 1:7.5. There were no creeks or natural drainage lines observed within the study area.



Plate 1. Aerial view of 32 Kings Road, Emerald (Red boundary).

- 4.2 Tree population

Eighteen (18) tree features were assessed within the subject site comprising seventeen (17) trees and 1 groups of 4 weed trees. Fourteen (14) different species of various native and exotic species, either planted for garden and amenity purposes or being self-sown weeds.

Refer to Table 2 Tree species and Origin.

Table 2 for *Botanic name*, Common Name and Origins.

Botanic name	Common Name	Origin	Count	Tree id
<i>Dicksonia antarctica</i>	Soft Tree Fern	Victorian native	1	15
<i>Eucalyptus botryoides</i>	Southern Mahogany	Victorian native	2	4, 6
<i>Acmena smithii</i>	Lilly Pilly	Victorian native	1	2
<i>Corymbia ficifolia</i>	Red-flowering Gum	Australian native	1	14
<i>Syzygium paniculatum</i>	Magenta Cherry	Australian native	1	7
<i>Cotoneaster glaucophyllus</i>	Grey-leaved Cotoneaster	Exotic evergreen	1	12
<i>Cryptomeria japonica</i> 'Elegans'	Japanese Cedar	Exotic conifer	1	8

Botanic name	Common Name	Origin	Count	Tree id
<i>Cyathea tomentosissima</i>	Wooly Tree Fern	Exotic fern	2	11, 17
<i>Ilex aquifolium</i>	English Holly	Exotic evergreen	2	1, Grp 1
<i>Cornus capitata</i>	Evergreen Dogwood	Exotic evergreen	2	5, 13
<i>Prunus laurocerasus</i>	Cherry Laurel	Exotic evergreen	1	3
<i>Rhododendron sp.</i>	Rhododendron	Exotic evergreen	1	16
<i>Strelitzia nicolai</i>	Giant White Bird of Paradise	Exotic evergreen	1	10
<i>Jacaranda mimosifolia</i>	Jacaranda	Exotic deciduous	1	9

4.3 Tree health was assessed based on foliage colour, size and density as well as shoot initiation and elongation where possible.

- Thirteen (13) of the trees displayed Fair or better health characteristics considered typical for the species growing in this location under current conditions.
- Five (5) trees displayed Fair to Poor Health with symptom of decline and dieback.

4.4 Tree structure was assessed for structural defects and deficiencies, likelihood of failures and risk to potential targets.

- Nine (9) trees displayed Fair and acceptable structural condition.
- Eight (8) trees displayed Fair to Poor structure with either crown asymmetry, over-extended limbs, crossing / crowded branches, trunk or limb wounds or acute forks.
- One (1) tree displayed Poor structure being a sprawling shrub.

4.5 Arboricultural Rating

*This copied document is made available for the purpose of the planning process. The assessed trees were attributed an arboricultural rating. This rating relates to the combination of tree condition factors including health and structure (arboricultural merit), and also conveys an amenity value. It should be noted that the arboricultural rating is different to the conservation / ecological values placed on trees by other professions. Refer to Table 4*

Table 3 - Tree numbers sorted by Arboricultural rating.

Arboricultural rating	Total	Tree Numbers
Moderate B	3	2, 7, 14
Moderate C	3	1, 8, 9
Low	11	4, 5, 6, 10, 11, 12, 13, 15, 16, 17, Grp 1
Very Low	1	3
Total	18	

- Trees attributed an arboricultural rating of Moderate A are generally a moderate to large, maturing tree that contributes to the landscape character. The tree may have conservation values.
- Trees rated Moderate B are generally typical of the species growing in this area under prevailing conditions and are deemed suitable to retain in conjunction with development where possible.
- Trees rated Moderate C are either established smaller trees of Fair condition or maturing trees that might be accumulating deficiencies and trending towards becoming of Low arboricultural value.

- Trees rated Low are generally unremarkable and of low quality or little amenity value.
- Trees attributed an arboricultural rating of Very Low are not worthy of retention and are recommended for removal based on sound arboricultural opinion.

Refer to Appendix 1 for individual tree data, Appendix 2 for Tree location plan sorted by Arboricultural rating and Appendix 3 for definitions of arboricultural ratings.

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## 5 Tree Protection Zones

The Tree Protection Zones (TPZs) provided for each tree in the Tree Assessment Table in Appendix 1 are calculated using the formula provided in the Australian Standard AS4970 where the Radial TPZ = Trunk diameter (DBH) measured at 1.4m above grade and multiplied by 12. TPZ distances are measured as a radius from the centre of the trunk at (or near) ground level. The method for calculating, applying and managing the tree protection zone is described in Appendix 4.

The TPZ forms an area around a tree or group of trees that addresses both the stability and growing requirements of a tree in which excavation or filling, vehicle movements, installation of underground services and other construction activities are either excluded or controlled.

Minor encroachment, up to 10% of the TPZ area, is generally permissible provided encroachment is compensated for by recruitment of an equal area contiguous with the TPZ. Encroachment greater than 10% is considered major encroachment under AS4970 and is only permissible if it can be demonstrated that after such encroachment the tree would remain viable. Refer to Figure 2A and 2B.

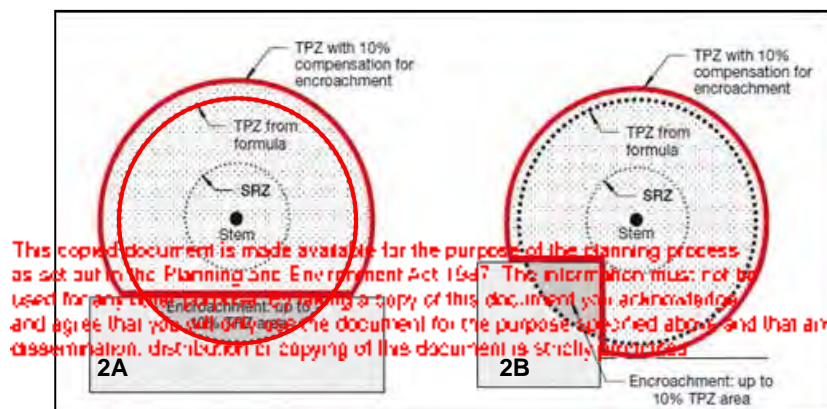


Figure 2: 2A & 2B - Examples of minor encroachment into a TPZ.

Extract from: AS4970-2009, Appendix D, pg. 30 of 32

Where existing built form is present within the TPZ of a tree, it is likely to have impeded root colonisation in that area. The existing building footprint can therefore be adopted as precedent for development associated with any new proposed construction. This would apply in the case of Trees 10 & 11 which are located close to the existing sheds, garage and retaining wall.

The Structural Root Zone (SRZ) provided for each tree has been calculated using the method provided in AS4970. The SRZ is the area in which the larger woody roots required for tree stability are found close to the trunk and which then generally taper rapidly. This is the minimum area recommended to maintain tree stability but does not reflect the area required to sustain tree health. No works should occur within the SRZ radius as tree stability could be compromised.

See Appendix 4 for TPZ establishment and types of encroachment.

The TPZs for all trees to be retained must be transferred and overlaid on all design plans.

All TPZ measurements are provided in the tree assessment data in Appendix 1 and displayed on the tree location plan in Appendix 2.

## 6 Design review and Tree impact assessment

The pre – development arboricultural inspection report provides planners and designers with information on whether trees are worthy or not of being a constraint on the proposed works within the subject site.

It also provides a basis on which to identify when and where potential impacts to trees will occur from various design elements and evaluates the possible severity of the impact during the design phase of any site redevelopment.

Trees grow in a delicate balance with their environment and any changes to that balance must be minimised if a tree is to remain in a healthy state and fulfil its potential.

It is rarely possible to repair stressed and injured trees, so damage needs to be avoided during all stages of development and construction.

Tree protection cannot be achieved without a proactive approach. The planning and design stages of any construction project can be instrumental and determine the success of tree preservation.

The hierarchy of principles for tree protection are:

- Avoid damage to the subject trees
- Minimise damage to the subject trees
- Replace the subject trees and improve the landscape (as a last resort).

At the time of preparing the arboricultural report, the plans for Proposed residential dwelling on the 850 square metre site were provided for review and an impact assessment has been prepared. (refer to Plan of Proposed House & Garage, Caversham Grand, 327 (Modified) Tree Plan - Prelim G, Proj: Lot 1, No. 32 Kings Road Emerald prepared by SJD Homes. Date: 29/01/2024)

Under the current design

- 6.1 Trees 3, 4, 5, 6, 8, 9, 10, 11, 12, 13, 16, 17 and Group 1 exist within the footprint of the new house and areas of cut and fill causing these trees to be unsustainable.
- 6.2 The TPZs of council street trees, Trees 1 and 2, are notionally impacted by the driveway and crossover. Given the current compacted gravel driveway crossover exists within the SRZs of these trees, it is considered likely that these trees will tolerate further consolidation of the driveway. Despite tree 1 being a listed weed species, the tree will require council permission were it to be removed.
  - The SRZ of Tree 13, Dogwood, is also encroached by driveway consolidation. It is a listed weed tree that should be removed for sound environmental reasons without permit requirement
  - The extent of TPZ encroachment for tree 7 is notionally 34%, however the tree is already growing with fill in the TPZ associated with the pad of the existing double garage on site and the perceived changes will be minimal.
- 6.3 The TPZ of Tree 14 will have minor construction impact associated with the battered fill extending into their TPZs.

- The extent of TPZ encroachment for tree 14 is notionally 14%, however the tree is already growing with compacted fill associated with the existing driveway and also has paths and other trees and shrubs within the TPZ. The extent of fill indicated will be diminishing within the TPZ and the perceived changes to the growing environment will be minimal and tolerated by this specimen.

6.4 Group 1 are weeds trees that should be removed for sound environmental reasons without permit requirement.

6.5 The TPZs of Tree 15 is sufficiently removed from the proposed works to be retained without impact.

The trees impacted by the works are summarised below in Table 4.

Table 4: Perceived Tree impacts

Tree Impacts	Total	Tree Numbers	Anticipated impacts
No TPZ encroachment	1	15	No TPZ encroachment. Establish TPZ barrier mesh between TPZ and any proposed construction related activity.
TPZ encroachment ~14%	2	2, 14	TPZ encroachment of ~14% by diminishing fill Establish TPZ barrier mesh 1 metre beyond extent of works.
Construction footprint extends into SRZ	3	1, 7, 13	Erect TPZ fencing at edge of works for Trees 1 & 2 & Maintain existing levels in driveway & crossover. Tree 7 TPZ is already in fill. Remove Tree 13 - listed weed species.
Within construction footprint. Identified for removal	12	3, 4, 5, 6, 8, 9, 10, 11, 12, 16, 17, Group 1	Trees are unsustainable and identified to be removed.
Total	18		

Based on these impacts the following trees are to be removed and retained. Refer to Table 5.

Table 5 – Tree retention and removal.

Status	Count of Status	treenos
Remove	13	3, 4, 5, 6, 8, 9, 10, 11, 12, 13, 16, 17, Group 1
Retain (Preserve current levels)	2	1, 2
Retain (already growing in fill)	1	7
Retain (Batter diminishing in TPZ)	1	14
Retain	1	15

Refer to Appendix 1A for tree impact assessment data and Appendix 2B for Tree impact plans.

6.6 Fourteen (14) additional trees have been identified that exist within 15 metres radius of the proposed development including areas of cut and fill. They include

- 9 trees in the eastern neighbours property
- 5 trees in the western neighbour's property including 4 young Dwarf Magnolia trees with a small root ball.



Based on the appropriate TPZs for each of these trees, as well as the limited root size of the young Magnolias, it is concluded that these additional neighbour trees will be not be impacted by proposed development in any way.

Refer to Appendix 1B for additional tree data and Appendix 2C for additional tree TPZ plan.

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## 7 Tree protection and construction guidelines.

- 7.1 Any trees that are to be retained in the vicinity of any proposed works will require Tree Protection Zones to be established prior to commencing any works onsite including demolition, bulk earthworks, civil works, trenching, construction, landscaping activity, delivery and storage of materials or placement of site sheds.
- 7.2 Tree protection must be incorporated into the design and appropriate construction controls, fencing and management practices must be implemented prior to commencing any construction related activity, including demolition, bulk earthworks construction of gantries, etc.
- 7.3 The tree protection zones for all trees to be retained within the site must be clearly shown on all design drawings and plans with appropriate notations so that all staff and contractors are aware of the responsibility to protect trees throughout the design, development and delivery of the project.
- 7.4 The TPZ fencing must be in the form of either temporary fencing panels with concrete block feet and locked together, water filled barriers with locking pins installed or 2 metre tall star pickets at 2 metre spacing with top wire supporting fluoro para-webbing. Whichever TPZ fencing is used, it must be sufficiently robust to withstand knocks and bumps from plant and machinery, delivery vehicles and effectively exclude or prevent any storage of materials dumping of spoil or waste products being disposed of in the Tree Protection Zone.
- 7.5 Appropriate signage stating 'Tree Protection Zone - No access' is to be fixed to the fencing to alert people as to importance of the tree protection zone. Refer to Figure 1 for fencing example.



**Figure 1.** Above left - Example of TPZ fencing above right -Example of TPZ signage.

- 7.6 The following activities must be excluded from or controlled within the Tree Protection Zones (TPZ) unless otherwise approved by the relevant authority or the Project Arborist.
- Machine excavation (including trenching) for continuous strip footings or installation of underground services or road base
  - Alteration of soil levels including placement of fill
  - Storage of wastes or materials (including fuels, oils or chemicals)
  - Preparation of or cleaning of any cement products
  - Storage and or parking of vehicles or any plant/machinery within TPZ
  - Washing down of equipment
  - Installation of utilities
  - Physical damage of any kind to the tree (including direct attachment of anything into the tree)
  - Soil cultivation
- 7.7 No form of excavation for trenching for installation of underground services is permitted within the nominated TPZ areas for any retained trees without prior consultation with the council and / or site arborist, to avoid severing roots that could be vital to the stability and continued sustainability of the retained trees.
- Trenching for the installation of any and all underground services must be designed to avoid encroaching the TPZ of any retained trees.
  - If it is unavoidable that an underground service must pass through a defined TPZ, the service must be installed via directional boring at a minimum depth of 750mm to the top of the bore head.  
All entry and exit points for the boring must be located beyond the TPZ radius.
  - Lubricants or waste water from the boring process must not be permitted to enter or contaminate the soils within the TPZ.
- 7.8 Refer to Appendix 1 for all tree data, Appendix 2 for tree location and TPZ maps and Appendix 3 for Tree Descriptors.

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## 8 Conclusion.

- 8.1 In summary, eighteen (18) tree features, including 17 individual trees / shrubs and 1 group of small weed trees, were assessed comprising assorted introduced Victorian and Australian native and exotic trees. Refer to Tables 1 and 2 at Section 4.6.
- 8.2 Schedule 2 of the Vegetation Protection Overlay (VPO2) applies to all vegetation on site with specific exemptions to certain weed species or dead trees as detailed in the Table in VPO2. Tree numbers sorted by Permit Requirements are summarised in Table 1 at Section 3.7.
- 8.3 The trees generally displayed health and structure considered to be typical and acceptable for these species and age growing in this area under prevailing conditions.
- 8.4 The trees were attributed an arboricultural rating that summarises the species, origin, size, age, health & structure and location of each tree. Tree numbers sorted by the Arboricultural Rating are provided in Table 3 in Section 4.6.
- 8.5 At the time of preparing the arboricultural report, the plans for construction of a proposed residential dwelling on the site and consolidation of the existing driveway were provided for review. (refer to *Plan of Proposed House & Garage - Caversham Grand 327 (Modified) Tree Plan - Prelim G, Proj: Lot 1, No. 32 Kings Road Emerald prepared by SJD Homes. 29/1/2024*).
- 8.6 Based on a review of the current design, tree impacts associated with the planned construction of new residential dwelling including extents of cut and fill and consolidation of the driveway are identified in Section 6 and summarised in Table 4. Trees identified for removal are summarised in Table 5.
- 8.7 Full TPZ exclusion barriers must be established around all trees to be retained.
  - Where TPZ encroachment has been identified appropriate TPZ exclusion fencing or barrier mesh must be installed approximately 1 metre beyond the extent of works to prevent inadvertent construction impacts occurring within the remainder of the TPZ.
  - Trees within the footprint of cut and fill are intended for removal.
  - Council Street trees 1 and 2 must be retained and protected from impacts by consolidating the driveway and crossover at existing soil levels..
  - Refer to Appendices 1 for all tree assessment data and Appendices 2 for TPZ maps.
- 8.8 Tree condition can change quickly in response to environmental conditions or altered landscape conditions. Retained trees should be re-inspected on a 3-5 year basis or following any locally damaging weather events and appropriate remedial works undertaken as required.

I am available to answer any questions arising from this report.

No part of this report is to be reproduced unless in full.

Signed

Bruce Callander

Senior Consultant Arborist

TreeLogic P/L

E: bruce.callander@treeologic.com.au

Mob: 0425 872 007

## References and bibliography:

Australian Standard (4970-2009) Protection of Trees on development sites. Standards Australia, Sydney NSW Australia

Harris, R.W, Clark, J.R. & Matheny, N.P. (2004), *Arboriculture: Integrated Management of Landscape trees, shrubs and vines*, Prentice Hall, New Jersey.

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## Appendix 1A: Tree Assessment Data: 32 Kings Road, Emerald

Refer to following page

Key: DBH = Diameter measured in centimetres at breast height (1.4m up trunk) unless otherwise indicated.

Arb. Rating = Arboricultural Rating. ULE = Useful Life Expectancy.

TPZ = Tree protection zone in radial metres. SRZ = Structural root zone in radial metres.

TPZ & SRZ radius applies from centre of trunk.

Definition of the descriptor categories used in the assessment can be seen in Appendix 3.

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treeid	Species	Common Nam	Age_class	Origin	DBH_cm	Height_m	Width_m	Health	Structure	arb rating	Permit	ULE_ys	Comments	TPZ rad_m	SRZ rad_m	Impact name	Impact	TPZ incur	Status
1	<i>Ilex aquifolium</i>	English Holly	Maturing	Exotic evergreen	45	9	7	Fair	Fair	Mod.C	Street tree	11-20 y	Street tree, Woody weed sp.	5.4	2.6	Driveway - 21.1% / (Non-Contiguous Areas: driveway - 2.85%)	SRZ	23	Retain (Preserve current levels)
2	<i>Acmena smithii</i>	Lilly Pilly	Maturing	Victorian native	80	15	14	Fair	Fair	Mod.B	Street tree	11-20 y	Street tree, Trunk wounds	9.6	3.3	New house lot - 0.2%, driveway - 11.69%, terrace - 2.05%	TPZ	13.7	Retain (Preserve current levels)
3	<i>Prunus laurocerasus</i>	Cherry Laurel	Over-mature	Exotic evergreen	26,25,24	6	12	Fair	Poor	Very Low	Weed	1-5 y	Bracket fungi, Trunk wounds	5.2	2.7	New house- 39.72%, Terrace - 55.01%	Within	53.31	Remove
4	<i>Eucalyptus botryoides</i>	Southern Mahogany	Early-mature	Victorian native	41	14	12	Fair to Poor	Fair to Poor	Low	VPO2 (BMO - exemption)	6-10 y	Over-extended limbs, Partly suppressed - crown bias, Nth. 1m off fence	4.92	2.3	New house- 49.69%, Terrace - 65.95%	Within	64.97	Remove
5	<i>Cornus capitata</i>	Evergreen Dogwood	Early-mature	Exotic evergreen	27	9	8	Fair	Fair to Poor	Low	Weed	6-10 y	Woody weed sp., Partly suppressed - crown bias	3.24	2.1	New house- 37.64%, Terrace - 62.36%	Within	61.59	Remove
6	<i>Eucalyptus botryoides</i>	Southern Mahogany	Early-mature	Victorian native	64	18	12	Fair to Poor	Fair to Poor	Low	VPO2 (BMO - exemption)	6-10 y	Partly suppressed - crown bias, West stem & face cut, CB-east. 1.2m off fence	7.68	3	New house- 44.54%, Terrace - 56.01%	Within	55.66	Remove
7	<i>Syzygium paniculatum</i>	Magenta Cherry	Maturing	Australian native	41	11	11	Fair	Fair	Mod.B	VPO2 (BMO - exemption)	11-20 y	<1m off sth fence	4.92	2.4	Batter - 24.77%, New house- 0.94%, Terrace - 9.23% / (Non-Contiguous Areas: Batter - 9.45%)	SRZ	34.22	Retain (already growing in fill)
8	<i>Cryptomeria japonica</i> 'Elegans'	Japanese Cedar	Maturing	Exotic conifer	63	14	11	Good	Fair to Poor	Mod.C	VPO2	11-20 y	Acute forks, Excess end weight	7.56	2.8	Batter - 32.36%, New house- 27.9%, Terrace - 41.4% / (Non-Contiguous Areas: Batter - 25.95%)	Within	99.7	Remove
9	<i>Jacaranda mimosifolia</i>	Jacaranda	Semi-mature	Exotic deciduous	9,7	4	4	Fair	Fair	Mod.C	VPO2	21-40 y		2	1.5	Batter - 54.04%	Within	54.04	Remove
10	<i>Strelitzia nicolai</i>	Giant White Bird of Paradise	Maturing	Exotic evergreen	18,15,14	4	5	Fair	Fair	Low	VPO2			3	2	New house- 60.17%, Terrace - 99.99%	Within	99.99	Remove
11	<i>Cyathea tomentosissima</i>	Woolly Tree Fern	Early-mature	Exotic fern	18	2	3	Fair	Fair	Low	VPO2			2.16	1.7	New house- 99.99%, Terrace - 99.99%	Within	99.99	Remove
12	<i>Cotoneaster glaucophyllus</i>	Grey-leaved Cotoneaster	Early-mature	Exotic evergreen	21,20,14	7	7	Fair to Poor	Fair to Poor	Low	Weed	6-10 y	Woody weed sp., Partly suppressed - crown bias, sth-east	3.9	2.2	Batter - 0.25%, New house- 65.16%, Terrace - 95.46%	Within	96.19	Remove
13	<i>Cornus capitata</i>	Evergreen Dogwood	Early-mature	Exotic evergreen	27,25	9	6	Fair to Poor	Fair to Poor	Low	Weed	11-20 y	Woody weed sp., Partly suppressed - crown bias	4.4	2.3	Batter - 0.25%, New house- 1.74%, Driveway - 0.62%, Terrace - 50.75%	SRZ	52.43	Remove
14	<i>Corymbia ficifolia</i>	Red-flowering Gum	Early-mature	Australian native	95	13	19	Fair	Fair	Mod.B	VPO2	11-20 y	Over-extended limbs	11.4	3.3	Batter - 2.92%, New house- 5.23%, Driveway - 1.4%, Terrace - 13.56%	TPZ	17.33	Retain (Batter diminishing in TPZ)
15	<i>Dicksonia antarctica</i>	Soft Tree Fern	Early-mature	Victorian native	18	2	3	Fair	Fair	Low	VPO2			2.16	1.7	NA	None	0	Retain
16	<i>Rhododendron sp.</i>	Rhododendron	Early-mature	Exotic evergreen	13	3	5	Fair	Fair to Poor	Low	VPO2	11-20 y	Suppressed	1.56	1.6	Batter - 13.84%, New house- 40.6%, Terrace - 76.0% / (Non-Contiguous Areas: Batter - 8.52%)	Within	99.7	Remove
17	<i>Cyathea tomentosissima</i>	Woolly Tree Fern	Early-mature	Exotic fern	18	2	3	Fair	Fair	Low	VPO2			2.16	1.7	Batter - 35.68%, New house- 30.83%, Terrace - 62.04% / (Non-Contiguous Areas: Batter - 0.18%)	Within	97.9	Remove
Group 1	<i>Ilex aquifolium</i>	English Holly	Early-mature	Exotic evergreen	23	9	5	Fair to Poor	Fair to Poor	Low	Weed	1-5 y	Dieback	2.8	1.9	Driveway - 0.16%, Terrace - 41.48%	Within	41.6	Remove

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## Appendix 1B: Tree Assessment Data: Neighbour's trees

Refer to following page

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Tree No.	Site	Botanic na	Common Nam	Age_class	Permit	Origin	DBH_cm	Height_m	Width_m	Health	Structure	arb_rating	ULE_yrs	Comments	TPZ rad_m	SRZ rad_m
24	East neighbour	<i>Callistemon viminalis</i>	Weeping Bottlebrush	Semi-mature	VPO2	Australian native	8	3	2	Fair	Fair	Low			2	1.5
25	East neighbour	<i>Cyathea australis</i>	Rough Tree Fern	Maturing	VPO2	Victorian native	18	4	4	Fair	Fair	Low	11-20 y	Suppressed	2.2	1.8
26	East neighbour	<i>Unknown evergreen</i>	Unknown evergreen	Maturing	VPO2	Exotic evergreen	17,16	3	6	Fair	Fair to Poor	Moderate	6-10 y	Shrub, Partly suppressed - crown bias, Nth	2.8	2.1
27	East neighbour	<i>Corymbia ficifolia</i>	Red-flowering Gum	Early-mature	VPO2	Australian native	70	8	11	Fair	Fair	Moderate	11-20 y	Partly suppressed - crown bias, east. 8.5m east of #12	8.4	2.9
28	East neighbour	<i>Magnolia Xsoulangeana</i>	Saucer Magnolia	Maturing	VPO2	Exotic deciduous	15,14	6	6	Fair	Fair	Low	11-20 y	Shrub, Partly suppressed - crown bias, east	2.5	1.8
29	East neighbour	<i>Magnolia kobus</i>	Northern Japanese Magnolia	Maturing	VPO2	Exotic deciduous	49	8	14	Good	Fair	Moderate	11-20 y	Basal wounds, Incipient decay	5.9	2.7
30	East neighbour	<i>Dicksonia antarctica</i>	Soft Tree Fern	Early-mature	VPO2	Victorian native	20	3	3	Fair	Fair	Low	11-20 y		2.4	1.8
31	East neighbour	<i>Dicksonia antarctica</i>	Soft Tree Fern	Early-mature	VPO2	Victorian native	20	3	3	Fair	Fair	Low	11-20 y		2.4	1.8
32	East neighbour	<i>Cyathea australis</i>	Rough Tree Fern	Early-mature	VPO2	Victorian native	18	4	3	Fair	Fair	Low	11-20 y	Diminutive size	2.2	1.7
33	West Neighbour	<i>Magnolia grandiflora</i> 'Little Gem'	Dwarf Bull Bay	Young		Exotic evergreen	7	2	2	Fair	Fair	Low	21-40 y	Diminutive size	2	1.5
33	West Neighbour	<i>Magnolia grandiflora</i> 'Little Gem'	Dwarf Bull Bay	Young		Exotic evergreen	7	2	2	Fair	Fair	Low	21-40 y	Diminutive size	2	1.5
33	West Neighbour	<i>Magnolia grandiflora</i> 'Little Gem'	Dwarf Bull Bay	Young		Exotic evergreen	7	2	2	Fair	Fair	Low	21-40 y	Diminutive size	2	1.5
33	West Neighbour	<i>Magnolia grandiflora</i> 'Little Gem'	Dwarf Bull Bay	Young		Exotic evergreen	7	2	2	Fair	Fair	Low	21-40 y	Diminutive size	2	1.5
39	West Neighbour	<i>Fagus sylvatica atropurpurea</i>	Copper Beech	Maturing	VPO2	Exotic deciduous	75 (est.)	15	13	Fair	Fair	Moderate	11-20 y	Estimated, limited visibility from site	9	3

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## Appendix 2A: Existing Tree Location Plan: 32 Kings Road, Emerald

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# LEGEND

## Trees by Arb rating

- ◆ Mod-A
- Mod-B
- ◆ Mod-C
- Low
- ▼ Very Low

## Grps by Arb rating

- Low cadastre
- Subject site
- Other



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NOTES  
Insert comments here

## APPENDIX 2 TREE LOCATIONS AND PROTECTION ZONES

PROJECT  
32 Kings Road, Emerald

TL REF. 11518	MAP NO. 1 / 1
CLIENT BEN WHITE	DATE 2024-03-22

### DATA SOURCES

TREE LOCATION DISCLAIMER  
Tree locations are derived from Feature Survey Plan

COORDINATE REFERENCE SYSTEM  
EPSG:28355 | GDA 94 MGA Zone 55



TREELOGIC PTY LTD  
ABN: 95 080 021 610  
TEL: 1300 656 926  
4 / 21 Eugene Tce  
Ringwood, VIC  
Australia 3134



**LEGEND**

Trees by Arb rating

- ◆ Mod-A
- Mod-B
- ◆ Mod-C
- Low
- ▼ Very Low

Grps by Arb rating

- Low
- cadastre

- Subject site
- Other

Neighbours within 15m

- Low
- Moderate

- 15m buffer



**APPENDIX 2**

**TREE LOCATIONS AND PROTECTION ZONES**  
(Including neighbours trees within 15 metres of proposed development)

**PROJECT**  
32 Kings Road, Emerald

<b>TL REF.</b> 11518	<b>MAP NO.</b> 1 / 1
<b>CLIENT</b> BEN WHITE	<b>DATE</b> 2024-03-22

**DATA SOURCES**

**TREE LOCATION DISCLAIMER**  
Tree locations are derived from Feature Survey Plan

**COORDINATE REFERENCE SYSTEM**  
EPSG:28355 | GDA 94 MGA Zone 55



**TREELOGIC PTY LTD** 4 / 21 Eugene Tce  
ABN: 95 080 021 610 Ringwood, VIC  
TEL: 1300 656 926 Australia 3134



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## Appendix 2B: Proposed design & TPZ incursion plan

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## Appendix 2C: Tree removal & retention plan

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**LEGEND**

Trees by Arb rating

- ◆ Mod-A
- Mod-B
- ◆ Mod-C
- Low
- ▼ Very Low

Grps by Arb rating

- Low

footprint

- Batter
- Driveway
- Terrace

15m buffer

15m\_neighbours trees

- Low
- Moderate

REMOVALS

- X To be removed

Tree Protection Zone  
Structural Root Zone

NOTES  
Insert comments here

**APPENDIX 2  
TREE PROTECTION  
ZONE IMPACTS**

**PROJECT**  
32 Kings Road, Emerald

**TL REF.** 11518 **MAP NO.** 1 / 1

**CLIENT** BEN WHITE **DATE** 2024-08-26

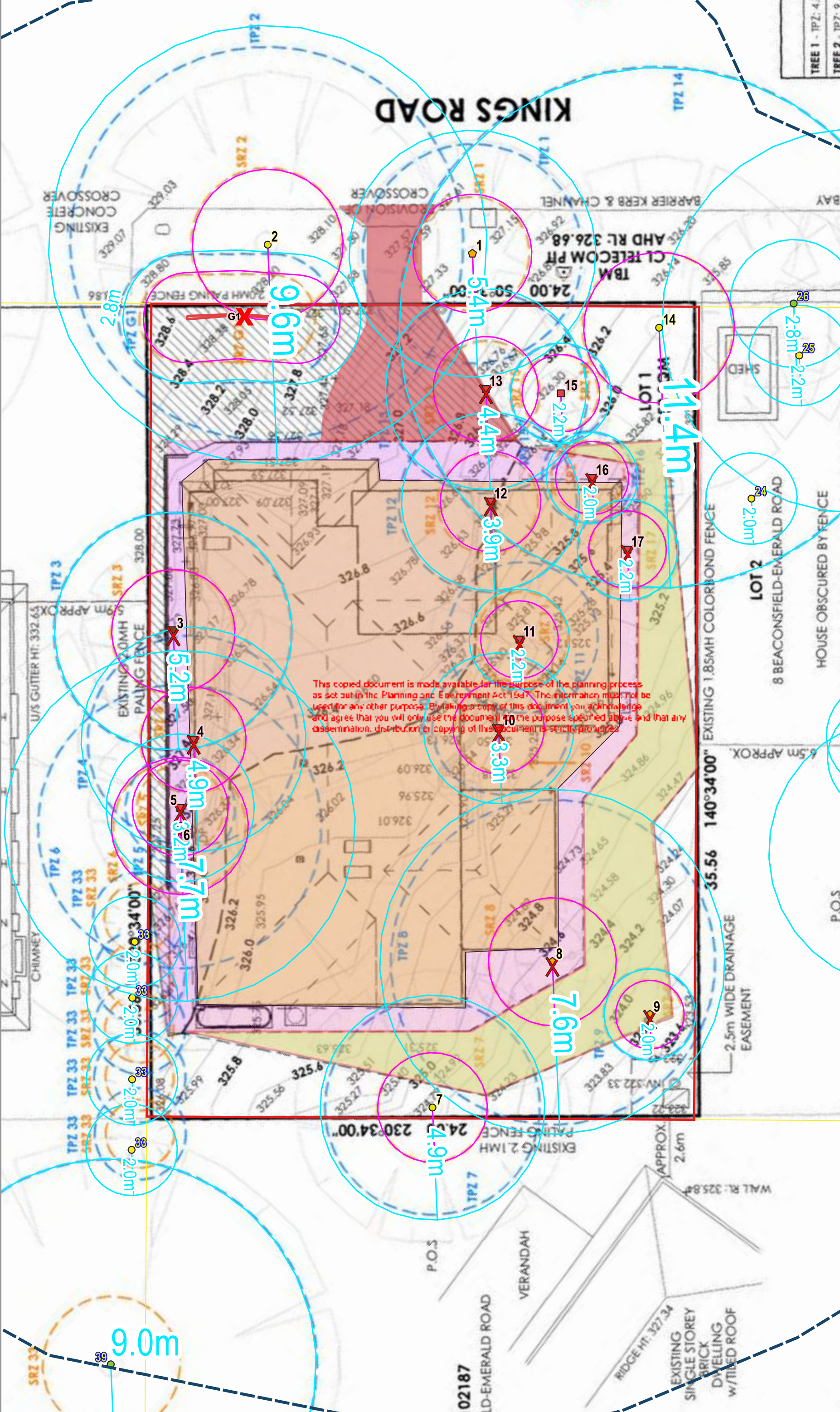
DATA SOURCES

**TREE LOCATION DISCLAIMER**  
Tree locations are derived from feature survey plan

**COORDINATE REFERENCE SYSTEM**  
EPSG:28355 | GDA 94 MGA Zone 55



**TREELOGIC PTY LTD** 4 / 21 Eugene Tce  
ABN: 95 080 021 610 Ringwood, VIC  
TEL: 1300 656 926 Australia 3134



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## Tree pictures

Tree No: 1. English Holly (*Ilex aquifolium*). Maturing Exotic evergreen. Arb. Rating: Mod.C. Permit: Street tree. TPZ: 4.8m radius. TPZ impact: driveway - 21.1% / (Non-Contiguous Areas: driveway - 2.85%



Tree No: 2. Lilly Pilly (*Acmena smithii*). Maturing Victorian native Arb. Rating: Mod.B. Permit: Street tree. TPZ: 9.6m radius. TPZ impact: House footprint terrace- 2.25%,driveway - 11.69%



Tree No: 3. Cherry Laurel (*Prunus laurocerasus*). Over-mature Exotic evergreen Arb. Rating: Very Low. Permit: Weed. TPZ: 5.2m radius. TPZ impact: House footprint - 37.41%



Tree No: 4. Southern Mahogany (*Eucalyptus botryoides*). Early-mature Victorian native Arb. Rating: Low. Permit: VPO2 (BMO - exemption). TPZ: 4.6m radius. TPZ impact: House footprint - 35.26%



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Tree No: 5. Evergreen Dogwood (*Cornus capitata*). Early-mature Exotic evergreen  
 Arb. Rating: Low. Permit: Weed. TPZ: 2.4m radius. TPZ impact: House footprint - 32.07%



Tree No: 7. Magenta Cherry (*Syzygium paniculatum*). Maturing Australian native  
 Arb. Rating: Mod.B. Permit: VPO2 (BMO - exemption). TPZ: 4.7m radius. TPZ impact: NA



Tree No: 6. Southern Mahogany (*Eucalyptus botryoides*). Early-mature Victorian native  
 Arb. Rating: Low. Permit: VPO2 (BMO - exemption). TPZ: 6.2m radius. TPZ impact: House footprint - 39.31%, tank - 0.32%



Tree No: 8. Japanese Cedar (*Cryptomeria japonica 'Elegans'*). Maturing Exotic conifer  
 Arb. Rating: Mod.C. Permit: VPO2. TPZ: 7.1m radius. TPZ impact: House footprint - 13.24%



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Tree No: 9. Jacaranda (*Jacaranda mimosifolia*). Semi-mature Exotic deciduous  
 Arb. Rating: Mod.C. Permit: VPO2. TPZ: 2m radius. TPZ impact: NA



Tree No: 11. Woolly Tree Fern (*Cyathea tomentosissima*). Early-mature Exotic fern  
 Arb. Rating: Low. Permit: VPO2. TPZ: 2.2m radius. TPZ impact: House footprint - 99.78%



Tree No: 10. Giant White Bird of Paradise (*Strelitzia nicolai*). Maturing Exotic evergreen  
 Arb. Rating: Low. Permit: VPO2. TPZ: 3.3m radius. TPZ impact: House footprint - 63.35%



Tree No: 12. Grey-leaved Cotoneaster (*Cotoneaster glaucophyllus*). Early-mature Exotic evergreen  
 Arb. Rating: Low. Permit: Weed. TPZ: 3.9m radius. TPZ impact: House footprint - 31.52%, driveway - 36.66%



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Tree No: 13. Evergreen Dogwood (*Cornus capitata*). Early-mature Exotic evergreen  
 Arb. Rating: Low. Permit: Weed. TPZ: 4.4m radius. TPZ impact: driveway - 45.6%



Tree No: 15. Soft Tree Fern (*Dicksonia antarctica*). Early-mature Victorian native  
 Arb. Rating: Low. Permit: VPO2. TPZ: 2.2m radius. TPZ impact: NA



Tree No: 14. Red-flowering Gum (*Corymbia ficifolia*). Early-mature Australian native  
 Arb. Rating: Mod.B. Permit: VPO2. TPZ: 11.4m radius. TPZ impact: House footprint - 7.53%, driveway - 6.28%



Tree No: 16. Rhododendron (*Rhododendron sp.*). Early-mature Exotic evergreen  
 Arb. Rating: Low. Permit: VPO2. TPZ: 2m radius. TPZ impact: House footprint - 53.95%



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Tree No: 17. Woolly Tree Fern (*Cyathea tomentosissima*). Early-mature Exotic fern  
 Arb. Rating: Low. Permit: VPO2. TPZ: 2.2m radius. TPZ impact: House footprint - 24.89%



Tree No: Group 1. English Holly (*Ilex aquifolium*). Early-mature Exotic evergreen  
 Arb. Rating: Low. Permit: Weed. TPZ: m radius. TPZ impact: driveway - 1%



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## Neighbouring tree pictures

Tree No: 24. Weeping Bottlebrush (*Callistemon viminalis*).  
Semi-mature Australian native  
Arb. Rating: Low. TPZ: 2m radius. TPZ impact: None



Tree No: 26. Unknown evergreen (*Unknown evergreen*).  
Maturing Exotic evergreen  
Arb. Rating: Moderate. TPZ: 2.8m radius. TPZ impact: None



Tree No: 25. Rough Tree Fern (*Cyathea australis*). Maturing  
Victorian native  
Arb. Rating: Low. TPZ: 2.2m radius. TPZ impact: None



Tree No: 27. Red-flowering Gum (*Corymbia ficifolia*). Early-  
mature Australian native  
Arb. Rating: Moderate. TPZ: 8.4m radius. TPZ impact: None



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Tree No: 28. Saucer Magnolia (*Magnolia Xsoulangeana*).  
 Maturing Exotic deciduous  
 Arb. Rating: Low. TPZ: 2.5m radius. TPZ impact: None



Tree No: 30. Soft Tree Fern (*Dicksonia antarctica*). Early-  
 mature Victorian native  
 Arb. Rating: Low. TPZ: 2.4m radius. TPZ impact: None



Tree No: 29. Northern Japanese Magnolia (*Magnolia kobus*).  
 Maturing Exotic deciduous  
 Arb. Rating: Moderate. TPZ: 5.9m radius. TPZ impact: None



Tree No: 31. Soft Tree Fern (*Dicksonia antarctica*). Early-  
 mature Victorian native  
 Arb. Rating: Low. TPZ: 2.4m radius. TPZ impact: None



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Tree No: 32. Rough Tree Fern (*Cyathea australis*). Early-mature Victorian native  
 Arb. Rating: Low. TPZ: 2.2m radius. TPZ impact: None



Tree No: 33. Dwarf Bull Bay (*Magnolia grandiflora* 'Little Gem'). Young Exotic evergreen  
 Arb. Rating: Low. TPZ: 2m radius. TPZ impact: None (small root ball)



Tree No: 33. Dwarf Bull Bay (*Magnolia grandiflora* 'Little Gem'). Young Exotic evergreen  
 Arb. Rating: Low. TPZ: 2m radius. TPZ impact: None (small root ball)



Tree No: 33. Dwarf Bull Bay (*Magnolia grandiflora* 'Little Gem'). Young Exotic evergreen  
 Arb. Rating: Low. TPZ: 2m radius. TPZ impact: None (small root ball)



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Tree No: 33. Dwarf Bull Bay (*Magnolia grandiflora* 'Little Gem'). Young Exotic evergreen  
 Arb. Rating: Low. TPZ: 2m radius. TPZ impact: None (small root ball)



Tree No: 39. Copper Beech (*Fagus sylvatica atropurpurea*). Maturing Exotic deciduous  
 Arb. Rating: Moderate. TPZ: 9m radius. TPZ impact: None



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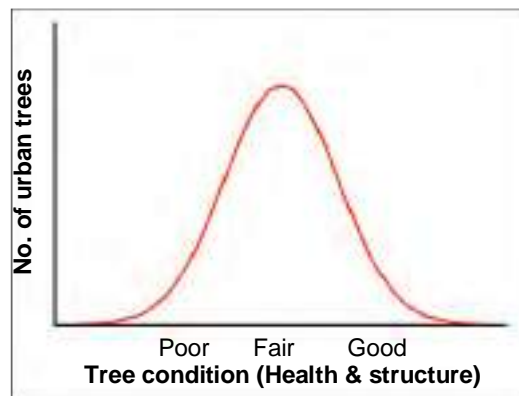


## Appendix 3: Arboricultural Descriptors (June 2018)

Note that not all of the described tree descriptors may be used in a tree assessment and report. The assessment is undertaken with regard to contemporary arboricultural practices and consists of a visual inspection of external and above-ground tree parts.

### 1. Tree Condition

The assessment of tree condition evaluates factors of health and structure. The descriptors of health and structure attributed to a tree evaluate the individual specimen to what could be considered typical for that species growing in its location under current climatic conditions. For example, some species can display inherently poor branching architecture, such as multiple acute branch attachments with included bark. Whilst these structural defects may technically be considered arboriculturally poor, they are typical for the species and may not constitute an increased risk of failure. These trees may be assigned a structural rating of fair-poor (rather than poor) at the discretion of the assessor.



**Diagram 1:** Indicative normal distribution curve for tree condition

Diagram 1, provides an indicative distribution curve for tree condition to illustrate that within a normal tree population the majority of specimens are centrally located within the condition range (normal distribution curve). Furthermore, that those individual trees with an assessed condition approaching the outer ends of the spectrum occur less often.

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### 2. Tree Name

Provides botanical name, (genus, species, variety and cultivar) according to accepted international code of taxonomic classification, and common name.

### 3. Tree Type

Describes the general geographic origin of the species and its type e.g. deciduous or evergreen.

Category	Description
Indigenous	Occurs naturally in the area or region of the subject site. Remnant.
Victorian native	Occurs naturally within some part of the State of Victoria (not exclusively) but is not indigenous (component of EVC benchmark). Could be planted indigenous trees.
Australian native	Occurs naturally within Australia but is not a Victorian native or indigenous
Exotic deciduous	Occurs outside of Australia and typically sheds its leaves during winter
Exotic evergreen	Occurs outside of Australia and typically holds its leaves all year round
Exotic conifer	Occurs outside of Australia and is classified as a gymnosperm
Native conifer	Occurs naturally within Australia and is classified as a gymnosperm
Native Palm	Occurs naturally within Australia. Woody monocotyledon
Exotic Palm	Occurs outside of Australia. Woody monocotyledon

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#### 4. Height and Width

Indicates height and width of the individual tree; dimensions are expressed in metres. Crown heights are measured with a height meter where possible. Due to the topography of some sites and/or the density of vegetation it may not be possible to do this for every tree. Tree heights may be estimated in line with previous height meter readings in conjunction with assessor's experience. Crown widths are generally paced (estimated) at the widest axis or can be measured on two axes and averaged. In some instances the crown width can be measured on the four cardinal direction points (North, South, East and West).

Crown height, crown spread are generally recorded to the nearest half metre (crown spread would be rounded up) for dimensions up to 10 m and the nearest whole metre for dimensions over 10 m. Estimated dimensions (e.g. for off-site or otherwise inaccessible trees where accurate data cannot be recovered) shall be clearly identified in the assessment data.

#### 5. Trunk diameters

The position where trunk diameters are captured may vary dependent on the requirements of the specific assessment and an individual trees specific characteristics. DBH is the typical trunk diameter captured as it relates to the allocation of tree protection distances. The basal trunk diameter assists in the allocation of a structural root zone. Some municipalities require trunk diameters be captured at different heights, with 1.0 m above grade being a common requirement. The specific planning schemes will be checked to ascertain requirements.

Stem diameters shall be recorded in centimetres, rounded to the nearest 1 cm (0.01 m).

##### ***Diameter at Breast Height (DBH)***

Indicates the trunk diameter (expressed in centimetres) of an individual tree measured at 1.4m above the existing ground level or where otherwise indicated, multiple leaders are measured individually. Plants with multiple leader habit may be measured at the base. The range of methods to suit particular trunk shapes, configurations and site conditions can be seen in Appendix A of Australian Standard AS 4970-2009 *Protection of trees on development sites*. Measurements undertaken using foresters tape or builders tape.

##### ***Basal trunk diameter***

The basal dimension is the trunk diameter measured at the base of the trunk or main stem(s) immediately above the root buttress. Used to ascertain the Structural Root Zone (SRZ) as outlined in AS4970.

#### 6. Age class

Relates to the physiological stage of the tree's life cycle.

Category	Description
Young	Sapling tree and/or recently planted. Approximately 5 or less years in location.
Semi-mature	Tree increasing in size and yet to achieve expected size in situation. Primary developmental stage.
Early-mature	Tree established, generally growing vigorously. > 50% of attainable age/size.
Mature	Specimen approaching expected size in situation, with reduced incremental growth.
Over-mature	Mature full-size with a retrenching crown. Tree is senescent and in decline. Significant decay generally present.

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## 7. Health

Assesses various attributes to describe the overall health and vigour of the tree.

Health Category	Vigour, Extension growth	Decline symptoms, Deadwood, Dieback	Foliage density, colour, size, intactness	Pests and or disease
<b>Good</b>	Above typical. Excellent. Full canopy density	Negligible	Better than typical	Negligible
<b>Fair</b>	Typical vigour. >80% canopy density	Minor or expected. Little or no dead wood	Typical. Minor deficiencies or defects could be present.	Minor, within damage thresholds
<b>Fair to Poor</b>	Below typical - low vigour	More than typical. Small sub-branch dieback	Exhibiting deficiencies. Could be thinning, or smaller	Exceeds damage thresholds
<b>Poor</b>	Minimal - declining	Excessive, large and/or prominent amount & size of dead wood	Exhibiting severe deficiencies. Thinning foliage, generally smaller or deformed	Extreme and contributing to decline
<b>Dead</b>	N/A	N/A	N/A	N/A

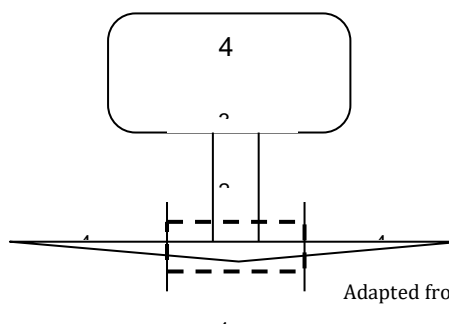
## 8. Structure

Assesses principal components of tree structure (Diagram 2).

Structure ratings will also take into account general branching architecture, stem taper, live crown ratio, crown symmetry (bias or lean) and crown position such as tree being suppressed amongst more dominant trees.

Diagram 2: Tree structure zones

1. Root plate & lower stem
2. Trunk
3. Primary branch support
4. Outer crown & roots



Adapted from Coder (1996)

The lowest or worst descriptor assigned to the tree in any column could generally be the overall rating assigned to the tree. The assessment for structure is limited to observations of external and above ground tree parts. It does not include any exploratory assessment of underground or internal tree parts unless this is requested as part of the investigation. Trees are assessed and then given a rating for a point in time. Generally, trees with a poor or very poor structure are beyond the benefit of practical arboricultural treatments.

The management of trees in the urban environment requires appropriate arboricultural input and consideration of risk. Risk potential will take into account the combination of likelihood of failure and impact, including the perceived importance of the target(s). See table over page.

Structure Category	Zone 1 - Root plate & lower stem	Zone 2 - Trunk	Zone 3 - Primary branch support	Zone 4 - Outer crown and roots
<b>Good</b>	No obvious damage, disease or decay; obvious basal flare / stable in ground	No obvious damage, disease or decay; well tapered	Well formed, attached, spaced and tapered. No history of failure.	No obvious damage, disease, decay or structural defect. No history of failure.
<b>Fair</b>	Minor damage or decay. Basal flare present.	Minor damage or decay	Generally well attached, spaced and tapered branches. Minor structural deficiencies may be present or developing. No history of branch failure.	Minor damage, disease or decay; minor branch end-weight or over-extension. No history of branch failure.
<b>Fair to Poor</b>	Moderate damage or decay; minimal basal flare.	Moderate damage or decay; approaching recognised thresholds	Weak, decayed or with acute branch attachments; previous branch failure evidence.	Moderate damage, disease or decay; moderate branch end-weight or over-extension. Minor branch failure evident.
<b>Poor</b>	Major damage, disease or decay; fungal fruiting bodies present. Excessive lean placing pressure on root plate	Major damage, disease or decay; exceeds recognised thresholds; fungal fruiting bodies present. Acute lean. Stump re-sprout	Decayed, cavities or has acute branch attachments with included bark; excessive compression flaring; failure likely. Evidence of major branch failure.	Major damage, disease or decay; fungal fruiting bodies present; major branch end-weight or over-extension. Branch failure evident.
<b>Very Poor</b>	Excessive damage, disease or decay; unstable / loose in ground; altered exposure; failure probable	Excessive damage, disease or decay; cavities. Excessive lean. Stump re-sprout	Decayed, cavities or branch attachments with active split; failure imminent. History of major branch failure.	Excessive damage, disease or decay; excessive branch end-weight or over-extension. History of branch failure.

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### Useful life expectancy

Assessment of useful life expectancy provides an indication of health and tree appropriateness and involves an estimate of how long a tree is likely to remain in the landscape based on species, stage of life (cycle), health, amenity, environmental services contribution, conflicts with adjacent infrastructure and risk to the community. It would enable tree managers to develop long-term plans for the eventual removal and replacement of existing trees in the public realm. It is not a measure of the biological life of the tree within the natural range of the species. It is more a measure of the health status and the trees positive contribution to the urban landscape.

Within an urban landscape context, particularly in relation to street trees, it could be considered a point where the costs to maintain the asset (tree) outweigh the benefits the tree is returning.

The assessment is based on the site conditions not being significantly altered and that any prescribed maintenance works are carried out (site conditions are presumed to remain relatively constant and the tree would be maintained under scheduled maintenance programs). See table over page.

Useful Life Expectancy category	Typical characteristics
<1 year (No remaining ULE)	Tree may be dead or mostly dead. Tree may exhibit major structural faults. Tree may be an imminent failure hazard. Excessive infrastructure damage with high risk potential that cannot be remedied.
1-5 years (Transitory, Brief)	Tree is exhibiting severe chronic decline. Crown is likely to be less than 50% typical density. Crown may be mostly epicormic growth. Dieback of large limbs is common (large deadwood may have been pruned out). Tree may be over-mature and senescing. Infrastructure conflicts with heightened risk potential. Tree has outgrown site constraints.
6-10 years (Short)	Tree is exhibiting chronic decline. Crown density will be less than typical and epicormic growth is likely to present. The crown may still be mostly entire, but some dieback is likely to be evident. Dieback may include large limbs. Over-mature and senescing or early decline symptoms in short-lived species. Early infrastructure conflicts with potential to increase regardless of management inputs.
11-20 years (Moderate)	Tree not showing symptoms of chronic decline, but growth characteristics are likely to be reduced (bud development, extension growth etc.). Tree may be over-mature and beginning to senesce. Potential for infrastructure conflicts regardless of management inputs.
21-40 years (Moderately long)	Trees displaying normal growth characteristics but vigour is likely to be reduced (bud development, extension growth etc.). Tree may be growing in restricted environment (e.g. streetscapes) or may be in late maturity. Semi-mature and mature trees exhibiting normal growth characteristics. Juvenile trees in streetscapes.
>40 years (Long)	Generally juvenile and semi-mature trees exhibiting normal growth characteristics within adequate spaces to sustain growth, such as in parks or open space. Could also pertain to maturing, long-lived trees. Tree well suited to the site with negligible potential for infrastructure conflicts.

Note that ULE may change for a tree dependent on the prevailing climatic conditions, which can either increase or decrease, or sudden changes to a tree's growing environment creating an acute stress.

The ULE may not be applicable for trees that are manipulated, such as topiary, or grown for specific horticultural purposes, such as fruit trees.

There may be instances where remedial tree maintenance could be extend a tree's ULE.

## 9. Arboricultural Rating

Relates to the combination of tree condition factors, including health and structure (arboricultural merit), and also conveys an amenity value. Amenity relates to the trees biological, functional and aesthetic characteristics (Hitchmough 1994) within an urban landscape context. The presence of any serious disease or tree-related hazards that would impact risk potential are taken into account. See table over page.

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Arboricultural rating Category	Description
High	<p>Tree of high quality in good to fair condition; good vigour. Generally a prominent arboricultural/landscape feature. Particularly good example of the species; rare or uncommon. Tree may have significant conservation or other cultural value.</p> <p>These trees have the potential to be a medium- to long-term components of the landscape (moderately long to long ULE) if managed appropriately.</p> <p>Retention of these trees is highly desirable.</p>
Moderate	<p><i>General -</i></p> <p>Tree of moderate quality, in fair or better condition. Tree may have a condition, and or structural problem that will respond to arboricultural treatment.</p> <p>These trees have the potential to be a moderate- to long-term component of the landscape (moderate to long ULE) if managed appropriately. Retention of these trees is generally desirable. The following sub-categories relate predominately to age and size and amenity.</p>
	<p>A. Moderate to large, maturing tree. Contributes to the landscape character. Tree may have conservation or other cultural value.</p>
	<p>B. Moderate sized, established tree, &gt; 50% of attainable age/size. Contributes to the landscape character.</p> <p>Maturing tree with amenity value but with identified deficiencies</p>
Low	<p>C. Small and/or semi-mature tree, established, &gt;5 years in the location. May not be a dominant canopy. No special qualities.</p> <p>Maturing tree, accumulating deficiencies, trending towards being of Low arboricultural value.</p>
	<p>Unremarkable tree of low quality or little amenity value. Tree in either poor health or with poor structure or a combination. Short to transitory useful life expectancy.</p> <p>Tree is not significant because of either its size or age, such as young trees with a stem diameter below 15 cm. Trees regularly pruned to restrict size. These trees are easily replaceable.</p> <p>Tree (species) is functionally inappropriate to specific location and would be expected to be problematic if retained.</p> <p>Retention of such trees may be considered if not requiring a disproportionate expenditure of resources for a tree in its condition and location.</p>
Very Low	<p>Trees of low quality with an estimated remaining life expectancy of less than 5 years.</p> <p>Tree has either a severe structural defect or health problem or combination that cannot be sustained with practical arboricultural techniques and the loss of the tree would be expected in the short term.</p> <p>Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline. Tree infected with pathogens of significance to either the health or safety of the tree or other adjacent trees.</p> <p>Tree whose retention would not be viable after the removal of adjacent trees (includes trees that have developed in close spaced groups and would not be expected to acclimatise to severe alterations to surrounding environment – removal of adjacent shelter trees).</p> <p>Tree has a detrimental effect on the environment, for example, the tree is a recognised environmental woody weed with potential to spread into waterways or natural areas.</p> <p>Unremarkable tree of no material landscape, conservation or other cultural value.</p>

Trees have many values, not all of which are considered when an arboricultural assessment is undertaken. However, individual trees or tree group features may be considered important community resources because of unique or noteworthy characteristics or values other than their age, dimensions, health or structural condition. Recognition of one or more of the following criterion is designed to highlight other considerations that may influence the future management of such trees.

Significance	Description
Horticultural Value/ Rarity	Outstanding horticultural or genetic value; could be an important source of propagating stock, including specimens that are particularly resistant to disease or exposure. Any tree of a species or variety that is rare.
Historic, Aboriginal Cultural or Heritage Value	Tree could have value as a remnant of a particular important historical period or a remnant of a site or activity no longer in action. Tree has a recognised association with historic aboriginal activities, including scar trees.  Tree commemorates a particular occasion, including plantings by notable people, or having associations with an important event in local history.
Ecological Value	Tree could have value as habitat for indigenous wildlife, including providing breeding, foraging or roosting habitat, or is a component of a wildlife reserve.  Remnant Indigenous vegetation that contribute to biological diversity

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## Appendix 4: Tree protection zones.

Tree logic Pty. Ltd. © 2015

### Introduction

In order to sustain trees on a development site consideration must be given to the establishment of tree protection zones.

The physical dimensions of tree protection zones can sometimes be difficult to define. The projection of a tree's crown can provide a guide but is by no means the definitive measure. The unpredictable nature of roots and their growth, differences between species and their tolerances, and observable and hidden changes to the trees growing environment, as a result of development, are variables that must be considered.

Most vigorous, broad canopied trees survive well if the area within the drip-line of the canopy is protected. Fine root density is usually greater beneath the canopy than beyond (Gilman, 1997). If few to no roots over 3cm in diameter are encountered and severed during excavation the tree will probably tolerate the impact and root loss. A healthy tree can sustain a loss of between 30% and 50% of absorbing roots (Harris, Clark, Matheny, 1999), however encroachment into the structural root system of a tree may be problematic.

The structural root system of a tree is responsible for ensuring the stability of the entire tree structure in the ground. A tree could not sustain loss of structural root system and be expected to survive let alone stand up to average annual wind loads upon the crown.

### Allocation of tree protection zone (TPZ)

The method of allocating a TPZ to a particular tree will be influenced by site factors, the tree species, its age and developed form.

Once it has been established, through an arboricultural assessment, which trees and tree groups are to be retained, the next step will require careful management through the development process to minimise any impacts on the designated trees. The successful retention of trees on any particular site will require the commitment and understanding of all parties involved in the development process. The most important activity, after determining the trees that will be retained is the implementation of a TPZ.

The intention of tree protection zones is to:

- mitigate tree hazards;
- provide adequate root space to sustain the health and aesthetics of the tree into the future;
- minimise changes to the trees growing environment, which is particularly important for mature specimens;
- minimise physical damage to the root system, canopy and trunk; and
- define the physical alignment of the tree protection fencing

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### Tree protection

The most important consideration for the successful retention of trees is to allow appropriate above and below ground space for the trees to continue to grow. This requires the allocation of tree protection zones for retained trees.

The Australian Standard AS 4970-2009 Protection of trees on development sites has been used as a guide in the allocation of TPZs for the assessed trees.

The TPZ for individual trees is calculated based on trunk (stem) diameter (DBH), measured at 1.4 metres up from ground level. The radius of the TPZ is calculated by multiplying the trees DBH by 12. The method provides a TPZ that addresses both the stability and growing requirements of a tree. TPZ distances are measured as a radius from the centre of the trunk at (or near) ground level. The minimum TPZ should be not less than 2m and the maximum no more than 15m radius. The TPZ of palms should be not less than 1.0m outside the crown projection.

Encroachment into the TPZ is permissible under certain circumstances though is dependent on both site conditions and tree characteristics. Minor encroachment, up to 10% of the TPZ, is generally permissible provided encroachment is compensated for by recruitment of an equal area contiguous with the TPZ. Examples are provided in Diagram 1. Encroachment greater than 10% is considered major encroachment under AS4970-2009 and is only permissible if it can be demonstrated that after such encroachment the tree would remain viable.

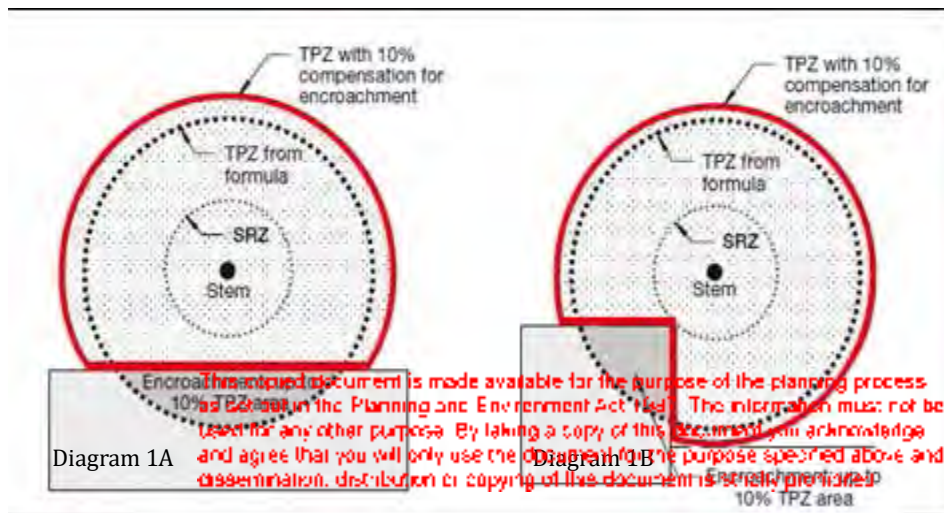


Diagram 1: Examples of minor encroachment into a TPZ.

(Extract from: AS4970-2009, Appendix D, p30 of 32)

The 10% encroachment on one side equates to approximately 1/3 radial distance. Tree root growth is opportunistic and occurs where the essentials to life (primarily air and water) are present. Heterogeneous soil conditions, existing barriers, hard surfaces and buildings may have inhibited the development of a symmetrically radiating root system.

Existing infrastructure around some trees may be within the TPZ or root plate radius. The roots of some trees may have grown in response to the site conditions and therefore if existing hard surfaces and building alignments are utilised in new designs the impacts on the trees should be minimal. The most reliable way to estimate root disturbance is to find out where the roots are in relation to the demolition, excavation or construction works that will take place (Matheny & Clark, 1998). Exploratory excavation prior to commencement of construction can help establish the extent of the root system and where it may be appropriate to excavate or build.

The TPZ should also give consideration to the canopy and overall form of the tree. If the canopy requires severe pruning in order to accommodate a building and in the process the form of the tree is diminished it may be worthwhile considering altering the design or removing the tree.



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## General tree protection guidelines

The most important factors are:

- Prior to construction works the trees nominated for tree works should be pruned to remove larger dead wood. Pruning works may also identify other tree hazards that require remedial works.
- Installation of tree protection fencing. Once the tree protection zones have been determined the next step is to mulch the zone with woodchip and erect tree protection fencing. This must be completed prior to any materials being brought on-site, erection of temporary site facilities or demolition/earth works. The protection fencing must be sturdy and withstand winds and construction impacts. The protection fence should only be moved with approval of the site supervisor. Other root zone protection methods can be incorporated if the TPZ area needs to be traversed.
- Appropriate signage is to be fixed to the fencing to alert people as to importance of the tree protection zone.
- The importance of tree preservation must be communicated to all relevant parties involved with the site.
- Inspection of trees during excavation works.

### TPZ fencing

TPZ fencing must be in the form of either temporary fencing panels with concrete block feet and locked together or water filled barriers with locking pins installed. TPZ fencing must be sufficiently robust to withstand knocks and bumps from plant and machinery, delivery vehicles, storage of materials and dumping of spoil.

- Appropriate signage stating 'Tree protection Zone- No access' is to be fixed to the fencing to alert people as to importance of the tree protection zone.

Refer to Figure 1 for fencing example.



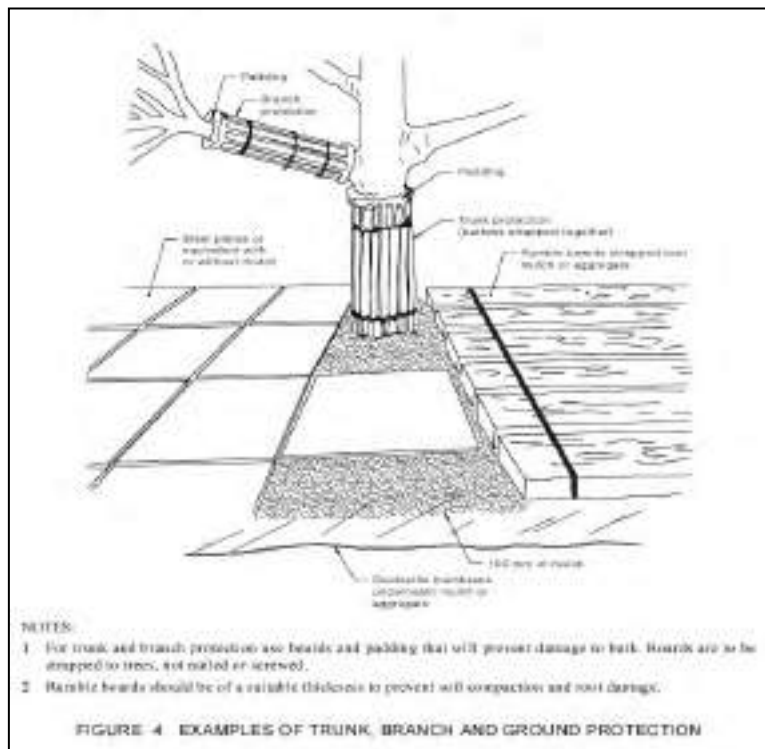
**Figure 1.** Above left - Example of TPZ fencing above right -Example of TPZ signage.

### Ground buffering

Where works are required to be undertaken within the Tree root zone without penetration of the surface, ground buffering and trunk and limb protection must be provided to minimise the potential for soil to become compacted and avoid potential for impact wounds to occur to surface roots, trunk or limbs.

Refer to Diagram 2 below.

Diagram 2: Examples of ground buffering and trunk and limb protection.



(Extract from: AS4970-2009, Appendix D, pg17)

### Exploratory excavation

The most reliable way to estimate root disturbance is to find out where the roots are in relation to the demolition, excavation or construction works that will take place (Matheny & Clark, 1998).

Exploratory excavation prior to commencement of construction can help establish the extent of the root system and where it may be appropriate to excavate or build. This also allows management decisions to be made and allows time for redesign works if required.

Any exploratory excavation within the allocated TPZ is to be undertaken with due care of the roots. Minor exploration is possible with hand tools. More extensive exploration may require the use of high pressure water or air excavation techniques. Either hydraulic or pneumatic excavation techniques will safely expose tree roots; both have specific benefits dependent on the situation and soil type. An arborist is to be consulted on which system is best suited for the site conditions.

Substantial roots are to be exposed and left intact.

Once roots are exposed decisions can be made regarding the management of the tree. Decisions will be dependent on the tree species, its condition, its age, its relative tolerance to root loss, and the amount of root system exposed and requiring pruning.

Other alternative measures to encroaching the TPZ may include boring or tunnelling.

### How to determine the diameter of a substantial root

The size of a substantial root will vary according to the distance of the exposed root to the trunk of the tree. The further away from the trunk of a tree that a root is, the less significant the root is likely to be to the tree's health and stability.

The determination of what is a substantial root is often difficult because the form, depth and spread of roots will vary between species and sites. However, because smaller roots are connected to larger roots in a framework, there can be no doubt that if larger roots are severed, the smaller roots attached to them will die. Therefore, the larger the root, the more significant it may be.

Gilman (1997) suggests that trees may contain 4-11 major lateral roots and that the five largest lateral roots account (act as a conduit) for 75% of the total root system.

These large lateral roots quickly taper within a distance to the tree, this distance is identified as the Structural Root Zone (SRZ). Within the SRZ distance, all roots and the soil surrounding the roots are deemed significant.

No root or soil disturbance is permitted within the SRZ.

In the area outside the SRZ the tree may tolerate the loss of one or a number of roots. The table below indicates the size of tree roots, outside the SRZ that would be deemed substantial for various tree heights. The assessment of combined root loss within the TPZ would need to be undertaken by an arborist on an individual basis because the location of the tree, its condition and environment would need to be assessed.

Table 1: Estimated significant root sizes outside SRZ

Height of tree	Diameter of root
Less than 5m	≥ 30mm
Between 5m - 15m	≥ 50mm
More than 15m	≥ 70mm

## References

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## Construction Guidelines

The following are guidelines that must be implemented to minimise the impact of the proposed construction works on the retained trees.

- The Tree Protection Zone (TPZ) is fenced and clearly marked at all times. The actual fence specifications should be a minimum of 1.2 - 1.5 metres of chain mesh or like fence with 1.8 meter posts (e.g. treated pine or star pickets) or like support every 3-4 metres and a top line of high visibility plastic hazard tape. The posts should be strong enough to sustain knocks from on site excavation equipment. This fence will deter the placement of building materials, entry of heavy equipment and vehicles and also the entry of workers and/or the public into the TPZ. Note: There are many different variations on the construction type and material used for TPZ fences, suffice to say that the fence should satisfy the responsible authority.
- Contractors and site workers should receive written and verbal instruction as to the importance of tree protection and preservation within the site. Successful tree preservation occurs when there is a commitment from all relevant parties involved in designing, constructing and managing a development project. Members of the project team need to interact with each other to minimise the impacts to the trees, either through design decisions or construction practices. The importance of tree preservation must be communicated to all relevant parties involved with the site.
- The consultant arborist is on-site to supervise excavation works around the existing trees where the TPZ will be encroached.
- A layer of organic mulch (woodchips) to a depth of no more than 100mm should be placed over the root systems within the TPZ of trees, which are to be retained so as to assist with moisture retention and to reduce the impact of compaction.
- No persons, vehicles or machinery to enter the TPZ without the consent of the consulting arborist or site manager.
- Where machinery is required to operate inside the TPZ it must be a small skid drive machine (i.e. Dingo or similar) operating only forwards and backwards in a radial direction facing the tree trunk and not altering direction whilst inside the TPZ to avoid damaging, compacting or scuffing the roots.
- Any underground service installations within the allocated TPZ should be bored and utility authorities should common trench where possible.
- No fuel, oil dumps or chemicals shall be allowed in or stored on the TPZ and the servicing and re-fuelling of equipment and vehicles should be carried out away from the root zones.
- No storage of material, equipment or temporary building should take place over the root zone of any tree.
- Nothing whatsoever should be attached to any tree including temporary services wires, nails, screws or any other fixing device.
- Supplementary watering should be provided to all trees through any dry periods during and after the construction process. Proper watering is the most important maintenance task in terms of successfully retaining the designated trees. The areas under the canopy drip lines should be mulched with woodchip to a depth of no more than 100mm. The mulch will help maintain soil moisture levels. Testing with a soil probe in a number of locations around the tree will help ascertain soil moisture levels and requirements to irrigate. Water needs to be applied slowly to avoid runoff. A daily watering with 5 litres of water for every 30 mm of trunk calliper may provide the most even soil moisture level for roots (Watson & Himelick, 1997), however light frequent irrigations should be avoided. Irrigation should wet the entire root zone and be allowed to dry out prior to another application. Watering should continue from October until April.

## Disclaimer

Tree Logic Pty. Ltd.  
 Unit 4, 21 Eugene Terrace  
 Ringwood Vic 3134

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### RE: Arboricultural Consultancy

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- The Report is strictly limited to the matters stated in it and does not apply by implication to any other matters.
- To the writer's knowledge all facts, matter and all assumptions upon which the Report proceeds have been stated within the body of the report and all opinion contained within the report will be fully researched and referenced and any such opinion not duly researched is based upon the writer's experience and observations.

18th January 2022

[REDACTED]  
care of  
reception@speedies.com.au  
[REDACTED]

### Application for Conditions of Connection and Consent

<b>Application ID</b>	528750
<b>Property Address</b>	8 BEACONSFIELD-EMERALD ROAD EMERALD 3782
<b>Service Location ID</b>	1697006
<b>PIC Consent Number</b>	Upon payment of all fees PIC numbers will be issued within 1 to 3 business days.*
<b>Currently Recorded Owner Details</b>	
[REDACTED]	
<b>Postal Address</b>	8 BEACONSFIELD-EMERALD RD EMERALD 3782
<b>Binding on Successors in Title</b>	Please note currently recorded owner details are based on existing property records and may not be current. These conditions are binding on current and future owners as successors in title under Section 145 of the Water Act 1989.

\*Where major sewer works are required, PIC numbers will be sent once a development deed is executed.

Thank you for your recent application.

We are pleased to advise that, based on the information you have supplied, your application for the above property address has been approved.

If applicable, an invoice for application fees will be forwarded to you separately.

This letter sets out the Conditions of Connection and other specific conditions that must be met as part of this consent. These conditions are valid for a period of 90 days from the date of this letter. These conditions only apply on the full payment of all fees and charges. In the event that the fees are not fully paid within 90 days, the approval will expire.

If there are changes or errors in the details supplied, or we determine that inaccurate information has



been provided, this approval may be withdrawn by Yarra Valley Water.

If the approval period expires or the approval is withdrawn, it will be necessary to submit a new application and pay a new application fee. Revised conditions of connection and fees will be applicable.

The advice in this approval letter supersedes any previous written or verbal advice that Yarra Valley Water has provided.

This approval letter includes

- Approval Details
- Conditions of Connection
- The following additional attachments
  - o Asset Plan
  - o Property Sewerage Plan

Your conditions of connection contain specific conditions, responsibilities and regulatory requirements with which you must comply. You should make sure you review these conditions and requirements as they will pass with the property to subsequent owners under Section 145 of the Water Act 1989.

For additional property development information please visit [easyACCESS Land Development Hub](#).

If you have any questions, please email us at [easyACCESS@yvw.com.au](mailto:easyACCESS@yvw.com.au) or call on 1300 651 511.

Yours sincerely,



Joe Gargaro

Divisional Manager, Development Services

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18th January 2022

Application ID: 528750

### CONDITIONS OF CONNECTION

Approval is subject to payment of all charges and completion of conditions. This approval covers the following services and connections:

#### Approval Detail

#### Water

##### Connection Details

Product	Pipe Material	Pipe Size	Qty	Street where main located
20mm Connection - Drinking Water	ASBESTO S CEMENT (INC	225	1	Kings Road

##### Required Services

Product	Qty
20mm Connection - Drinking Water	1
Std 20mm DW Meter & Installation (incl meter w/lock)	1

#### Sewer

##### Connection Or Disconnection Details

Sewer Connection Description	PSP Number
Sewer Connection	99999998

##### Multiple Lots

Number of Lots	2
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##### Specific conditions affecting encumbrances on property:

Private Main

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## **Conditions of Connection Details**

### **GENERAL**

In these conditions the terms,

- (a) 'You' and 'Your' refer to the owner of a property connected (or about to be connected) to Yarra Valley Water assets
- (b) 'We', 'Us' and 'Our' refer to Yarra Valley Water.

Section 145 of the Water Act 1989 details the legislative rights and responsibilities of both the applicant and Yarra Valley Water in relation to connection, alteration or removal and discharging to the works of Yarra Valley Water. These Conditions of Connection set out the terms and conditions to be satisfied for connecting a property to sewer, potable and recycled water.

These conditions are binding on successor-in-title of the person who applied for that consent, under section 145 of the Water Act 1989. If you are not the owner of the property, please provide a copy of this letter to the owner.

The Conditions of Connection must be handed to the Licensed Plumber. Any work which these Conditions of Connection require you to undertake, must be done by a Licensed Plumber, engaged by you, at your cost.

It is the Licensed Plumber's responsibility to ensure that the plumbing and drainage work is completed in accordance with the relevant plumbing regulations and to the satisfaction of the Victorian Building Authority – Plumbing.

Any sewer connection branch and the connecting works must be installed so that they comply, in all respects, with the:

- Plumbing Regulations 1998 (Vic);
  - Water Industry Regulations 2006 (Vic);
  - Building Act 1993 (Vic);
  - Relevant AS/NZS series of standards applicable to sewer connection branch and connecting works from time to time,
- and any other technical requirements which we reasonably specify.

It is the responsibility of the person performing any excavation in a road reserve to obtain a Road Opening Permit from the relevant Authority before any excavation work commences. All traffic management requirements contained in the permit must be complied with.

### **WATER**

General water supply(s) are to be installed as referenced in the table of approval details of this document as required services. The table includes water main and connection details. In a mandated recycled water area recycling connections also apply and are referenced in the same table.

For 20mm and 25mm services and all services where a manifold is to be installed, the service pipe, including a meter assembly with a temporary spacer pipe and any relevant backflow device must be

installed by the plumber, prior to the time of the tapping or meter installation. Meters are installed by Yarra Valley Waters plumbing contractor. For 32mm and larger services, the meter will be delivered to you and must be installed on the property prior to the tapping. The service pipe must also be installed prior to the tapping. All manifolds are to be located below ground and must be left exposed for Yarra Valley Water's plumbing contractor to inspect prior to installation of the meters. Failure to comply will result in the tapping being cancelled. A rebooking fee will be applicable when rebooking the tapping.

All tapplings, pluggings and metering products can be arranged using easyACCESS. Work must be carried out in accordance with the Water Metering & Servicing Guidelines (see our website). Once all fees have been paid and you are ready to book your plumbing products, please contact Yarra Valley Waters contractor Mondo on 1300 735 328. A phone call is not required if products are New Estate Connections or Combo Drinking Water & Recycled Water. Please allow a minimum of 10 business days' notice when contacting Mondo.

All meters are supplied by Yarra Valley Water after payment of the relevant fees.

If the tapping and/or plugging is required to be performed outside of business hours, either at your request or as determined by Yarra Valley Water's plumbing contractor, an additional after hours fee will apply.

Meters are not permitted to be installed inside units/dwellings. In all situations where the meter is deemed inaccessible, either by your advice, or as determined by Yarra Valley Water plumbing contractor, remote read meters must be fitted at your cost. Remote read meters must be installed in the following circumstances: high rise developments; any water meter which is located where Yarra Valley Water will have to enter a building to read the meter; where access to the meter will be restricted by gates/fences. If you are aware that remote read meters will be required, please inform the easyACCESS staff at the time of booking.

For all tapplings and/or pluggings, it is the responsibility of the person performing the excavation to obtain a Road Opening Permit from the local municipal authority before any excavation work commences. All traffic management requirements contained in the Road Opening permit must be complied with. The excavation must expose the main at the tapping/plugging point and be made safe prior to the tapping / plugging appointment time. If you choose to have Yarra Valley Waters plumbing contractor carry out the excavation, Yarra Valley Water will organize the necessary permit at an additional cost on a per road opening basis.

Failure to comply with any of these requirements will result in the booking being cancelled and a rebooking fee will apply.

Yarra Valley Waters plumbing contractor can be contacted on 1300 735 328

Whether you have elected your plumber or Yarra Valley Water to carry out the excavation, please contact Yarra Valley Waters Plumbing Contractor Mondo on 1300 735 328 to schedule a date and time. Prior to our Plumbing Contractor attending on site to carry out the scheduled work you will be required to clearly mark your preferred location for the service. If the preferred location is not marked, the work will not be undertaken and you will incur a wasted site visit fee. Please note; bookings can take up to three (3) business days to generate after payment is made.

Should you wish to reschedule the booking, Yarra Valley Water's plumbing contractor can be contacted on 1300 735 328. If you cancel or reschedule a booking within 24 hours of the scheduled date / time a wasted site visit fee will apply. If you wish to cancel the booking you will need to contact Yarra Valley Water (if applicable), to seek a refund. A cancellation fee may apply.

## **METER ASSEMBLIES & POSITIONING**

It is the responsibility of the private plumber to ensure that containment, zone and individual backflow prevention is provided.

Water meter assemblies:

- a) Must be within 2 metres of the title boundary that abuts the water main
- b) Must be fitted at right angles to the water main, in line with the tapping
- c) Must be fully supported with minimum ground clearance of 150mm and should not be >300mm from the finished ground level to the base of the assembly
- d) Must not be encased in concrete surrounds
- e) Must be readily accessible for reading, maintenance and replacement. If Yarra Valley Water deem meters to be inaccessible, remote meters may be required at additional cost to the customer
- f) Can be installed in utility rooms or meter cabinets located within a common access area and must be readily accessible, subject to Yarra Valley Water's approval

If meters need to be moved >600mm a plugging and re-tapping must be booked and the relevant fee paid.

Meters which are in a public space such as a reserve or school must be protected by an appropriate cage to prevent tampering.

Meters are not permitted to be installed in pits unless prior approval has been given by Yarra Valley Water.

Meter assemblies must adhere to the meter installation diagrams available on the Yarra Valley Water website ([www.yvw.com.au](http://www.yvw.com.au)) to ensure the installations meet the required standard.

## **REMOVAL OF WATER METERS**

Only Yarra Valley Water's plumbing contractor is permitted to remove water meters.

If redevelopment of the site is occurring and the meter is no longer required, a plugging of the service must be arranged and the meter will be collected by our contractor at the time of the plugging.

## **DAMAGED OR STOLEN METERS**

If the builder/plumber damage a meter or meter assembly, it is the responsibility of the builder/plumber to rectify these assets back to the same condition as at time of installation by Yarra Valley Water.

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- Failure to do so will result in Yarra Valley Water making the necessary amendments and recovering these costs from the property owner.
- Repeat offences may result in the services being plugged and re-booking fees will apply to have the services reinstated

Stolen meters are to be reported to Yarra Valley Water faults and emergencies:

- Call **13 2762** (24 hrs).
- Replacement of stolen meters can take up to 10 days. If replacement is required more urgently, please advise the operator at the time of the call.
- Until the meter is replaced no connections between the supply and the dwelling are to be reinstated. No straight pieces or alternative connections are allowed to be installed.

Meter assemblies must adhere to Yarra Valley Water's metering technical drawings which can be found at [www.yvw.com.au/help-advice/develop-build/plumbers/water-metering-and-servicing](http://www.yvw.com.au/help-advice/develop-build/plumbers/water-metering-and-servicing)

The installation of pumps on any water service to boost pressure or fill storage tanks directly from a water main is prohibited. Pumps may only be installed on the outlets of storage tanks filled under mains pressure.

## SEWER

Where a proposed development is to be constructed boundary to boundary and there is no compliant location for a sewer connection point within the property, Yarra Valley Water (YVW) approves the connection point of the YVW sewer to be located in a road reserve outside the property and raised to surface with an appropriate approved cover. The sewer connection point must meet the required clearances from proposed structures as per the Build Over Easement Guidelines. Approval may be required for private plumbing located in road reserves by Council or VicRoads. Any unused sewer connection points at the site must be cut and sealed by a YVW accredited live sewer contractor.

Properties being developed that are serviced by a combined drain shared with adjoining properties will require sewer works. Yarra Valley Water's development policy does not permit additional lots to connect to an existing combined drain. The developer must provide separate sewer connection points. This may require either the construction of new sewer connections or a sewer extension which will be at the developer's expense.

If this combined drain development requirement is not met a statement of compliance will not be issued to Council.

Ownership boundaries for the sewer connection point can be found at <https://www.yvw.com.au/faults-works/responsibilities/repair-responsibilities>

Following the completion of a new or altered property sewerage drain, a copy of the updated Property Sewerage Plan must be returned within 7 days to Yarra Valley Water [easyACCESS@yvw.com.au](mailto:easyACCESS@yvw.com.au).

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Photographs of plans are not acceptable.

The existing sewer branch that is to service the proposed development must meet the requirements stated in WSA 02—2014-3.1 Sewerage Code of Australia, Melbourne Retail Water Agencies Edition - Version 2 - Clause 6.4.

If the existing sewer branch does not comply with these requirements, you will need to undertake additional sewer works which may include a sewer main extension, requiring lodgement of a new application and payment of additional fees.

Note for subdivisional developments where the sewer branch does not comply with these requirements, a statement of compliance will not be issued to Council until corrective action is undertaken and satisfactorily completed.

## AMENDMENTS

We may amend these conditions by writing to you. We may do so if we consider that any change, or proposed change, to relevant laws or our regulatory obligations require an amendment to be made.

We may also amend these conditions from time to time if we consider that it is necessary to:

- ensure that we are able to continue to comply with any law relating to health, safety or the environment, or our agreement with our bulk supplier of sewage transfer and treatment services; or
- the health or safety of anyone; or
- any part of the environment; or
- any of our works.

## INDEMNITY

You must indemnify Yarra Valley Water against:

- all damages, losses, penalties, costs and expenses whatsoever, which we suffer or incur; and
- all proceedings, prosecutions or demands brought or made against us by anyone, as a result of you failing to perform any of our obligations under these conditions, except to the extent that the failure has been caused by our negligence.

You must not bring any proceeding or make any demand against us for any damage, loss, cost or expense of any kind whatsoever which you incur, directly or indirectly, as a result of Yarra Valley Water amending these conditions.

You must pay us any costs we reasonably incur in:

- making good any damage to our assets or works directly or indirectly caused by your failure to comply with these conditions; and
- inspecting our assets or works to see if such damage has been caused.

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## CONDITIONS OF CONSENT

The following conditions are subject to Sections 136, 268, 269 and 270 of the Water Act 1989 covering conditions of subdivision, new connections and contributions for works.

### CONDITIONS RELATING TO NEW CONNECTIONS / COMPLETION OF WORKS / ISSUE OF CONSENT

This development must comply with the Guidelines for Proposed Works Over / Adjacent to Water Authority Assets up to and including 225mm diameter. If your plans of the proposed works do not comply with these conditions you must either amend your planned development to comply with these conditions or else undertake works to relocate or protect Yarra Valley Water assets in accordance with the Guidelines for Proposed Works Over / Adjacent to Water Authority Assets up to and including 225mm diameter. Note for subdivisional developments where corrective action is required and has not been undertaken a statement of compliance will not be issued to Council

All developments within our licensed area are subject to the payment of New Customer Contributions as set by the Essential Services Commission. These contributions are necessary as the development work you will be completing places increased demand on our hydraulic services. These funds are then used to further develop the network to meet the needs of the growing urban community. The fees for your development are detailed in the invoice/statement. Further details can be found by visiting the Essential Services Commission website at [www.esc.vic.gov.au](http://www.esc.vic.gov.au).

The New Customer Contribution fees remain valid for 90 days from the date of this letter and are based on the information provided in your application. Further fees may be imposed if it is found that this development involves works other than declared on your application. If there are changes to the details supplied or if the approval period expires, revised conditions of connection and additional fees will be applicable. If this occurs it will be necessary to resubmit a new application.

NOTE: These fees are for the creation of additional lots only and do not include any other works or products which may be required as a result of the development being carried out.

### SUBDIVISIONAL CONDITIONS

We advise that should this development proceed to subdivision the plan of subdivision must include an Owners Corporation schedule. Should an Owners Corporation schedule not form part of the plan of subdivision, extensions to our sewer and water mains may be necessary, requiring the lodgement of a new application and payment of additional fees.

Water and sewerage services are required to be extended to each individual lot within the development. The extended sewerage property service drain must adequately control all lots via gravity.

Easements must be created over any existing or proposed Yarra Valley Water assets. Your

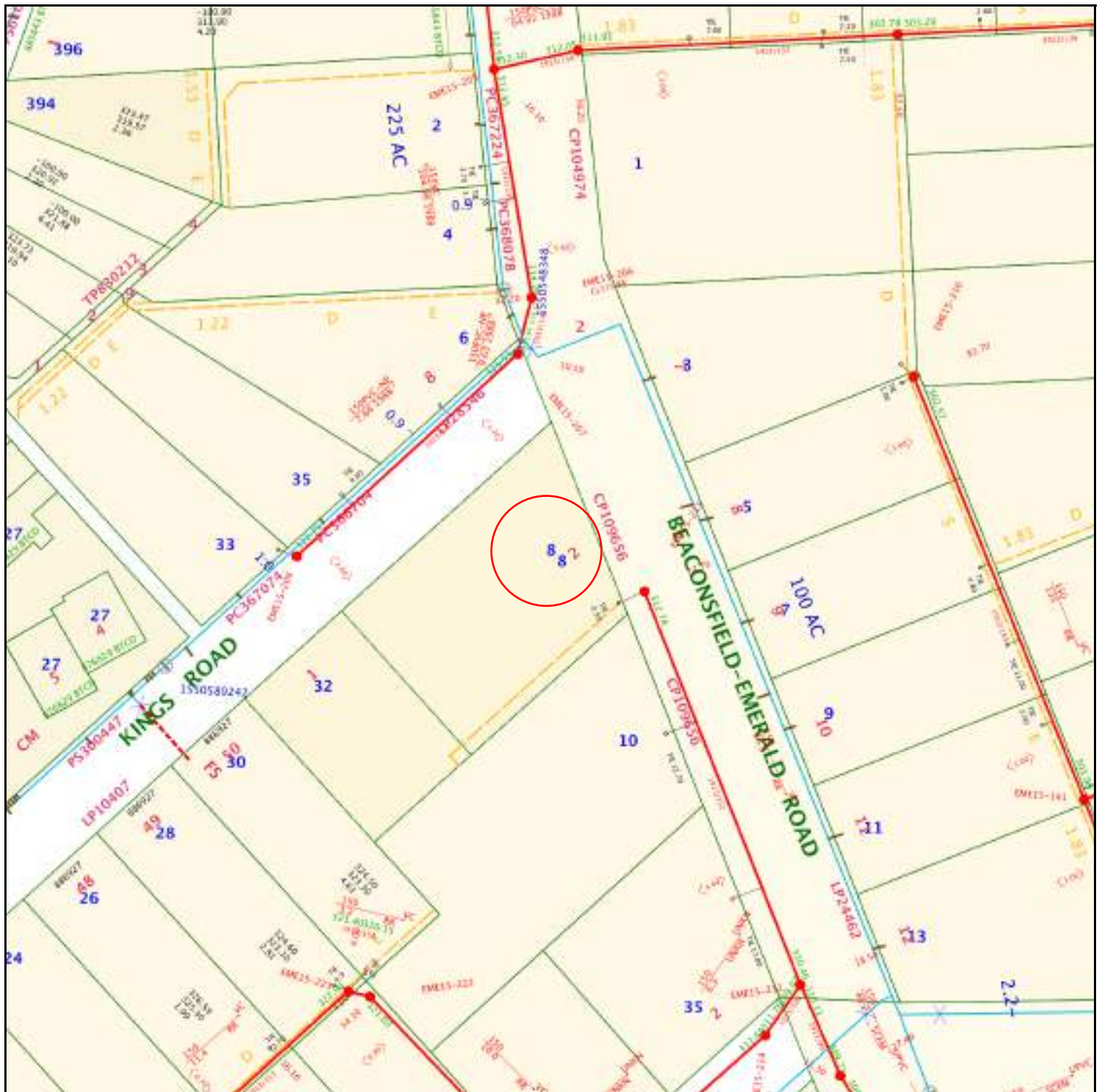


surveyor will need to ensure that these easements are included on any plan of subdivision.

An encumbrance will be placed on lots in this subdivision advising prospective purchasers that the properties are serviced by shared sewer and/or water connections.

Yarra Valley Water will be unable to give consent to council to issue a Statement of Compliance until fees have been paid and all other conditions have been met.

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**Yarra Valley Water  
Service Plan  
(All assets)**

**Address** 8 BEACONSFIELD-EMERALD ROAD EMERALD 3782

<b>Date</b>	18/01/2022
<b>Scale</b>	1:1000



Disclaimer: This Water Service Plan is for property information only. Yarra Valley Water does not warrant the accuracy or scale of this plan. The company accepts no liability for any loss, damage or injury suffered by any person as a result of an inaccuracy in this plan.

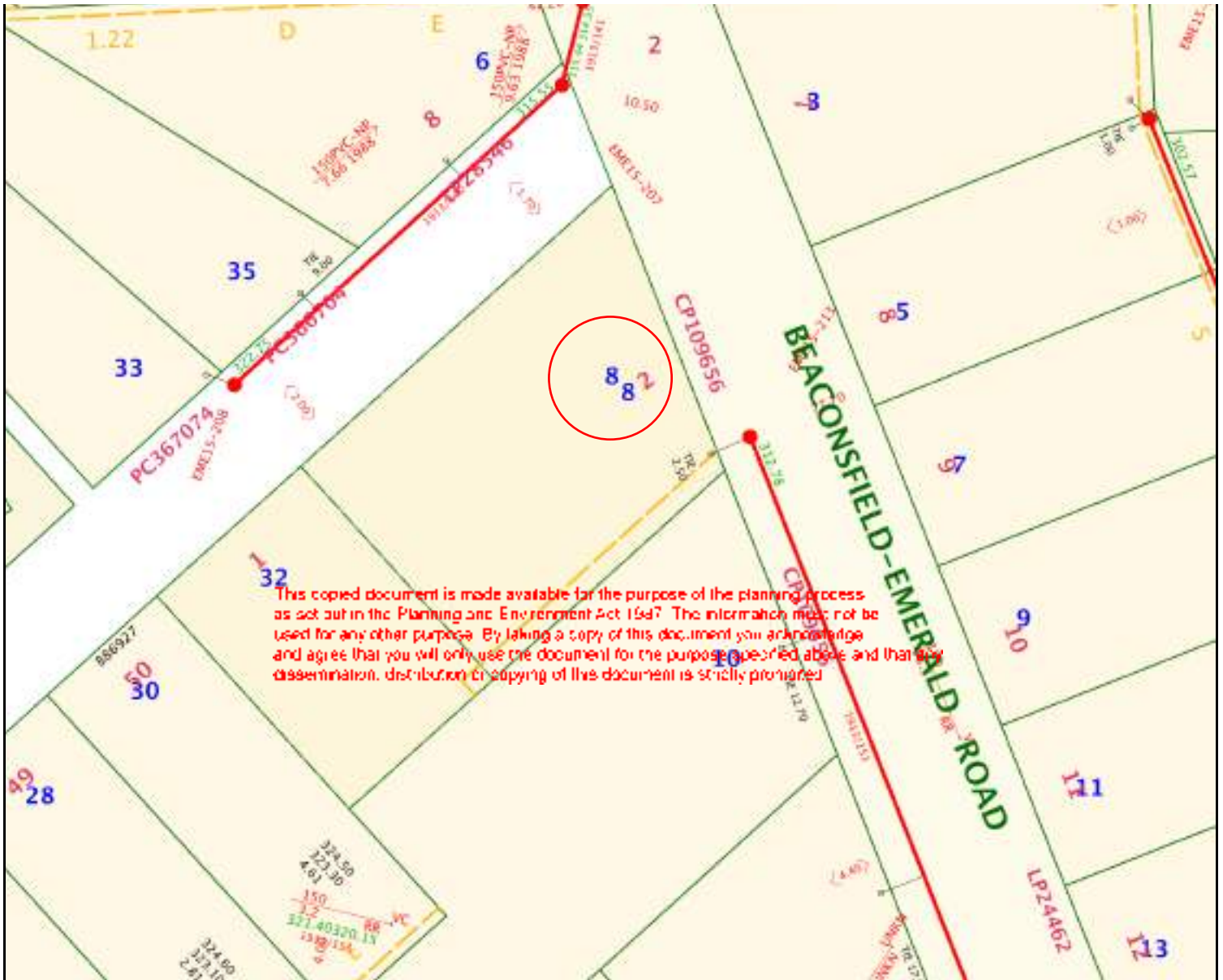
ABN 93 066 902 501

Existing Title		Circular Manhole		Water Valve	
Proposed Title		Inspection Shaft		Hydrant	
Sewer Branch		Water Main Drinking		Water Main Offset Distance	
Sewer Pipe Flow		Water Main Recycled		Sewer Offset Distance	
Existing Sewer					

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**PLAN NUMBER**  
**99999998-528750**

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**Address** 8 BEACONSFIELD-EMERALD ROAD EMERALD 3782

**Yarra Valley Water  
 Property Sewerage Plan**

<b>PSP Number</b>	99999998
<b>Scale</b>	1:750



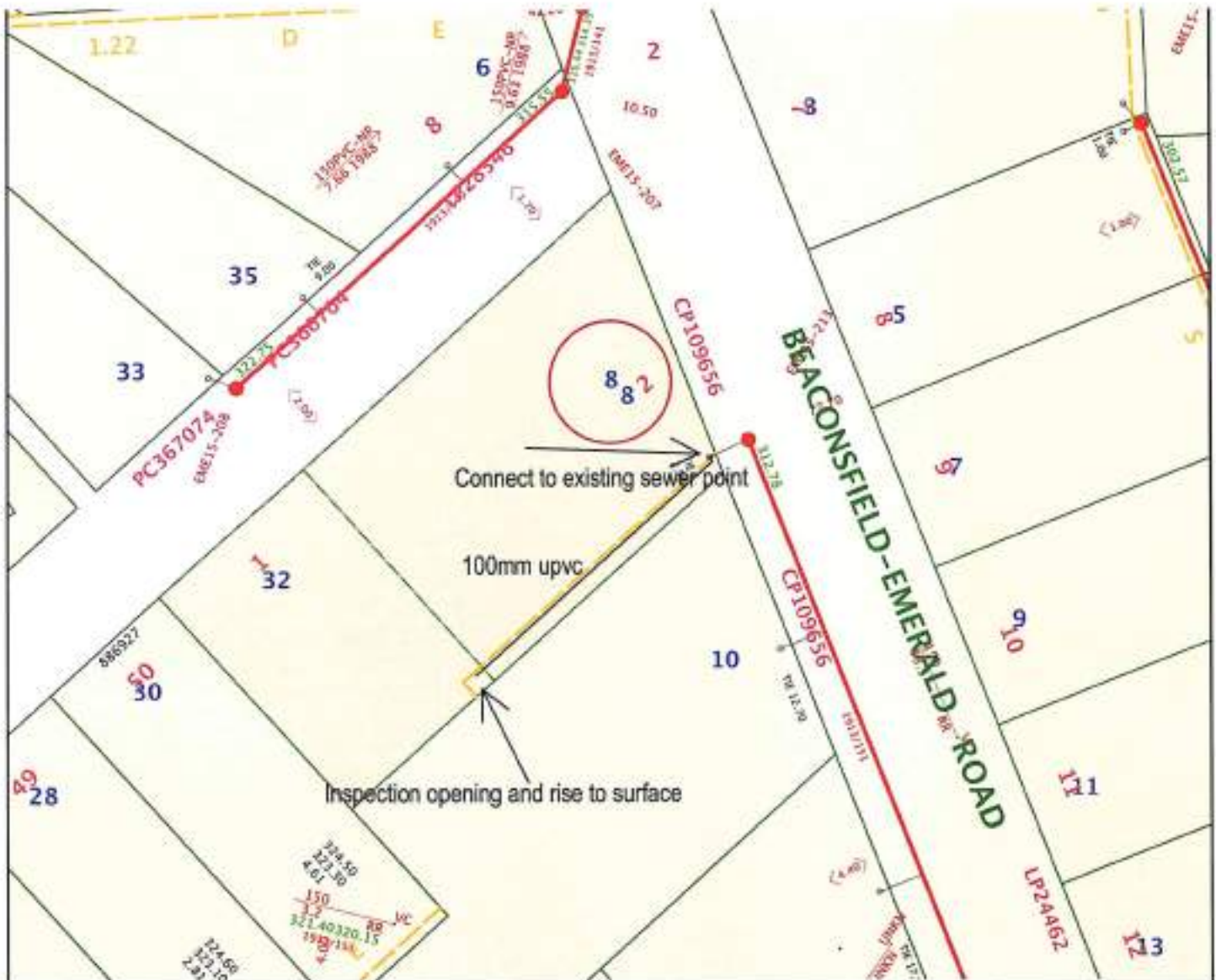
SEWER POINT LOCATION		FIXTURES			
E.P	3.8	Closest			Trough
N.S.L	316.14	Urinal			Washing Machine
I.L	313.01	Bath			Dishwasher
DIA	100	Shower			Waste Disposal Unit
DEPTH	3.13	Basin			Swimming Pool
CHAINAGE FROM M/H TO		Sink			
B.C.H	77.7	BT BOUNDARY TRAPPED			
U/S M/H	77.7	If the letters 'BT' appear as a part of the PSP Number or anywhere within the property on this plan (e.g. 123456 BT) then a Boundary Trap must be fitted to the drain.			
PIPE DIA	150	All other properties are Boundary Trap Omitted.			





**PLAN NUMBER**  
**99999998-528750**

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Yarra Valley Water  
**Property Sewerage Plan**

Address: 8 BEACONSFIELD-EMERALD ROAD EMERALD 3782

PSP Number	99999998	 N
Scale	1:750	

SEWER POINT LOCATION		FIXTURES			
E.P	3.8	Closet			Trough
N.S.L	316.14	Urinal			Washing Machine
I.L	313.01	Bath			Dishwasher
DIA	100	Shower			Waste Disposal Unit
DEPTH	3.13	Basin			Swimming Pool
CHAINAGE FROM MH TO		Sink			
B.C.H	77.7	<b>BT BOUNDARY TRAPPED</b>			
U/S MH	77.7	If the letters 'BT' appear as a part of the PSP Number or anywhere within the property on this plan (e.g. 123456 BT) then a Boundary Trap must be fitted to the drain.			
PIPE DIA	150	All other properties are Boundary Trap Omitted.			





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27th January 2022

G & N Williams

Dear G & N Williams,

**RE: PIC Number Advice / Details**

<b>Application ID</b>	528750
<b>Property Address</b>	8 BEACONSFIELD-EMERALD ROAD EMERALD 3782
<b>Service Location ID</b>	1697006

Thank you for your recent application. We are pleased to provide you with the Plumbing Industry Commission (PIC) number/s for the above property address.

Please allow 24 hours from the receipt of this email notification before you contact the Victorian Building Authority (previously known as the PIC) to arrange an inspection.

<b>Property Address</b>	<b>Service Location ID</b>	<b>PIC Consent No.</b>
-CP109656 8 BEACONSFIELD-EMERALD ROAD EMERALD 3782	1697006	12002587565
1-PS848282 32 KINGS ROAD EMERALD 3782	5268514	12003094052
2-PS848282 8 BEACONSFIELD-EMERALD ROAD EMERALD 3782	5268515	12003094053

A separate PIC number has been provided for each unit/lot. Please use the specific PIC number applicable to the relevant property as outlined in the table above.

**Updating the Property Sewerage Plan (PSP)**

Attached is a copy of the PSP for the property that is being developed.

Following the completion of any new or altered property sewerage drain, a copy of the updated Property Sewerage Plan must be returned within 7 days to Yarra Valley Water.

Please email the updated PSPs to [easyACCESS@yvw.com.au](mailto:easyACCESS@yvw.com.au). You will receive a confirmation email when your PSP is successfully delivered.

(Note: to assist in efficiently processing Updated PSPs, please enter the property address in the subject line of your e-mail)

**Booking your plumbing products**

Please note if you are ready to book your plumbing products, please contact Yarra Valley Water's contractor Mondo on 1300 735 328. A phone call is not required if products are either New Estate Connections or Combo Drinking Water & Recycled Water. Please allow a minimum of 10 business days' notice when contacting Mondo to schedule a time for your booking.

If you have any questions, please email us at [easyaccess@yvw.com.au](mailto:easyaccess@yvw.com.au).

For more information please visit our website: <https://www.yvw.com.au/help-advice/develop-build>

Yours sincerely,

A handwritten signature in grey ink that reads "Joe Gargaro".

Joe Gargaro

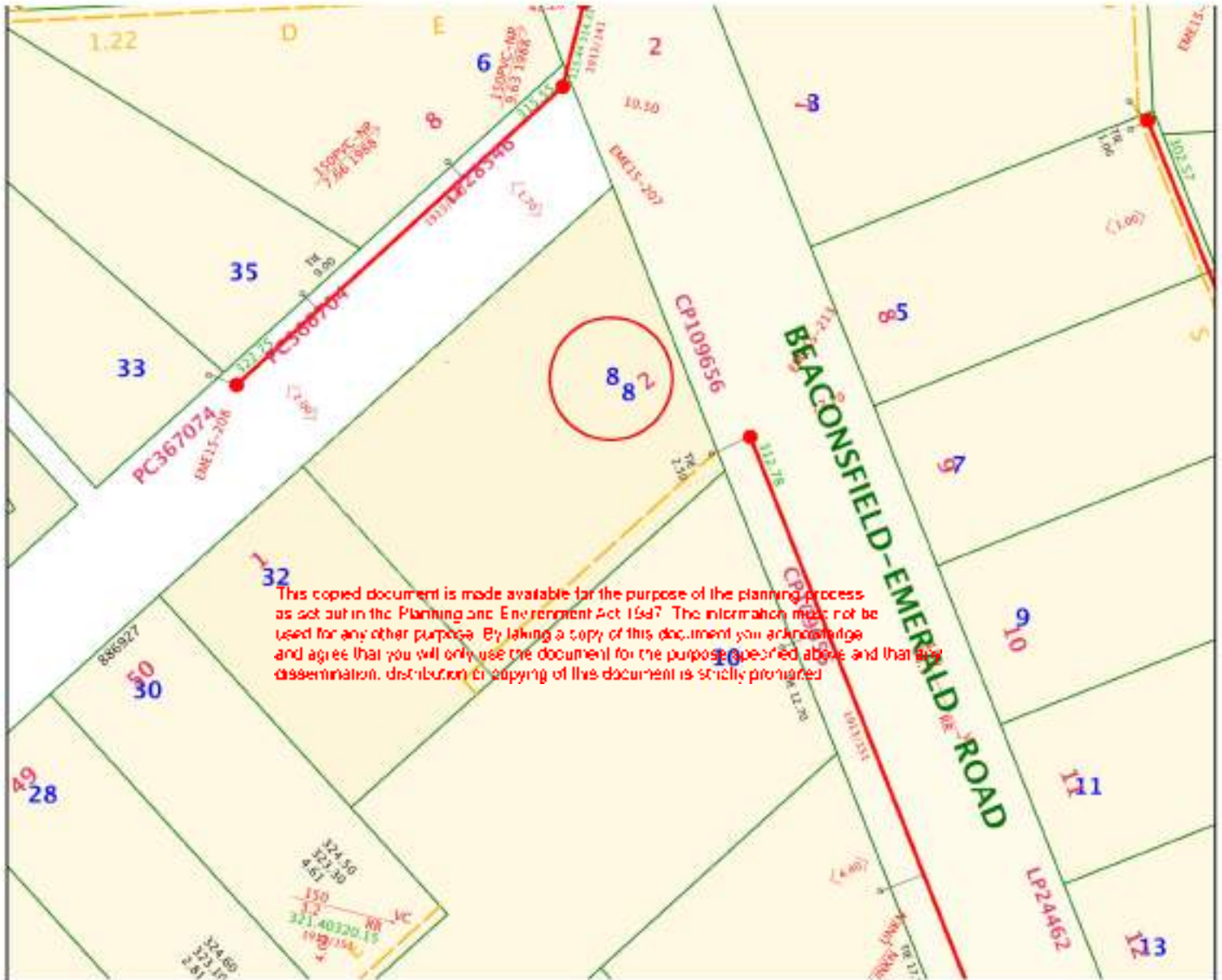
Divisional Manager, Development Services

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**PLAN NUMBER**

**99999998-528750**

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**Address** 8 BEACONSFIELD-EMERALD ROAD EMERALD 3782

**Yarra Valley Water  
Property Sewerage Plan**

**PSP Number** 99999998

**Scale** 1:750



SEWER POINT LOCATION		FIXTURES	
E.P	3.8	Closet	Trough
N.S.L	316.14	Urinal	Washing Machine
LL	313.01	Bath	Dishwasher
DIA	100	Shower	Waste Disposal Unit
DEPTH	3.13	Basin	Swimming Pool
CHAINAGE FROM M/H TO		Sink	
B.C.H	77.7	BT BOUNDARY TRAPPED	
W/S M/H	77.7	If the letters 'BT' appear as a part of the PSP Number or anywhere within the property on this plan (e.g. 123456 BT) then a Boundary Trap must be fitted to the drain.	
PIPE DIA	150	All other properties are Boundary Trap Omitted.	

