
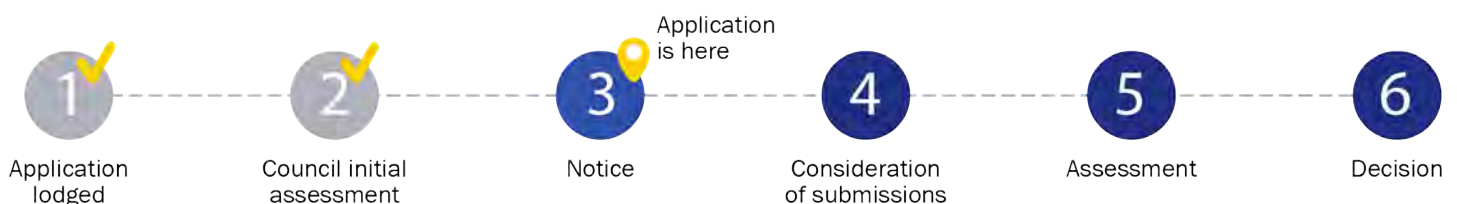


Notice of Application for a Planning Permit

The land affected by the application is located at:	L1 TP114787 25 Henry Street, Koo Wee Rup VIC 3981
The application is for a permit to:	Development of a Second Dwelling on a lot and Subdivision of Land into Two (2) Lots

APPLICATION DETAILS	
The applicant for the permit is:	Property Subdivision
Application number:	T240312
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website: cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	

HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		03 December 2024
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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Planning Enquiries
 Phone: 1300 787 624
 Web: www.cardinia.vic.gov.au

Office Use Only

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

i Click for further information.

Clear Form

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 25	St. Name: Henry Street
Suburb/Locality: Koo Wee Rup		Postcode: 3981

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A Lodged Plan Title Plan Plan of Subdivision

OR

B

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i For what use, development or other matter do you require a permit? *

Retain Existing Dwelling and Proposed 1 new Single Storey Dwelling to the rear of Site + Subdivision into 2 lots

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⚠ Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

i Estimated cost of any development for which the permit is required *

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

1 Existing Dwelling on site

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Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (if 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:

Please provide at least one contact phone number *

Contact information for applicant OR contact person below

Business phone:

Fax:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*

Same as applicant

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Same as applicant

Title: Ms

First Name: Darcy

Surname: McGuinness

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.: 17

St. Name: Nathaniel Street

Suburb/Locality: Pearcedale

State: VIC

Postcode: 3912


Owner's Signature (Optional):

Date:

day / month / year

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and that I am the applicant for the purpose of the permit application.

Signature: 

Date: 28/06/2024

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

No Yes

If 'Yes', with whom?:

Date:


day / month / year


Checklist

Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site.

A plan of existing conditions.

Plans showing the layout and details of the proposal.

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant council planning permit checklist?

Signed the declaration?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:

Telephone: 1300 787 624

Email: mail@cardinia.vic.gov.au

DX: 81006

PLEASE ISSUE INVOICE FOR
DEVELOPMENT & SUBDIVISION COMBINED TO:

Darcy McGuiness
17 Nathaniel Street Pearcedale, VIC
C/O Glen McCulloch Property Subdivision

Deliver application in person, by post or by electronic lodgement.

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The Land

Planning permits relate to the use and development of the land. It is important that accurate, clear and concise details of the land are provided with the application.

How is land identified?

Land is commonly identified by a street address, but sometimes this alone does not provide an accurate identification of the relevant parcel of land relating to an application. Make sure you also provide the formal land description - the lot and plan number or the crown, section and parish/township details (as applicable) for the subject site. This information is shown on the title.

See **Example 1**.

The Proposal

Why is it important to describe the proposal correctly?

The application requires a description of what you want to do with the land. You must describe how the land will be used or developed as a result of the proposal. It is important that you understand the reasons why you need a permit in order to suitably describe the proposal. By providing an accurate description of the proposal, you will avoid unnecessary delays associated with amending the description at a later date.

▲ Planning schemes use specific definitions for different types of use and development. Contact the Council planning office at an early stage in preparing your application to ensure that you use the appropriate terminology and provide the required details.

How do planning schemes affect proposals?

A planning scheme sets out policies and requirements for the use, development and protection of land. There is a planning scheme for every municipality in Victoria. Development of land includes the construction of a building, carrying out works, subdividing land or buildings and displaying signs.

Proposals must comply with the planning scheme provisions in accordance with Clause 61.05 of the planning scheme. Provisions may relate to the State Planning Policy Framework, the Local Planning Policy Framework, zones, overlays, particular and general provisions. You can access the planning scheme by either contacting Council's planning department or by visiting Planning Schemes Online at planning-schemes.delwp.vic.gov.au

▲ You can obtain a planning certificate to establish planning scheme details about your property. A planning certificate identifies the zones and overlays that apply to the land, but it does not identify all of the provisions of the planning scheme that may be relevant to your application. Planning certificates for land in metropolitan areas and most rural areas can be obtained by visiting www.landata.vic.gov.au Contact your local Council to obtain a planning certificate in Central Goldfields, Corangamite, Macedon Ranges and Greater Geelong. You can also use the free Planning Property Report to obtain the same information.

See **Example 2**.

Estimated cost of development

In most instances an application fee will be required. This fee must be paid when you lodge the application. The fee is set down by government regulations.

To help Council calculate the application fee, you must provide an accurate cost estimate of the proposed development. This cost does not include the costs of development that you could undertake without a permit or that are separate from the permit process. Development costs should be calculated at a normal industry rate for the type of construction you propose.

Council may ask you to justify your cost estimates. Costs are required solely to allow Council to calculate the permit application fee. Fees are exempt from GST.

▲ Costs for different types of development can be obtained from specialist publications such as Cordell Housing: Building Cost Guide or Rawlinsons: Australian Construction Handbook.

▲ Contact the Council to determine the appropriate fee. Go to planning.vic.gov.au to view a summary of fees in the Planning and Environment (Fees) Regulations.

Metropolitan Planning Levy refer Division 5A of Part 4 of the *Planning and Environment Act 1987* (the Act). A planning permit application under section 47 or 96A of the Act for a development of land in metropolitan Melbourne as defined in section 3 of the Act may be a leviable application. If the cost of the development exceeds the threshold of \$1 million (adjusted annually by consumer price index) a levy certificate must be obtained from the State Revenue Office after payment of the levy. A valid levy certificate must be submitted to the responsible planning authority (usually council) with a leviable planning permit application. Refer to the State Revenue Office website at www.sro.vic.gov.au for more information. A leviable application submitted without a levy certificate is void.

Existing Conditions

How should land be described?

You need to describe, in general terms, the way the land is used now, including the activities, buildings, structures and works that exist (e.g. single dwelling, 24 dwellings in a three-storey building, medical centre with three practitioners and 8 car parking spaces, vacant building, vacant land, grazing land, bush block).

Please attach to your application a plan of the existing conditions of the land. Check with the local Council for the quantity, scale and level of detail required. It is also helpful to include photographs of the existing conditions.

See **Example 3**.

Title Information

What is an encumbrance?

An 'encumbrance' is a formal obligation on the land, with the most common type being a 'mortgage'. Other common examples of encumbrances include:

- **Restrictive Covenants:** A 'restrictive covenant' is a written agreement between owners of land restricting the use or development of the land for the benefit of others, (eg. a limit of one dwelling or limits on types of building materials to be used).
- **Section 173 Agreements:** A 'section 173 agreement' is a contract between an owner of the land and the Council which sets out limitations on the use or development of the land.
- **Easements:** An 'easement' gives rights to other parties to use the land or provide for services or access on, under or above the surface of the land.
- **Building Envelopes:** A 'building envelope' defines the development boundaries for the land.

Aside from mortgages, the above encumbrances can potentially limit or even prevent certain types of proposals.

What documents should I check to find encumbrances?

Encumbrances are identified on the title (register search statement) under the header 'encumbrances, caveats and notices'. The actual details of an encumbrance are usually provided in a separate document (instrument) associated with the title. Sometimes encumbrances are also marked on the title diagram or plan, such as easements or building envelopes.

What about caveats and notices?

A 'caveat' is a record of a claim from a party to an interest in the land. Caveats are not normally relevant to planning applications as they typically relate to a purchaser, mortgagee or chargee claim, but can sometimes include claims to a covenant or easement on the land. These types of caveats may affect your proposal.

Other less common types of obligations may also be specified on title in the form of 'notices'. These may have an effect on your proposal, such as a notice that the building on the land is listed on the Heritage Register.

What happens if the proposal contravenes an encumbrance on title?

Encumbrances may affect or limit your proposal or prevent it from proceeding. Section 61(4) of the *Planning and Environment Act 1987* for example, prevents a Council from granting a permit if it would result in a breach of a registered restrictive covenant. If the proposal contravenes any encumbrance, contact the Council for advice on how to proceed.



You may be able to modify your proposal to respond to the issue. If not, separate procedures exist to change or remove the various types of encumbrances from the title. The procedures are generally quite involved and if the encumbrance relates to more than the subject property, the process will include notice to the affected party.

▲ You should seek advice from an appropriately qualified person, such as a solicitor, if you need to interpret the effect of an encumbrance or if you seek to amend or remove an encumbrance.

Why is title information required?

Title information confirms the location and dimensions of the land specified in the planning application and any obligations affecting what can be done on or with the land.

As well as describing the land, a full copy of the title will include a diagram or plan of the land and will identify any encumbrances, caveats and notices.

What is a 'full' copy of the title?

The title information accompanying your application must include a 'register search statement' and the title diagram, which together make up the title.

In addition, any relevant associated title documents, known as 'instruments', must also be provided to make up a full copy of the title.

Check the title to see if any of the types of encumbrances, such as a restrictive covenant, section 173 agreement, easement or building envelope, are listed. If so, you must submit a copy of the document (instrument) describing that encumbrance. Mortgages do not need to be provided with planning applications.

▲ Some titles have not yet been converted by Land Registry into an electronic register search statement format. In these earlier types of titles, the diagram and encumbrances are often detailed on the actual title, rather than in separate plans or instruments.

Why is 'current' title information required?

It is important that you attach a current copy of the title for each individual parcel of land forming the subject site. 'Current' title information accurately provides all relevant and up-to-date information.

Some councils require that title information must have been searched within a specified time frame. Contact the Council for advice on their requirements.

▲ Copies of title documents can be obtained from Land Registry: Level 10, 570 Bourke Street, Melbourne; 03 8636 2010; www.landata.vic.gov.au – go direct to "titles & property certificates".

Applicant and Owner Details

This section provides information about the permit applicant, the owner of the land and the person who should be contacted about any matters concerning the permit application.

The applicant is the person or organisation that wants the permit. The applicant can, but need not, be the contact person.

In order to avoid any confusion, the Council will communicate only with the person who is also responsible for providing further details. The contact may be a professional adviser (e.g. architect or planner) engaged to prepare or manage the application. To ensure prompt communications, contact details should be given.

Check with Council how they prefer to communicate with you about the application. If an email address is provided this may be the preferred method of communication between council and the applicant/contact.

The owner of the land is the person or organisation who owns the land at the time the application is made. Where a parcel of land has been sold and an application made prior to settlement, the owner's details should be identified as those of the vendor. The owner can, but need not, be the contact or the applicant.

See **Example 4**.

Declaration

The declaration should be signed by the person who takes responsibility for the accuracy of all the information that is provided. This declaration is a signed statement that the information included with the application is true and correct at the time of lodgement.

The declaration can be signed by the applicant or owner. If the owner is not the applicant, the owner must either sign the application form or must be notified of the application which is acknowledged in the declaration.

▲ Obtaining or attempting to obtain a permit by wilfully making or causing any false representation or declaration, either orally or in writing, is an offence under the *Planning and Environment Act 1987* and could result in a fine and/or cancellation of the permit.

Need help with the Application?

If you have attended a pre-application meeting with a Council planner, fill in the name of the planner and the date, so that the person can be consulted about the application once it has been lodged.

Checklist

What additional information should you provide to support the proposal?

You should provide sufficient supporting material with the application to describe the proposal in enough detail for the Council to make a decision. It is important that copies of all plans and information submitted with the application are legible.

There may be specific application requirements set out in the planning scheme for the use or development you propose. The application should demonstrate how these have been addressed or met.

The checklist is to help ensure that you have:

- provided all the required information on the form
- included payment of the application fee
- attached all necessary supporting information and documents
- completed the relevant Council planning permit checklist
- signed the declaration on the last page of the application form

▲ The more complete the information you provide with your permit application, the sooner Council will be able to make a decision.

Lodgement

The application must be lodged with the Council responsible for the planning scheme in which the land affected by the application is located. In some cases the Minister for Planning or another body is the responsible authority instead of Council. Ask the Council if in doubt.

Check with Council how they prefer to have the application lodged. For example, they may have an online lodgement system, prefer email or want an electronic and hard copy. Check also how many copies of plans and the size of plans that may be required.

Contact details are listed in the lodgement section on the last page of the form.

▲ Approval from other authorities: In addition to obtaining a planning permit, approvals or exemptions may be required from other authorities or Council departments. Depending on the nature of your proposal, these may include food or health registrations, building permits or approvals from water and other service authorities.

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EXAMPLES

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Example 1

The Land i


Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

St. No.: 26 St. Name: Planmore Avenue

Suburb/Locality: HAWTHORN

Formal Land Description *
Complete either A or B.

 This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A Lodged Plan Title Plan Plan of Subdivision


OR

B

Example 2

i **For what use, development or other matter do you require a permit? ***

Construction of two, double-storey dwellings and construction of two new crossovers.

 Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.


Example 3

Existing Conditions i

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Single dwelling.

 Provide a plan of the existing conditions. Photos are also helpful.

Example 4

Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Title: Mr First Name: Len Surname: Browning

Organisation (if applicable): Responsible Developers P/L

Postal Address: If it is a P.O. Box, enter the details here:

Unit No.: 4 St. No.: 12 St. Name: Ardour Lane

Suburb/Locality: Wucheproof State: Vic Postcode: 3527

Contact information for applicant OR contact person below

Business phone: 9123 4567 Email: tcpl@bigpond.net.au

Mobile phone: 0412 345 678 Fax: 9123 4567

Contact person's details* Same as applicant

Name:

Title: Mr First Name: Andrew Surname: Hodge

Organisation (if applicable): Town Planning Consultants

Postal Address: If it is a P.O. Box, enter the details here:

Unit No.: St. No.: St. Name: PO Box 111

Suburb/Locality: Parkdale State: Vic Postcode: 3194

Name: Same as applicant

Title: First Name: Surname:

Organisation (if applicable):

Postal Address: If it is a P.O. Box, enter the details here:

Unit No.: St. No.: St. Name:

Suburb/Locality: State: Postcode:

Owner's Signature (Optional): Date: day / month / year

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 09710 FOLIO 187

Security no : 124116136774E
Produced 26/06/2024 11:57 AM

LAND DESCRIPTION

Lot 1 on Title Plan 114787G.
PARENT TITLE Volume 08039 Folio 129
Created by instrument M437823G 25/08/1986

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



COVENANT 1368383

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP114787G FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 25 HENRY STREET KOO WEE RUP VIC 3981

ADMINISTRATIVE NOTICES

NIL



DOCUMENT END

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Document Type	Plan
Document Identification	TP114787G
Number of Pages (excluding this cover sheet)	1
Document Assembled	26/06/2024 11:57

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TITLE PLAN		EDITION 1	TP 114787G
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<p>Location of Land</p> <p>Parish: YALLOCK Township: Section: Crown Allotment: Crown Portion:</p> <p>Last Plan Reference: LP 29533 Derived From: VOL 9710 FOL 187 Depth Limitation: NIL</p>	<p style="text-align: center;">Notations</p> <p>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</p>
--	---

<p style="text-align: center;">Description of Land / Easement Information</p> <div style="border: 1px solid red; padding: 5px; margin: 10px 0;"> <p style="color: red; font-size: small;">This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>	<p>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</p> <p>COMPILED: 20/08/1999 VERIFIED: AA</p>
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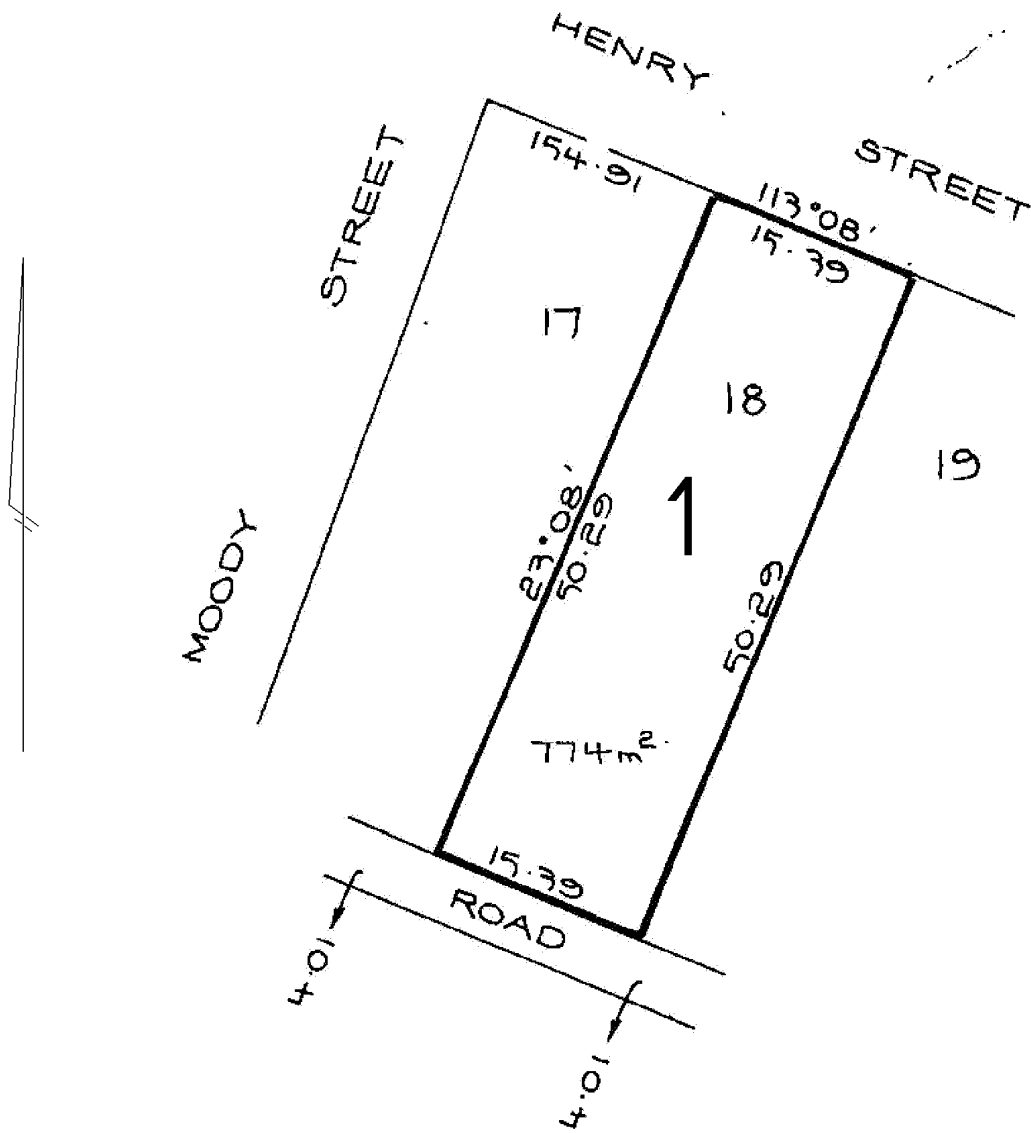


TABLE OF PARCEL IDENTIFIERS
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962
PARCEL 1 = LOT 18 ON LP 29533

LENGTHS ARE IN METRES	Metres = 0.3048 x Feet Metres = 0.201168 x Links		Sheet 1 of 1 sheets
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PROPERTY INFORMATION CERTIFICATE

Building Regulation 51(2)

29 April 2024



Property number: 4383404700
Your reference: 25 HENRY STREET KOO WEE RUP
Receipt number: 7470561868

Property Subdivision

Land (property) located at: Lot 1 (25) Henry Street Koo Wee Rup VIC 3981
Proposed development: 2 Lot Subdivision

BUILDING UNIT

Is the building or land in an area:	
That is liable to flooding (Reg. 153)?	YES*
That is a likely to be subject to termite attack (Reg. 150)?	YES
For which BAL level has been specified in a planning scheme?	**
That is subject to significant snowfalls (Reg. 152)?	NO
Designated land or Designated works (Reg. 154)?	NO

***NOTE:** Flooding information is predominantly based on 'Planning Scheme Flood Overlays' and 'Melbourne Water Data' available, any building work proposed within 20 metres of a water course (not requiring a planning permit) should be designed to ensure that amenity and structural integrity is not impacted (further opinion may be obtained from Councils Municipal Building Surveyor).

**** NOTE:** BAL='Bushfire Attack Level', BAL's may also be provided as restrictions on title/subdivision and shall be complied with. Refer to 'Land Channel' website for information relating to regulation 155 (designated state bushfire prone areas) [DELWP Vic Plan Maps](#)

PLANNING UNIT

For planning information please complete the planning information request located on our website [Planning information or advice](#) and pay the associated fee.

COMMUNITY INFRASTRUCTURE LEVY

'Community infrastructure' levies are financial contributions made by landowners towards locally provided infrastructure that is required to meet the future needs of the community. **Community Infrastructure Levy is applicable to new dwellings constructed in Pakenham, Officer, and some areas of Beaconsfield.**

Is the property subject to the Community Infrastructure Levy (payable by owner?) **NO**

Please note that a Community Infrastructure Levy (CIL) of \$1346.00 **per new dwelling** must be paid and a copy of the receipt forwarded to the 'relevant building surveyor' prior to the issue of a Building Permit. Please ensure that payment is made after the formal release of the land.

Further information about CIL is available on our [website](#).

Payment of the CIL can be made in any of the following ways:

- to your private building surveyor or builder
- in person at the Cardinia Shire Council Civic Centre
- credit card over the phone: 1300 787 624
- mail (please make cheques payable to Cardinia Shire Council): PO Box 7, Pakenham, Vic, 3810.

ASSET PROTECTION UNIT

The asset protection permit application fee and bond must both be paid, and your permit issued **before works start**. Please refer to our website for further details: [Apply for an asset protection permit](#)

Yours sincerely

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Delegate of Municipal Building Surveyor

Cardinia Shire Council
ABN: 32 210 906 807
20 Siding Avenue, Officer

PO Box 7
Pakenham 3810
(DX 81006)

Phone: 1300 787 624
Email: mail@cardinia.vic.gov.au
Web: www.cardinia.vic.gov.au



INVESTORS
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25 Henry Street,

June 2024

PLANNING REPORT

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1. INTRODUCTION

Keen Planning has prepared this report on behalf of the applicant, [REDACTED] in support of a planning permit application to construct a second dwelling and subdivision at 25 Henry Street, Koo Wee Rup.

This report should be read in conjunction with the following documentation, which forms the planning permit application submitted to Council:

- *Planning permit application form (completed online).*
- *Copy of certificate of title, retrieved 26 June 2024.*
- *Architectural Plans prepared by Property Subdivision, dated 12 June 2024.*

The site is not located within an area of Aboriginal Cultural Heritage Sensitivity.

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2. PROJECT SUMMARY

Address	25 Henry Street, Koo Wee Rup
Proposal	Construction of a second dwelling on a lot
Zoning	Neighbourhood Residential Zone – Schedule 1 (NRZ1)
Overlays	Design and Development Overlay – Schedule 8 (DDO8) Land Subject to Inundation Overlay (LSIO)
Permit Triggers	NRZ1 – A permit is required to subdivide land NRZ1 – A permit is required to construct a dwelling if there is at least one dwelling existing on the lot DDO8 – A permit is required to subdivide land DDO8 – A permit is required to construct a building LSIO – A permit is required to subdivide land LSIO – A permit is required to construct a building
Applicable Clauses of Planning Scheme	<p><u>Planning Policy Framework:</u> Clause 15.01 (Built Environment) Clause 16.01 (Residential Development) Clause 21.01 Cardinia Shire key issues and strategic vision Clause 21.03 Settlement and housing</p> <p><u>Zone:</u> Clause 32.09 (Neighbourhood Residential Zone – Schedule 1)</p> <p><u>OVERLAY(S):</u> Clause 43.02 (Design and Development Overlay – Schedule 8) Clause 44.04 (Land Subject to Inundation Overlay – Schedule 1)</p> <p><u>Particular/General Provisions:</u> Clause 52.06 (Car Parking) Clause 55 (Two or More Dwellings on a Lot and Residential Buildings) Clause 56 (Residential Subdivision) Clause 65 (Decision Guidelines)</p>

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3. THE SUBJECT SITE AND SURROUNDING DEVELOPMENT

3.1 The Subject Site

The subject site is located at 25 Henry Street, Koo Wee Rup and is formally identified as Lot 1 on Title Plan 114787G. The site is located on the southern side of Henry Street, 150 metres east of Moody Street. The rear boundary adjoins an unused road/ROW which extends from Moody Street to another road/ROW to the south-east.

The site is rectangular in shape and is generally flat. The site has a northern frontage to Henry Street of 15.4 metres, depth of 50.3 metres and an area of 776.81m².



Image 1: Aerial photograph showing the subject site and adjoining properties (subject site outlined in red)

Features of the site are as follows.

- The site comprises a single-storey fibro post-war dwelling with a concrete tile roof.
- The dwelling is setback 6.8 metres from Henry Street, 3.5 metres from the east boundary and 3 metres to the west boundary.
- There is a metal/laserlite roofed verandah attached to the rear portion of the dwelling which is built to the west boundary and a metal shed in the south-east corner of the site.

- Vehicular access is provided via a double-width concrete crossover that is shared with 23 Henry Street to the east and leads to a concrete driveway which extends along the east boundary and open car parking area in the east setback.
- Pedestrian access is provided via the driveway which leads to the front porch and entry on the east side of the dwelling.
- The site does not comprise any significant existing vegetation with the exception of a tree in the north-west corner of the front setback.
- The front boundary comprises low timber sleepers that are utilized as planters with a sparse plantation of low shrubs and ground cover.
- 2.0 metre high timber paling fencing extends along the east and west boundaries (with trellis along the rear east boundary) and a 2.1 metre high Colorbond fence along the southern boundary to create privacy from adjoining properties.
- There is one street tree (*Melaleuca styphelioides* – Prickly Paperbark) centered in the nature strip in front of the site.



Image 2: Site frontage from Henry Street

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Image 3: Looking onto the existing dwelling from the southern boundary of the rear yard

3.2 Restrictive Covenant

A restrictive covenant is identified as Instrument 1368383 has been applied to the Certificate of Title, disallowing for use of the land for the quarrying of “marl stone earth clay gravel or sand”.

3.3 Immediately Adjoining Properties

The site adjoins with the following properties:

- **East – 23 Henry Street:**
 - Property comprises a single-storey dwelling (including an attached carport) and a rear shed.
 - The carport adjoins with the subject site and the dwelling is setback 4 metres from the site.
 - One habitable room window faces the site and is setback 4 metres from the site.
 - The front dwelling is setback 11.85 metres from Henry Street.
 - The residence on this property shares a double-width concrete crossover with the subject site.
 - Secluded private open space is located within the rear (southern) yard of this property.
 - Sheds are located along the rear (southern) boundary of this property and adjoin the common boundary.

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Image 4: Looking south from Henry Street towards the subject site (right) and 23 Henry Street (left)

- **South – ROW / 16A Gardner Street:**
 - The site immediately interfaces with an unused road/ROW that is 4.2 metres in width (see below images). Beyond is 16A Gardiner Street.
 - 16 Gardner Street features a two dwelling development, with 16A Gardner Street being the property that interfaces with the subject site.
 - The verandah of this dwelling is located 5.4 metres south from the subject site's rear (southern) boundary, over the ROW.
 - This dwelling features habitable room windows along its northern elevation that interface with the subject site, located 7.7 metres from the rear (southern) boundary of the site.
 - Views of the bulk of the northern elevation of the dwelling on this property are possible from the rear (southern) yard of the site, see below image.
 - This property comprises secluded private open space within its north-eastern portion, proximate to the rear boundary of the subject site.

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Image 5 (left): Looking south from the rear yard of the site onto 16A Gardner Street; **Image 6 (right):** Looking east over the rear fence of the site along the road/ROW



Image 7: Looking east down the road abutting the rear boundary of the site from Moody Street

- **West – 27 Henry Street:**
 - The site adjoins with two (2) dwellings of a four (4) dwelling development.
 - The two (2) front dwellings (units 1 and 3) are original to the date of the original subdivision of the area and the rear dwellings are infill and completed in 2017.
 - The development is accessed via a central crossover and driveway.
 - 1/27 Henry Street is setback 8.3 metres from Henry Street and interfaces with the western courtyard and verandah of the existing dwelling. This dwelling is setback 1 metre from the western boundary of the subject site with its car port directly interfacing with the exiting dwelling of the site.

- o 2/27 Henry Street interfaces with the secluded private open space of the site and include 0.5 metre high trellis (on top of 2.0 metre high paling fence) that block views of habitable room windows. This dwelling is setback 1 metre from the subject site and features shed walls on the western boundary of the subject site.



Image 8: Shared interface between the site and 2/27 Henry Street

3.4 Surrounding Development



Image 9: Aerial imagery of the surrounding area to the subject site (outlined in red)

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The site is located within the residential area of Koo Wee Rup and has good proximity to local goods and services. The characteristics of the surrounds are noted below:

- The site is located in a central position within the residential part of Koo Wee Rup, however is proximate to the commercial strip (C1Z) of Koo Wee Rup along Station Street (see Image 10 – Zoning Map for further details).
- Residential lot sizes were originally uniform at 800 square metres, however infill development has occurred and lots that have been developed are generally 300-500 square metres in size.
- A medium density character is emerging throughout the local area due to recent developments / subdivisions of 2-3 dwellings on a lot.
- Original / single dwellings are typically single storey and are generally provided with setbacks to both side boundaries, with occasional built form on side / rear boundaries (generally car parking structures). Typical minimum side setbacks of dwellings that were originally developed during the title planning period is 1 metre.
- Multi dwelling developments typically retain original dwellings, with additional dwellings behind.
- Infill developments within the surrounds typically comprise dwellings that have been designed with a typical site coverage of 40-60% and comprise single storey dwellings.
- Average front setbacks along Henry Street range from 6 metres to 10 metres.
- Dwellings are constructed in a range of materials (face brick, weatherboard, render and/or fibro cladding) and roof forms are a mixed of gabled and hipped roof forms with tiles and colorbond materiality.
- A range of car parking accommodation is provided, including integrated or detached garages, carports or open paved/gravel areas, which have mixed visibility from the street depending on the residential setup of the property.
- A range of car parking accommodation is provided, including integrated or detached garages, carports or open paved or gravel areas, of which are typically visible from the street.
- Front fences are typically either low or not present, with vegetation complementing front boundaries to screen views of dwellings from the street.
- Presence of canopy trees within residential lots varies depending on the intensity of development, with single dwelling lots comprising 1-2 trees in rear yards and multi-dwelling lots comprising no trees.



Image 10: Zoning map of the subject site (outlined in red) and its surrounds.

4. LOCATIONAL ATTRIBUTES

The site is in the vicinity of the following facilities, including:

- Schools:
 - 300 metres south from the Koo Wee Rup Primary School;
 - 380 metres west from the Koo Wee Rup Secondary School; and
 - 440 metres east from the St Johns Baptists School.
- Community Facilities:
 - 140 metres west from the O’Riordan Park located on Henry Street;
 - 325 metres (5 minute walk) north from the Koo Wee Rup Bus Interchange;
 - 500 metres north from the Koo Wee Rup and District Memorial Swimming Pool; and
 - 600 metres north from the Koo Wee Rup Regional Health Service Centre.
- Non-Residential Zones:
 - 200 metres north from the local shops along Station Street and Rossiter Road;
 - 460 metres west from the Industrial 1 Zone;

5. MAPS

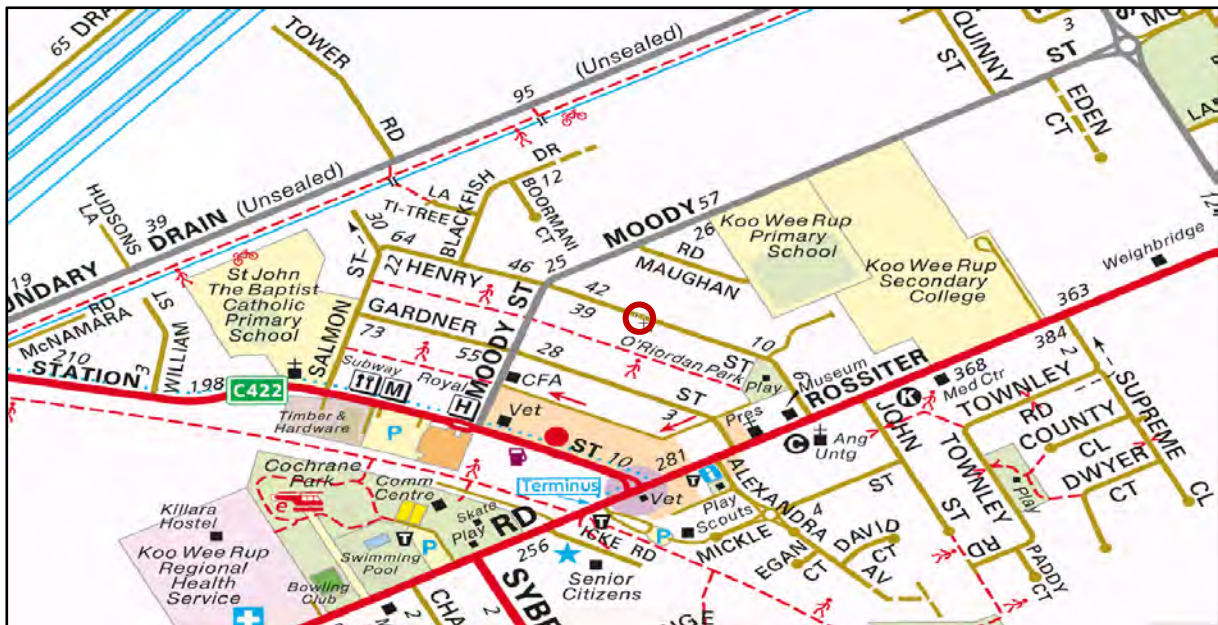


Image 11: Street directory map showing the subject site and adjoining properties (subject site circled in red).

Source: <https://www.street-directory.com.au/>

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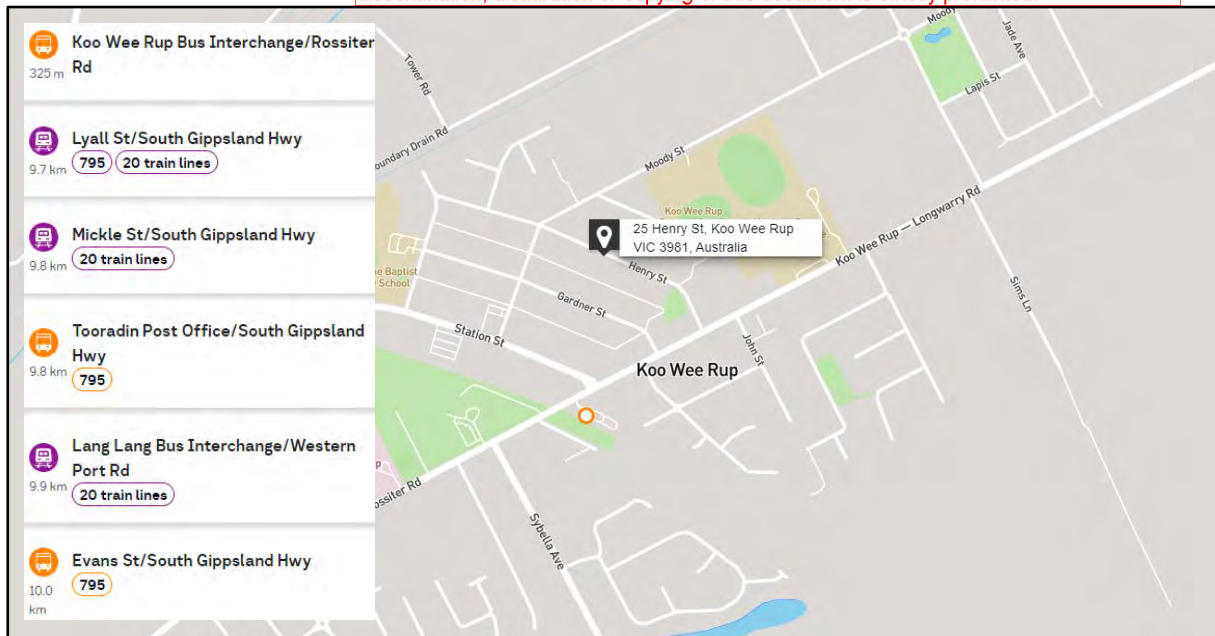


Image 12: Public transport map of site and surrounds. Koo Wee Rup Bus Interchange marked in orange. Source: www.ptv.vic.gov.au

6. PROPOSAL

The proposal seeks to construct a second dwelling on the site, to be located to the rear (south) of the existing dwelling, and associated subdivision. The proposal includes the following:

- Existing dwelling to be left unmodified.
- Concrete driveway and pavement, deck and rear shed to be demolished.
- A detached double garage that will service the existing dwelling is proposed to be located to the rear (south) of it and will be attached to the northern side of the double garage that will service the proposed dwelling.
- Proposed second dwelling (Lot 2):
 - Located in the rear (southern) section of the site.
 - Single storey, three (3) bedroom dwelling with a double garage (north wall of the garage shared with the proposed garage for the existing dwelling).
 - Ground floor setbacks include:
 - East – 1.2 metres from the eastern boundary.
 - South – 1 metre from the southern boundary.
 - West – 1.25-3.25 metres from the western boundary.
 - Provided with 273 square metres (35.3%) of garden area, including:
 - Lot 1 – 181 square metres of garden area, 182 square metres of private open space and 31 square metres of secluded private open space.
 - Lot 2 – 75 square metres of garden area, 76 square metres of private open space and 25 square metres of secluded private open space.

- The proposed materials are comprised of shades of grey, including:
 - Light grey render;
 - White render;
 - Black Night Sky window framing;
 - Woodland Grey metal roofing.
- The site will be landscaped to complement the built form, including a row plantation extending the entirety of the eastern boundary along the driveway, cluster plantations of shrubs at the entrance to the proposed dwelling, and row plantations including a canopy tree in the south-western corner of the secluded private open space of the proposed dwelling.
- Total site coverage of 331 square metres (42.8%).
- Total permeability of 285 square metres (36.8%).

7. PLANNING CONSIDERATIONS

The proposal has been assessed under the main considerations of the Cardinia Planning Scheme. The key areas to be addressed in this section of the report are as follows:

- Planning Policy Framework;
- Design and Development Overlay (DDO8);
- Land Subject to Inundation Overlay;
- Koo Wee Rup Township Character Assessment (2015);
- Clause 55 (Two dwellings on a lot);
- Clause 56 (Subdivision).

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7.1 Planning Policy Framework

The proposal is consistent with the applicable provisions of the Planning Policy Framework of the Cardinia Planning Scheme. In particular, the development:

- Will contribute to achieving the strategic development objectives outlined in Clauses 21.03 (Settlement and housing), 11 (Settlement), 15 (Built environment and heritage) and 16 (Housing) by providing well-designed infill development that makes better use of the surrounding physical and social infrastructure – including access to schools, public transport, shops, community facilities and areas of good quality public open space that is within 600 metres of the site.
- The proposed development respects the site context/character as the front existing dwelling will be retained and therefore the character values of the site will be maintained. The proposal will contribute to increasing density with and infill dwelling within the Established Residential Area as identified in the Koo Wee Rup Township Strategy.
- The design of the proposed dwelling is contemporary in style with a similar roof form and building bulk (single storey) to other dwellings in the area, providing visual interest and being consistent with good urban design principles as outlined in Clause 15.01-2S (Building Design).
- The proposal will be located with good proximity to facilities and open space (15.01-4S – Healthy neighbourhoods).
- Careful consideration has been given to Clause 15 of the Planning Scheme when formulating the design of the development to ensure that any adverse amenity impacts on adjoining properties, by way of building massing, overshadowing and overlooking, are minimised. This has been achieved by providing a high level of compliance with the provisions of Clause 55 (as outlined in Section 8 below) and providing appropriate window heights/treatments to minimise the potential for overlooking.

- The proposal will provide open space and permeable areas that complies with the ResCode requirements – refer to Section 8 below for further information.
- The proposed development will provide a total of 273m² (35.3% of site area) of garden area, including 181m² for Lot 1 (52.5%) and 75m² for Lot 2 (30.7%). This complies with the garden area requirement of 25% for lots less than 400 square metres as prescribed by Clause 32.09-3 (Neighbourhood Residential Zone – Subdivision). Garden area will be generously landscaped to soften visual bulk and provide enhanced privacy, see Concept Landscape Plan prepared by Property Subdivision for further information.

7.2 Design and Development Overlay Schedule 8 (Clause 43.02)

The proposal is consistent with the design and decision guidelines of Schedule 8 to the Design and Development Overlay. In particular, the development:

- Will maintain the township character values of the site as the existing front dwelling will be retained, and will enhance the residential area by developing an additional dwelling.
- The proposed dwelling will sit behind the existing dwelling to be retained, maintaining the township character of the site and creating visual interest along the sightline down the driveway whilst ensuring that visual bulk is acceptable.
- The proposed dwelling has considered the existing building heights and setbacks of the surrounding built form and is considered suitable within the existing urban environment.
- The proposal comprises generous landscaping that will contribute to increasing the canopy cover of the site.
- The proposed garages will sit behind the existing dwelling and will not be visible from Henry Street.
- The proposed subdivision is typical to the character of infill developments that have occurred in the surrounding area to the site.
- The proposal meets the buildings and works requirements including: 7.9 metre front setback of the existing dwelling is retained (over minimum setback of 7 metres), 4.92 metre maximum building height (does not exceed 7.5 metres), and the building site coverage for both dwellings is 42.8% (does not exceed 50%).
- The proposed dwelling at the rear of the site will not comply with the 2.5 metre minimum side/rear setback requirements of this DDO, however we submit that this is reasonable and suitable for the emerging character of the area with side and rear setbacks of 1-2 metres being common.

7.2 Land Subject to Inundation Overlay (Clause 44.04)

The subject site is located within a Land Subject to Inundation Overlay, which exists to ensure that flood prone land is developed appropriately.

We applied early this month (3 June 2024) for information from Melbourne Water regarding the Land Subject to Inundation Overlay that affects the site and the surrounding area (see below Image 13), however we have not yet received a response.

The proposal has been designed so that the new floor level is at least 300mm above NGL (which is common practice for developing in these areas), however the design is flexible and can be raised further if necessary.

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Image 13: Zoning map of the Land Subject to Inundation Overlay that affects the site (marked with red arrow) and the surrounding area.

7.3 Koo Wee Rup Township Strategy, 2015

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The Koo Wee Rup Township Strategy 2015 is a reference document that is implemented in Clause 21.03-4 (Rural townships) and provides development guidelines, key characteristics and strategic objectives for development proposals within the township of Koo Wee Rup. The subject site is within the Established Residential Precinct 1 (*older residential areas, close to the town centre*). The proposal aligns with the criteria set out in this document, and justification for the proposal pursuant to this criteria includes:



Image 14: Koo Wee Rup Existing Character Precincts (Township Character Assessment) with the site marked with the red arrow

- The proposal will enhance and strengthen the town centre of Koo Wee Rup by providing infill development within the current Urban Growth Boundary and will be connected to essential infrastructure.
- The proposed dwelling will have a single storey simple/contemporary design with hipped roof forms with a site coverage of 42.8% which is consistent with the development styles of Koo Wee Rup.

- The site is intended to be landscaped with a variety of native species (including a new canopy tree in the rear yard of Dwelling 2) and will retain the existing spacious front garden, including the 6.0 metre high tree in the north-west corner – refer to enclosed Landscape Plan for further information.
- The additional dwelling will contribute to the overall vitality of the town centre.
- The additional dwelling will assist with housing the modesty population increase that is outlined on Page 10 of the Strategy.
- The proposal will maintain a sense of spaciousness along Henry Street as it will retain the existing dwelling as is with no front fence, a spacious front garden and existing vegetation/trees.
- The proposed subdivision and dwelling will function as a typical residence and is complementary to the adjoining residences.

8. RESCODE ASSESSMENT

Clause 55 – Two or More Dwellings on a Lot and Residential Buildings

55.01 - NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE	
55.01-1 Neighbourhood and site description	Complies Refer to Section 3 of this report and the development plans prepared by Property Subdivision and submitted with this application.
55.02-2 Design response	Complies Refer to Section 7 of this report and the plans submitted with this application.
55.02 - NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE	
55.02-1 - Standard B1 Neighbourhood character objectives <ul style="list-style-type: none"> • To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character. • To ensure that the development responds to the features of the site and the surrounding area. 	Complies Refer to Section 7.1 and 7.2 of this report.
55.02-2 - Standard B2 Residential policy objectives <ul style="list-style-type: none"> • To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. • To support medium densities in areas where development can take advantage of public transport and community infrastructure and services. 	Complies Refer to Section 7.1 and 7.2 of this report. <div style="border: 1px solid red; padding: 5px; color: red; font-size: small;">This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</div>

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<p>55.02-3 - Standard B3 Dwelling diversity objective</p> <ul style="list-style-type: none"> To encourage a range of dwelling sizes and types in developments of ten or more dwellings. 	<p>Not applicable</p> <p>This objective and standard does not apply as only two (2) dwellings are proposed.</p> <p>Nevertheless, the proposed dwelling is a compact, three (3) bedroom dwelling – contributing to the housing stock and design of Koo Wee Rup and Cardinia more broadly.</p>
<p>55.02-4 - Standard B4 Infrastructure objectives</p> <ul style="list-style-type: none"> To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonable overload the capacity of utility services and infrastructure. 	<p>Complies</p> <p>The development will connect to available utility services and infrastructure and will not unreasonably overload services/infrastructure.</p>
<p>55.02-5 - Standard B5 Integration with the street objective</p> <ul style="list-style-type: none"> To integrate the layout of development with the street. 	<p>Complies</p> <p>The proposal will benefit from retaining the existing concrete crossover which will be linked to the proposed concrete driveway, providing vehicular access for both dwellings. Pedestrian access is also gained via this concrete crossover. The entrances to both Dwellings are easily distinguishable from the other aspects of the built form. For the above reasons it is considered that the proposed development meets the objective of this standard.</p>
<p>55.03 - SITE LAYOUT AND BUILDING MASSING</p>	
<p>55.03-1 - Standard B6 Street setback objective</p> <ul style="list-style-type: none"> To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site 	<p>Complies</p> <p>The existing street setback to Henry Street will not change as the proposal will not modify the existing dwelling that fronts Henry Street.</p>
<p>55.03-2 - Standard B7 Building height objective</p> <ul style="list-style-type: none"> To ensure that the height of a building respects the existing or preferred neighbourhood character. 	<p>Complies</p> <p>The Neighbourhood Residential Zone prescribes a maximum building height of 9 metres, pursuant to Clause 32.09-11. The proposed dwelling will have a maximum height of 4.9 metres and complies with this Standard.</p>
<p>55.03-3 - Standard B8 Site coverage objective</p> <ul style="list-style-type: none"> To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site. 	<p>Complies</p> <p>The proposed dwelling will have a site coverage of 331 square metres (or 42.8 percent) and therefore complies with the 60 percent maximum prescribed by Standard B8.</p>
<p>55.03-4 - Standard B9 Permeability and stormwater management objectives</p> <ul style="list-style-type: none"> To reduce the impact of increased stormwater run-off on the drainage system. To facilitate on-site stormwater infiltration. To encourage stormwater management that maximises 	<p>Complies</p> <p>The proposal has a site permeability of 36.8 percent (285 square metres) which is indicative of the modest impact of the development and its commitment to minimising environmental footprint of the development, complying with the minimum site permeability area (20 percent) that Standard B9 prescribes.</p>

<i>the retention and reuse of stormwater.</i>	
<p>55.03-5 - Standard B10 Energy efficiency objectives</p> <ul style="list-style-type: none"> To achieve and protect energy efficient dwellings and residential buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. 	<p>Complies</p> <p>The design of the second dwelling incorporates a number of appropriate techniques to maximise energy efficiency, including the following:</p> <ul style="list-style-type: none"> Both habitable rooms also contain openable windows on two (2) sides for natural ventilation. The dwelling is provided with area on the roof that is dedicated to photovoltaic panels that will help decrease the dwelling's dependence on fossil fuels. The proposed building will not impact of the ability of surrounding properties to maximise environmental sustainable design principles. <p>It is therefore considered that the objectives of this clause have been met.</p>
<p>55.03-6 - Standard B11 Open space objective</p> <ul style="list-style-type: none"> To integrate the layout of development with any public and communal open space provided in or adjacent to the development. 	<p>Not applicable</p> <p>No communal open space is proposed within the development.</p>
<p>55.03-7 - Standard B12 Safety objective</p> <ul style="list-style-type: none"> To ensure the layout of development provides for the safety and security of residents and property. 	<p>Complies</p> <p>The proposed dwelling is oriented towards the driveway, allowing for appropriate passive surveillance toward Henry Street.</p>
<p>55.03-8 - Standard B13 Landscaping objectives</p> <ul style="list-style-type: none"> To encourage development that respects the landscape character of the neighbourhood. To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site. 	<p>Complies</p> <p>It is submitted that the proposal includes a high-quality landscape response with the proposed Concept Landscape Plan demonstrating that the proposal will retain the landscaping within the front yard and new landscaping will be provided throughout the proposed dwellings garden area which will soften the appearance of the dwelling and provide a canopy tree.</p>
<p>55.03-9 - Standard B14 Access objectives</p> <ul style="list-style-type: none"> To ensure the number and design of vehicle crossovers respects the neighbourhood character. 	<p>Complies</p> <p>The development proposes to retain and reuse the existing crossover to the north of the site to provide vehicular access to the proposed dwelling.</p>

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<p>55.03-10 - Standard B15 Parking location objectives</p> <ul style="list-style-type: none"> To provide convenient parking for resident and visitor vehicles. To protect residents from vehicular noise within developments. 	<p>Complies</p> <p>The proposal includes the addition of two (2) double garages attached to the proposed dwelling. The garages will have an access door to each respective rear yard.</p>
<p>55.04 - AMENITY IMPACTS</p>	
<p>55.04-1 - Standard B17 Side and rear setbacks objective</p> <ul style="list-style-type: none"> To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. 	<p>Complies</p> <p>We submit that the proposed dwelling has been designed to feature setbacks that are appropriate to the adjoining interfaces to the site and is consistent with the side and rear setbacks in the area.</p> <p>As the setback is not consistent with 2.5 metre minimum side/rear setback requirement (DDO8), this application will require a permit to construct a building pursuant to Schedule 8 to the Design and Development Overlay.</p>
<p>55.04-2 - Standard B18 Walls on boundaries objective</p> <ul style="list-style-type: none"> To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings. 	<p>Not applicable</p> <p>No walls on boundaries are proposed.</p> <div style="border: 1px solid red; padding: 5px; margin-top: 10px;"> <p>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>
<p>55.04-3 - Standard B19 Daylight to existing windows objective</p> <ul style="list-style-type: none"> To allow adequate daylight into existing habitable room windows. 	<p>Complies</p> <p>All existing habitable room windows have a minimum of 1 metre clear to the sky.</p>
<p>55.04-4 - Standard B20 North-facing windows objective</p> <ul style="list-style-type: none"> To allow adequate solar access to existing north-facing habitable room windows. 	<p>Complies</p> <p>No existing north-facing habitable room windows will be impacted by the proposal.</p>
<p>55.04-5 - Standard B21 Overshadowing open space objective</p> <ul style="list-style-type: none"> To ensure buildings do not significantly overshadow existing secluded private open space. 	<p>Complies</p> <p>As demonstrated by sheets TP08 to TP14, the proposed dwelling will not result in any unreasonable overshadowing of adjoining properties.</p>
<p>55.04-6 - Standard B22 Overlooking objective</p> <ul style="list-style-type: none"> To limit views into existing secluded private open space and habitable room windows. 	<p>Complies</p> <p>The proposed dwelling features windows along the northern elevation that would face the adjoining dwellings habitable room windows, however these properties are separated by a 1.7 metre timber fence with a 0.5 metre height extension (2.2 metre total height) which effectively block all views.</p> <p>In addition, the proposed dwelling features windows along the southern elevation that look onto the verandah structure (including</p>

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	roller screens) attached to the existing dwelling at 16A Gardner Street which blocks views into the existing habitable room windows of this dwelling.
55.04-7 - Standard B23 Internal views objective <ul style="list-style-type: none"> To limit views into the secluded private open space and habitable room windows of dwellings within a development. 	Complies Given the development is single storey, no overlooking is possible from the proposed dwelling into habitable room windows of the existing dwelling or onto secluded private open space.
55.04-8 - Standard B24 Noise impacts objectives <ul style="list-style-type: none"> To contain noise sources in developments that may affect existing dwellings. To protect residents from external noise. 	Complies Noise sources will be appropriately located away from habitable rooms to ensure that they do not unreasonably impact adjoining properties. In addition, the residents of the proposed dwelling will not be negatively affected by external noises.
55.05 - ON-SITE AMENITY AND FACILITIES	
55.05-1 - Standard B25 Accessibility objective <ul style="list-style-type: none"> To encourage the consideration of the needs of people with limited mobility in the design of developments. 	Complies The proposed dwelling does not comprise any steps.
55.05-2 - Standard B26 Dwelling entry objective <ul style="list-style-type: none"> To provide each dwelling or residential building with its own sense of identity. 	Complies The new dwelling is provided with an entrance that is accessed from under a porch that adjoins with the driveway.
55.05-3 - Standard B27 Daylight to new windows objective <ul style="list-style-type: none"> To allow adequate daylight into new habitable room windows. 	Complies All habitable room windows within the proposed dwelling have been oriented to face an outdoor space that has clearance to sky views.
55.05-4 - Standard B28 Private open space objective <ul style="list-style-type: none"> To provide adequate private open space for the reasonable recreation and service needs of residents. 	Complies The proposed dwelling will be provided with 76m ² total of private open space, and the existing dwelling will be provided with 182m ² of private open space. The existing dwelling will be provided with 31 square metres of secluded private open space that has a minimum dimension of 3m and will extend north along the western elevation of the dwelling. The proposed dwelling is provided with a secluded private open space area (which comprises landscaping including a canopy tree) within the south-western corner of the lot, which will have an area of 25m ² that has a minimum dimension of 3m and will extend north along the western elevation of the dwelling.
55.05-5 - Standard B29 Solar access to open space objective <ul style="list-style-type: none"> To allow solar access into the secluded private open space of 	Complies The proposal provides both dwellings with an area of secluded open space with a northern orientation and maximises solar access to the living spaces of the proposed dwelling.

<i>new dwellings and residential buildings.</i>	The existing dwelling will retain the front yard and be provided with a rear yard that receives a good amount of direct sunlight throughout the day.
55.05-6 - Standard B30 Storage objective <ul style="list-style-type: none"> To provide adequate storage facilities for each dwelling. 	Complies The proposed dwelling and existing dwelling will be provided with a storage shed that includes 6 cubic metres of secure storage each.
55.06 - DETAILED DESIGN	
55.06-1 - Standard B31 Design detail objective <ul style="list-style-type: none"> To encourage design detail that respects the existing or preferred neighbourhood character. 	Complies Refer to Section 7.1 and 7.2 of this report and the Development Plans prepared by Property Subdivision.
55.06-2 - Standard B32 Front fences objective <ul style="list-style-type: none"> To encourage front fence design that respects the existing or preferred neighbourhood character. 	Not applicable No change to the front fencing is proposed.
55.06-3 - Standard B33 Common property objectives <ul style="list-style-type: none"> To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained. To avoid future management difficulties in areas of common ownership. 	Complies The proposed concrete driveway of the development will be common property and features a practical design that comprises a row plantation of hardy shrubs along the extent of the driveway.
55.06-4 - Standard B34 Site services objectives <ul style="list-style-type: none"> To ensure that site services can be installed and easily maintained. To ensure that site facilities are accessible, adequate and attractive. 	Complies Bin storage for both dwellings will be located along the western boundary behind the garages. Clotheslines will be located on the western wall of the proposed dwelling and the western fence of the existing dwelling. The existing letterbox on the front fence adjoining the proposed dwelling driveway will be retained and used for both dwellings.

Clause 56 – Subdivision

We seek approval for subdivision of the site concurrent with the approval for the construction of a second dwelling on the site.

The proposed two lot subdivision is documented throughout the development plans.

We provide the following response to relevant parts of Clause 56 (Subdivision) below.

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CLAUSE 56 (SUBDIVISION)	
<p>56.03-5 - Standard C6 Neighbourhood character objective</p> <ul style="list-style-type: none"> To design subdivisions that respond to neighbourhood character. 	<p>Complies</p> <p>The proposed subdivision meets neighbourhood character policy objectives within Clauses 15.01-3S and the Established Residential Precinct 1 as follows:</p> <ul style="list-style-type: none"> The two lot subdivision will result in two medium sized lots and will enable infill development of an additional dwelling. The development is within walking distance to shops, schools, public transport and outdoor recreation areas.
<p>56.04-2 - Standard C8 Lot area and building envelopes objective</p> <ul style="list-style-type: none"> To provide lots with areas and dimensions that enable the appropriate siting and construction of a dwelling, solar access, private open space, vehicle access and parking, water management, easements and the retention of significant vegetation and site features. 	<p>Complies</p> <p>The subdivision will create a second lot that is 244 square metres that will provide a building envelope that is consistent with proximate infill development that has been approved. The proposed dwelling been assessed to mainly comply with the provisions of the Cardinia Planning Scheme, creating a good planning outcome that will contribute to the housing stock of Koo Wee Rup.</p>
<p>56.04-3 - Standard C9 Solar orientation of lots objective</p> <ul style="list-style-type: none"> To provide good solar orientation of lots and solar access for future dwellings. 	<p>Complies</p> <p>Given the subdivision depends on the development of the dwelling, it is submitted that the design ensures the SPOS, habitable bedrooms and main living areas will have good northern solar access.</p>
<p>56.04-5 - Standard C11 Common property objective</p> <ul style="list-style-type: none"> To identify common areas and the purpose for which the area is commonly held. 	<p>Complies</p> <p>The only common area will be the vehicle accessway and landscape strip along the east boundary. The landscape strip will be planted with hardy plantings and maintained by the property owners.</p>
<p>56.06-8 - Standard C21 Lot access objective</p> <ul style="list-style-type: none"> To provide for safe vehicle access between roads and lots. 	<p>Complies</p> <p>The proposed dwelling will benefit from the existing crossover that connects the northern portion of the site to Henry Street.</p> <p>A concrete driveway is proposed that will link both dwellings to the crossover that will provide safe and functional vehicular access to both dwellings.</p>
<p>56.09-2 - Standard C28 Electricity, telecommunications and gas objectives</p> <ul style="list-style-type: none"> To provide public utilities to each lot in a timely, efficient and cost effective manner. To reduce greenhouse gas emissions by supporting generation and use of electricity from renewable sources. 	<p>Complies</p> <p>The existing infrastructure of water and electricity will be connected to the proposed dwelling.</p>

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9. CONCLUSION

It is submitted that the proposed development is appropriate for the subject site and is consistent with the future planning of the area for the following reasons.

- The proposed development is consistent with the strategic directions of the Cardinia Planning Scheme, in particular in relation to housing and urban consolidation, by providing a second dwelling on a site that is proximate to the town centre of Koo Wee Rup.
- The proposal is highly compliant with ResCode (Clause 55) objectives and standards, which is indicative of the fact that this proposal strikes an appropriate balance between increased housing density, maintaining residential character and amenity, and ensuring it is not an overdevelopment of the site.
- The proposal complies with objectives and standards that are related to Subdivision (Clause 56) and demonstrates that the proposal will provide good amenity that respects the neighbourhood character and is connected to infrastructure and services.
- The proposal provides safe and efficient vehicular access for both the existing house and the proposed dwelling, and will provide safe and secure car parking that is compliant with the requirements of Clause 52.06 (Car parking).
- The proposal is appropriate for the Established Residential Precinct 1 within the Koo Wee Rup Township as the site is located in proximity to transport and services and is an infill medium density dual occupancy proposal.
- The proposal is considered to provide a reasonable building footprint with reasonable setback distances that align with the emerging character.
- The proposal includes floor levels of at least 300 millimetres above natural ground level in accordance with good practice design in flood prone areas, pursuant to the Land Subject to Inundation Overlay.
- Landscaping will be provided throughout the site, notably providing canopy trees and a row of shrubs along the driveway.
- The style of the second dwelling is visually interesting and is single storey which is appropriate to the character of the area.
- The proposal allows for each residence to receive generous portions of private open space and secluded private open space with canopy trees and other landscaping features, providing functional open space areas that are accessible from living areas.



JUNE 2024

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STORM Rating Report

TransactionID: 0
Municipality: CARDINIA
Rainfall Station: CARDINIA
Address: 25 Henry St

Koo Wee Rup
VIC 3981

Assessor: [REDACTED]
Development Type: Residential - Dwelling
Allotment Site (m2): 774.00
STORM Rating %: 101

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Dwelling 1 Garage	36.00	Raingarden 300mm	0.40	0	122.20	0.00
Dwelling 2	170.00	Rainwater Tank	2,000.00	3	73.60	93.00
Driveway	158.00	Raingarden 300mm	2.00	0	125.00	0.00

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Date Generated: 29-May-2024

Program Version: 1.0.0



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T240312 PA
Address of the Land:	25 Henry Street, Koo Wee Rup VIC 3981

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	Property Subdivision
Address:	Level 1, 145 Clarendon Street, Southbank, VIC 3006
Phone:	0415 676 110
Email:	glen@propertysubdivision.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 - Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A - Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Refer to Cover letter		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.

Name:	[Redacted]
Signature:	[Redacted]
Date:	12/11/2024

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

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Senior Statutory Planner
Cardinia Shire Council
t.rawat@cardinia.vic.gov.au

26/09/2024

Dear Tanvi,

REGARDING

PROPOSED:	Development of second dwelling on a lot and two lot subdivision
LOCATED AT:	25 Henry Street, Koo Wee Rup VIC 3981
APPLICATION NUMBER:	T240312 PA

We wish to submit a Response to RFI dated 26/07/2024 for development at the above-mentioned address.
Please find response below in red:

1. Outstanding Fees

Payment has been made. If there are any issues please let me know

2. Amended Plans. The proposed plans are to be amended to show:

- a. Existing trees on road reserves or neighbouring property boundaries, including the Tree protection zones (TPZ).

TPZ's and SRZ's added to plans

- b. Side setbacks for both existing and proposed dwelling.

Dimensions have been added

- c. A sectional elevation to demonstrate no overlooking to existing windows will occur at 2/27 Henry Street (as per standard B22).

Section added showing fence between the proposed dwelling and 2/27 Henry St prevents any overlooking

3. Arboriculture Assessment

Construction impact assessment of all trees (including neighbouring trees) where the Tree Protection Zone (TPZ) will be encroached by the proposed buildings and/or earthworks. For any trees where encroachment exceeds 10% of the TPZ (major encroachment), a response must be provided to confirm whether the tree/s will be compromised due to the works and any construction recommendations to minimise impact and avoid tree loss/decline. Construction recommendations should be implemented in any amended design response.

As discussed as long as impact is minimal just the TPZ & SRZ information is enough.

TPZ's and SRZ's added to plans and only Tree 3 has any encroachment

Tree 3 encroachment is the driveway which is only 4.6% (less than 10%) therefore no additional response is required

PRELIMINARY ASSESSMENT COMMENTS:

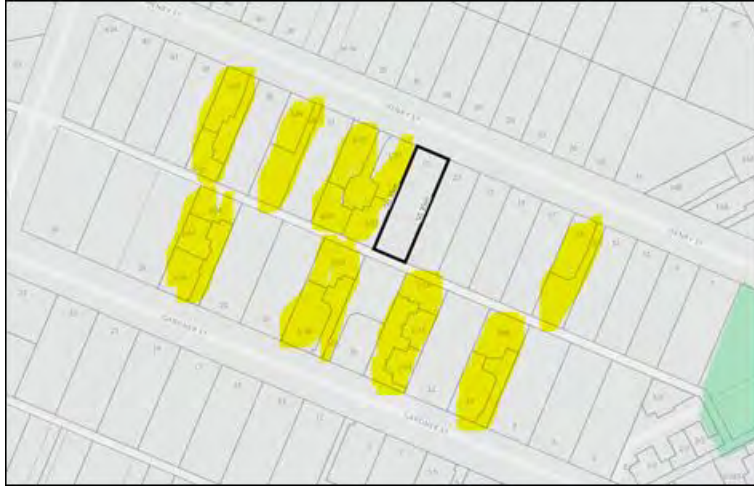
A preliminary assessment of the application has been undertaken and the following comments are provided for your consideration:

i. Design and Development Overlay – Schedule 8

The DDO seeks to ensure the existing neighbourhood character is respected by avoiding lots less than 600 square metres. To better respond to the subdivision criteria of the DDO8, it is recommended that the proposal is revised or a further detailed written response/assessment provided to demonstrate how the application responds to and satisfies the design objectives and decision guidelines of the Schedule.

Reference to DDO Schedule 8 is made in the Planning Report Completed by Keen Planning (page 14). Specifically in relation to this enquiry, within the immediate are of the subject site there are multiple examples of subdivision which has resulted in many lots under 600m² and as such the proposed subdivision fits within the character of the area.

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ii. Overshadowing of SPOS

The council encourages revising this proposal to achieve better overshadowing within the SPOS for both Dwelling 1 and 2.

As has been discussed, a majority of the overshadowing which occurs within the existing and proposed dwellings SPOS is caused by the existing fence. The shadow diagrams have been updated to more clearly delineate between shadows cast by structure and shadows cast by fence.

The design has also been amended to now show:

1. Removal of the canopy to the existing dwelling (dwelling 1)
2. Relocation of the SPOS for the existing dwelling (dwelling 1). Now located where the canopy used to be and in turn the SPOS has access to more sunlight
3. The proposed dwelling (dwelling 2) and proposed garage for dwelling 1 has been shifted North 1m. This in turn has increased the SPOS of the proposed dwelling (dwelling 2) providing more space and more area to be exposed to direct sunlight

iii. Clause 55 Assessment

The proposed development does not achieve the following standards and objectives of clause 55:

- The proposal is oriented to the west and fails to achieve Standard B10

55.03-5 - Standard B10

Energy efficiency objectives

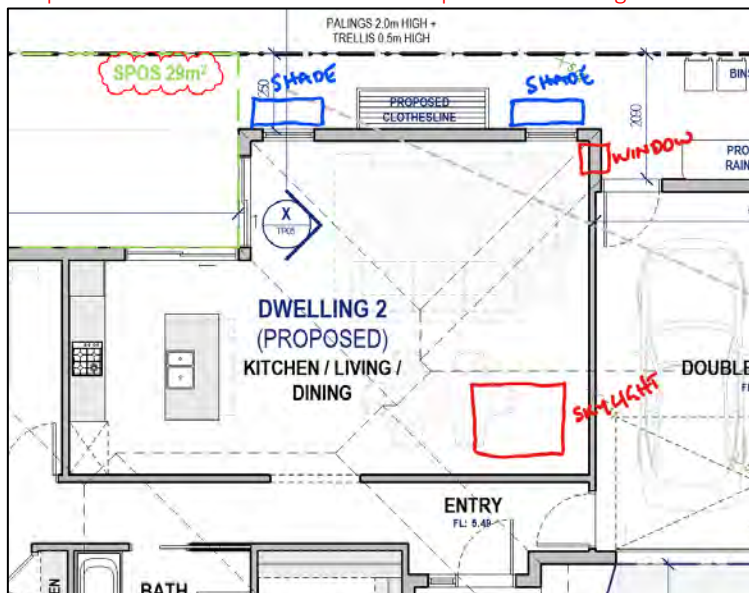
To achieve and protect energy efficient dwellings and residential buildings.

To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

Please refer to the response to the standard in Keen Planning Report (page 18)

Existing dwelling (dwelling 1) – Living room is orientated North and complies

Proposed dwelling (dwelling 2) – We believe this condition has been met however we would agree to a condition on the permit for addition windows to this space and shading to the west facing windows (see below)



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- The proposed Shadow diagrams at hourly intervals between 9 am – 3 pm clearly show that the proposed development fails to meet Standard B21 for Dwelling 1 and 2

55.04-5 - **Standard B21**

Overshadowing open space objective

To ensure buildings do not significantly overshadow existing secluded private open space.

BUILDING REGULATIONS 2018 - REG 83

Overshadowing of recreational private open space

- (1) A building must not reduce the sunlight to a recreational private open space of an existing dwelling on an adjoining allotment to the extent that less than the required minimum area of the recreational private open space has less than 5 hours of sunlight between 9 a.m. and 3 p.m. on 22 September.
- (2) If a building is to be constructed on an allotment and the existing amount of sunlight to a recreational private open space on an adjoining allotment is less than the amount required under subregulation (1), the amount of sunlight to that area must not be further reduced by the construction of the building.
- (3) The report and consent of the relevant council must be obtained to an application for a building permit in relation to a design that does not comply with this regulation.
- (4) In this regulation the *required minimum area* of a recreational private open space is the lesser of—
 - (a) 75% of the recreational private open space; and
 - (b) 40 m² with a minimum dimension of 3 m.

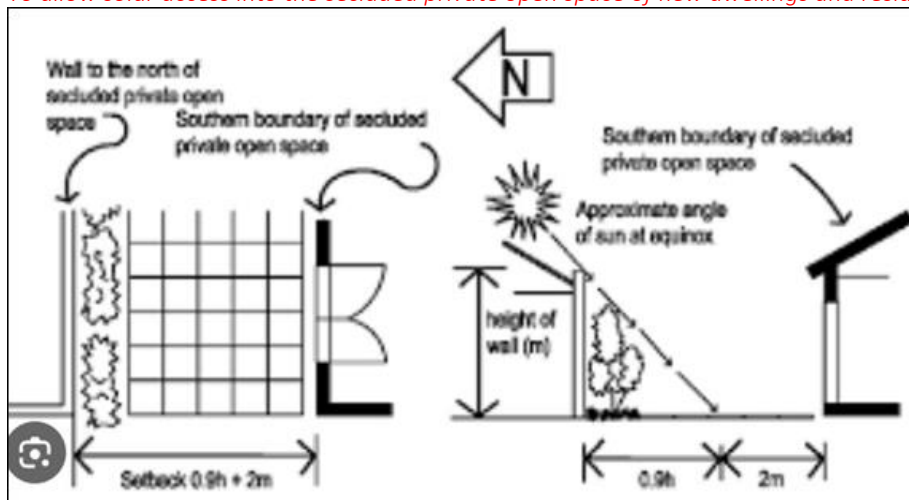
We note that the only time where additional shadows are cast on to a neighbouring property would be at 3pm HOWEVER we comply with the 40m2 (3m min.) area of unshaded SPOS as shown on the plans

- The SPOS for both dwellings is poorly oriented to the western side of the site, not demonstrating compliance with standard B29

55.05-5 - **Standard B29**

Solar access to open space objective

To allow solar access into the secluded private open space of new dwellings and residential buildings



Existing dwelling (dwelling 1) – The canopy above the existing deck has now been proposed to be removed and the SPOS has been located in this area. This now provides for direct Northern light, and we now comply with this requirement

Wall height = 3.15m

Required setback = (3.15m x 0.9) + 2m = 4.84m

Setback dimension = 9.35m, which is 4.51m more than required

Proposed dwelling (dwelling 2) – The SPOS has been made 1m longer due to the relocation of the proposed dwelling (dwelling 2) and the proposed garage for dwelling 1 being shifted 1m North. This now provides for even more direct Northern light and we now further comply with this requirement

Wall height = 3.33m

Required setback = (3.33m x 0.9) + 2m = 5.00m

Setback dimension = 8.97m, which is 3.97m more than required

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- The Proposal fails to achieve the objective of Standard B28 for Dwelling 1, given the poor useability of the private open space, including its size and accessibility.

55.05-4 - Standard B28

Private open space objective

To provide adequate private open space for the reasonable recreation and service needs of residents.

Existing dwelling (dwelling 1) – Required POS = 66m² & we have provided 197m² (131m² more than required).
Required SPOS = 25m² & we have provided 38m² (13m² more than required). These allowances + the relocation of the SPOS to be located directly off the backyard access point (LDRY) provides for a good usability space based off size and location

Proposed dwelling (dwelling 2) – Required POS = 52m² & we have provided 92m² (40m² more than required).
Required SPOS = 25m² & we have provided 29m² (4m² more than required). These allowances + the SPOS being located directly off the living area provides for a good usability space based off size and location

Kind regards,



Senior Designer

glen@propertysubdivision.com.au

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TOWN PLANNING - SHEET LIST

SHEET No.	SHEET NAME	SCALE	CURRENT REVISION
TP01	COVER PAGE	NA @ A1	A
TP02	NEIGHBOURHOOD SITE DESCRIPTION	1:500 @ A1	
TP03	EXISTING CONDITIONS / DEMOLITION PLAN	1:100 @ A1	A
TP04	DESIGN RESPONSE / SITE PLAN	1:100 @ A1	A
TP05	GROUND FLOOR PLAN	1:100 @ A1	A
TP06	ELEVATIONS	1:100 @ A1	A
TP07	STREETSCAPES	1:150 @ A3	
TP08	SHADOW DIAGRAM 9am - 22nd SEPTEMBER	1:100 @ A1	A
TP09	SHADOW DIAGRAM 10am - 22nd SEPTEMBER	1:100 @ A1	A
TP10	SHADOW DIAGRAM 11am - 22nd SEPTEMBER	1:100 @ A1	A
TP11	SHADOW DIAGRAM 12pm - 22nd SEPTEMBER	1:100 @ A1	A
TP12	SHADOW DIAGRAM 1pm - 22nd SEPTEMBER	1:100 @ A1	A
TP13	SHADOW DIAGRAM 2pm - 22nd SEPTEMBER	1:100 @ A1	A
TP14	SHADOW DIAGRAM 3pm - 22nd SEPTEMBER	1:100 @ A1	A
TP15	GARDEN AREA PLAN	1:100 @ A1	A
TP16	CONCEPT LANDSCAPE PLAN	1:100 @ A1	A
TP17	PRELIMINARY SUBDIVISION PLAN	1:100 @ A1	A

REVISION A
RESPONSE TO COUNCIL RFI

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PROPERTY
SUBDIVISION
ARTISTIC INTERPRETATION ONLY

TOWN PLANNING DRAWING SET
25 HENRY STREET, KOO WEE RUP, VIC, 3981
NEW DWELLING TO REAR OF LOT + SUBDIVISION

↑ KOO WEE RUP RECREATION RESERVE
800m

➔ KOO WEE RUP SECONDARY COLLEGE
450m

➔ MEDICAL CENTRE
340m

➔ KOO WEE RUP COMMUNITY CENTRE
400m

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↑ KOO WEE RUP PRIMARY SCHOOL
300m

➔ AMBER LANE PLAYGROUND
900m

➔ BUS INTERCHANGE
350m

➔ ST JOHN THE BAPTIST PRIMARY SCHOOL
450m



IMAGE 1
19 HENRY STREET

SINGLE STOREY
WEATHERBOARD
TILE HIPPED ROOF
NO FRONT FENCE



IMAGE 2
21 HENRY STREET

SINGLE STOREY
WEATHERBOARD
TILE GABLE ROOF
NO FRONT FENCE



IMAGE 3
23 HENRY STREET

SINGLE STOREY
WEATHERBOARD
TILE GABLE ROOF
NO FRONT FENCE



IMAGE 4
27 HENRY STREET (SUBJECT SITE)

SINGLE STOREY
WEATHERBOARD
TILE GABLE ROOF
NO FENCE



IMAGE 5
29 HENRY STREET

SINGLE STOREY
WEATHERBOARD
HIPPED METAL ROOF & TILE GABLE ROOF
MEDIUM PICKET FRONT FENCE



IMAGE 6
31 HENRY STREET

SINGLE STOREY
WEATHERBOARD
TILE GABLE ROOF
NO FRONT FENCE



IMAGE 7
31 HENRY STREET

SINGLE STOREY
WEATHERBOARD
TILE GABLE ROOF
LOW CHARLANK FRONT FENCE

PROPERTY SUBDIVISION

REV.	DESCRIPTION	DATE

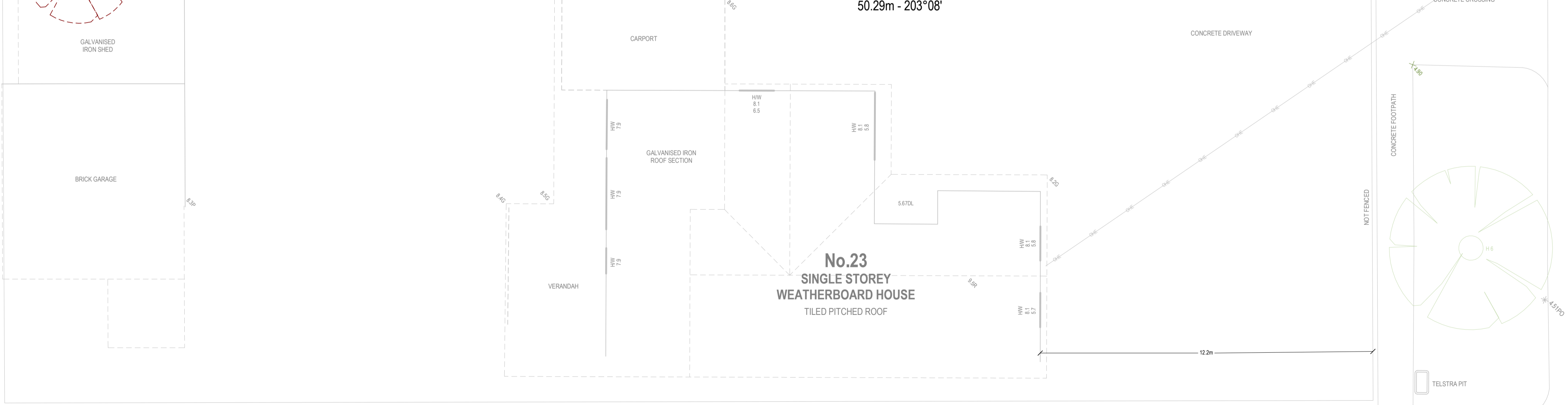
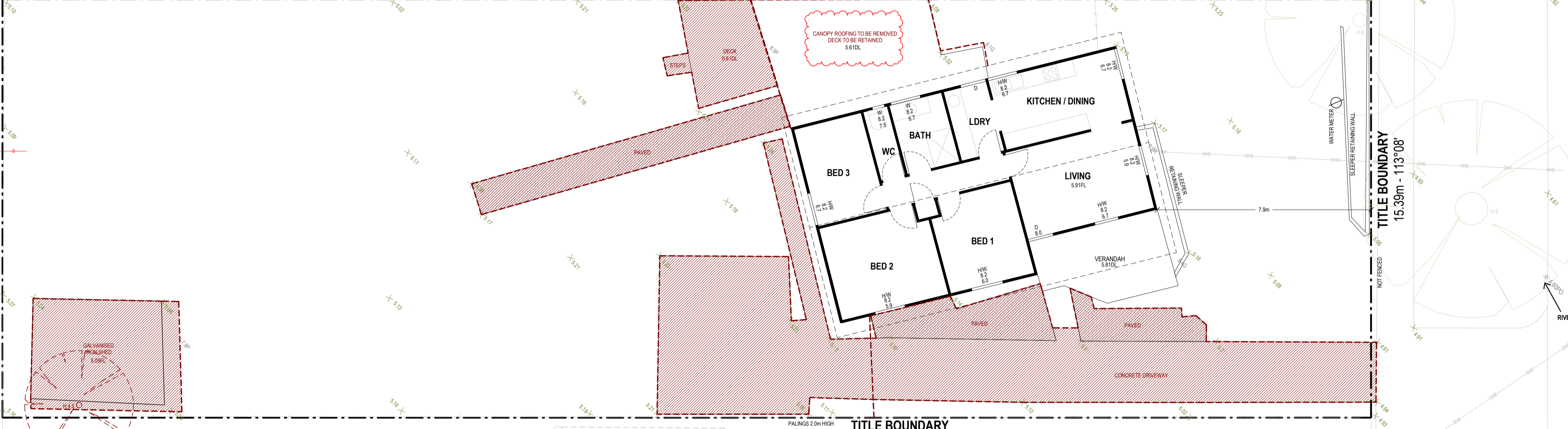
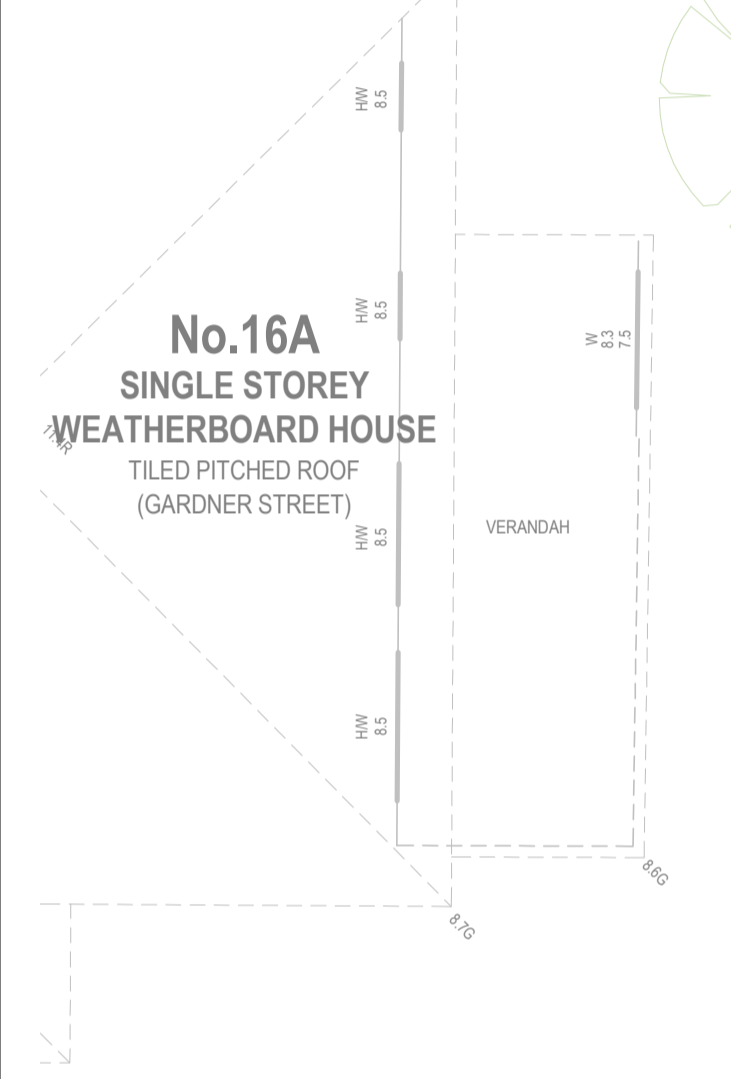
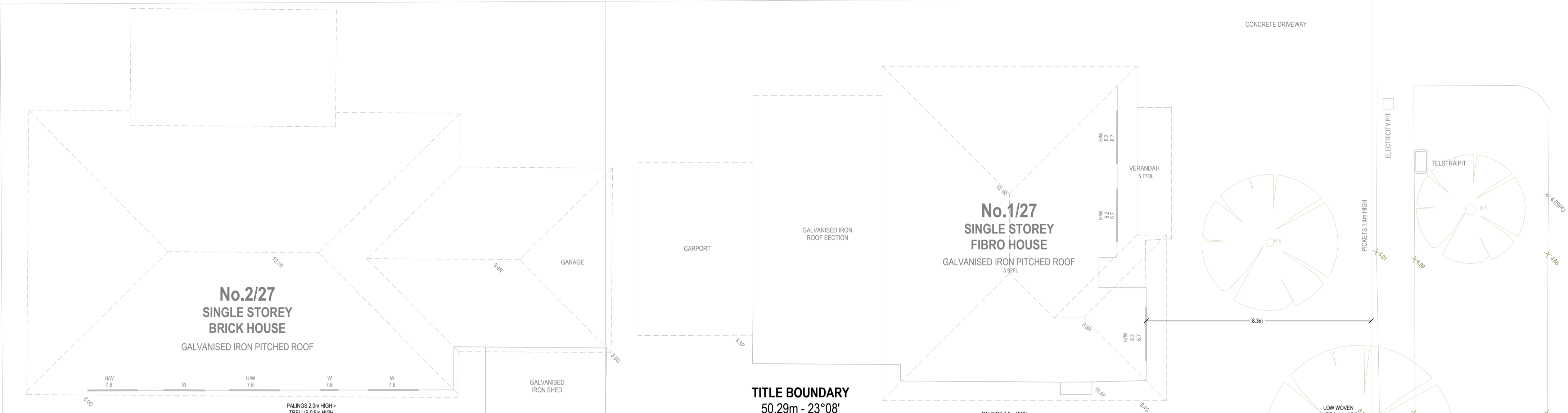
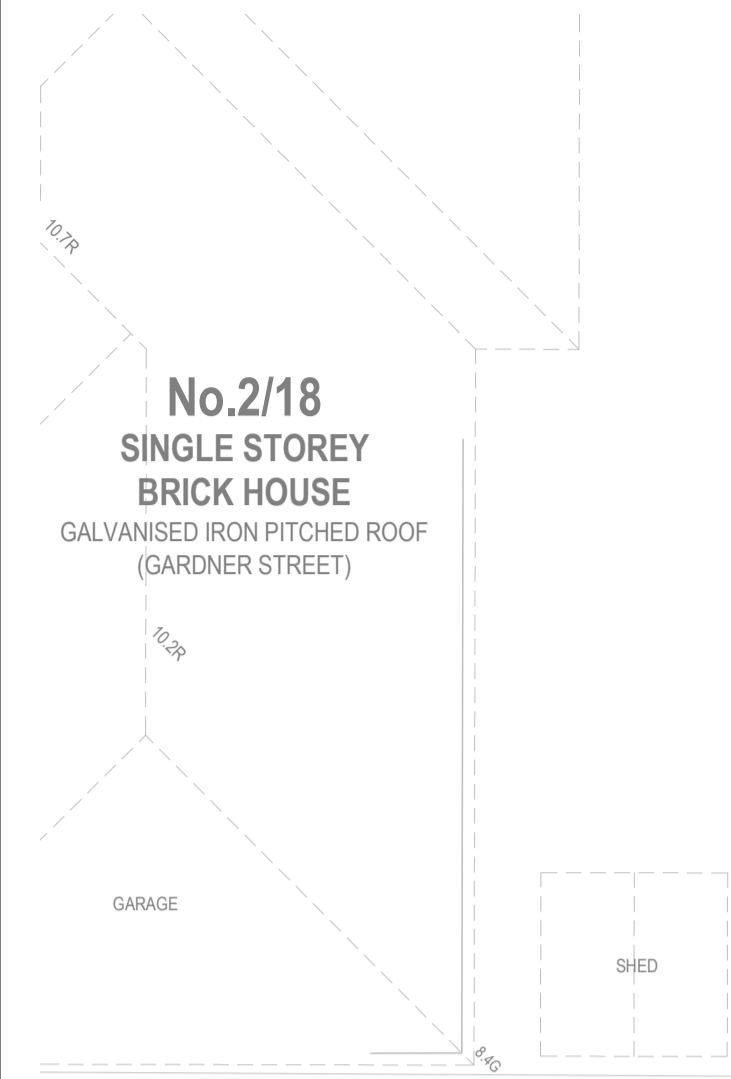
DRAWING ISSUE:
TOWN PLANNING DRAWINGS (ISSUE 2 - REV A)
ISSUED: 26/09/2024

PROJECT NAME:
NEW DWELLING TO REAR OF LOT + SUBDIVISION
PROJECT ADDRESS:
25 HENRY STREET, KOO WEE RUP, VIC, 3981

SHEET:
TP02
SCALE:
1:500 @A1

SERVICES LEGEND	
	WATER
	GAS
	ELECTRICITY (UNDERGROUND)
	ELECTRICITY (OVERHEAD)
	TELSTRA
	DRAINAGE / STORMWATER
	SEWER

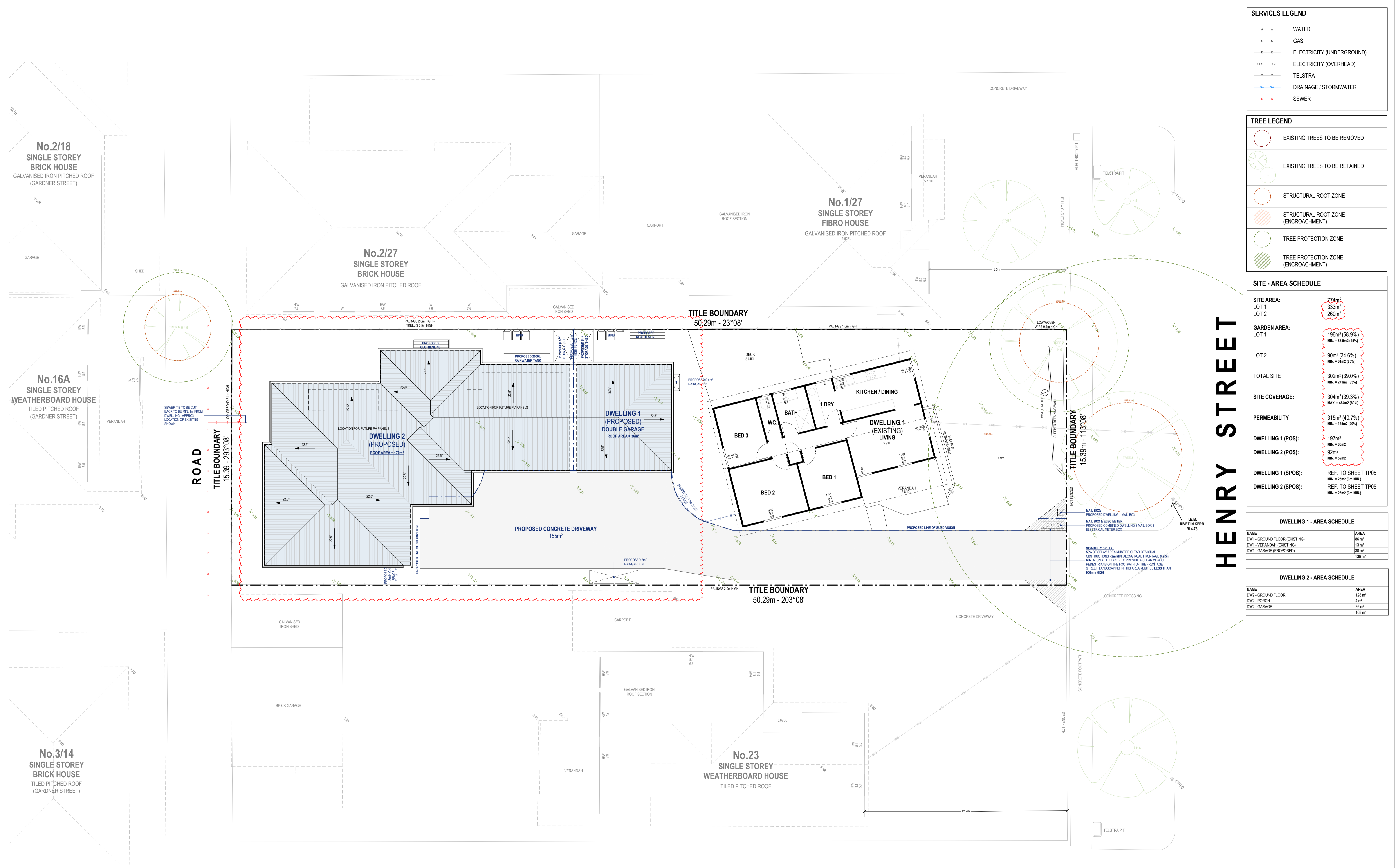
DEMOLITION LEGEND:	
	= STRUCTURE TO BE REMOVED
	= TREE TO BE REMOVED



HENRY STREET

ROAD

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SERVICES LEGEND	
	WATER
	GAS
	ELECTRICITY (UNDERGROUND)
	ELECTRICITY (OVERHEAD)
	TELSTRA
	DRAINAGE / STORMWATER
	SEWER

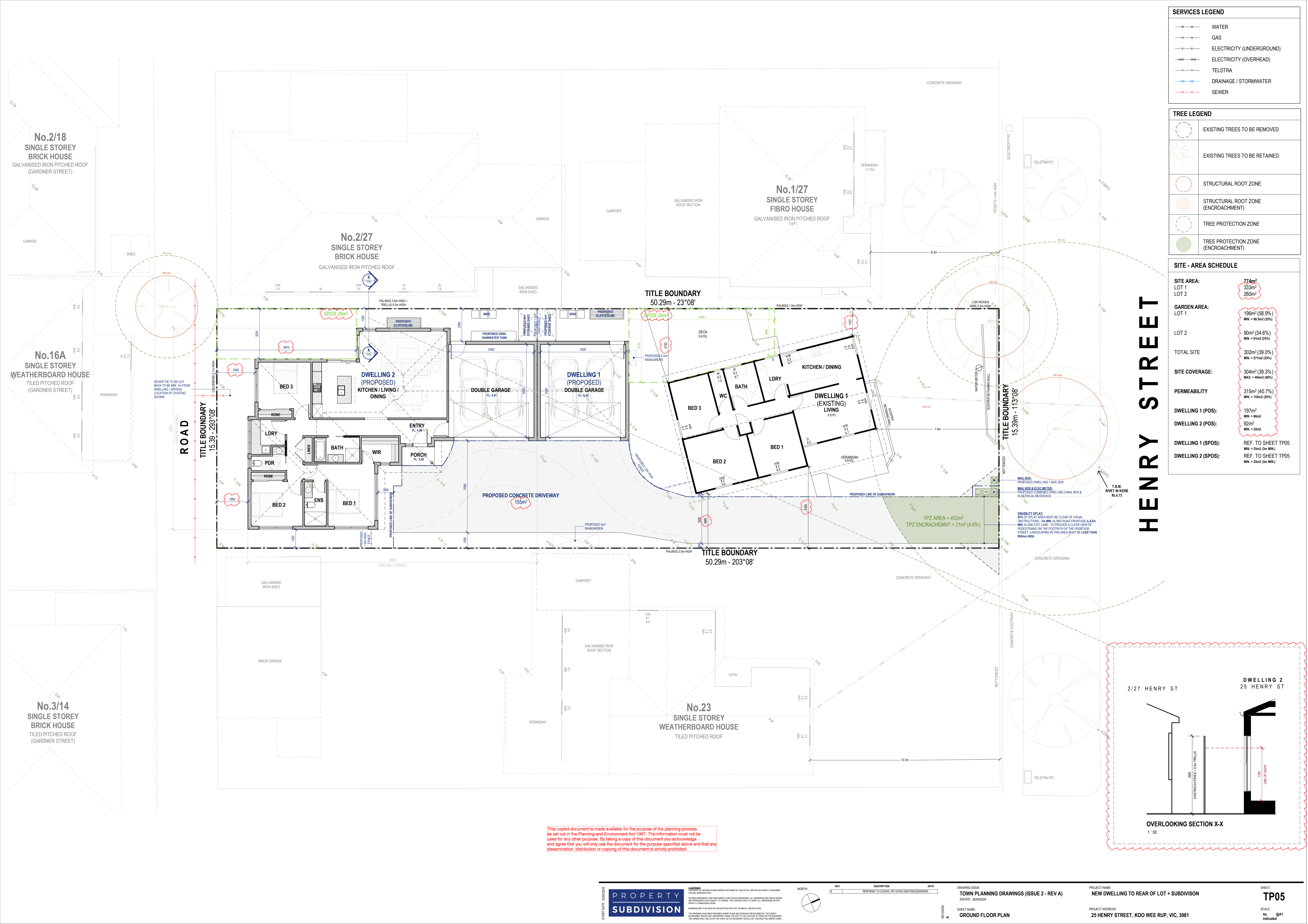
TREE LEGEND	
	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO BE RETAINED
	STRUCTURAL ROOT ZONE
	STRUCTURAL ROOT ZONE (ENCROACHMENT)
	TREE PROTECTION ZONE
	TREE PROTECTION ZONE (ENCROACHMENT)

SITE - AREA SCHEDULE	
SITE AREA:	774m ²
LOT 1	333m ²
LOT 2	260m ²
GARDEN AREA:	
LOT 1	196m ² (58.9%) MIN. = 88.5m ² (25%)
LOT 2	90m ² (34.6%) MIN. = 61m ² (25%)
TOTAL SITE	302m ² (39.0%) MIN. = 271m ² (35%)
SITE COVERAGE:	304m ² (39.3%) MIN. = 446m ² (58%)
PERMEABILITY	315m ² (40.7%) MIN. = 155m ² (20%)
DWELLING 1 (SPOS):	197m ² MIN. = 66m ²
DWELLING 2 (SPOS):	92m ² MIN. = 52m ²
DWELLING 1 (SPOS):	REF. TO SHEET TP05 MIN. = 25m ² (3m MIN.)
DWELLING 2 (SPOS):	REF. TO SHEET TP05 MIN. = 25m ² (3m MIN.)

DWELLING 1 - AREA SCHEDULE	
NAME	AREA
DW1 - GROUND FLOOR (EXISTING)	86 m ²
DW1 - VERANDAH (EXISTING)	13 m ²
DW1 - GARAGE (PROPOSED)	38 m ²
	136 m ²

DWELLING 2 - AREA SCHEDULE	
NAME	AREA
DW2 - GROUND FLOOR	128 m ²
DW2 - PORCH	4 m ²
DW2 - GARAGE	36 m ²
	168 m ²

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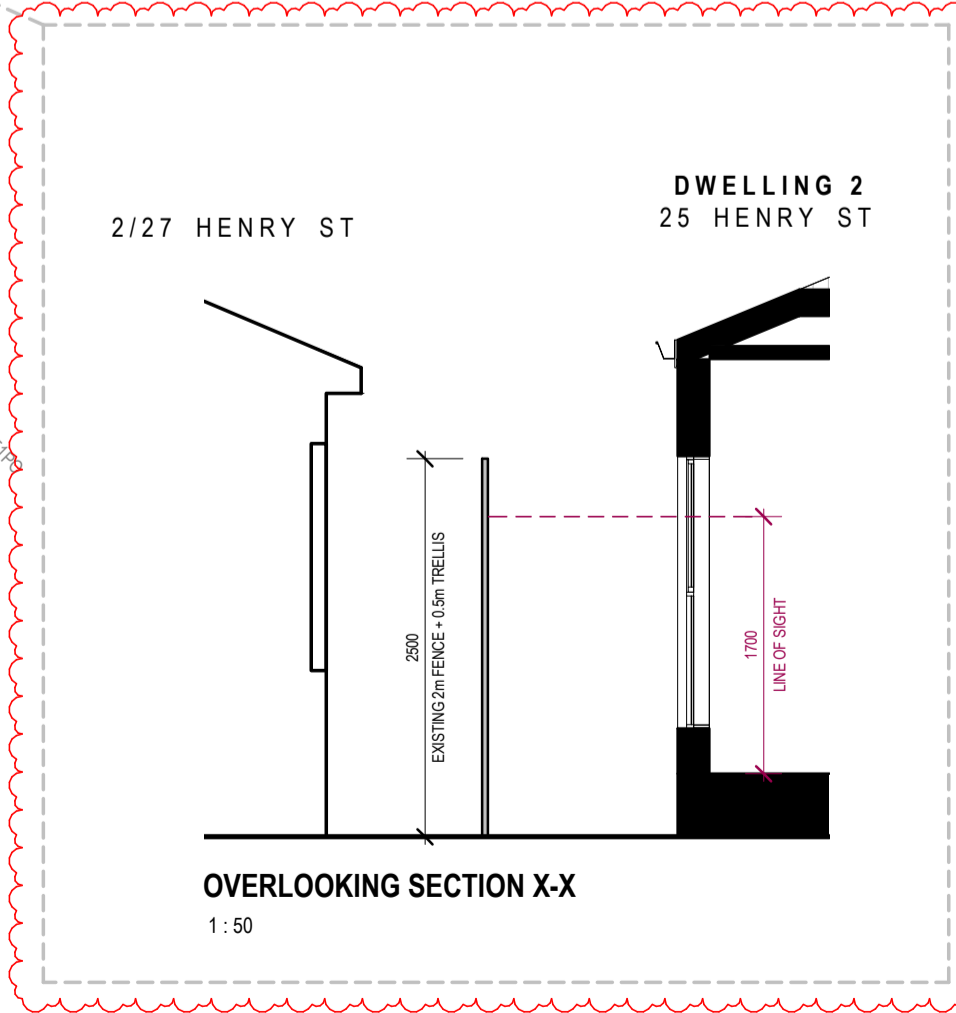


SERVICES LEGEND	
	WATER
	GAS
	ELECTRICITY (UNDERGROUND)
	ELECTRICITY (OVERHEAD)
	TELSTRA
	DRAINAGE / STORMWATER
	SEWER

TREE LEGEND	
	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO BE RETAINED
	STRUCTURAL ROOT ZONE
	STRUCTURAL ROOT ZONE (ENCROACHMENT)
	TREE PROTECTION ZONE
	TREE PROTECTION ZONE (ENCROACHMENT)


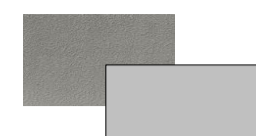
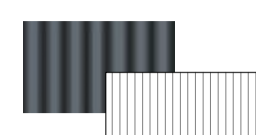




SITE - AREA SCHEDULE	
SITE AREA:	774m ²
LOT 1	333m ²
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GARDEN AREA:	
LOT 1	196m ² (58.9%) MIN. = 88.5m ² (25%)
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DWELLING 1 (SPOS):	REF. TO SHEET TP05 MIN. = 25m ² (5m MIN)
DWELLING 2 (SPOS):	REF. TO SHEET TP05 MIN. = 25m ² (5m MIN)

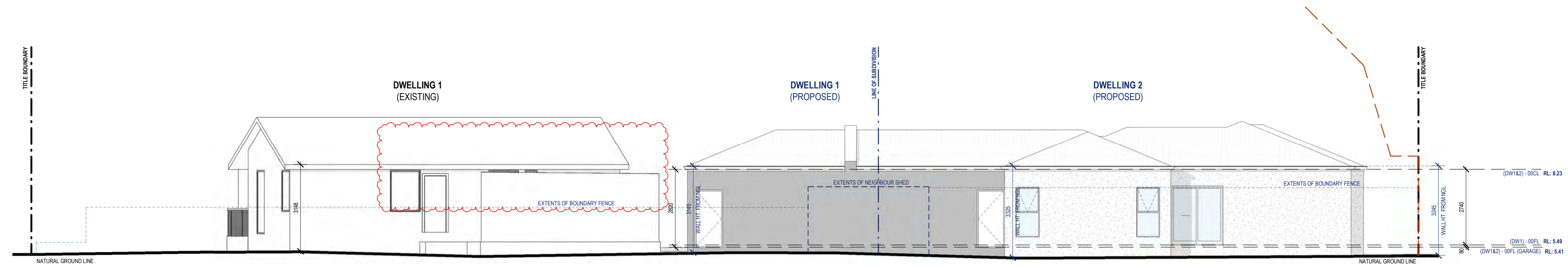
HENRY STREET



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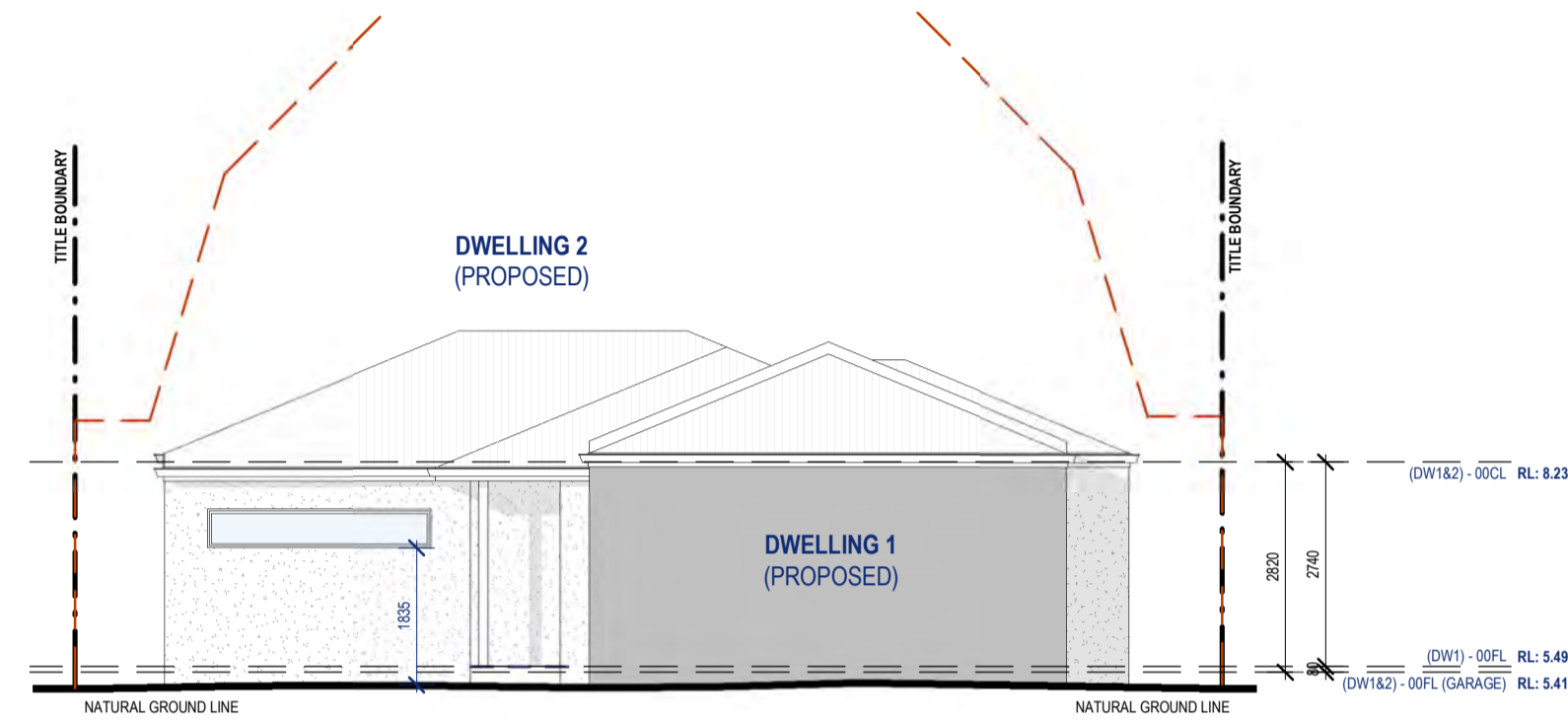
MATERIALS SCHEDULE

- 
RENDER 1
 WHITE RENDER - OR SIMILAR
- 
RENDER 2
 LIGHT GREY RENDER - OR SIMILAR
- 
METAL ROOFING
 COLORBOND SHEET ROOFING
 "WOODLAND GREY" - OR SIMILAR
- 
WINDOW & DOOR FRAMING
 COLORBOND "NIGHT SKY" - OR SIMILAR
- 
FACIAS, GUTTERS, DOWNPIPES
 COLORBOND "NIGHT SKY" - OR SIMILAR
- 
CLEAR GLAZING
 COLORBOND "NIGHT SKY" - OR SIMILAR
- 
OBSCURE GLAZING
 COLORBOND "NIGHT SKY" - OR SIMILAR



NORTH-WEST ELEVATION

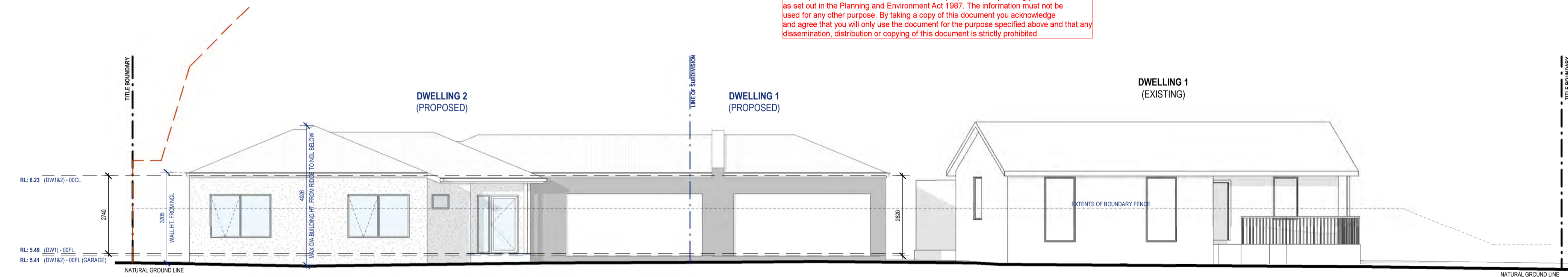
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NORTH-EAST ELEVATION

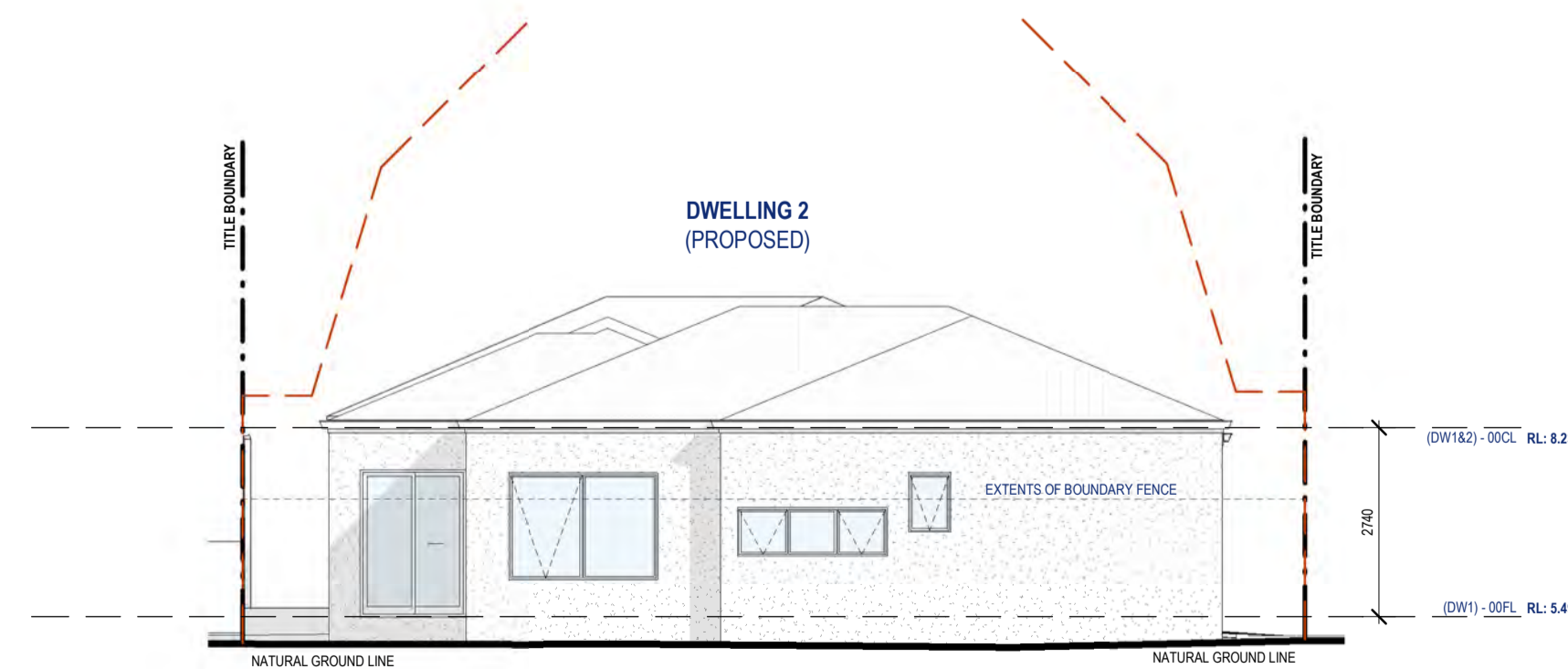
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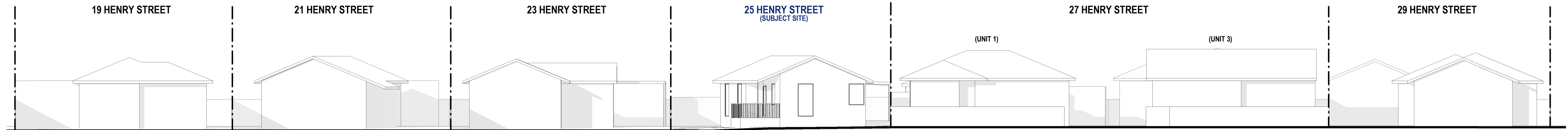
SOUTH-EAST ELEVATION

1:100



SOUTH-WEST ELEVATION

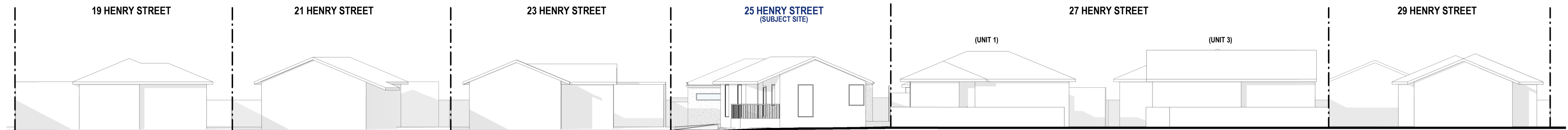
1:100



STREETScape (EXISTING)

1:150






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STREETScape (PROPOSED)

1:150






SHADOW LEGEND

-  EXISTING SHADOWS (EXISTING BUILDINGS)
-  EXISTING SHADOWS (EXISTING FENCES)
-  PROPOSED SHADOWS (WHERE NO SHADOWS WERE PREVIOUSLY CAST)
-  AREA WHERE EXISTING BUILDING SHADOWS AND PROPOSED SHADOWS OVERLAP (RESULTING IN NO ADDITION OVERSHADOWING)
-  AREA WHERE EXISTING FENCE SHADOWS AND PROPOSED SHADOWS OVERLAP (RESULTING IN NO ADDITION OVERSHADOWING)



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-  AREA WHERE EXISTING FENCE SHADOWS AND PROPOSED SHADOWS OVERLAP (RESULTING IN NO ADDITION OVERSHADOWING)



No.2/18
SINGLE STOREY
BRICK HOUSE
GALVANISED IRON PITCHED ROOF
(GARDNER STREET)

No.16A
SINGLE STOREY
WEATHERBOARD HOUSE
TILED PITCHED ROOF
(GARDNER STREET)






No.3/14
SINGLE STOREY
BRICK HOUSE
TILED PITCHED ROOF
(GARDNER STREET)

No.2/27
SINGLE STOREY
BRICK HOUSE
GALVANISED IRON PITCHED ROOF

No.1/27
SINGLE STOREY
FIBRO HOUSE
GALVANISED IRON PITCHED ROOF

No.23
SINGLE STOREY
WEATHERBOARD HOUSE
TILED PITCHED ROOF

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- SHADOW LEGEND**
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HENRY STREET

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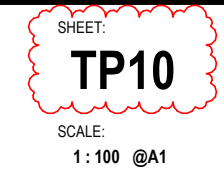


REV.	DESCRIPTION	DATE
A	RESPONSE TO COUNCIL, REV DATED 26/07/2024	26/09/2024

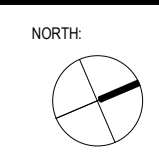
DRAWING ISSUE:
TOWN PLANNING DRAWINGS (ISSUE 2 - REV A)
ISSUED: 26/09/2024

PROJECT NAME:
NEW DWELLING TO REAR OF LOT + SUBDIVISION

PROJECT ADDRESS:
25 HENRY STREET, KOO WEE RUP, VIC, 3981



START DATE: 30/06/2024
NOTES: THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE TECHNICAL SPECIFICATIONS. THE DRAWINGS HAVE BEEN PREPARED UNDER PLANS AND SETTINGS AS ISSUED BY THE SURVEY DIVISION. SHOWN WITH REFERENCE HERE TO THE LOCATION OF THE BOUNDARY. THE OWNER SHALL RELOCATE THE FENCE ON THE BOUNDARY SHOULD ANY CONTRACTUAL BREAKDOWN OCCUR.



SHADOW LEGEND

- EXISTING SHADOWS (EXISTING BUILDINGS)
- EXISTING SHADOWS (EXISTING FENCES)
- PROPOSED SHADOWS (WHERE NO SHADOWS WERE PREVIOUSLY CAST)
- AREA WHERE EXISTING BUILDING SHADOWS AND PROPOSED SHADOWS OVERLAP (RESULTING IN NO ADDITION OVERSHADOWING)
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GALVANISED IRON PITCHED ROOF
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No.1/27
SINGLE STOREY
FIBRO HOUSE
GALVANISED IRON PITCHED ROOF

No.23
SINGLE STOREY
WEATHERBOARD HOUSE
TILED PITCHED ROOF

TITLE BOUNDARY
50.29m - 233°08'

TITLE BOUNDARY
50.29m - 203°08'






TITLE BOUNDARY
15.39m - 113°08'

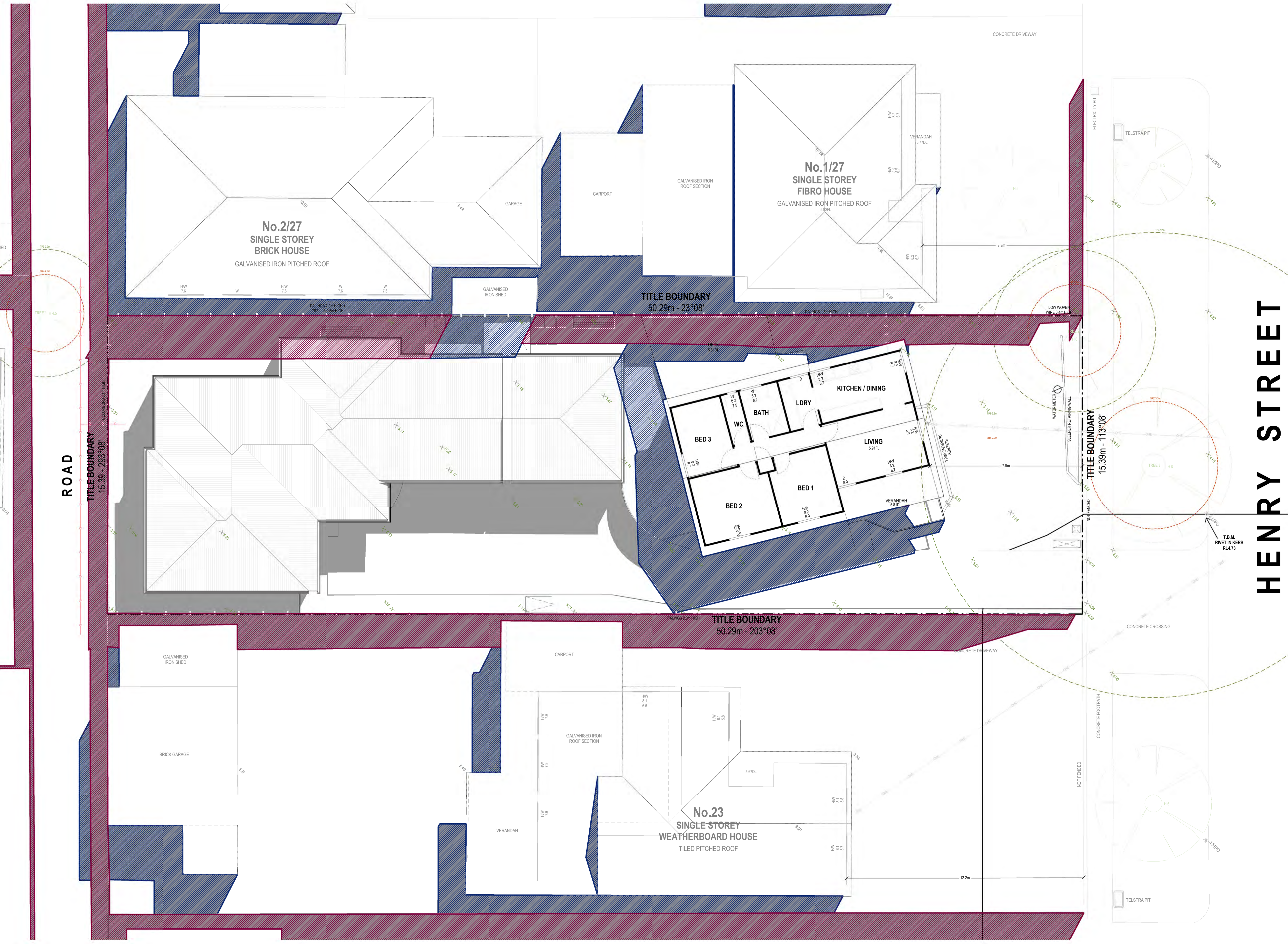
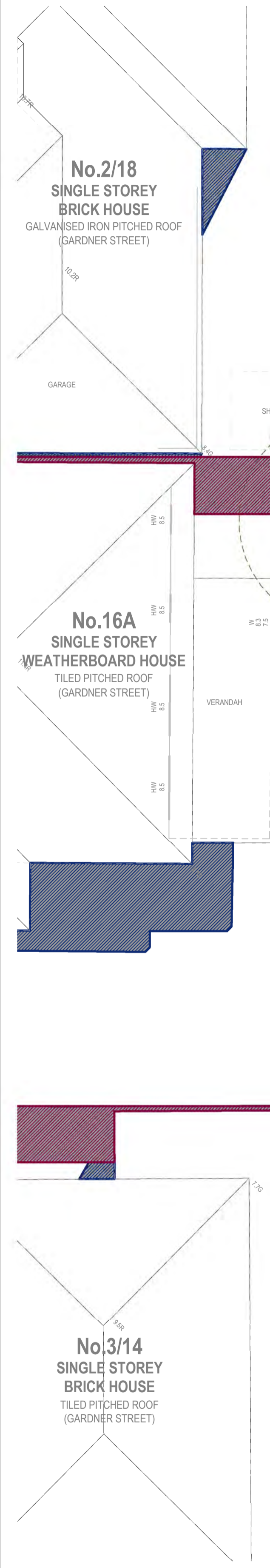
ROAD
TITLE BOUNDARY
15.39 - 293°08'

HENRY STREET

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SHADOW LEGEND

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HENRY STREET

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SHADOW LEGEND

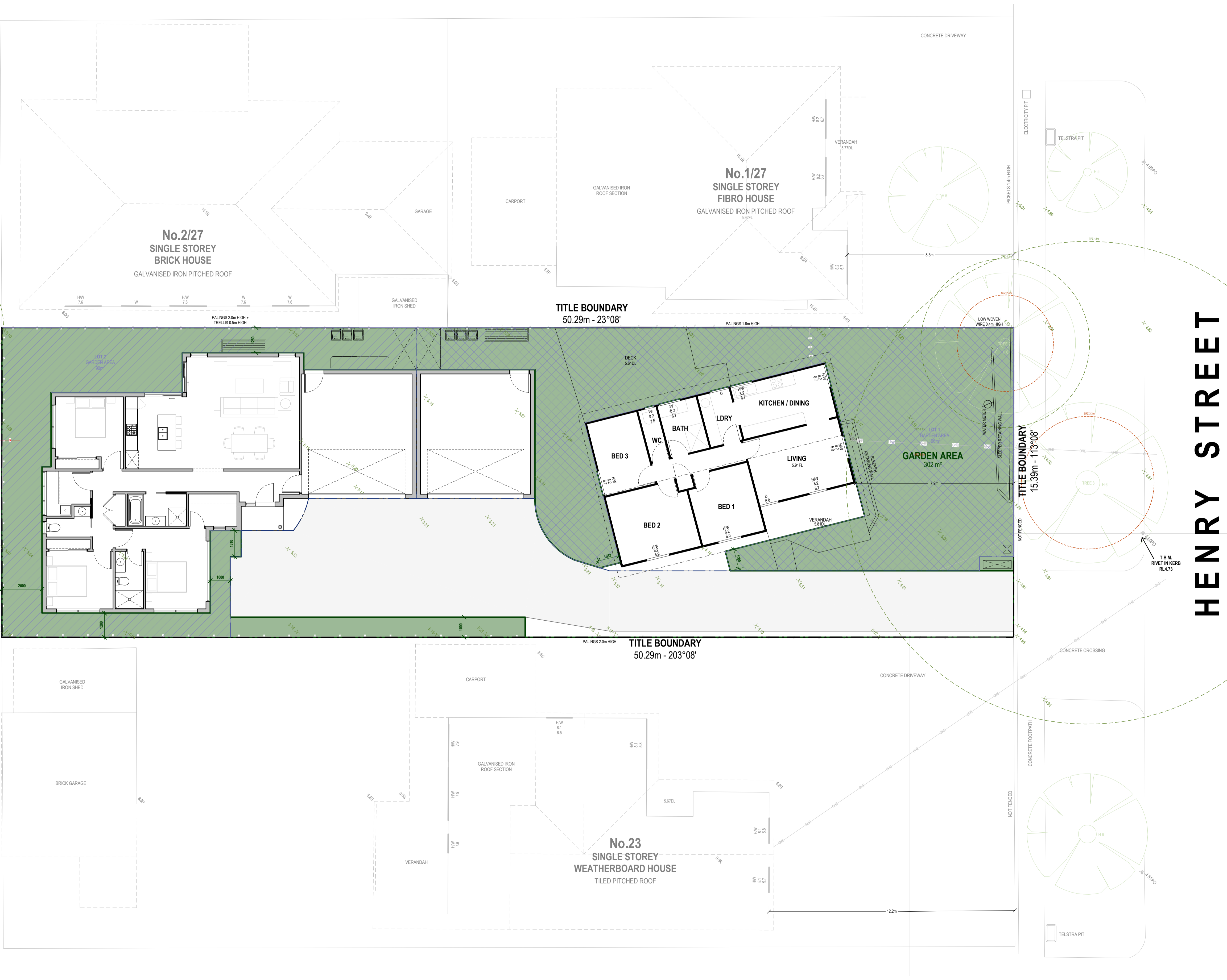
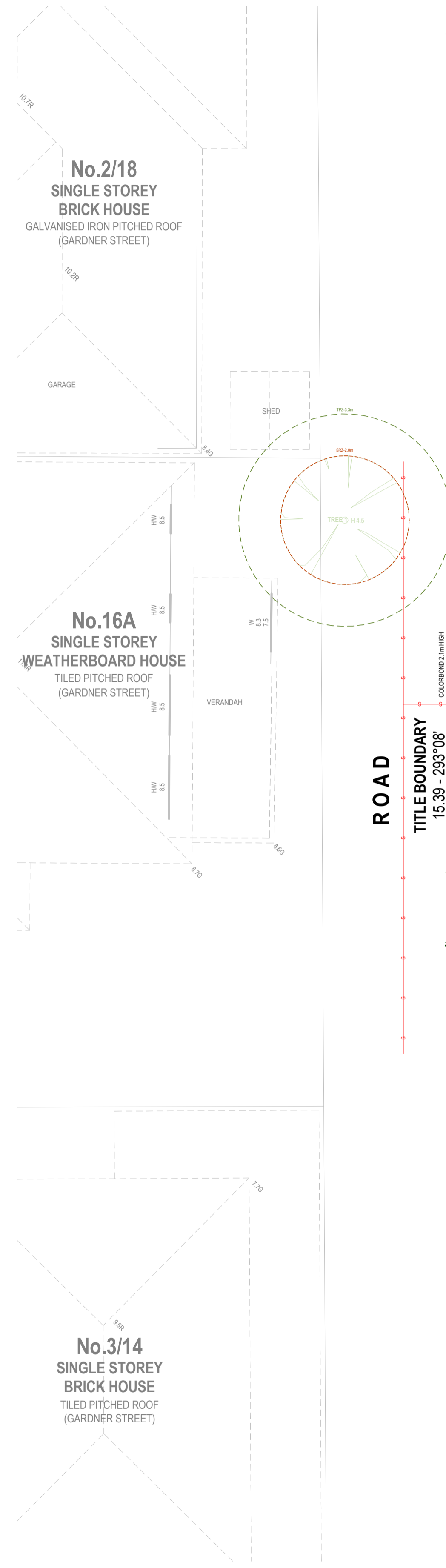
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GARDEN AREA LEGEND	
	GARDEN AREA - TOTAL SITE
	GARDEN AREA - LOT 1
	GARDEN AREA - LOT 2
	DRIVEWAY

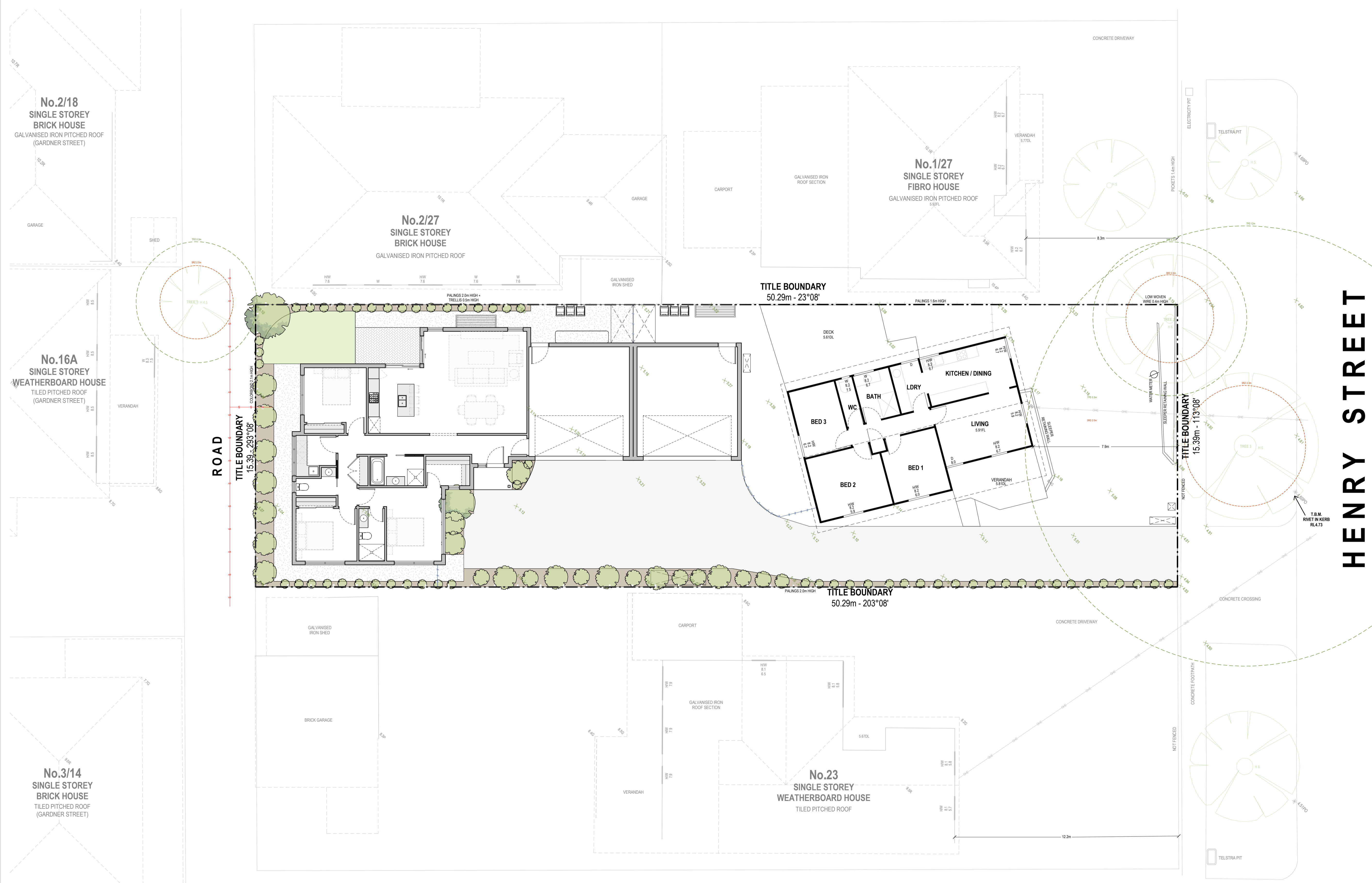
SITE - AREA SCHEDULE	
SITE AREA:	774m²
LOT 1	333m ²
LOT 2	260m ²
GARDEN AREA:	196m² (58.9%) MIN. = 88.5m ² (23%)
LOT 1	90m ² (34.6%) MIN. = 61m ² (23%)
LOT 2	302m ² (39.0%) MIN. = 271m ² (35%)
TOTAL SITE	302m² (39.0%) MIN. = 271m ² (35%)
SITE COVERAGE:	304m² (39.3%) MAX. = 464m ² (60%)
PERMEABILITY	315m² (40.7%) MIN. = 155m ² (20%)
DWELLING 1 (POS):	197m² MIN. = 65m ²
DWELLING 2 (POS):	92m² MIN. = 52m ²
DWELLING 1 (SPOS):	REF. TO SHEET TP05 MIN. = 25m ² (3m MIN)
DWELLING 2 (SPOS):	REF. TO SHEET TP05 MIN. = 25m ² (3m MIN)



HENRY STREET

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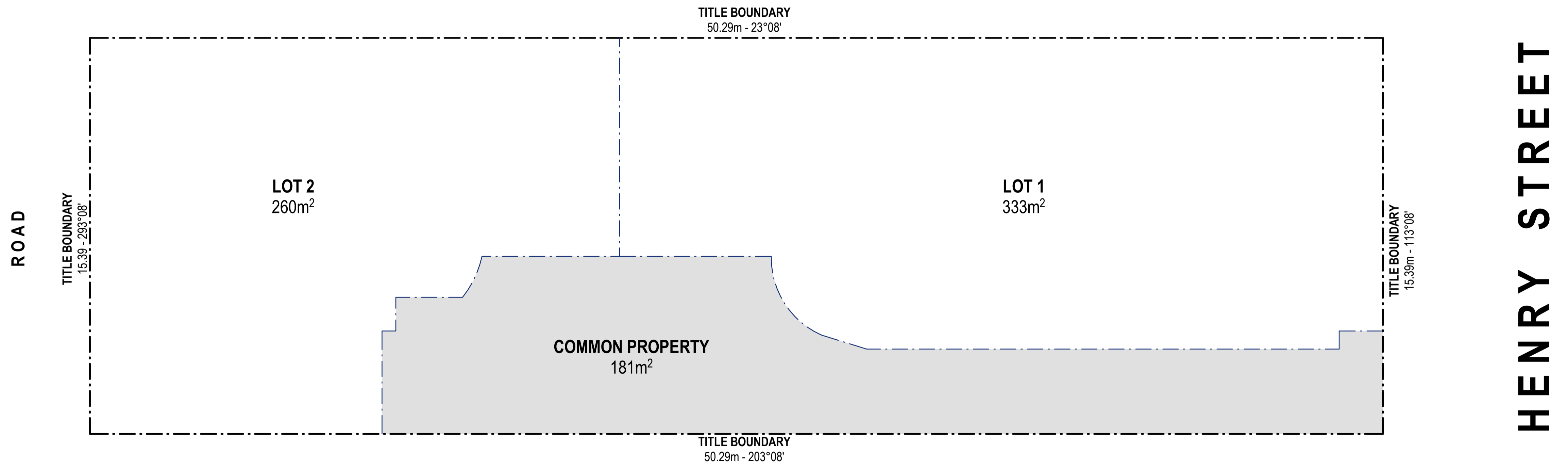
-  PROPOSED TREE
-  PROPOSED BUSH/SHRUB
-  EXISTING TREES (BEING RETAINED)
-  CONCRETE
-  DECKING
-  PERMEABLE PAVING
-  GRAVEL
-  TOPPINGS
-  GRASS

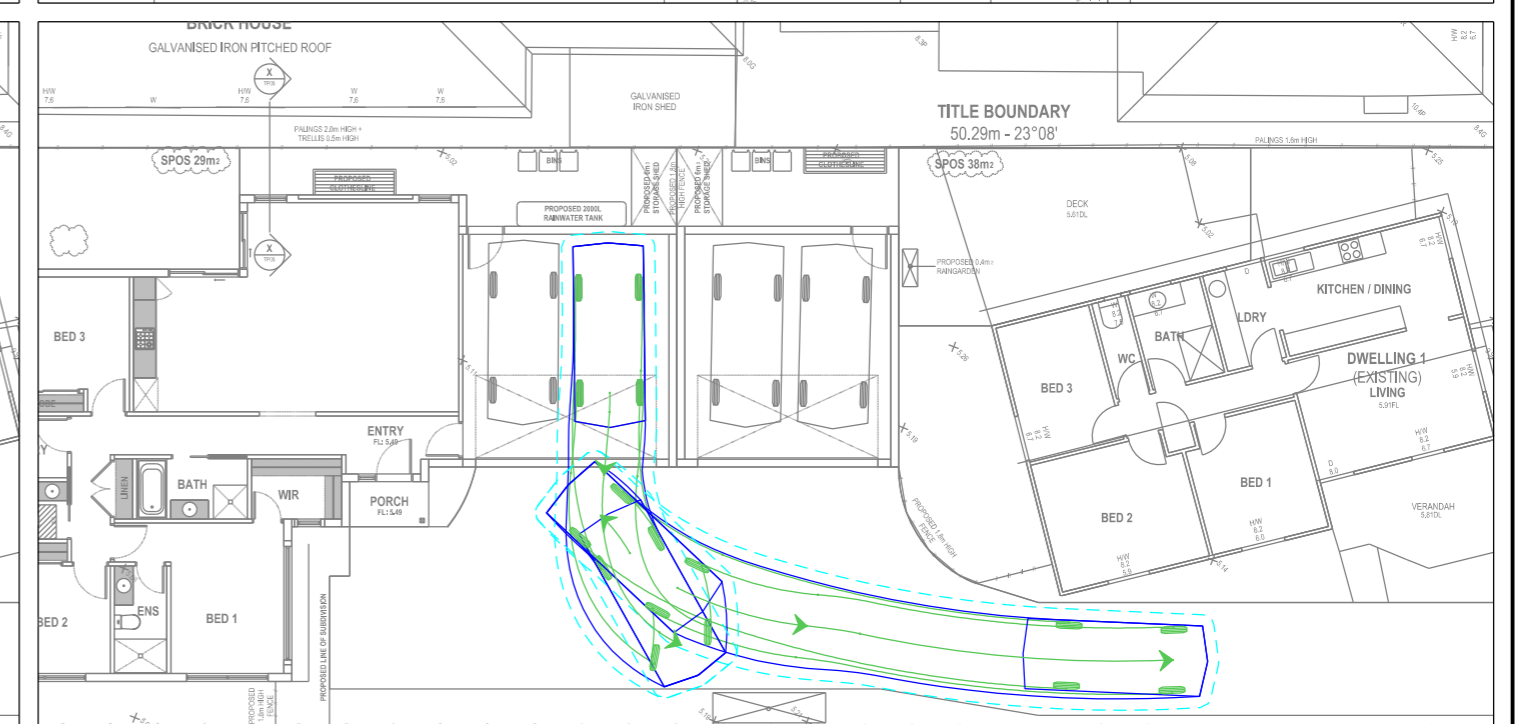
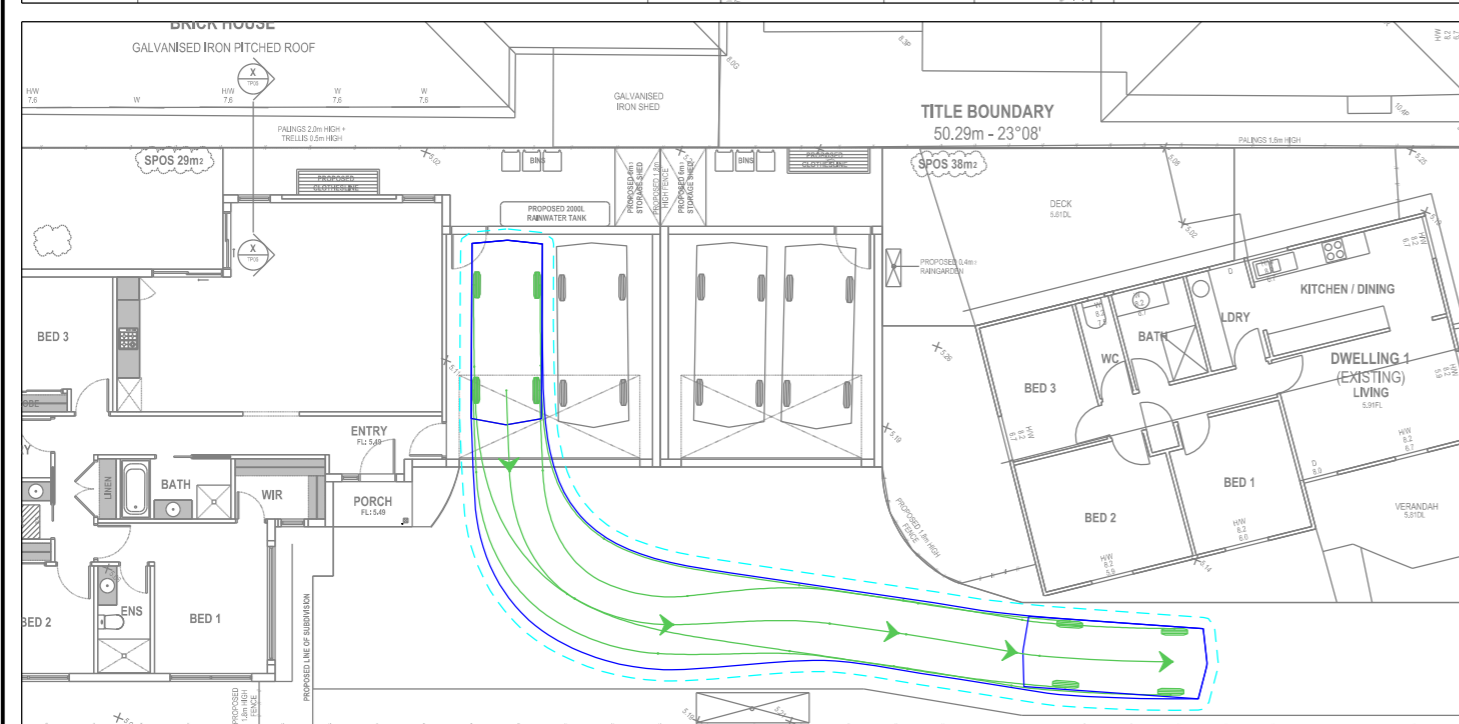
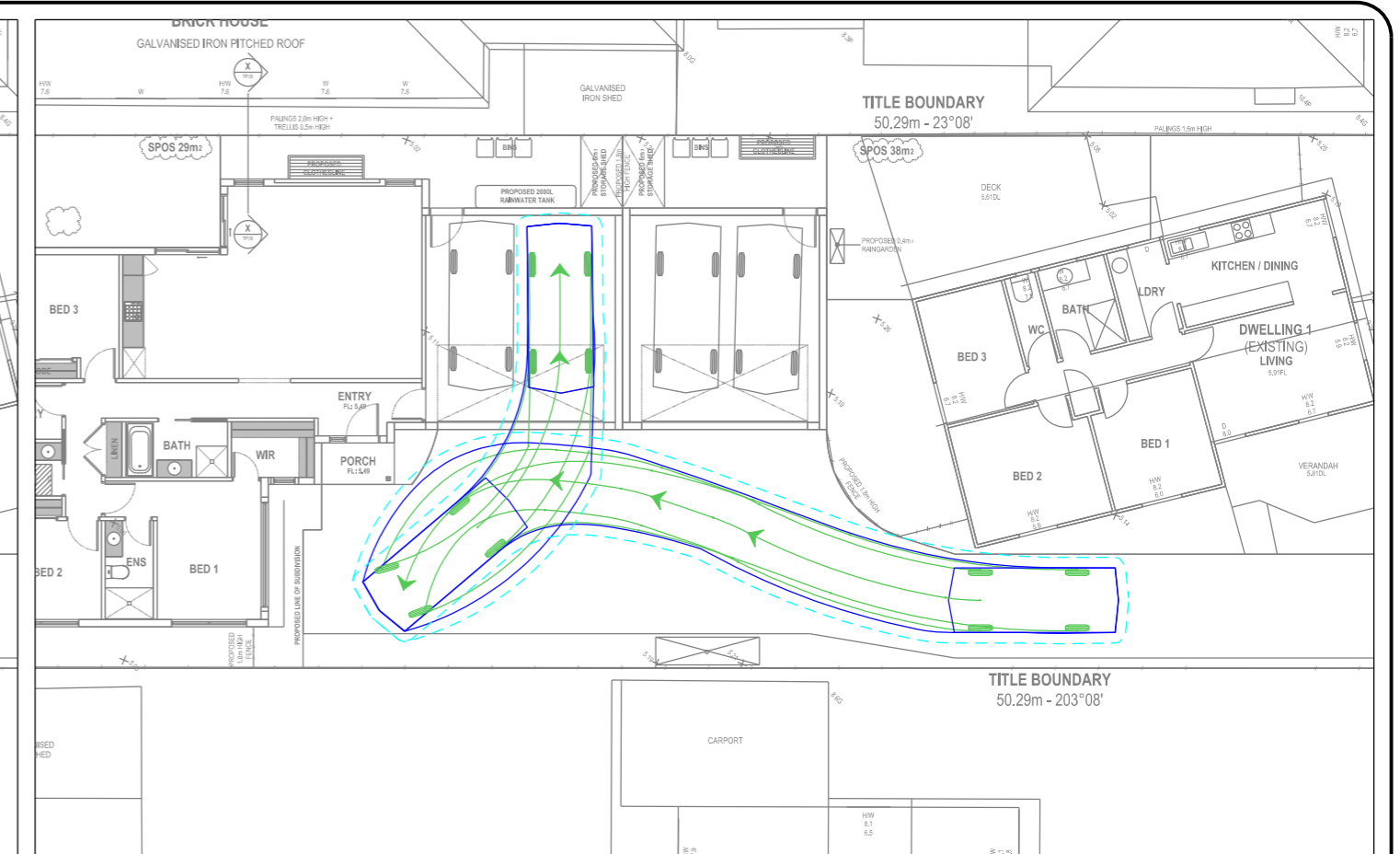
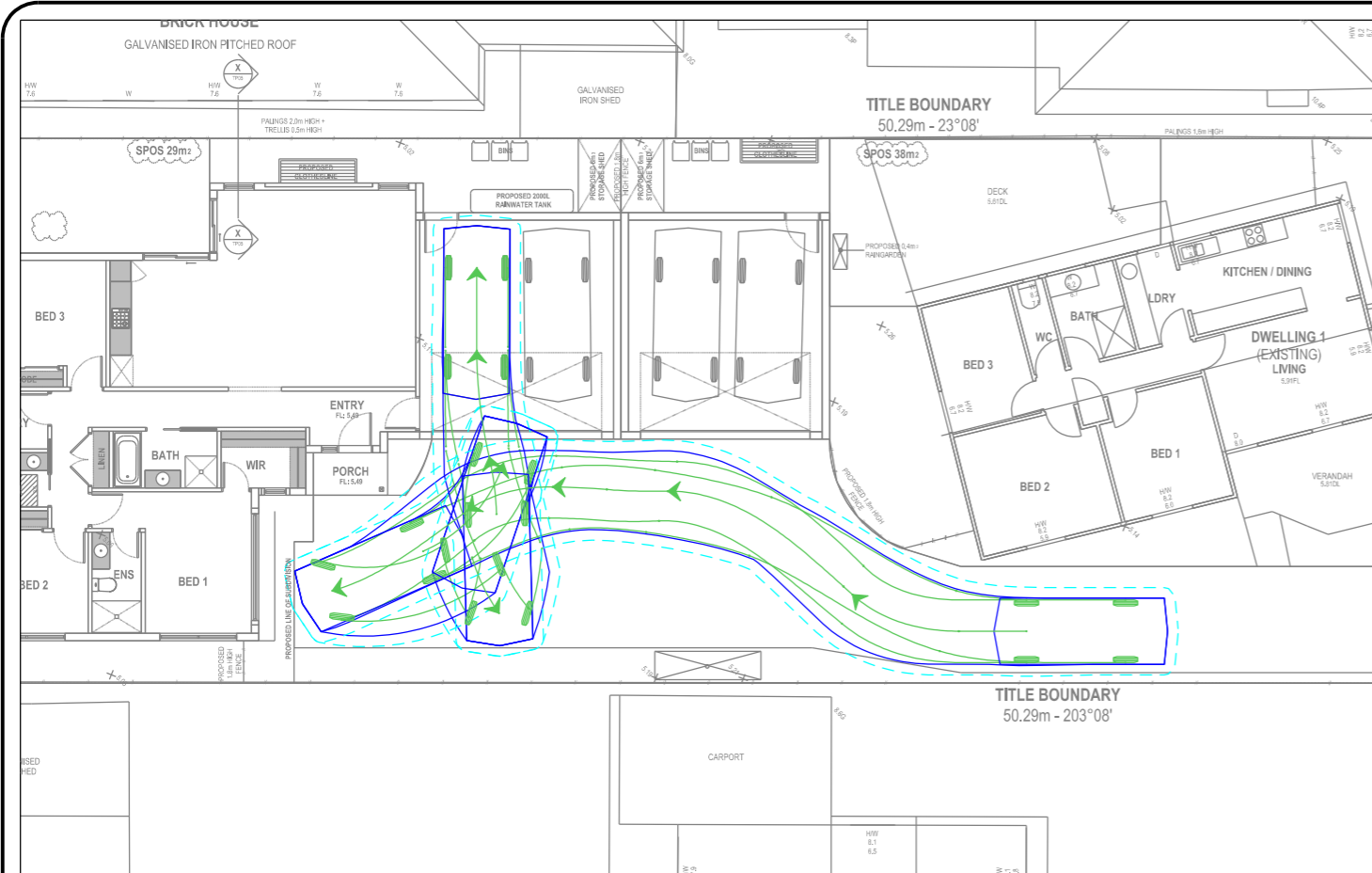


HENRY STREET

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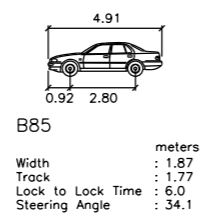
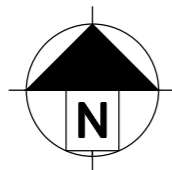
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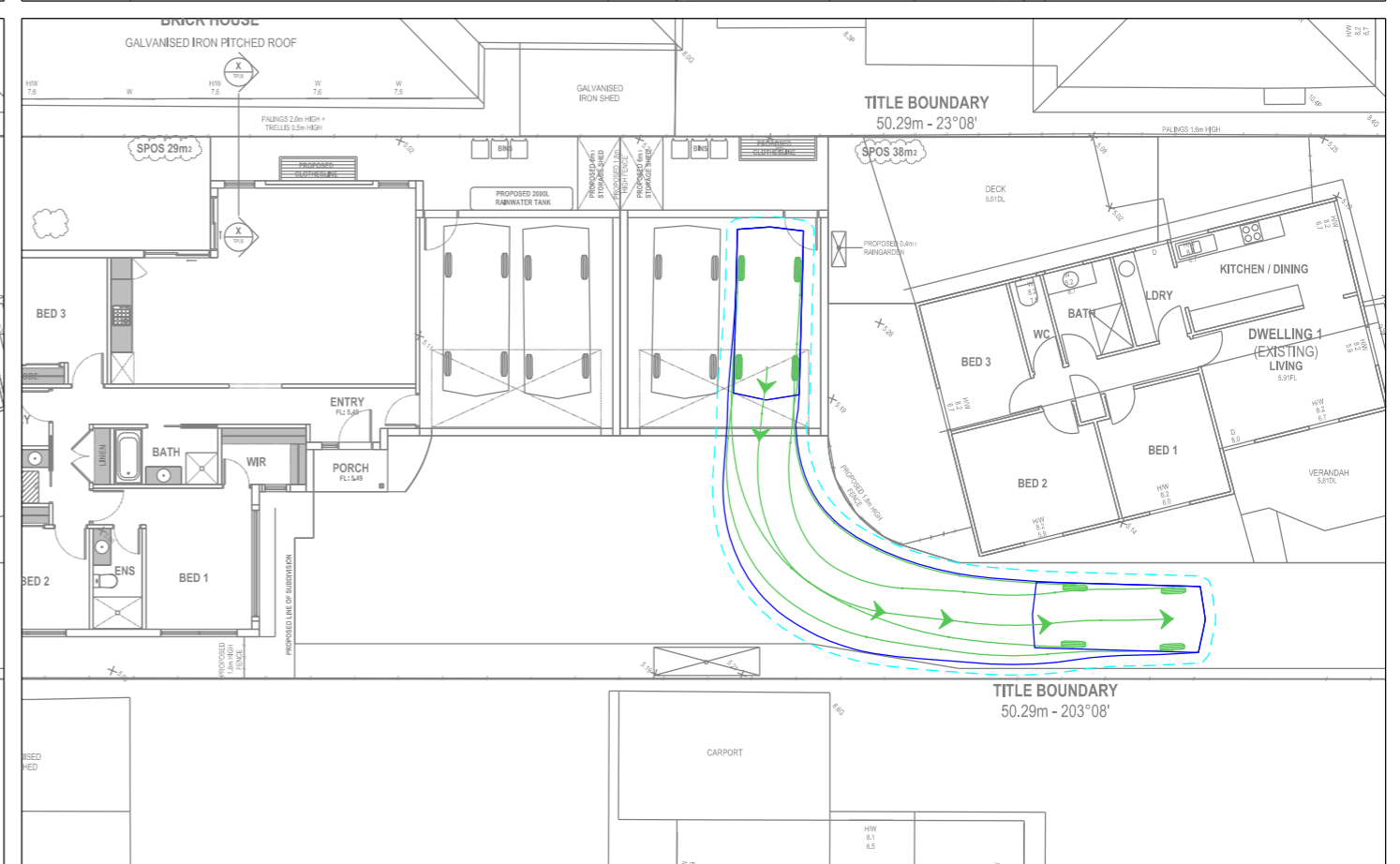
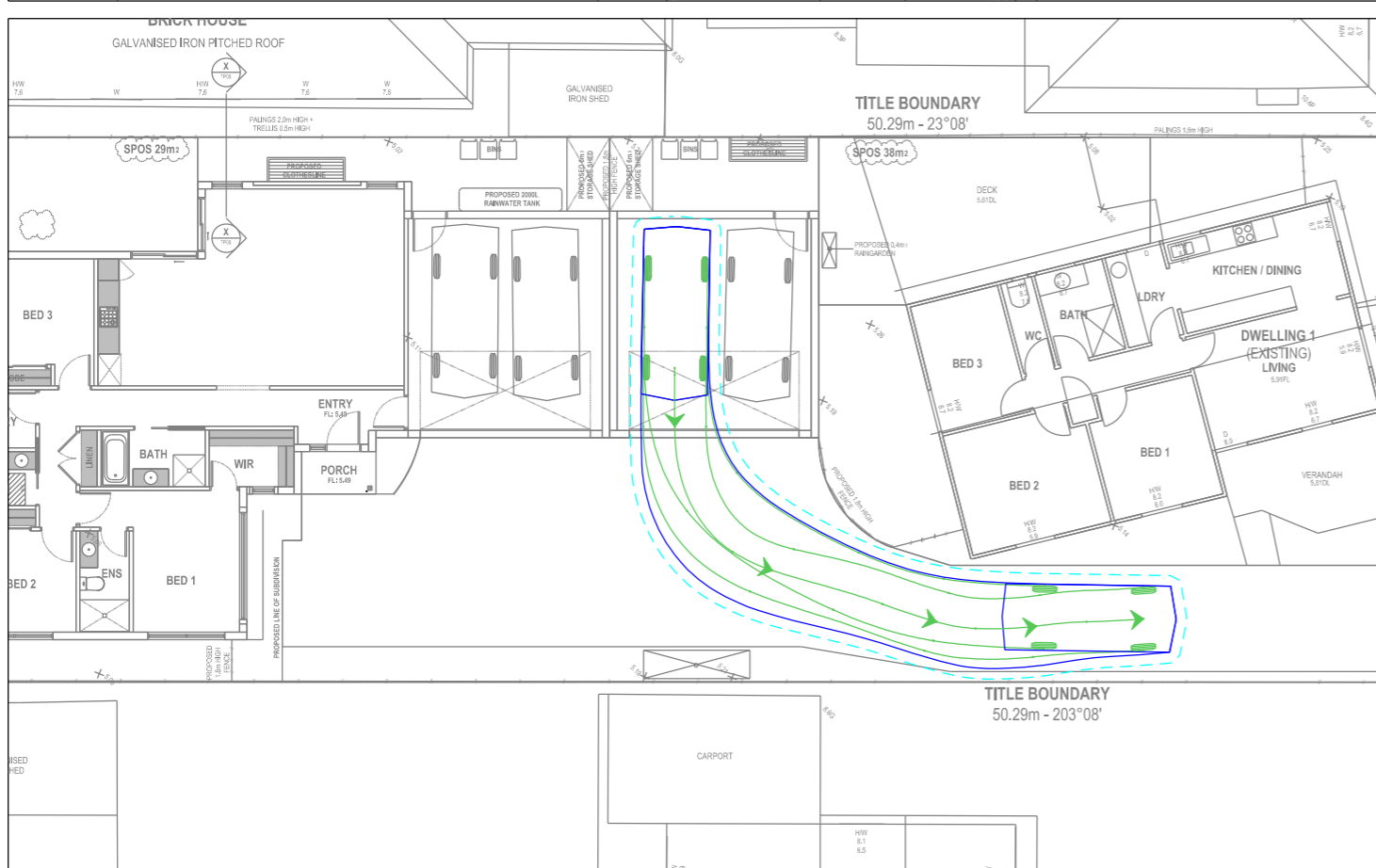
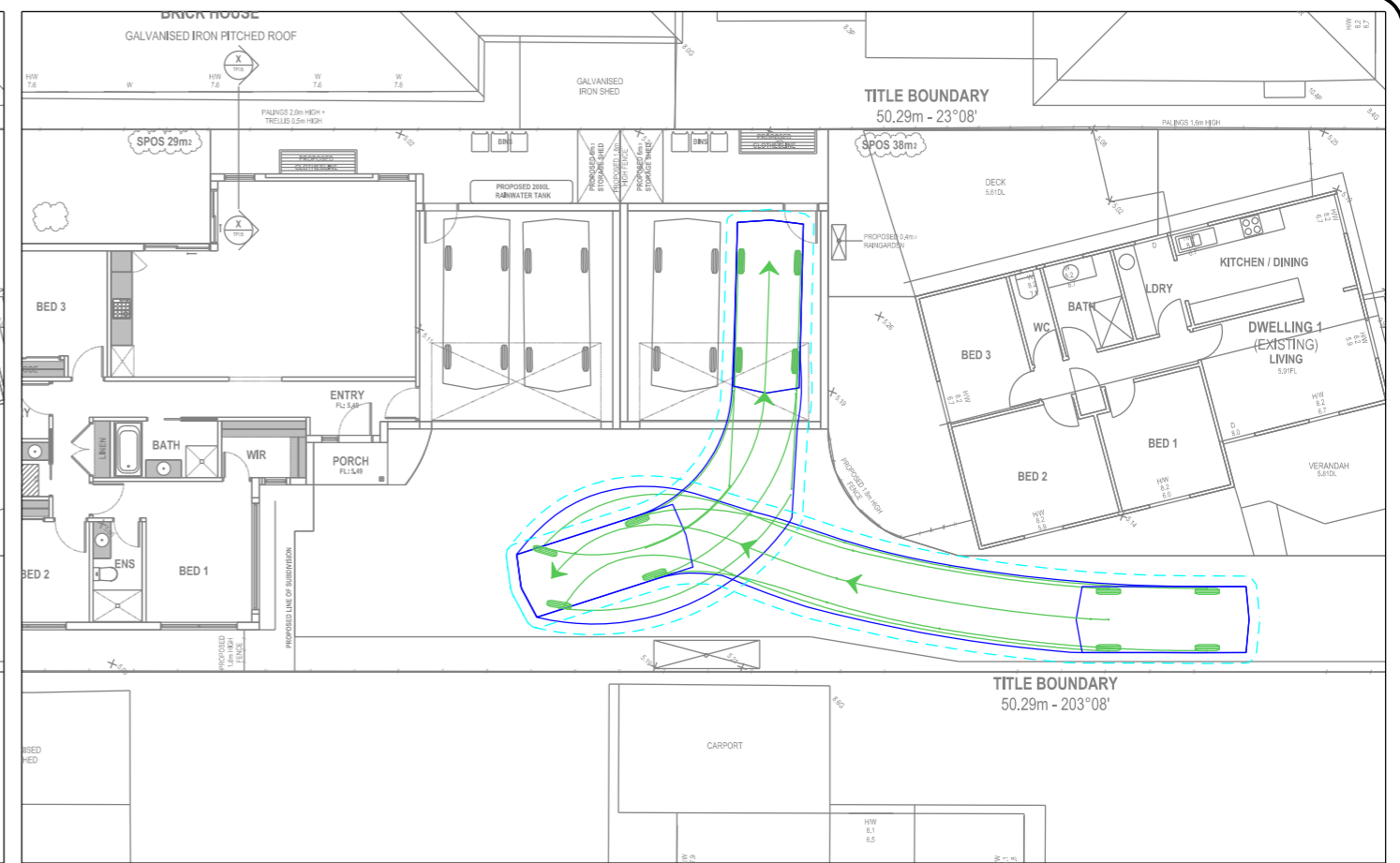
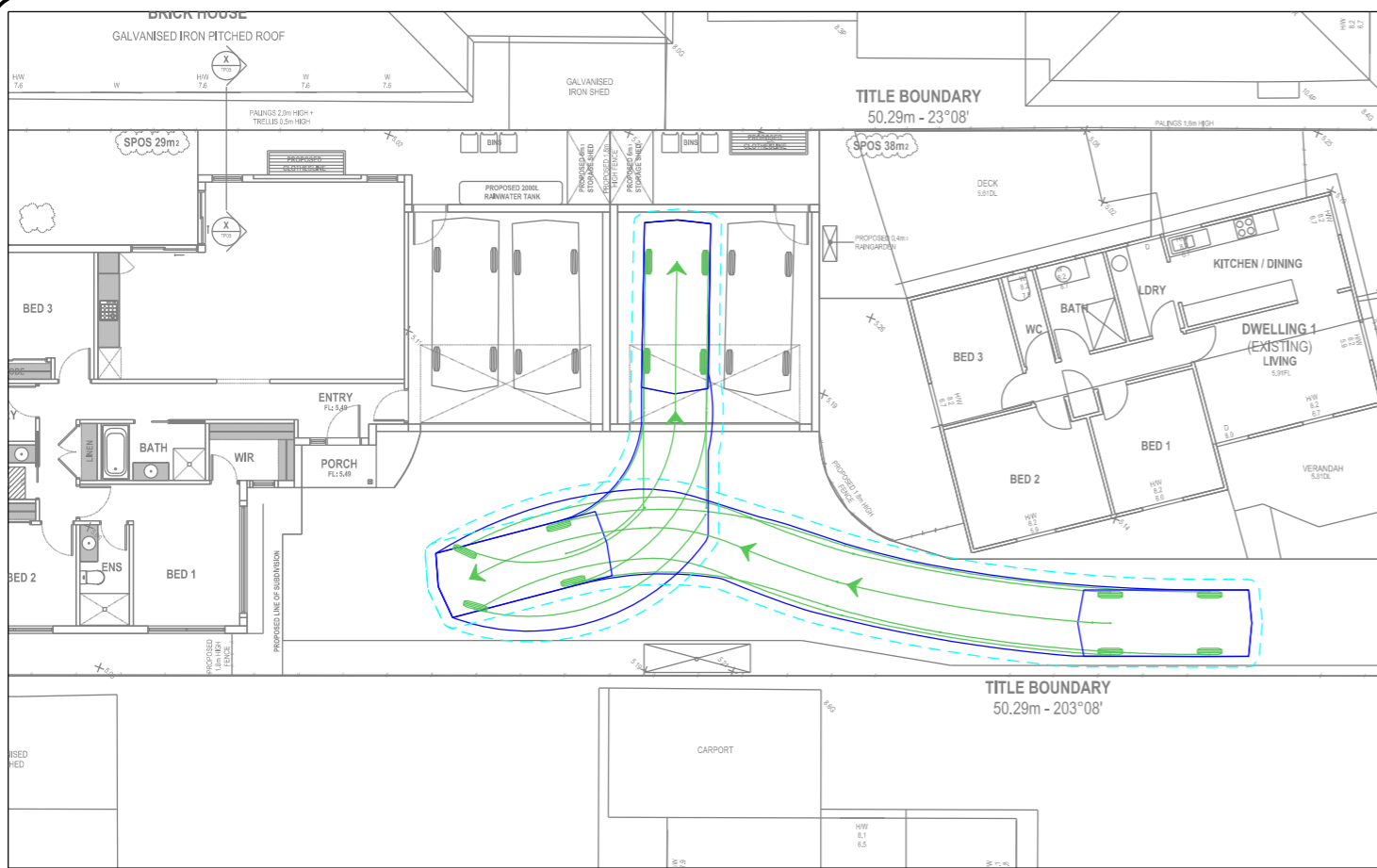


**B85
ENTRY/EXIT**
25 Henry Street Koo Wee Rup
1:200 @ A3 08/10/24
DWG NO: 26635001

KEY	
	CENTRE LINE OF FRONT WHEELS
	WHEEL PATH
	VEHICLE BODY
	VEHICLE CLEARANCE LINE (300mm FROM VEHICLE BODY)

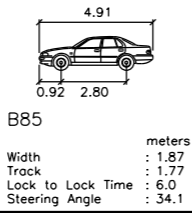
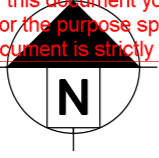
• Traffic Planning • Transport Planning
• Traffic Engineering • Road Safety

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W: obrientraffic.com



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