

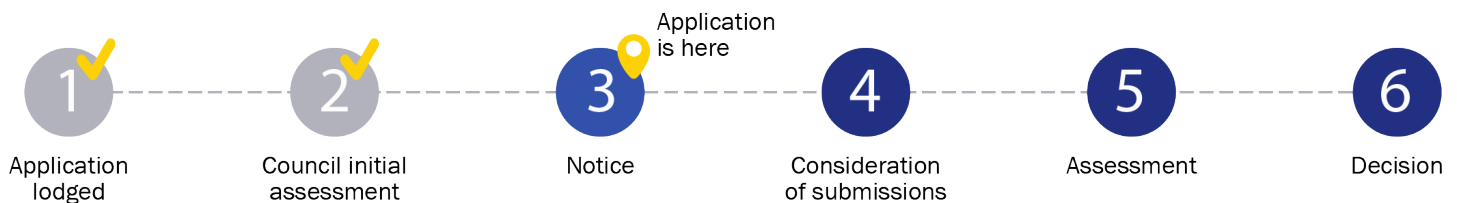
Notice of Application for a Planning Permit



The land affected by the application is located at:	L24 PS811821 V12291 F584 16 Blessing Rise, Pakenham VIC 3810
The application is for a permit to:	Buildings and Works (Construction of a Dwelling)

APPLICATION DETAILS	
The applicant for the permit is:	Jake Da Ros Planform
Application number:	T240421
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website: cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	

HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		06 December 2024
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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Application Summary

Portal Reference: A32429LG

Basic Information

Proposed Use: New Single Dwelling
 Current Use: Vacant Land
 Cost of Works: \$550,000
 Site Address: 16 Blessing Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	Jake Da Ros Planform	PO BOX 576, South Morang VIC 3754	M: 0431-020-698 E: info@planform.com.au
Owner	[REDACTED]	[REDACTED]	
Preferred Contact	Jake Da Ros Planform	PO BOX 576, South Morang VIC 3754	M: 0431-020-698 E: info@planform.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 5 More than \$500,000 but not more than \$1,000,000	\$1,535.00	100%	\$1,535.00
Total			\$1,535.00

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Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
22-08-2024	Site plans	NO.16 Blessing Rise Pakenham - WD - E.pdf
22-08-2024	A Copy of Title	Copy of Title - No. 16 Blessing Rise Pakenham.pdf
22-08-2024	A Copy of Title	Copy of Plan - No. 16 Blessing Rise Pakenham.PDF
22-08-2024	A Copy of Title	Instrument Search - No. 16 Blessing Rise Pakenham.PDF
22-08-2024	A Copy of Title	Instrument Search - No. 16 Blessing Rise Pakenham (2).PDF
22-08-2024	A Copy of Title	Electronic Instrument Documentation - No. 16 Blessing Rise Pakenham.PDF

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	Vanessa Da Ros Planform	PO BOX 576, South Morang VIC 3754	W: 0432-122-436 M: 0432-122-436 E: accounts@planform.com.au
Submission Date	22 August 2024 - 09:19:AM		

Declaration

By ticking this checkbox, I, Jake Da Ros, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12291 FOLIO 584

Security no : 124117475085T
Produced 15/08/2024 09:09 PM

LAND DESCRIPTION

Lot 24 on Plan of Subdivision 811821L.
PARENT TITLE Volume 11081 Folio 288
Created by instrument PS811821L 16/03/2021

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

[REDACTED]

ENCUMBRANCES, CAVEATS AND NOTICES

[REDACTED]

COVENANT PS611885X 18/07/2008
VARIATION OF COVENANT AR973357H 01/03/2019

COVENANT PS811821L 16/03/2021

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 PLANNING AND ENVIRONMENT ACT 1987
X049709H 20/09/2000

AGREEMENT Section 173 Planning and Environment Act 1987
AU092536S 28/02/2021

DIAGRAM LOCATION

SEE PS811821L FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY189581N (E)	[REDACTED]	Registered	10/07/2024
AY189582L (E)	[REDACTED]	Registered	10/07/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 16 BLESSING RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

eCT Control

DOCUMENT END

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Document Type	Plan
Document Identification	PS811821L
Number of Pages (excluding this cover sheet)	4
Document Assembled	15/08/2024 21:09

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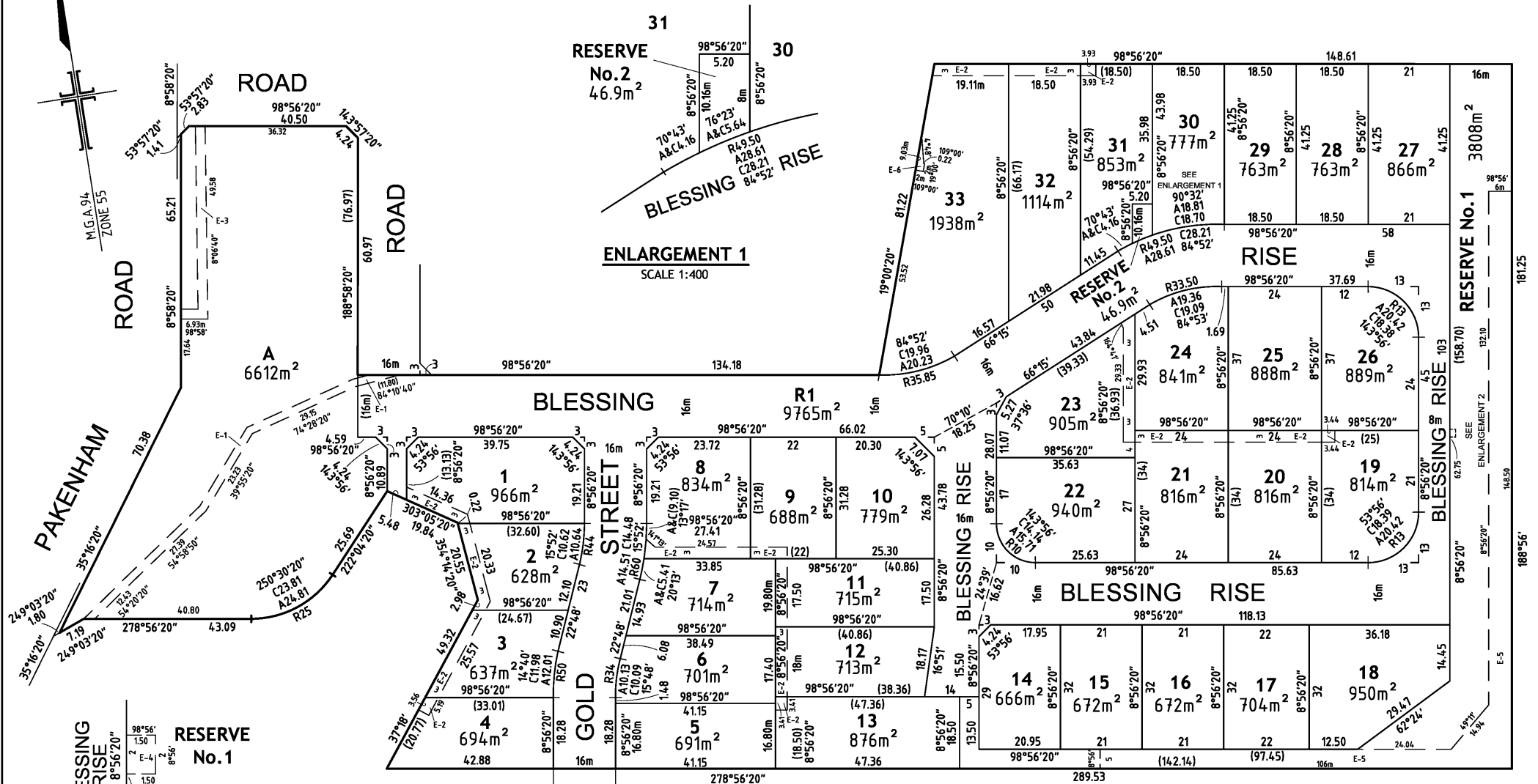
PLAN OF SUBDIVISION			LV USE ONLY EDITION 1	PS811821L				
Location of Land Parish: NAR-NAR GOON Township: ----- Section: ----- Crown Allotment: 7 (PART) Title References: Vol.11081 Fol.288 Last Plan Reference: LOT A on PS611885X Postal Address: PAKENHAM ROAD, PAKENHAM 3810 MGA94 Co-ordinates: E 366 710 Zone 55 (Of approx. centre of plan) N 5 787 050			Council Name: Cardinia Shire Council Council Reference Number: S18-028 Planning Permit Reference: T130505-2 SPEAR Reference Number: S117616B Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 06/06/2019 Statement of Compliance This is a statement of compliance issued under section 21 of the Subdivision Act 1988 Public Open Space A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied Digitally signed by: Sonia Higgins for Cardinia Shire Council on 05/03/2021					
Vesting of Roads or Reserves								
Identifier	Council/Body/Person							
R1 RESERVE No.1 RESERVE No.2	CARDINIA SHIRE COUNCIL CARDINIA SHIRE COUNCIL AUSNET ELECTRICITY SERVICES PTY LTD							
Notations								
Depth Limitation:	Does not apply							
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 20%; vertical-align: top;"> Staging </td> <td style="vertical-align: top;"> This is not a staged subdivision. Planning Permit No. T130505 </td> </tr> <tr> <td style="vertical-align: top;"> Survey:- </td> <td style="vertical-align: top;"> This plan is based on survey. To be completed where applicable This survey has been connected to permanent mark no(s). Nar-Nar Goon PM89, 295 & 670 In proclaimed Survey Area No. --- </td> </tr> </table>					Staging	This is not a staged subdivision. Planning Permit No. T130505	Survey:-	This plan is based on survey. To be completed where applicable This survey has been connected to permanent mark no(s). Nar-Nar Goon PM89, 295 & 670 In proclaimed Survey Area No. ---
Staging	This is not a staged subdivision. Planning Permit No. T130505							
Survey:-	This plan is based on survey. To be completed where applicable This survey has been connected to permanent mark no(s). Nar-Nar Goon PM89, 295 & 670 In proclaimed Survey Area No. ---							
Easement Information								
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)								
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour of				
E-1	ELECTRICITY SUPPLY	2	PS611885X	LOT 1 ON PS611885X				
E-2	SEWERAGE DRAINAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION CARDINIA SHIRE COUNCIL				
E-3	SEWERAGE	2.50	THIS PLAN	SOUTH EAST WATER CORPORATION				
E-4	POWERLINE	SEE DIAG.	THIS PLAN (S.88 ELECTRICITY INDUSTRY ACT 2000)	AUSNET ELECTRICITY SERVICES PTY LTD				
E-5	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION				
E-6	DRAINAGE	SEE DIAG.	THIS PLAN	CARDINIA SHIRE COUNCIL				
 HEAD & HUMPHREYS LAND CONSULTANTS Suite 3, 47 Railway Road P.O. Box 63, Blackburn 3130 Tel: 9875 8777 Fax: 9875 8778 e-mail: contact@hhsurvey.com.au ABN 80 006 516 169			REF 7678 7678-00-SUB-0111-LUV.DWG 11 16-03-2021	ORIGINAL SHEET SIZE: A3 SHEET 1 OF 4 SHEETS PLAN REGISTERED TIME: 12:10 PM DATE: 16/03/2021 YL Assistant Registrar of Titles				

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PLAN OF SUBDIVISION

LV USE ONLY
EDITION

PS811821L



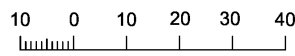
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ENLARGEMENT 2
SCALE 1:200



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LAND CONSULTANTS
Suite 3, 47 Railway Road
P.O. Box 63, Blackburn 3130
Tel: 9875 8777 Fax: 9875 8778
e-mail: contact@hhsurvey.com.au
ABN 80 006 516 169

SCALE: 1:1000



LENGTHS ARE IN METRES

REF **7678**

7678-00-SUB-0111-LUV.DWG
16-03-2021

11

ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by: Jason Ollerenshaw, Licensed Surveyor,
Surveyor's Plan Version (11),
05/03/2021, SPEAR Ref: S117616B

Digitally signed by:
Cardinia Shire Council,
05/03/2021,
SPEAR Ref: S117616B

PLAN OF SUBDIVISION

LV USE ONLY
EDITION

PS811821L

CREATION OF RESTRICTION

The following restrictions are to be created upon registration of this plan of subdivision.

The registered proprietor for the time being of the burdened land shall comply with the restrictions.

RESTRICTION A. (Building Controls)

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan

Land to be burdened - Lots 1 to 33 (both inclusive) and Reserve No.1 on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not at any time erect, construct, build or cause or permit to be erected, constructed or built :-

- a. any building or structure other than a building or structure in accordance with the Pakenham Rise Residential Design Guidelines.

Restriction A does not lapse.

RESTRICTION B. (Development Controls)

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan.

Land to be burdened - Lots 1 to 3 (both inclusive), 9, 11, 12, 14 to 18 (both inclusive), 20, 21 and 27 to 33 (both inclusive) on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not:-

- a. park or store vehicles, machinery, plant or equipment outside of the building envelopes shown on sheet 4 of this plan;
- b. construct a building or part of a building outside of the building envelopes shown on sheet 4 of this plan;

Restriction B does not lapse.

RESTRICTION C.

Land to be benefited - Lots 1 to 33 (both inclusive) on this plan.

Land to be burdened - Lots 14 to 18 (both inclusive) and 27 on this plan.

Description of Restriction.

Except with the written consent of Cardinia Shire Council the registered proprietors or proprietor for the time being of any burdened lot on the Plan shall not:-

- a. permit the felling, lopping or removal of any vegetation abutting the burdened land;

Restriction C does not lapse.

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 e-mail: contact@hhsurvey.com.au

REF **7678**7678-00-SUB-0111-LUV.DWG
16-03-2021**11**ORIGINAL SHEET
SIZE: A3

SHEET 3

Digitally signed by: Jason Ollerenshaw, Licensed Surveyor,
 Surveyor's Plan Version (11),
 05/03/2021, SPEAR Ref: S117616B

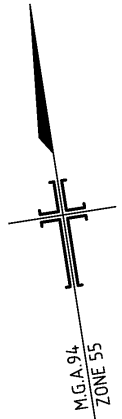
Digitally signed by:
 Cardinia Shire Council,
 05/03/2021,
 SPEAR Ref: S117616B

**BUILDING ENVELOPES
DIAGRAM**
(SEE RESTRICTIONS A & B)

PLAN OF SUBDIVISION

LV USE ONLY
EDITION

PS811821L



PAKENHAM
ROAD

ROAD

ROAD

A

BLESSING

R1

RESERVE
No. 2

RISE

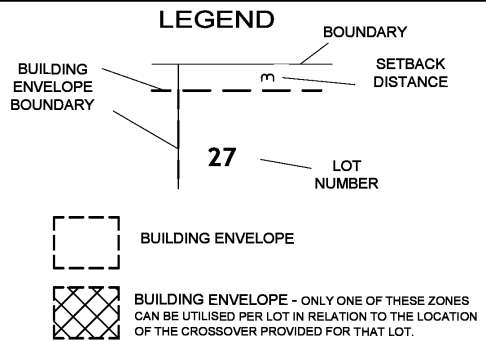
RESERVE No. 1

BLESSING RISE

BLESSING RISE

GOLD
STREET

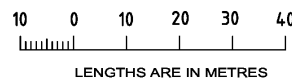
BLESSING RISE



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ABN 80 006 516 169

SCALE: 1:1000



REF **7678** 7678-00-SUB-0111-LUV.DWG 11
16-03-2021

Digitally signed by: Jason Ollerenshaw, Licensed Surveyor,
Surveyor's Plan Version (11),
05/03/2021, SPEAR Ref: S117616B

ORIGINAL SHEET
SIZE: A3

SHEET 4

Digitally signed by:
Cardinia Shire Council,
05/03/2021,
SPEAR Ref: S117616B



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Document Type	Instrument
Document Identification	PS611885X
Number of Pages (excluding this cover sheet)	8
Document Assembled	15/08/2024 21:09

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PS611885X

Application to register a plan of subdivision not related to acquisition by an acquiring authority Section 22 Subdivision Act 1988

Priv The Inf collect and is mainta registe Land R.

01/07/2008 \$854.60 PS



Form 10 Reg 38(1)(b) Subdivision (procedures) Regulations 2000

Lodged by: [Redacted]
 Name: [Redacted]
 Phone: [Redacted]
 Address: [Redacted]
 Ref: 180PRP.....
 Customer Code: 04511A.....



The applicant applies for registration of the plan described.

Land: (Volume and Folio reference)

CERTIFICATE OF TITLE VOLUME 10561 FOLIO 832

*RESTRICTION
*ADDRESS

Applicant: (Full name and address including postcode)
[Redacted]

In No: PS611885X Stage No: (if applicable)

Municipal district in which land is located: NAR NAR GOON

Office use only

Date: 6/6/2008

Signed:

Applicant
 or
 Current Practitioner under the Legal Practice Act 1996 for applicant

or
*Agent

* (written proof of agency must)

M/A BY GALICEE

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JOE PORCARO OF LEVEL 4/373 BAY STREET, PORT MELBOURNE, 3207, A FELLOW OF THE INSTITUTE OF LEGAL EXECUTIVES (VIC) HOLDING A CURRENT PRACTISING CERTIFICATE

LEGAL PRACTITIONER WITHIN THE MEANING OF THE LEGAL ACT 1996
IN THE PRESENCE OF: MEANING OF THE LEGAL ACT 1996

[Redacted]

Adelaide Bank Ltd.
 Lending Operations
 Level 2 / 68 Grenfell St.
 Adelaide SA 5000
 Ph: 08 8300 6920

ADELAIDE BANK LIMITED
 ABN: 54 061 461 550 by its appointed Attorney
 [Redacted]
 under Power of Attorney
 [Redacted]

Please register and issue title to [Redacted]

[Redacted] 1610P

THE BACK OF THIS FORM MUST NOT BE USED

PS611885X

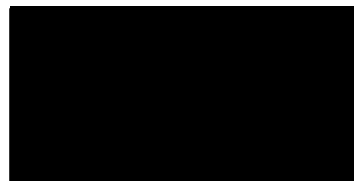
01/07/2008 \$854.60 PS



FISCHER Mc

Lawyers
ABN 90 424 105 861

Contact:
Direct Line:
Email:



Our Ref:
Your Ref:

23 June 2008


The Registrar of Titles
Land Titles Office
Bourke Street
MELBOURNE 3000

Dear Sir

CERTIFICATE OF TITLE VOLUME 10561 FOLIO 832



- CAVEAT AF242565H

 Caveator Number AF242565H hereby consents to application for registration of PS 611 885 X.

Yours faithfully


Partner
Current Legal Practitioner for the Caveator

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Level 3, 389 Lonsdale Street Melbourne Victoria 3000 Australia
DX 324 Melbourne
Tel: 61 3 9642 1200 Facsimile: 61 3 9670 7266

I hereby certify that this is a true and correct copy of the document it purports to be



18th October 2007

The Registrar-General
Victoria

ADELAIDE BANK LIMITED
ABN 54 061 461 550
169 Pirie Street Adelaide SA 5000
GPO Box 1048 Adelaide SA 5001
Telephone 08 8300 6000
Facsimile 08 8300 6968
AUSDOC DX 169 Adelaide
| adelaidebank.com.au

Dear Sir

I, [REDACTED] General Counsel of Adelaide Bank Limited (ABN 54 061 461 550) ("the Bank") being a Principal Attorney of the Bank pursuant to Power of Attorney dated 10 February 2006 in accordance with my powers of delegation contained in Clause 29 of the said Power of Attorney HEREBY DELEGATE to each person whose name appears below severally the powers set out hereunder:

To be a General Attorney pursuant to Clause 29 of the said Power of Attorney to exercise the powers set forth in the said Power of Attorney.

- [REDACTED]
- [REDACTED]

This delegation commences on the 18th October 2007

Yours faithfully

[REDACTED]

General Counsel

Signed in my presence by Andrew James Kamm who is personally known to me:

[REDACTED]

Signature of Witness

[REDACTED] (Solicitor)

Name of Witness (block letters)

[REDACTED]
Address of Witness

Certified by a Legal Practitioner

at 169 Pirie Street Adelaide SA 5000

[REDACTED]

A Commissioner for taking affidavits in the Supreme Court of South Australia

28/4/08

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PS611885X

01/07/2008 \$854.60 PS

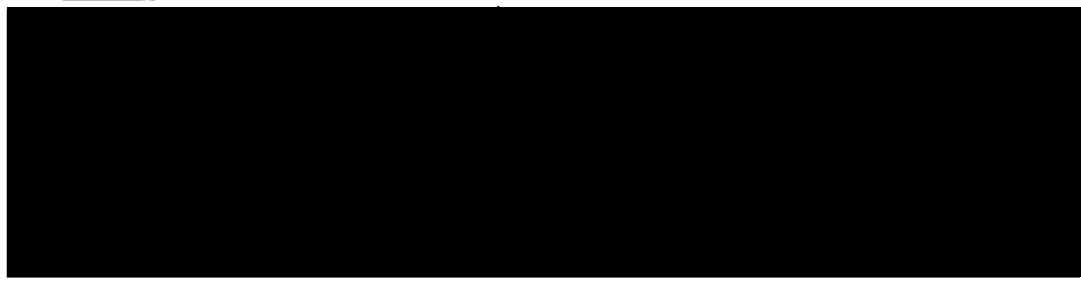


I hereby certify that this is a true and correct copy of the document it purports to be

POWER OF ATTORNEY

This General Power of Attorney is made under the Instruments Act 1986, section 107 on the 10th day of FEBRUARY 2006 by ADELAIDE BANK LIMITED (ABN 54 061 461 550) hereinafter with its successors referred to as ("the Bank") of 169 Pirie Street, Adelaide, South Australia

The Bank HEREBY NOMINATES CONSTITUTES AND APPOINTS each of the following persons:



SEVERALLY (each of them acting under this deed being hereinafter referred to as an "Attorney") to be the true and lawful attorney and attorneys of the Bank wherever the Bank carries on business or may hereafter carry on business or be represented in the name and on behalf of the Bank and authorise any one of them to act on the Bank's behalf for all or any of the following purposes and with all the powers and authorities hereinafter mentioned in clauses 1 to 31 inclusive:

1. To open accounts and to operate upon any such accounts with any bank or other financial institution.
2. To take or grant on lease or tenancy all such lands, houses, offices, buildings, hereditaments, chattels or effects as the Attorney may think necessary or expedient for the purposes of or in connection with the Bank or of the business of the Bank.
3. To effect the insurance of and keep insured against fire and such other risks as the Attorney may consider necessary all or any property in which the Bank has an insurable interest (and to cancel any such insurance) for such sums and in all respects as the Attorney shall think fit.
4. To negotiate, enter into, vary or terminate any financial risk management contracts including but not limited to interest and currency exchange contracts, swap contracts, financial rate agreements, option contracts and futures contracts.
5. To engage, employ and dismiss agents, employees or contractors in or about the business of the Bank.
6. To sign, seal, execute, accept, endorse and deliver any contracts, agreements, loan agreements, letters of offer, mortgages, charges, debentures, securities, cheques, bills of exchange, promissory notes, bonds, guarantees and any other deeds or instruments as in the opinion of the Attorney may be necessary or expedient in connection with the lending business of the Bank or which may be required by any Act, Ordinance or Regulation for the time being in force relating to crown land or land under the provisions of the Property Law Act 1958 as amended or the Land Act 1958 as amended or other like statutes or otherwise.
7. To attend and vote at any meeting of creditors or debenture stockholders or shareholders or members or directors of companies or societies or bodies corporate or at any other meeting where the Bank as lender is entitled to attend and vote and for all such purposes to represent

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28/4/08

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the Bank thereat and to appoint any person as proxy or representative to attend and vote for and represent the Bank at any such meeting.

- 8. To collect ask demand sue for enforce payment of or recover all monies securities for money debts deed papers writings and other documents of or to which the Bank may become possessed or entitled or which may become due owing payable or transferable to the Bank from any person and take and accept any security for any monies payable or to become payable to the Bank.
- 9. To demand and receive all rent due or to become due to the Bank from any person AND upon payment thereof to give and execute all such proper receipts releases and discharges for the same as the Attorney shall think fit AND upon non-payment thereof to proceed to enforce payment thereof and to proceed thereon according to law when and as the Attorney shall think proper.
- 10. To purchase any chose in action and any securities relating to such chose in action.
- 11. To sign all notices to quit and appoint such bailiff as the Attorney shall think proper and to give all notices of entry in and upon any buildings lands and hereditaments of any tenure belonging to or which the Bank is or may hereafter be entitled or interested and which are or may be demised leased or sub-let and to enter into and upon all such buildings lands and hereditaments and examine the state or repair or condition thereof and to give all requisite notices to repair and reinstate the same when and as the Attorney shall think fit including any improvements buildings and other property in which the Bank may be interested as owner, mortgagee, lessee or otherwise.
- 12. To take all necessary proceedings to compel the sequestration, liquidation or winding up of the estate of any person against whom or which the Bank has or may hereafter have any claim or demand when and as the Attorney shall think fit.
- 13. To petition for and procure any person to be adjudicated bankrupt and to assent to and execute any deed of composition, arrangement or assignment ("Deed") for the benefit of creditors whether executed or to take effect under the provisions of any law relating to insolvency or otherwise to accept the trusts of and Deed and to act as trustee thereunder to prove debts or claims in bankruptcy of in the matter of any Deed.

To oppose the proof of debts and claims by any other person or persons to take proceedings for expunging the whole or in part or the proof by any other person of any debt or claim and to accept any offer of composition made in the matter of any bankruptcy.

To consent to or oppose the annulling, dismissing or superseding of any adjudication of bankruptcy, to give notice of opposition and to oppose the discharge of any bankrupt, to receive dividends in bankruptcy or in the matter of any Deed and for all purposes to represent the Bank in all proceedings in bankruptcy or in relation to any Deed.
- 16. To appoint any controller (as such expression is defined in the Corporations Act) under any mortgage, charge, debenture or security held by the Bank and delegate thereto all or any powers or discretions which the Bank itself might have delegated to such controller and upon such terms and conditions as the Attorney thinks fit and also to revoke any appointment of a controller.
- 17. Generally to act fully and effectually on behalf of the Bank in all matters and things relating to liquidations or winding up of any person or to a bankrupt or insolvent estate.

PS611885X

01/07/2008 1854.60 PS



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- 18. To commence an action in any court of competent jurisdiction for a charging order against any debtor of the Bank by whatever means and to apply to the Registrar-General to register such charging order over the land and hereditament of any tenure of such debtor over which such charging order might be registered.
- 19. To effect or consent to any land division or alterations of boundaries of any land in which the Bank may be interested as owner, mortgagee, lessee or otherwise.
- 20. To execute and register caveats in respect of any estate or interest of the Bank capable of sustaining a caveat, to withdraw wholly or partially any such caveat and to consent to any dealing prohibited by any such caveat.
- 21. To apply for the removal of any caveat lodged against any estate or interest of the Bank.
- 22. In respect of any agreement or arrangement for the payment of moneys to the Bank and in respect of any land or hereditament of any tenure or other property real or personal mortgaged charged or in any manner whatsoever encumbered in favour of the Bank or in which the Bank has an interest as lender, mortgagee, chargee or in any other circumstances in which a debt or liability actual or contingent exists in favour of the Bank to:
 - 22.1 consent to and to the registration of any mortgage, charge, lease or sublease, extension of lease, surrender of lease, transfer of lease, creation or extinguishment of an easement or right of way, licence, application or dealing by any mortgagor or any other person;
 - 22.2 vary, transfer or postpone the priority ranking of any mortgage, debenture, bill of sale or other charge or grant any extension of time for the payment or satisfaction of all or any part of the monies due or to become due under any loan agreement, mortgage or other security which has been or may hereafter be given to the Bank or owing to the Bank in any manner whatsoever upon such terms as the Attorney may think fit either with or without taking security for the same;
 - 22.3 adjust settle compromise or submit to arbitration any agreement or arrangement relating to any loan made by the Bank.
- 23. To consent to any application for new certificates of title (which expression "certificates of title" shall include crown leases of any type), plan of divisions, strata title application, amendment, amalgamation, alteration or adjustment of boundaries thereof or in relation thereto.
- 24. To give good and proper receipts and to execute full or partial discharges upon repayment of all or any part of monies owing to the Bank.
- 25. To give a full or partial discharge or release of the personal liability of any person.
- 26. To give a full or partial discharge or release of any land or hereditament of any tenure or other property real or personal.
- 27. To exercise or enforce any of the rights, powers or remedies of the Bank pursuant to any mortgage, charge, lien, debenture, security or contract whatsoever of any kind held by the Bank and in particular to sell and dispose of or transfer any property or any interest therein at such time or times and upon such terms and conditions as the Attorney thinks fit in like manner as the Bank could do under or by virtue of any such mortgage, charge, lien, debenture, security or contract.

PS611885X
01/07/2008 955460 PS

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PS611885X



- 28. To exercise the power of sale or foreclosure conferred on the Bank pursuant to any statute or regulation and to execute contracts for the sale of land or hereditament of any tenure or other property real or personal including the estate and interest in such land or other property of the mortgagor, charger, debtor, lienor, encumbrancer or any person indebted to the Bank.
- 29. To delegate in writing to any employee of the Bank (hereinafter collectively referred to as a "General Attorney") all or any of the powers granted hereby except this power of delegation and any delegation pursuant hereto is revocable at will at the discretion of an Attorney in writing and such revocation pursuant to this clause shall be effective upon receipt of notification of such revocation by a General Attorney and notwithstanding that the delegation by an Attorney to a General Attorney is revocable at will such condition shall not derogate from the powers of a General Attorney.
- 30. To ratify and confirm, on behalf of the Bank (but only to the extent that the Attorney himself or herself could have done or caused to be done pursuant to this Power of Attorney) anything which may have been done or purported to be done on behalf of the Bank by any person and whether the same was or was not authorised.
- 31. To do all acts and execute all deeds and other instruments relating to any of the aforesaid matters.

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AND IT IS HEREBY DECLARED THAT:-

- A. From the time of any such Attorney ceasing to be an employee of the Bank the rights, powers and authorities hereby conferred on or vested in such Attorney shall be deemed to be revoked and determined without prejudice nevertheless to the rights, powers and authorities by this Power of Attorney conferred on or vested in any other Attorney who shall continue in the service of the Bank.
- B. The Bank hereby ratifies and confirms and agrees at all times hereafter to ratify and confirm all and whatsoever may be lawfully done by an Attorney under and by virtue of this Power of Attorney including in such ratification whatever is done between the revocation by any means of this Power of Attorney and the fact of such revocation becoming known to the Attorney AND that notwithstanding paragraph A of this Power of Attorney a certificate under the hand of the Attorney that the Attorney has not received notice of any such revocation shall in favour of any person dealing with the Attorney in good faith be conclusive evidence of the fact.
- C. The Bank hereby declares that in favour of any person dealing with an Attorney appointed hereunder the fact that the Attorney declares that he or she has been so appointed and purports to act as such by virtue of being an employee of the Bank shall be conclusive evidence of such employment.
- D. The Registrar General of Victoria or any other person dealing with an Attorney appointed hereunder is hereby authorised and directed to accept the signature or execution of any document or other instrument by any Attorney pursuant to this Power of Attorney (including without limitation any delegation pursuant to clause 29 of this Power of Attorney) as sufficient evidence that the content of such document or other instrument is known to and has been approved by the Bank.
- E. Each of the powers hereby conferred shall be read and construed as separate powers not in any way limited or restricted by reference to or inference from the other powers hereby conferred.
- F. This Power of Attorney shall continue in force until notice of the revocation thereof shall be received by the Attorney for the time being acting hereunder as herein provided.

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KA Com:172578.1

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- G. The powers, rights and authorities hereby conferred and all acts, deeds, matters and things to be executed, done or performed in pursuance hereof shall be so executed, done and performed by the Attorney without the common seal of the Bank.
- H. This power shall in all respects be interpreted in accordance with the law of Victoria.
- I. Except to the extent that such interpretation shall be excluded by or be repugnant to the context when herein used:
 - (a) words importing the singular number or plural number shall include the plural number or singular number respectively;
 - (b) words denoting any gender shall include all genders; and
 - (c) reference to a person includes a corporation, a firm and any other entity.

Executed as a deed

EXECUTED by **ADELAIDE BANK LIMITED** ABN 54 061 461 550
in accordance with the Corporations Act:



[Redacted Signature]

Signature of Director

[Redacted Signature]

Signature of Director/Secretary

[Redacted Name]

Name of Director in full

[Redacted Name]

Company Secretary

Name of Director/Secretary in full

..... 10/2/06

Date

..... 10/2/06

Date

[Redacted Signature]

Signature of Witness

[Redacted Signature]

Signature of Witness

[Redacted Name]

Name of Witness in full

[Redacted Name]

Name of Witness in full

..... 10/2/06

Date

..... 10/2/06

Date

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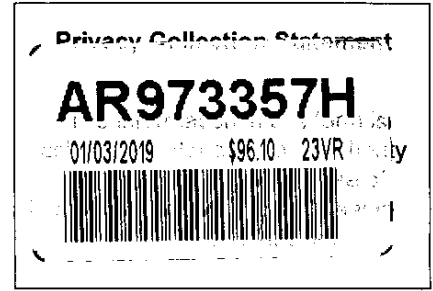
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Restriction: creation, removal or variation
Section 23 Subdivision Act 1988



Lodged by

Name: [REDACTED]

Phone: [REDACTED]

Address:

Reference: 17/1103

Customer code: 17677Q

The applicant applies to register a **VARIATION** restriction under section 23 of the Subdivision Act 1988.

Burdened land: (volume and folio or other land description as necessary)

VOLUME 11081 FOLIO 288

Council in which land is located: **CARDINIA SHIRE COUNCIL**

SPEAR ref: S117881H

Benefited land: (only complete if restriction is being created) (volume and folio or other land description as necessary)

Applicant: (full name and address, including postcode)

[REDACTED]

Signing:

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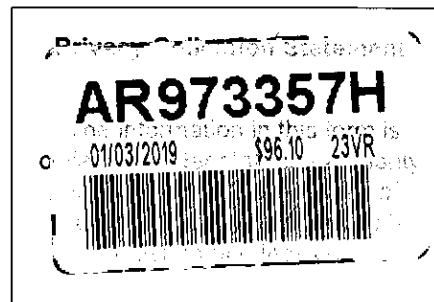
23RSA

Page 1 of 2

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Land Use Victoria contact details: www.delwp.vic.gov.au/property>Contact us

Restriction: creation, removal or variation
Section 23 Subdivision Act 1988



Certifications

1. The Certifier has taken reasonable steps to verify the identity of the applicant.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of [REDACTED]
Signer Name [REDACTED]
Signer Organisation [REDACTED] SOLICITORS
Signer Role AUSTRALIAN LEGAL PRACTITIONER
Signature [REDACTED]
Execution Date 01/03/19

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23RSA

Page 2 of 2

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PLAN FOR VARIATION OF RESTRICTION

(Section 23 Subdivision Act 1988)

AR973357H

Location of Land

Parish: NAR NAR GOON
 Township: -----
 Section: -----
 Crown Allotment: 7 (PART)

Title References: Vol. 11081 Fol. 288

Last Plan Reference: LOT A ON PS611885X

Postal Address: PAKENHAM ROAD
 PAKENHAM 3810

MGA94 Co-ordinates: E 366 710 Zone 55
 (Of approx. centre of plan) N 5 787 050

Council Name: Cardinia Shire Council

Council Reference Number: s18/033
 Planning Permit Reference: T130505-2
 SPEAR Reference Number: S117881H

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Statement of Compliance

This is a statement of compliance issued under section 21 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made

Digitally signed by: Simone Norbury for Cardinia Shire Council on 07/11/2018

Notations

Upon registration of this plan the following restriction is to be varied.

Land over which the restriction is to be varied:

C/T Vol. 11081 Fol. 288

Identity of restriction:

Restriction PS611885X, which reads:

Description of Restriction:

1. The registered proprietor or proprietors for the time being of any burdened lot must not build or erect or permit to be built or erected or remain on the burdened lot or any part of it any building or structure outside of the building envelope incorporated into this plan on sheet 4;
2. The registered proprietor or proprietors for the time being of any burdened lot must not build or erect or permit to be built or erected or remain on the burdened lot or any part of it any building or structure relating to effluent disposal outside of the effluent disposal envelope incorporated into this plan on sheet 4;
3. The registered proprietor or proprietors for the time being of any lot on this plan shall not apply for an occupancy permit under the Building Act unless a static water supply and access requirements has been provided to the satisfaction of the Country Fire Authority;
4. The registered proprietor or proprietors for the time being of any lot on this plan shall not apply for an occupancy permit under the Building Act unless all trees that overhang the building are removed.

Variation:

To vary the description of the Restriction to read:

Description of Restriction:

1. The registered proprietor or proprietors for the time being of any lot on this plan shall not apply for an occupancy permit under the Building Act unless a static water supply and access requirements has been provided to the satisfaction of the Country Fire Authority;

This variation is authorised by:

Planning Permit No. T130505-1 issued on 20th November 2014.

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HEAD & HUMPHREYS
 LAND CONSULTANTS
 Suite 3, 47 Railway Road
 P.O. Box 63, Blackburn 3130
 Tel: 9875 8777 Fax: 9875 8778
 e-mail: contact@hhsurvey.com.au
ABN 80 006 516 169

REF **7678**

7678-00-VAR-0101.DWG
 22-02-2018

01

ORIGINAL SHEET
 SIZE: A3

SHEET 1 OF 1 SHEETS

Digitally signed by: Jason Ollerenshaw, Licensed Surveyor,
 Surveyor's Plan Version (01),
 22/02/2018, SPEAR Ref: S117881H

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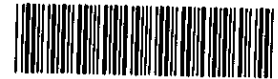
H. G. Brown

Planning and Environment Regulations 1998 No. 8

X049709H
200900 1058 173



Form 13



Section 181

APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING OF A
RECORDING OF AN AGREEMENT

Planning and Environment Act 1987

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Lodged at the Land Titles Office by:

Name: Duffy & Simon Lawyers
Phone: (03) 5941 1622
Address: John Street, Pakenham
Ref: dd:GH 00.6.1555 **Customer Code:** 0756P

The Authority having made an agreement referred to in Section 181(1) of the **Planning and Environment Act 1987** requires a recording to be made in the Register for the land.

Land (*Insert Volume and Folio reference*) (*if part only, define the part*)

Certificate of Title Volume 8576 Folio 473

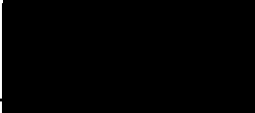
Authority (*name and address*)

Cardinia Shire Council, Municipal Offices, Henty Way, Pakenham 3810

Section and Act under which agreement made:

Section 173 of the Planning and Environment Act 1987

A copy of the Agreement is attached to this Application

Signature for the Authority: 

Name of Officer: 

Date: 13th September 2000

 13/9/00



DX049709H-1-1

X049709H

20/09/2000 \$0 173



This Agreement is made on the 30th day of AUGUST, 2000

BETWEEN CARDINIA SHIRE COUNCIL
of Henty Way, Pakenham in the State of Victoria ("the Council")

AND [REDACTED] in the said State ("the Owner")

Recitals

- A. The Owner is the registered proprietor of [REDACTED] ("the Land").
- B. The Council is the Responsible Authority pursuant to the Act for the Scheme.
- C. The Owner has obtained a Planning Permit from the Council to carry out a development of the land.
- D. As a condition of the Planning Permit, the Owner must enter into an agreement pursuant to Section 173 of the Act to be registered on the title which addresses the issues stated in the Planning Permit.

Operative provisions

1. Definitions

In this Agreement the terms and words set out in this clause shall have the following meanings unless otherwise indicated by the context:

- 1.1 "the Act" means the *Planning and Environment Act 1987*;
- 1.2 "the Agreement" or "this Agreement" means this agreement and any agreement executed by the parties expressed to be supplemental to this agreement;
- 1.3 "approved" means approved by Council;
- 1.4 "Approved Plan" means Plan of Subdivision No. 441730A which was approved on 21st July 2000, a copy of which is contained in Annexure "A" to this Agreement.

1664251000
T0000009
973 Ag.
162 Pak Rd
PAK.

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X049709H

20/09/2000

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-2-

- 1.5 **"development"** includes subdivision;
- 1.6 **"the Land"** means the land known as Lot 3 LP 8840, [REDACTED] [REDACTED] which is more particularly described as Certificate of Title Volume 8576 Folio 473;
- 1.7 **"Lot"** or **"Lots"** means the lots on the Land as shown in the Approved Plan;
- 1.8 **"Owner"** means the person or persons entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Land or any part of it;
- 1.9 **"Planning Permit"** means Planning Permit No. T000009 issued by the Council on 15th March 2000. A copy of the Planning Permit is contained in Annexure B to this Agreement.
- 1.10 **"the Scheme"** means the Cardinia Planning Scheme.

2. Interpretation

All provisions of this Agreement are to be interpreted in the following manner unless otherwise indicated by the context:

- 2.1 Undefined terms or words shall have the meanings given in the Act or the Scheme.
- 2.2 The singular includes the plural and the plural includes the singular.
- 2.3 A reference to a gender includes a reference to each other gender.
- 2.4 A reference to a person includes a reference to a firm, corporation or other corporate body.
- 2.5 If a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.6 A reference to a "planning scheme" or "the Scheme" shall include amendment, consolidation or replacement of such scheme and any document incorporated by reference into such scheme.
- 2.7 A reference to a statute shall include any statutes amending, consolidating or replacing same and any regulations made under such statutes.

X049709H

20/09/2000 \$0 173



- 2.8 Where in this agreement the Council may exercise any power, duty or function, that power may be exercised on behalf of the Council by an authorised or delegated officer.
- 2.9 All headings are for ease of reference only and shall not be taken into account in the construction or interpretation of this Agreement.
- 2.10 The introductory clauses of this Agreement are and will be deemed to form part of this Agreement.

3. Agreement under Section 173 of the Act

The Council and the Owner agree that without limiting or restricting their respective powers to enter into this Agreement and in so far as it can be so treated, this Agreement is made pursuant to Section 173 of the Act.

4. Effect of Agreement

- 4.1 This Agreement shall be deemed to come into force and effect from the date of this Agreement.
- 4.2 The obligations of the Owner under this Agreement, being obligations to be performed by the Owner as conditions subject to which the Land may be used or developed for specified purposes and being intended to achieve or advance the objectives of the Scheme, will take effect as separate and several covenants which shall be annexed to and run at law and in equity with the Land to bind the Owner and each successor, assign or transferee of the Owner.

X049709H

20/09/2000 \$0 173



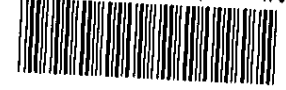
5. Covenants of Owner

The Owner covenants and agrees that:

- (a) The Owner will allow access to Lot 1 on the Approved Plan from the existing driveway only until such time as access is available from the road proposed to be constructed to the north of the said Lot 1.
- (b) Within three (3) months of access being available to the north the existing driveway must be removed and the boundary between the said Lot 1 and the 'Tree Reserve No. 1' shown on the Approved Plan fenced to the satisfaction of the Responsible Authority.
- (c) The Owner must incur all costs associated in preparing and registering this Agreement on title.
- (d) This Agreement may be ended wholly or in part or as to any part of the land by the Council with the approval of the Minister for Planning or by agreement between the Council and all persons who are bound by any covenant in this Agreement;
- (e) **Notice**
This Agreement will be brought to the attention of all prospective purchasers, mortgagees, transferees and assigns.
- (f) **Compliance**
The Owner will carry out and comply with the requirements of all statutory authorities and comply with all statutes, regulations, local laws and planning controls in relation to the Land.
- (g) The Owner will take all necessary steps to comply with the obligations of each and every clause in this Agreement.
- (h) **Registration**
The Owner will consent to the Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the folio of the Register which relates to the Land in accordance with Section 181 of the Act and do all things necessary to enable the Council to do so including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that section.

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(i) **Mortgage to be Bound**

The Owner will obtain the consent of any mortgagee to be bound by the covenants in this Agreement if the mortgagee becomes mortgagee in possession of the Land.

(j) **Council's Costs to be Paid**

The Owner will pay the Council's reasonable costs and expenses (including legal expenses) incidental to enforcement of this Agreement.

(k) **Indemnity**

The Owner will indemnify and keep indemnified the Council, its officers, employees, agents, workmen and contractors from and against all costs, expenses, losses or damages whatsoever which they or any of them may sustain incur or suffer to be or become liable for or in respect of any suit action proceeding judgment or claim brought by any person whatsoever arising from or referable to this Agreement or any non-compliance with this Agreement.

(l) **Non-Compliance**

If the Owner has not complied with this Agreement within 14 days after service of a notice by the Council specifying such non-compliance, the Owner covenants to allow the Council its officers, employees, contractors or agents to enter the Land and rectify such non-compliance.

Council Access

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5.12 The Owner covenants to allow the Council and/or its officers, employees, contractors or agents (at any reasonable time) to enter the Land to assess compliance with this Agreement.

6. Notices

6.1 Service of Notice

A notice or other communication required or permitted to be served by a party on another party shall be in writing and may be served:

- (a) personally to the party; or

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-6-

- (b) by sending it by pre-paid post, addressed to that party at the address for service specified in this document or subsequently notified to each party; or
- (c) by facsimile to the person's number for service specified in this document or subsequently notified to each party.

6.2 Time of Service

A notice or other communication is deemed served:

- (a) if served personally, upon service;
- (b) if posted within Australia to an Australian address, two business days after posting and in any other case, seven business days after posting; or
- (c) if served by facsimile, at the time indicated on the transmission report produced by the sender's facsimile machine indicating that the facsimile was sent in its entirety to the addressee's facsimile;
- (d) if received after 6.00pm in the place of receipt or on a day which is not a business day, at 9.00am on the next business day.

7. GENERAL

7.1 Further Assurance

Each party must promptly execute and deliver all documents and take all other action necessary or desirable to effect, perfect or complete the transactions contemplated by this Agreement.

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7.2 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by the Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of the Council in relation to the terms of this Agreement.

7.3 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this Agreement shall remain operative.

7.4 Costs

The Owner will immediately pay to the Council, the Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution and registration of this Agreement which are and until paid remain a debt due to the Council by the Owner.

**THE COMMON SEAL of CARDINIA SHIRE)
COUNCIL** was affixed in the presence of:)



Mayor.... [Redacted]

CEO [Redacted]

Full name. [Redacted]

Full names [Redacted]

Usual address. [Redacted]

Usual address [Redacted]

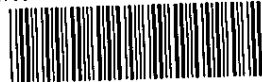
SIGNED SEALED AND DELIVERED by)
[Redacted] in the presence of)

[Redacted]

Witness. [Redacted]

X049709H

20/09/2000 \$0 173



Form 4.4

PLANNING PERMIT

Permit No. T000009
 Planning Scheme: Cardinia Planning Scheme
 Responsible Authority: Cardinia Shire Council

ADDRESS OF THE LAND:

Address:
 Lot/L.P Details:

[Redacted]
 Lot 3, LP 8840

THE PERMIT ALLOWS:

The subdivision of the land into two (2) lots generally in accordance with the approved plans.

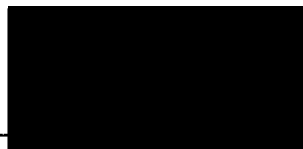
THE FOLLOWING CONDITIONS NO.1- 7 INCLUSIVE APPLY TO THIS PERMIT:

1. Prior to the certification of a plan of subdivision, three (3) copies of amended plans must be submitted to and approved by the responsible authority. The plans must be generally in accordance with the submitted plans but modified to show:
 - (a) A 5.0 metre by 5.0 metre splay at the northern boundary of Lot 1;
 - (b) The land between the splay required by Condition 1(a) and the southern property boundary as 'Tree Reserve' with a width of 5.0 metres;
 - (c) The 'Proposed Road Widening' across the frontage of Lot 2 deleted; and
 - (d) A three (3) metre wide drainage easement along the southern boundary of Lot 1 in favour of Lot 2;

to the satisfaction of the responsible authority.
2. The layout of the subdivision, as shown on the approved plan, must not be altered or modified without the consent in writing of the responsible authority.
3. The owner of the land must enter into agreements with the relevant authorities for the provision of water supply, drainage, sewerage facilities, electricity, gas and telecommunications services to each lot shown on the approved plan in accordance with the authority's requirements and relevant legislation at the time.
4. All existing and proposed easements and sites for existing or required utility services and roads on the land must be set aside in the plan of subdivision submitted for certification in favour of the relevant authority for which the easement or site is to be created.
5. The plan of subdivision submitted for certification under the Subdivision Act 1988 must be referred to the relevant authority in accordance with Section 8 of that Act.

Date Issued: 15/3/00.

Signature for the
 Responsible Authority:



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20/09/2000 \$0 173



Form 4.4

PLANNING PERMIT

Permit No. T000009
 Planning Scheme: Cardinia Planning Scheme
 Responsible Authority: Cardinia Shire Council

ADDRESS OF THE LAND:

Address: [REDACTED]
 Lot/LP Details:

Lot 3, LP 8840

THE PERMIT ALLOWS:

The subdivision of the land into two (2) lots generally in accordance with the approved plans.

THE FOLLOWING CONDITIONS NO.1-7 INCLUSIVE APPLY TO THIS PERMIT:

6. Prior to a Statement of Compliance being issued:
 - (a) it must be demonstrated to the satisfaction of Council's Health Department that the septic system for the existing dwelling will be contained within the boundaries of Lot 1;
 - (b) the permit holder must enter into an agreement under Section 173 of the Planning and Environment Act 1987 to allow access to Lot 1 from the existing driveway only until such time as access is available from the road proposed to be constructed to the north. Within three (3) months of access being available to the north the existing driveway must be removed and the boundary between Lot 1 and the 'Tree Reserve' fenced to the satisfaction of the responsible authority. The permit holder must incur all costs associated in preparing and registering this agreement on title; and
 - (c) a cash contribution must be provided in lieu of the provision of an area or areas for public open space equivalent to eight (8) percent of the site value of Lot 1.
7. This permit will expire if:
 - (a) the subdivision is not commenced within two (2) years of the date of this permit; or
 - (b) the subdivision is not completed within five (5) years of the date of commencement.

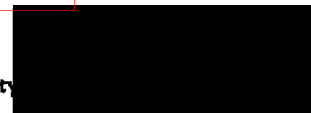
The responsible authority may extend the periods referred to, if a request is made in writing before the permit expires or within three (3) months afterwards.

(Note: The starting of the subdivision is regarded by Section 68(3A) of the Planning and Environment Act 1987 as the certification of a plan, and completed is regarded as the registration of the plan).

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Date Issued: 15/1/00

Signature for the Responsible Authority



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PLAN OF SUBDIVISION	Stage No. <hr/>	LTO use only EDITION	Plan Number PS441730A
----------------------------	--------------------	--------------------------------	---------------------------------

Location of Land
 Parish: Nar Nar Goon
 Township: _____
 Section: _____
 Crown Allotment: 7 (Part)
 Crown Portion: _____

LTO base record: DCMB
 Title References C/T V.8576 F.473

Last Plan Reference: LP8840 (Lot 3)
 Postal Address: 162 Pakenham Road
 (AI) time of subdivision Pakenham 3810

AMG Co-ordinates E. 366 650
 101 approx. centre of plan N. 5 786 900 ZONE 55

Vesting of Roads or Reserves

Identifier	Council/Body/Person
Res No 1	Cardinia Shire Council

Council Certification and Endorsement

Council Name: Cardinia Shire Council Ref: **500/089**

- This Plan is certified under Section 6 of the Subdivision Act 1988.
- This plan is certified under section 11(7) of the Subdivision Act 1988
 Date of original certification under section 6 ____/____/____
- This is a statement of compliance issued under section 21 of the Subdivision Act 1988.

OPEN SPACE
 (i) A requirement for public open space under Section 18 Subdivision Act 1988 has / has not been made.
 (ii) The requirement has been satisfied
 (iii) The requirement is to be satisfied in Stage
 Council delegate
 Council seal
 Date / /


Re-certified under section 11(7) of the Subdivision Act 1988.
 Council delegate
 Council seal
 Date / /

Notations

Depth Limitation: Does not apply APPROVED PLAN PLANNING AND ENVIRONMENT ACT 1987 CARDINIA ZONING SCHEME PERMIT No. <u>1000009</u> SHEET <u>1</u> OF <u>2</u> SIGNED: _____ CARDINIA SHIRE DATE: <u>31/7/00</u>	Staging This is/is not a staged subdivision Planning permit No. T000009 Lot 2 is not the subject of this survey. Survey This plan is / is not based on survey This survey has been connected to permanent marks no(s). Proclaimed Survey Area no.
---	--

X049709H

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Easement Information

Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/in Favour Of
E-1	Drainage	3	This plan	Lot 2 on this plan and Cardinia Shire Council

LTO use only

Statement of compliance/
Exemption Statement

Received

Date / /

LTO use only

PLAN REGISTERED

TIME

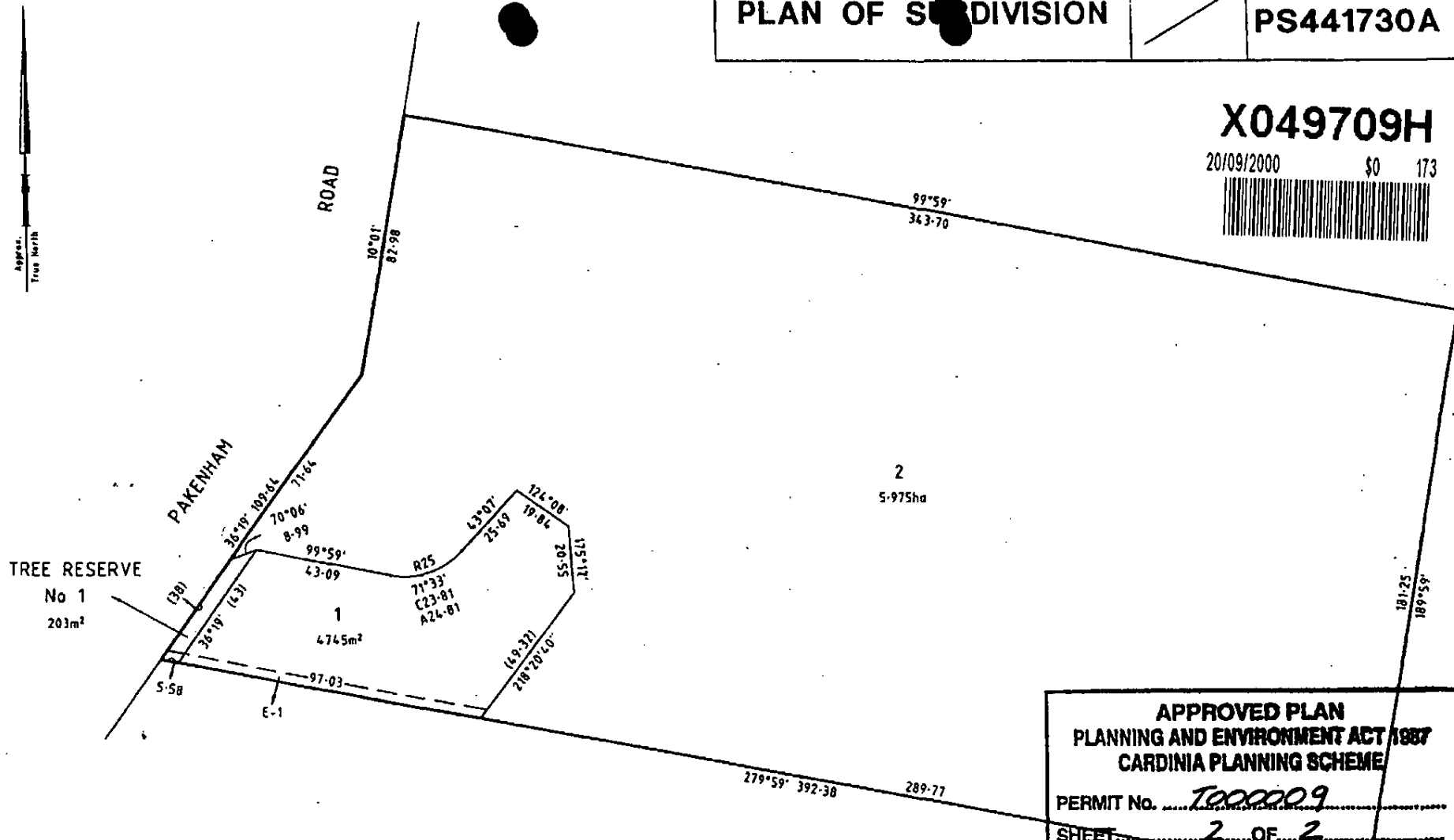
DATE / /

Assistant Registrar of Titles

Sheet 1 of 2 Sheets

<p>LITTLE & BROSAN PTY. LTD. A.C.N. 006 434 888 LAND SURVEYORS, PLANNERS & DEVELOPMENT CONSULTANTS 189 JOHNSTON STREET, FITZROY, 3065. TELEPHONE: (03)9417-7311 FAX: (03)9417-1813</p>	<p>LICENSED SURVEYOR Damian Leo Slattery</p> <p>SIGNATURE _____ DATE <u>15/7/00</u></p> <p>REF. 3009-1 VERSION 11-7-00</p>	<p>DATE / /</p> <p>COUNCIL DELEGATE SIGNATURE</p> <p>Original sheet size A3</p>
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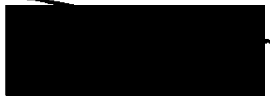
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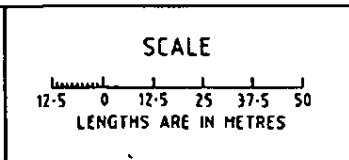
APPROVED PLAN
PLANNING AND ENVIRONMENT ACT 1987
CARDINIA PLANNING SCHEME

PERMIT No. 1000009
 SHEET 2 OF 2


SIGNED  **CARDINIA SHIRE**

DATE 30/7/00 Sheet 2 of 2 Sheets

LITTLE & BROSNAK PTY. LTD.
 A.C.N. 005 434 853
 LAND SURVEYORS, PLANNERS
 & DEVELOPMENT CONSULTANTS
 189 JOHNSTON STREET, FITZROY, 3085.
 TELEPHONE: 10319417-7311 FAX: 10319417-1813



ORIGINAL
 SCALE SHEET SIZE
 1:1250 A3

LICENSED SURVEYOR Damian Leo Slattery
 SIGNATURE  DATE 17/10/00
 REF. 3009-1 VERSION 1-7-00
3009-1.DWG

DATE / /
 COUNCIL DELEGATE SIGNATURE

X049709H


20/09/2000

\$0 173



Dated 30TH AUGUST 2000

Cardinia Shire Council
"the Council"


"the Owner"

Section 173 Agreement

Property - 


Duffy & Simon
Lawyers
23 John Street
Pakenham 3810

Tel (03) 59411622
Ref: dd;gh;00.6.1555

convey/vendor/cox11/sect173agree.doc

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Department of Environment, Land, Water & Planning

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Status	Registered	Dealing Number	AU092536S
Date and Time Lodged	28/02/2021 11:22:06 AM		

Lodger Details

Lodger Code	20747C
Name	[REDACTED]
Address	[REDACTED]
Lodger Box	
Phone	
Email	
Reference	JBM 19040373

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APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
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Estate and/or Interest

FEE SIMPLE

Land Title Reference

11081/288

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC
Postcode	3809



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant legislation and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	[REDACTED]
Signer Organisation	[REDACTED]
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	28 FEBRUARY 2021

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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Dated

Agreement made pursuant to Section 173 of the Planning and Environment Act 1987

Cardinia Shire Council

and



Subject Land:



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This Agreement is dated

Parties

Council: Cardinia Shire Council of 20 Siding Avenue, Officer Victoria 3809

Owner: [REDACTED]

Introduction

- A** Council is the responsible authority for the administration and enforcement of the Scheme pursuant to the Act.
- B** The Owner is the registered proprietor of the Land.
- C** The Land is encumbered by mortgage number AS494994L in favour of the Mortgagee. The Mortgagee has consented to the Owner entering into this Agreement. A copy of this consent is attached at Annexure B.
- D** On 15 May 2019, Council issued the Permit, which allows the subdivision of land, removal of native vegetation, removal of an easement, creation of an easement, removal of restriction on title (building and waste envelope) and associated earthworks, generally in accordance with approved plans.
- E** Condition 6 of the Permit relevantly provides:
- 6. Section 173 Agreement**
- Prior to the Statement of Compliance being issued;
- a) the owner must enter into an agreement with the Responsible Authority made pursuant to section 173 of the Planning and Environment Act 1987, and make the application to the Registrar of Titles to have the agreement registered on the title to the land under Section 181 of the Act, which provides;
- i. that on Lot 27 to 33 a 10m fire buffer and Lot 18 and 27 a 4m buffer on the eastern boundary side is to be incorporated into each allotment and be managed and maintained to a minimum fuel conditions during the declared Fire Danger Period to the satisfaction of the CFA and the Responsible Authority. There are to be no buildings or structures including clothes lines, sheds, cubby houses or tree planting within the fire buffer as shown on the endorsed plans of this permit.
- ii. the keeping of cats is prohibited within any of the lots within the approved subdivision.
- The owner must pay the reasonable costs of the preparation, execution and registration of the section 173 agreement.
- F** This Agreement is made under Division 2 of Part 9 of the Act.
- G** This Agreement has been entered into in order to:
- (a) prohibit, restrict or regulate the use or development of the Land; and

- (b) achieve and advance the objectives of planning in Victoria or the objectives of the Scheme in relation to the Land.

It is agreed:

2. Definitions and interpretation

2.1 Definitions

In this Agreement, unless the context clearly indicates otherwise:

Act means the *Planning and Environment Act 1987*;

Agreement means this Agreement, including the recitals and any annexures to this Agreement;

CFA means the Country Fire Authority established under the *Country Fire Authority Act 1958* or any successor authority;

Council means the Cardinia Shire Council or any other municipal council which may, from time to time, be the responsible authority in relation to the Land pursuant to the Act;

Fire Buffer means the fire buffer zone required to be established and maintained on the Land, in accordance with clause 5 of this Agreement and as shown on the endorsed plan name known as Proposed Development Plan (or as amended);

Fire Danger Period has the same meaning as under the *Country Fire Authority Act 1958*;

Land means all the land contained in certificate of title volume 11081 folio 288 and more particularly described as Lot A on Plan of Subdivision 611885X;

Lot means a lot resulting from the subdivision of the Land allowed by the Permit and a reference to a lot number is a reference to the corresponding Lot, as shown on the Plan;

Minimum Fuel Conditions means the state of having insufficient fuel available to significantly increase the severity of a bushfire, including a maximum grass height of 100mm;

Mortgagee means National Australia Bank Ltd or the person registered or entitled, from time to time, to be registered by the Registrar of Titles as mortgagee of the Land or any part of it;

Owner means the person or persons registered or entitled to be registered as proprietor of an estate in fee simple of the Land and includes a mortgagee-in-possession;

Permit means Planning Permit No. T130505-3 issued on 20 November 2014 and as amended on 15 May 2019;

Plan means the plan prepared by SJE Consulting with the reference 200524 version 1 and as endorsed by the Council on 15 May 2019, or as amended from time to time with the consent of Council, but generally in accordance with the plan attached as Annexure A to this Agreement;

Register means the register maintained by the Registrar of Titles under the *Transfer of Land Act 1958*; and

Scheme means the Cardinia Planning Scheme or any other planning scheme which applies to the Land from time to time.

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2.2 Interpretation

- (a) a reference to legislation or a legislative provision includes any statutory modification or substitution of that legislation or legislative provision and any subordinate legislation issued under that legislation or legislative provision;
- (b) a reference to a body or authority which ceases to exist is a reference to either a body or authority that the parties agree to substitute for the named body or authority or, failing agreement, to a body or authority having substantially the same objects as the named body or authority;
- (c) a requirement to do any thing includes a requirement to cause that thing to be done and a requirement not to do any thing includes a requirement to prevent that thing being done;
- (d) the singular includes the plural and vice-versa.

3. Commencement

This Agreement commences on the date it is made as set out above.

4. Termination of Agreement

4.1 Termination

- (a) This Agreement ends when the Owner has complied with its obligations under this Agreement.
- (b) This Agreement may be ended by agreement between the parties in accordance with the Act, or as otherwise provided for in this Agreement.

4.2 Cancellation of Agreement

As soon as reasonably practicable after this Agreement has ended wholly, in part, or as to the whole or part of the Land, Council must, at the cost of the Owner, notify the Registrar of Titles of such under section 183(1) of the Act to enable the Registrar to cancel or alter the recording of this Agreement on the Register as may be applicable.

5. Owner's Covenants

5.1 Fire Buffer

The Owner covenants and agrees that:

- (a) a 10m Fire Buffer on Lots 27 to 33 (inclusive) must be maintained on the northern boundary side of those Lots;
- (b) a 4m Fire Buffer on Lots 18 and 27 must be maintained on the eastern boundary side of those Lots;
- (c) the Fire Buffers required under clause 5.1(a) and (b) must be managed and maintained to Minimum Fuel Conditions during the declared Fire Danger Period to the satisfaction of the CFA and Council; and
- (d) no tree planting, buildings or structures, including clotheslines, sheds, and cubby houses, are permitted within the Fire Buffer.

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5.2 Keeping of cats prohibited

The Owner covenants and agrees that cats must not be kept or allowed to be kept on the Land.

6. Successors in title

Until this Agreement is recorded in the Register in accordance with section 181 of the Act, the Owner must ensure that the Owner's successors in title give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement, including requiring the successors in title to execute a deed agreeing to be bound by the terms of this Agreement. Until that deed is executed, the Owner remains liable to perform all of the Owner's obligations contained in this Agreement.

7. Recording of agreement

The Owner must do all things necessary to give effect to this Agreement and to enable Council to record this Agreement on the folio of the Register which relates to the Land, including signing any further agreement, acknowledgment, or document.

8. Payment of Council's costs

- (a) The Owner agrees to, upon demand, pay to Council the costs and expenses of and incidental to the preparation, execution, recording and enforcement of this Agreement incurred by Council.
- (b) The Owner agrees to pay interest to Council in accordance with section 227A of the *Local Government Act 1989* on any amount payable under this Agreement that is not paid by the due date.

9. Covenants run with the Land

The Owner's obligations under this Agreement take effect as covenants which shall be annexed to and run at law and in equity with the Land and every part of it, and bind the Owner, its successors, assignees and transferees, and the registered proprietor for the time being of the whole or any part of the Land.

10. No fettering of Council's powers

- (a) This Agreement does not fetter or restrict Council's power or discretion in respect of any of Council's decision making powers, including but not limited to, to make decisions under the *Local Government Act 1989* and the Act, to make or impose requirements or conditions in connection with any use or development of the Land, the granting of any planning permit, the approval or certification of any plans of subdivision or consolidation relating to the Land, or the issue of a statement of compliance in connection with any such plans.
- (b) The Owner acknowledges that Council's entry into this Agreement does not place any obligations upon Council with respect to the grant of a permit for the subdivision or use and development of the Land.

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Execution page

SIGNED, SEALED AND DELIVERED as a deed by the parties on the date set out at the commencement of this Agreement.

THE COMMON SEAL of the CARDINIA SHIRE COUNCIL was affixed on this 17 day of August 2020 in the presence of [redacted], being a delegated officer pursuant to Local Law No. 16 (2014) under a delegation dated 20 May 2019.

[redacted]

V01 : 10147733 - 1
dcdl: 6/5/2020



Manager Development and Compliance Services

Executed by [redacted] in accordance with section 127 of the Corporations Act 2001:

[redacted]

Signature of Director

[redacted]

Signature of Director

[redacted]

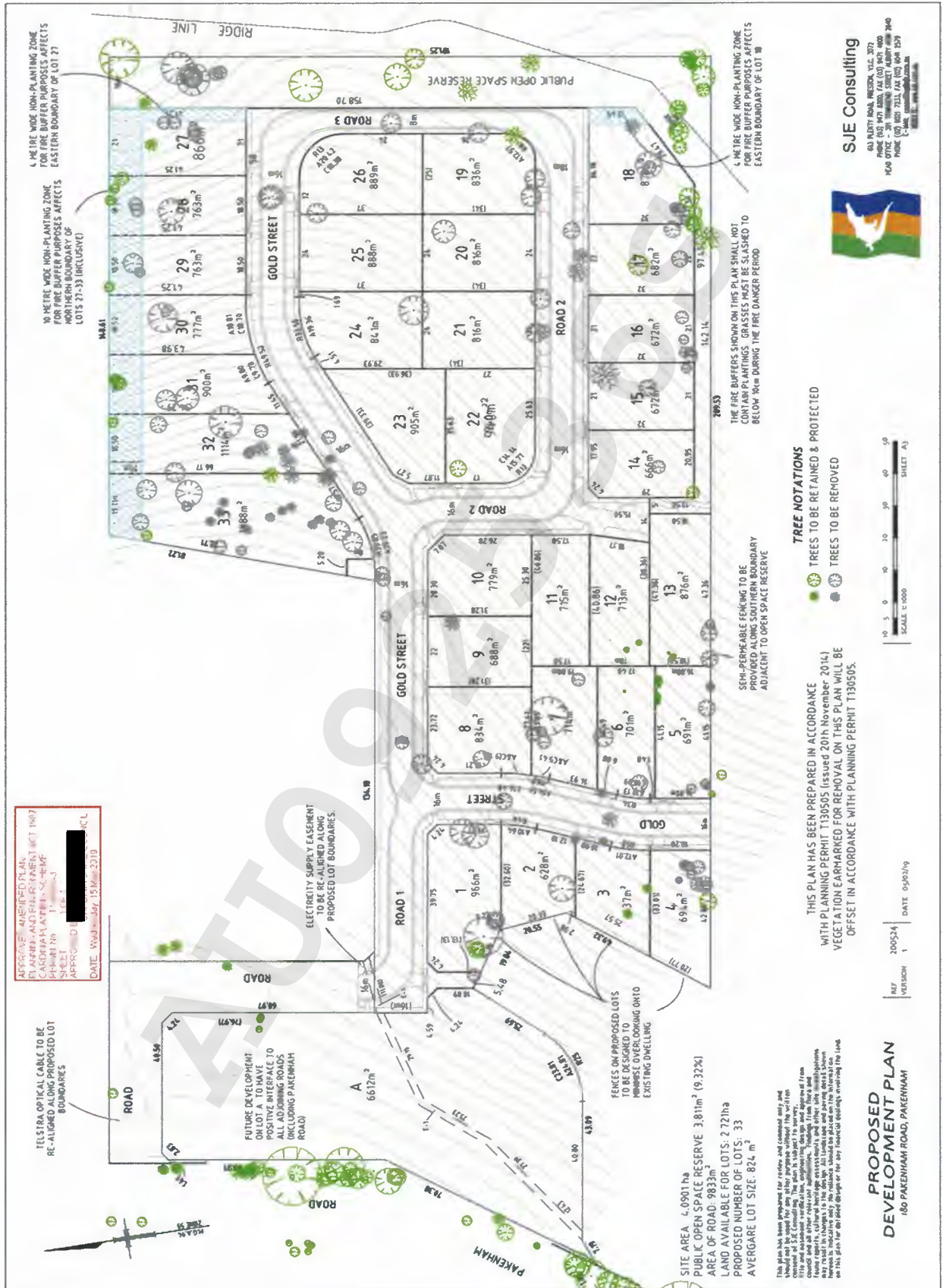
Name of Director

[redacted]

Name of Director

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Annexure A - Endorsed Plan



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Annexure B - Mortgagee Consent

National Australia Bank Ltd, as Mortgagee under mortgage no. AS494994L which encumbers the Land, consents to the Owner entering into this Agreement.

.....
Signature

.....
Print Name

.....
Title

AU092536S

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Registrar of Titles
Land Titles Office
2 Lonsdale Street
MELBOURNE

**APPLICATION TO REGISTER AN AGREEMENT UNDER SECTION 173 OF THE
PLANNING AND ENVIRONMENT ACT 1987**

Certificate of Title Volume 11081 Folio 288

Registered Proprietor/s: [REDACTED]

National Australia Bank Limited A.B.N. 12 004 044 937 as Mortgagee pursuant to Registered Mortgage number AS494994L hereby consents to the within Agreement.

Dated this _____ day of _____ 20_____

EXECUTED by **NATIONAL AUSTRALIA BANK LIMITED** by being signed sealed and delivered in Victoria by its Attorney)

who holds the position of Level 3 Attorney under Power of Attorney dated 1/3/2007 (a certified copy of which is filed in Permanent Order Book No 277 Page No 025 Item 35) in the presence of:)

[REDACTED]

Signature of Witness

[REDACTED]

) Attorney

[REDACTED]

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2 July 2024

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Jake Da Ros

Plan form

[REDACTED]
[REDACTED]

Email: info@planform.com.au

Dear Jake

16 Blessing Rise, PAKENHAM (Lot 24 PS 804765)

Response to application under Pakenham Rise Residential Design Guidelines

Thank you for your revised application under the Residential Design Guidelines for 16 Blessing Rise, Pakenham and revisions to the plans following liaison with the Independent Design Review Panel (IDRP).

We are pleased to advise that the IDRP have approved your plans under the Pakenham Rise Residential Design Review Guidelines, without conditions.

Please find attached the following documents which form part of the approved documentation:

- **House Plans – Project 8002024 – 16 Blessing Rise, Pakenham, Drawn by EY at Plan Form, Received 2 July 2024, Sheet no. 3, 4, 5 & 6; and,**
- **Landscape Plan – Project 8002024 – 16 Blessing Rise, Pakenham, Drawn by EY at Plan Form, Received 2 July 2024, Sheet no. 11.**

Should you have any questions or clarification on the approved documentation, the conditions of approval or the assessment process, please do not hesitate to contact us at consulting@sje.com.au

[REDACTED]
SJE CONSULTING

ALBURY: 391 Townsend Street Albury NSW 2640
MELBOURNE: 613 Plenty Road, Preston VIC 3072

Ph: 02 6021 7233 Fax: 02 6041 2579
Ph: 03 9471 8200 Fax: 03 9471 4900

Email: consulting@sje.com.au
Website: www.sje.com.au



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WORKING DRAWINGS

FOR

PROPOSED DWELLING

AT

NO.16 BLESSING RISE
PAKENHAM, VIC 3816

FOR



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DRAWING SCHEDULE : ON A3 PAGES

- PG 1 – TITLE / GENERAL NOTES
- PG 2 – GENERAL NOTES
- PG 3 – SITE / ROOF PLAN
- PG 4 – GROUND FLOOR PLAN
- PG 5 – ELEVATIONS
- PG 6 – ELEVATIONS
- PG 7 – SECTION / DETAILS
- PG 8 – DETAILS
- PG 9 – DETAILS
- PG 10 – DETAILS
- PG 11 – ELECTRICALS
- PG 12 – SLAB PLAN
- PG 13 – LANDSCAPE PLAN
- PG 14 – LANDSCAPE PLAN

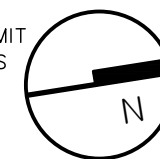


DRAWING TITLE
TITLE / GENERAL NOTES

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PROJECT:
PROPOSED DWELLING
AT:
NO.16 BLESSING RISE PAKENHAM
VIC
FOR:

DRAWN:	EY	REV	DATE	AMENDMENT	REV	DATE	AMENDMENT
DATE:	13.04.2024	–	13.4	CONTRACT PLANS	E	15.8	BUILDING PERMIT
SCALE:	1:100 (A3)	A	20.5	MINOR CHANGES	F	9.10	COUNCIL ITEMS
JOB NO:	8002024	B	28.5	AMENDMENT			
STATUS:	WD	D	12.7	CONS. DWG			
PG NO:	01						



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SITE & AREA ANALYSIS

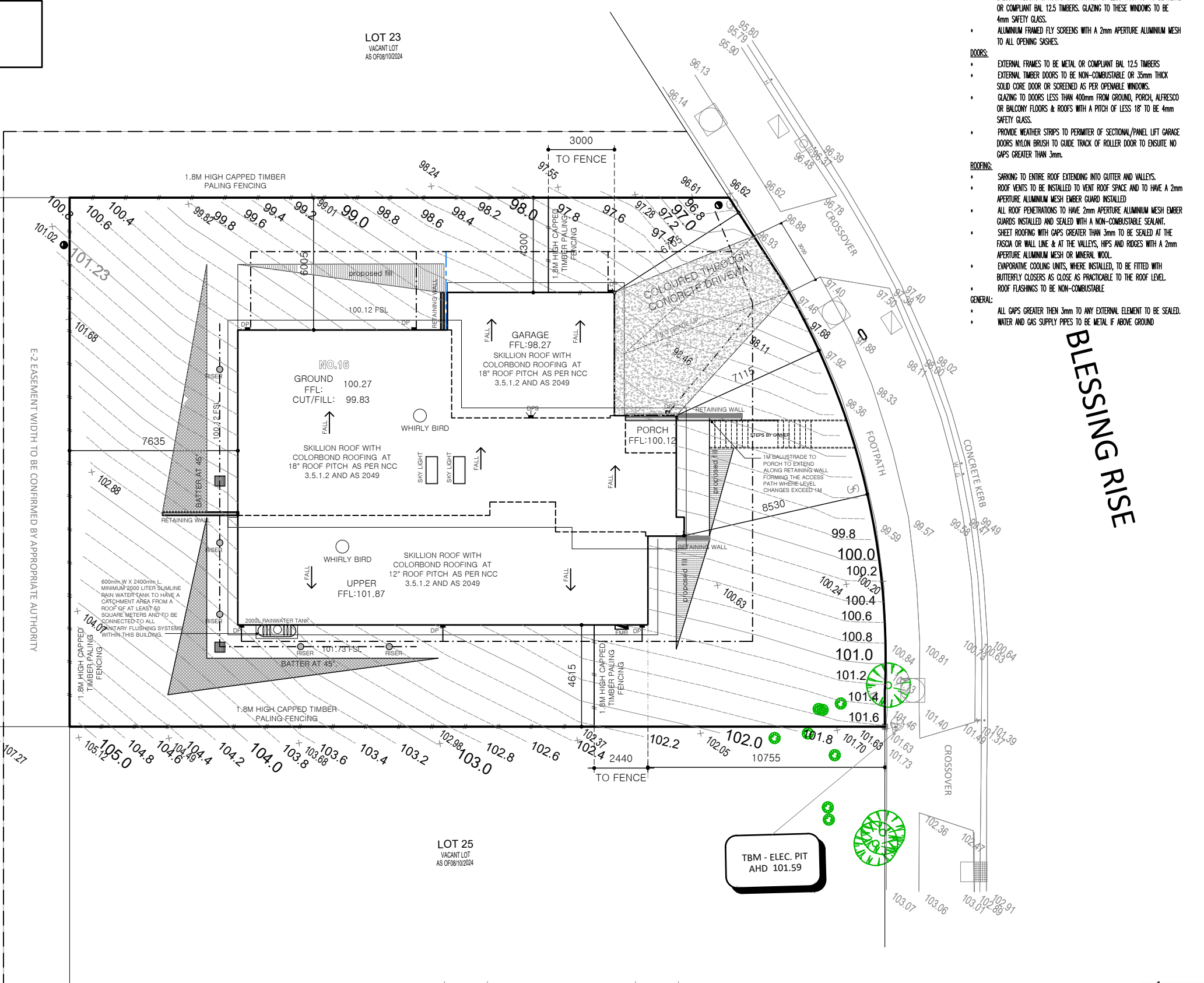
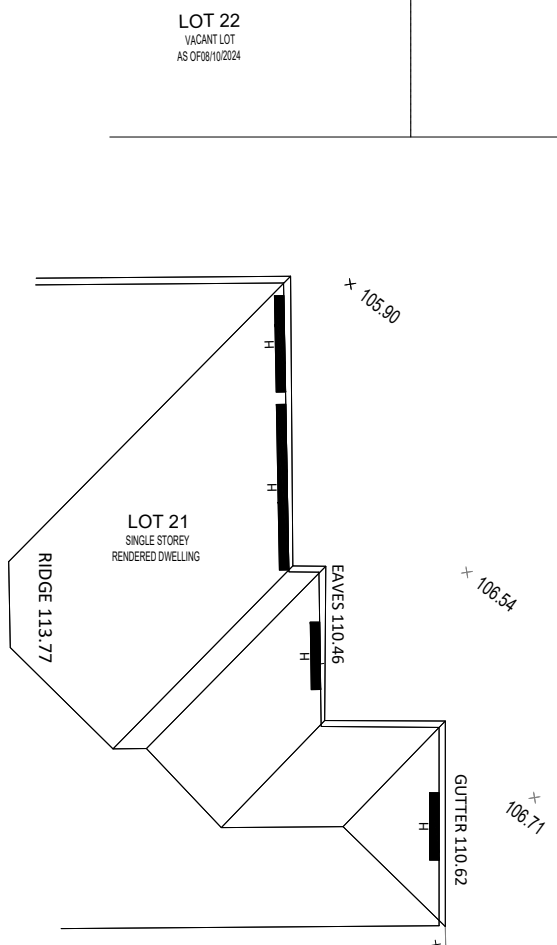
SITE (APPROX)	M2	%
SITE COVERAGE	841	
PERMEABILITY	263.27	31.30
GARDEN AREA	531.90	63.25
PROPOSED DWELLING		
DWELLING	AREA	SQM
GARAGE	217.05	23.36
PORCH	42.34	4.56
	3.88	0.42
TOTAL AREA	263.27	28.34

LEGEND

- DP ■ 100 x 50mm SELECTED COLORBOND DOWNPIPE
- RWH ☒ 100 x 50mm COLORBOND DOWNPIPE WITH SELECTED RAIN WATER HEAD
- CON. ● CONCEALED DOWNPIPE WITHIN STRUCTURE
- FLOOR WAIST ○ FLOOR WAIST
- (TAP) EXTERNAL TAP POINT
- (R/T) RECYCLED WATER TAP
- (GM) GAS METER
- (WT) WATER METER
- BG1 100MM DEEP X 400MM WIDE COLORBOND BOX GUTTER (ADJUST ON SITE TO SUITE)
- ← DIRECTION OF ROOF FALL
- MIN. 100 Ø mm U.P.V.C. SEWER DRAIN CLASS "SH" CONNECTED INTO LEGAL POINT OF DISCHARGE AS DIRECTED BY LOCAL AUTHORITY.
- 100mm PVC RISER PIPE CONNECTOR TO STORMWATER DISCHARGE PIPE
- ▨ GRATED INLET PIT/SILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE
- AGI --- PROVIDE AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO SILT TRAP AT 1:00 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.

DRAINAGE NOTES:
 ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS2870-2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:
 • SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION.
 • THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING.
 • WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER.
 FOR BUILDINGS ON HIGHLY AND REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING DRAINS AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4 PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.
 SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1000MM FROM THE DWELLING
 SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH NCC 2022 PART 3.3 ABCB SHALL BE INSTALLED FOR GROUNDWATER OR AGGRESSIVE SOILS

SITE CUT AND FILL TO BE MINIMUM OF 1.2M FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45° SITE CUTS/FILLING WORKS NOT TO SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF A 45° AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING.



- BUSH FIRE ATTACK SPECIFICATIONS:**
- FLOORS:**
 FOLLOWING ITEMS TO COMPLY WITH BAL-12.5
 EXTERNAL WALLS:
 • CONCRETE SLAB ON GROUND
 • WEEP HOLES TO ENTIRE HOUSE TO BE SCREENED WITH A 2mm APERTURE ALUMINUM MESH
 • ALL GAPS GREATER THAN 3mm IN EXTERNAL CLADDING TO BE SEALED
 • EXTERNAL CLADDING LESS THAN 400mm FROM GROUND, PORCH, ALFRESCO OR BALCONY FLOORS & ROOFS WITH A PITCH OF LESS THAN 18° TO BE NON-COMBUSTIBLE OR 6mm FIBRE-CEMENT.
WINDOWS:
 • WINDOWS LESS THAN 400mm FROM GROUND, PORCH, ALFRESCO OR BALCONY FLOORS & ROOFS WITH A PITCH OF LESS THAN 18° TO BE METAL OR COMPLIANT BAL 12.5 TIMBERS. GLAZING TO THESE WINDOWS TO BE 4mm SAFETY GLASS.
 • ALUMINUM FRAMED FLY SCREENS WITH A 2mm APERTURE ALUMINUM MESH TO ALL OPENING SASHES.
DOORS:
 • EXTERNAL FRAMES TO BE METAL OR COMPLIANT BAL 12.5 TIMBERS
 • EXTERNAL TIMBER DOORS TO BE NON-COMBUSTIBLE OR 35mm THICK SOLID CORE DOOR OR SCREENED AS PER OPENABLE WINDOWS.
 • GLAZING TO DOORS LESS THAN 400mm FROM GROUND, PORCH, ALFRESCO OR BALCONY FLOORS & ROOFS WITH A PITCH OF LESS THAN 18° TO BE 4mm SAFETY GLASS.
 • PROVIDE WEATHER STRIPS TO PERIMETER OF SECTIONAL/PANEL LIFT GARAGE DOORS NYLON BRUSH TO GUIDE TRACK OF ROLLER DOOR TO ENSURE NO GAPS GREATER THAN 3mm.
ROOFING:
 • SARKING TO ENTIRE ROOF EXTENDING INTO GUTTER AND VALLEYS.
 • ROOF VENTS TO BE INSTALLED TO VENT ROOF SPACE AND TO HAVE A 2mm APERTURE ALUMINUM MESH EMER GUARD INSTALLED
 • ALL ROOF PENETRATIONS TO HAVE 2mm APERTURE ALUMINUM MESH EMER GUARDS INSTALLED AND SEALED WITH A NON-COMBUSTIBLE SEALANT.
 • SHEET ROOFING WITH GAPS GREATER THAN 3mm TO BE SEALED AT THE FACIA OR WALL LINE & AT THE VALLEYS, HIPS AND RIDGES WITH A 2mm APERTURE ALUMINUM MESH OR MINERAL WOOL.
 • EVAPORATIVE COOLING UNITS, WHERE INSTALLED, TO BE FITTED WITH BUTTERFLY CLOSERS AS CLOSE AS PRACTICABLE TO THE ROOF LEVEL.
 • ROOF FLASHINGS TO BE NON-COMBUSTIBLE
GENERAL:
 • ALL GAPS GREATER THAN 3mm TO ANY EXTERNAL ELEMENT TO BE SEALED.
 • WATER AND GAS SUPPLY PIPES TO BE METAL IF ABOVE GROUND

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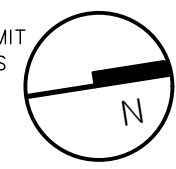


DRAWING TITLE
SITE/ROOF PLAN

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PROJECT:
PROPOSED DWELLING
 AT:
NO.16 BLESSING RISE PAKENHAM VIC
 FOR:

DRAWN:	EY	REV	DATE	AMENDMENT	REV	DATE	AMENDMENT
DATE:	13.04.2024	-	13.4	CONTRACT PLANS	E	15.8	BUILDING PERMIT COUNCIL ITEMS
SCALE:	1:200 (A3)	A	20.5	MINOR CHANGES	F	9.10	
JOB NO:	8002024	B	28.5	AMENDMENT			
STATUS:	WD	D	12.7	CONS. DWG			
PG NO:	03						



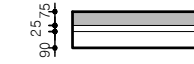
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WALL CONSTRUCTION

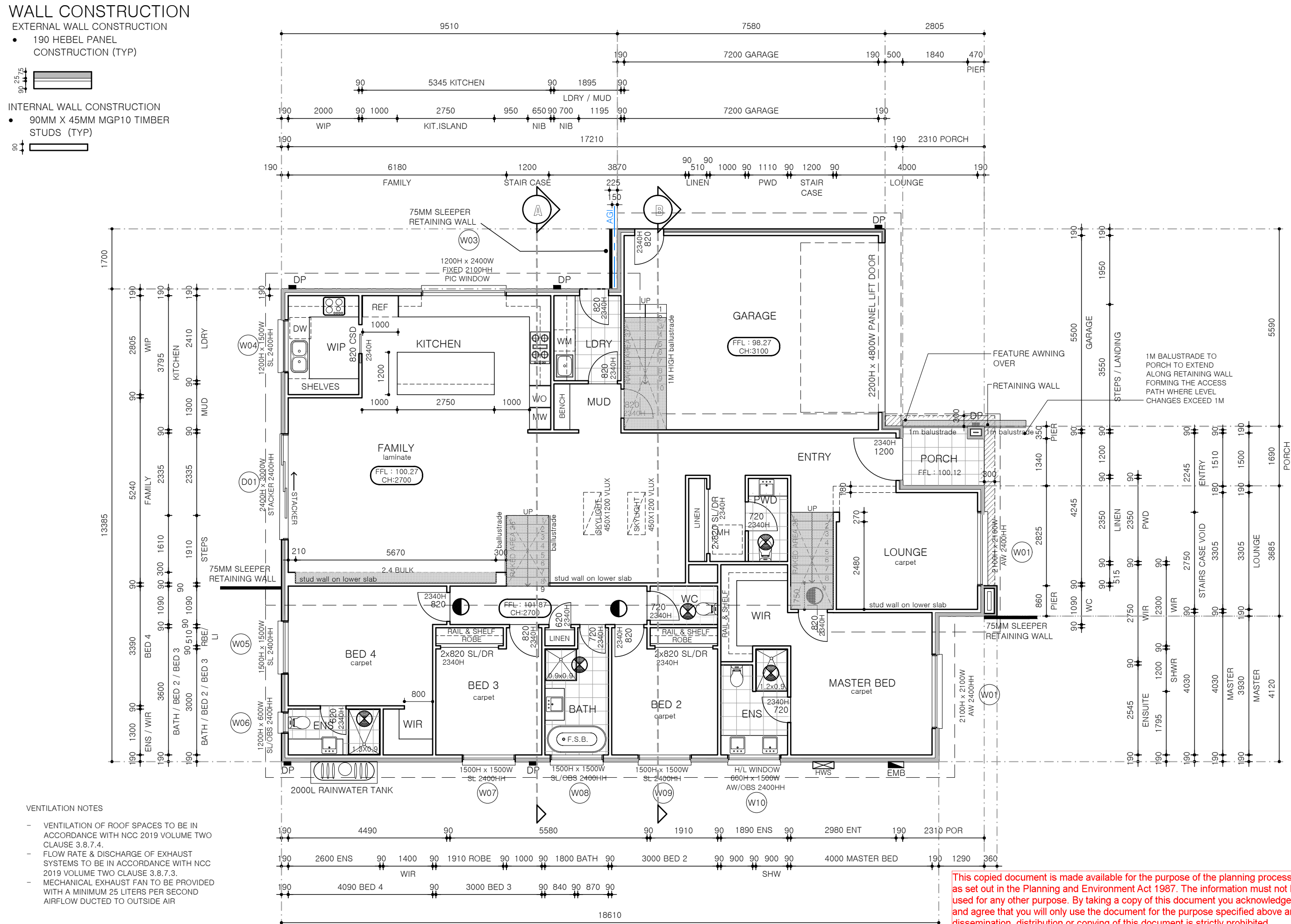
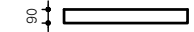
EXTERNAL WALL CONSTRUCTION

- 190 HEBEL PANEL CONSTRUCTION (TYP)



INTERNAL WALL CONSTRUCTION

- 90MM X 45MM MGP10 TIMBER STUDS (TYP)



VENTILATION NOTES

- VENTILATION OF ROOF SPACES TO BE IN ACCORDANCE WITH NCC 2019 VOLUME TWO CLAUSE 3.8.7.4.
- FLOW RATE & DISCHARGE OF EXHAUST SYSTEMS TO BE IN ACCORDANCE WITH NCC 2019 VOLUME TWO CLAUSE 3.8.7.3.
- MECHANICAL EXHAUST FAN TO BE PROVIDED WITH A MINIMUM 25 LITERS PER SECOND AIRFLOW DUCTED TO OUTSIDE AIR

LEGEND

- SELECTED CONCRETE FINISH
- SELECTED WET AREAS (TILED)
- ROOF ACCESS HOLE
- SMOKE ALARM
- EXHAUST FAN
- ARTICULATION JOINT
- PLUMBING STACK
- CAPPED GAS POINT
- CAPPED WATER POINT
- FLOOR WAISTER
- EXTERNAL TAP POINT
- GAS METER
- CHANGED CEILING

NOTES

- ALL GLAZING INCLUDING MIRRORS WITHIN 2000MM ABOVE THE FLOOR LEVEL IN BATHROOMS, ENSUITES, AND ROOMS OR ENCLOSURES CONTAINING SPAS SHALL BE GRADE A SAFETY GLASS OR GRADE B SAFETY GLASS IN ACCORDANCE WITH SECTION 5.8 OF AS 1288-2006.
- ALL WATERPROOFING TO BE IN ACCORDANCE WITH TABLE 3.8.1.1 NCC 2019 AND AS3740 - 2010.
- PROVIDE P4 (WET SURFACE) AND P3 (DRY SURFACE) CLASSIFICATION SLIP RESISTANCE TO LANDING EDGE STRIP, NOSING OR TREAD SURFACE IN ACCORDANCE WITH AS 4586.
- WALL AND FLOOR FINISHES TO WET AREAS ARE TO BE IN ACCORDANCE WITH BCA PART 3.8.1. SHOWER TO BE ENCLOSED BY SCREENS INCLUDING HINGED OR SLIDING DOORS THAT CONTROL THE SPREAD OF WATER WITHIN THE ENCLOSURE.
- ALL SMOKE DETECTORS TO BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH NCC 2019 SMOKE ALARMS TO BE KEPT 300MM MIN. FROM WALLS, BULKHEADS, DOORWAYS ECT.
- WHERE DOOR THRESHOLD EXCEEDS 190mm ABOVE FINISHED GROUND LEVEL PROVIDE A LANDING, A MIN. WIDTH, THE WIDTH OF THE DOOR LEAF OPENING ONTO THE STEPS:- RISER - 190 MAX.TREAD - 240 MIN.

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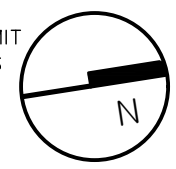


DRAWING TITLE
GROUND FLOOR PLAN

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PROJECT:
PROPOSED DWELLING
AT:
NO.16 BLESSING RISE PAKENHAM VIC
FOR:

DATE	BY	REVISION	DESCRIPTION
13.04.2024	EY	13.4	CONTRACT PLANS
20.5	A	20.5	MINOR CHANGES
28.5	B	28.5	AMENDMENT
12.7	D	12.7	CONS. DWG



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FINISHES SCHEDULE

- 01 FINISH 01
RENDER FINISH 1
COLOUR: SHALE GREY

- 02 FINISH 02
RENDER FINISH 2 -
COLOUR: DOVER WHITE

- 03 FINISH 03
JAMES HARDIE - SCYON AXON
COLOUR: MONUMENT

- 04 FINISH 04
STACKED STONE
COLOUR: GREY

- 05 FINISH 05
COLORBOND ROOF
COLOUR: BASLAT

- 06 FINISH 06
PAVING AND DRIVEWAY
COLOUR THROUGH -
CHARCOAL

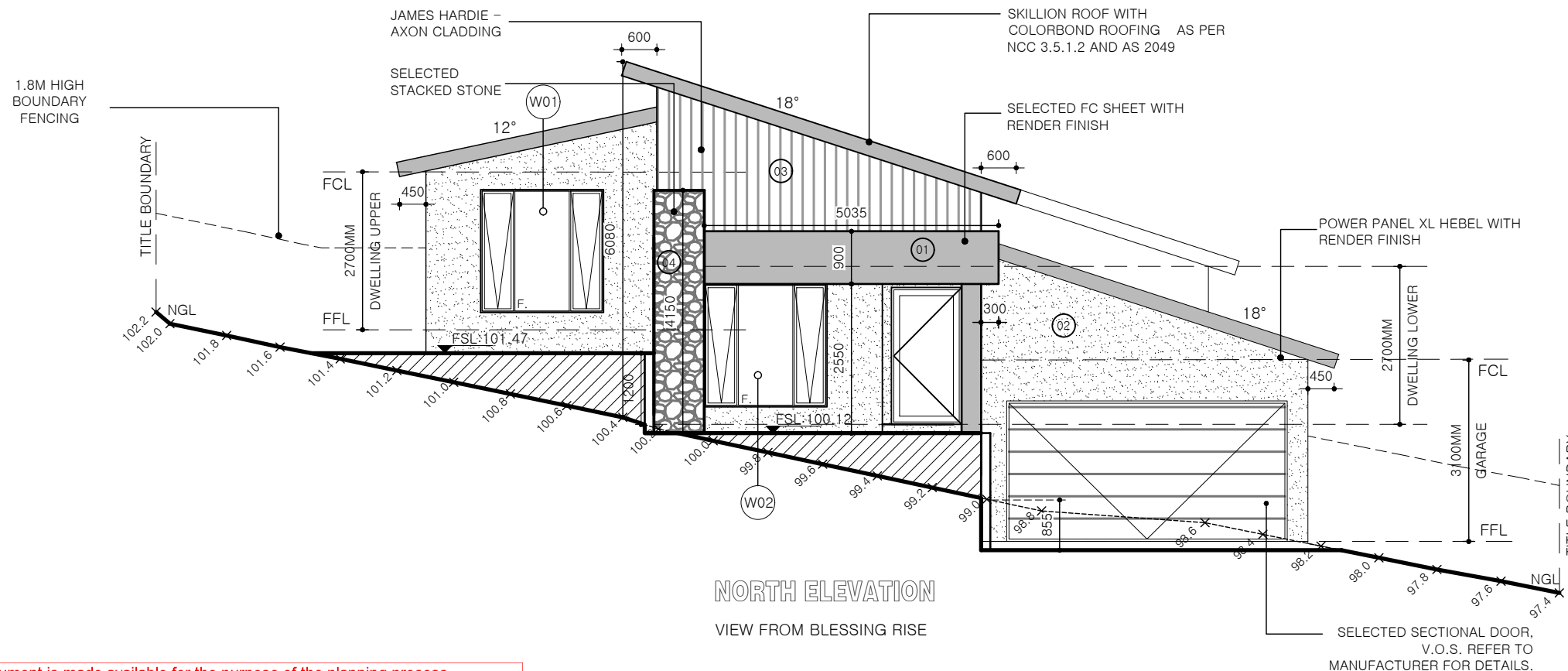
- 07 FINISH 07
FASCIA / GUTTERS /
DOWNPIPES COLORBOND
COLOUR: BASLAT

- 08 FINISH 08
ALUMINIUM FRAMED
WINDOWS/DOORS
COLOUR: MONUMENT

- 09 FINISH 09
SELECTED SECTIONAL
GARAGE DOOR -
COLOUR: COABA

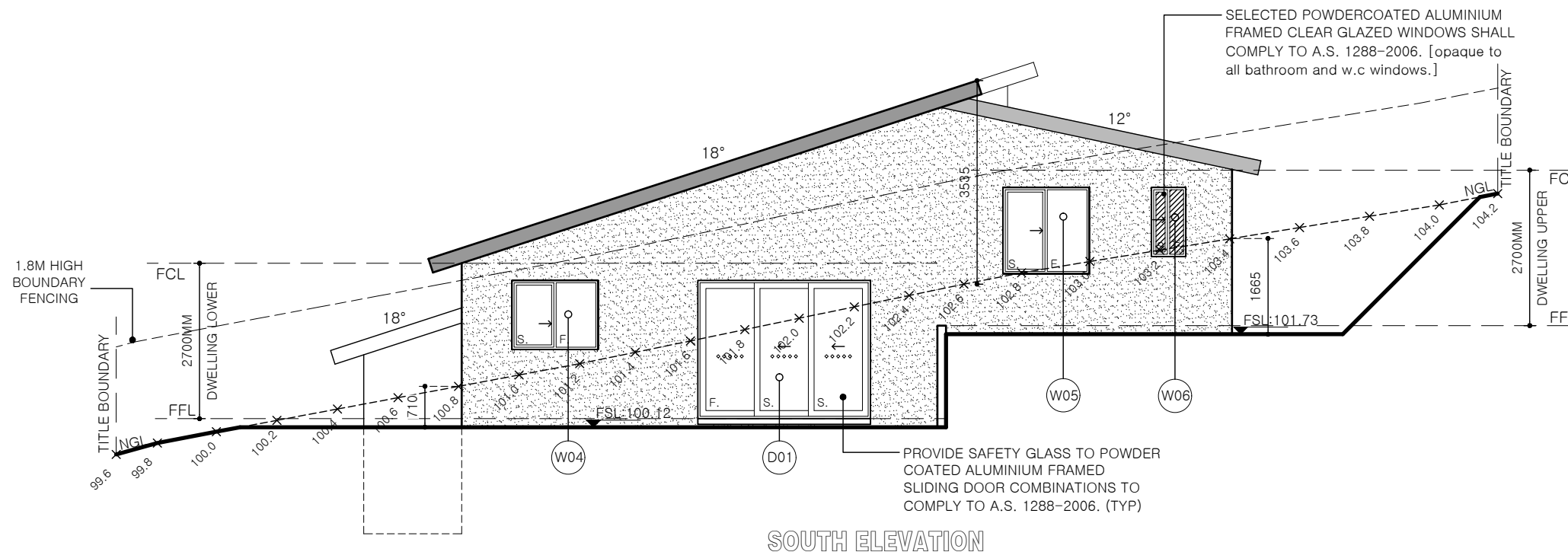
- 10 FINISH 10
METER BOX -
COLOUR: DOVER WHITE

- 10 FINISH 11
FRONT DOOR -
COLOUR: MERBAU

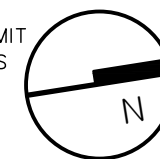


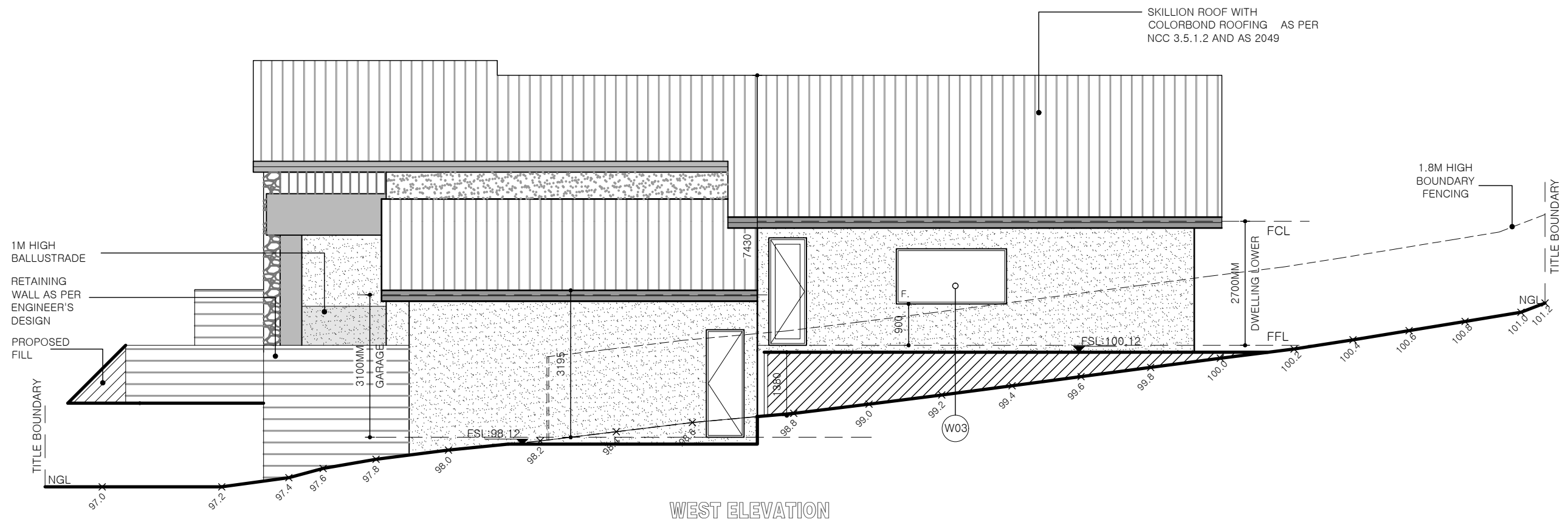
NORTH ELEVATION
VIEW FROM BLESSING RISE

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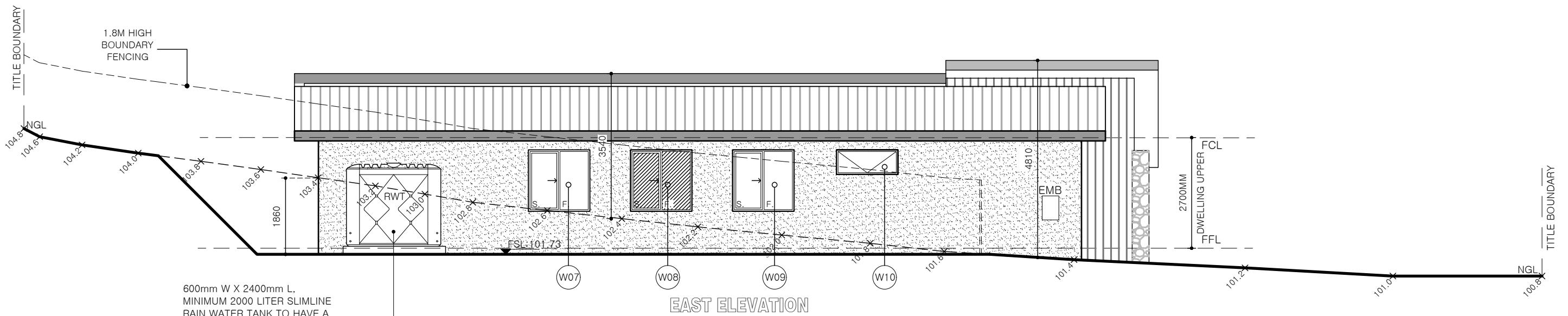


SOUTH ELEVATION





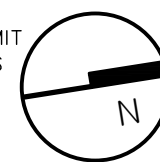
WEST ELEVATION

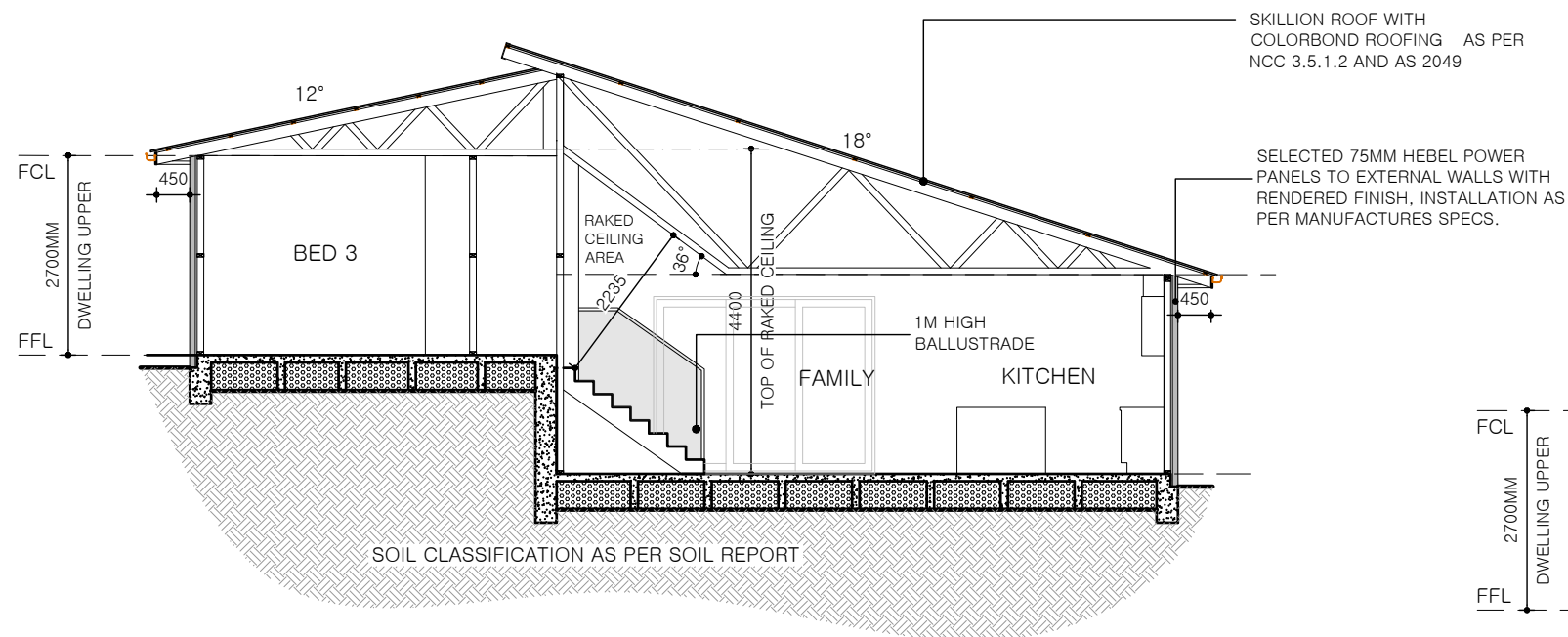


EAST ELEVATION

600mm W X 2400mm L,
MINIMUM 2000 LITER SLIMLINE
RAIN WATER TANK TO HAVE A
CATCHMENT AREA FROM A
ROOF OF AT LEAST 50
SQUARE METERS AND TO BE
CONNECTED TO ALL
SANITARY FLUSHING SYSTEMS
WITHIN THIS BUILDING.

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SECTION A
SCALE 1:100

SKILLION ROOF WITH COLORBOND ROOFING AS PER NCC 3.5.1.2 AND AS 2049

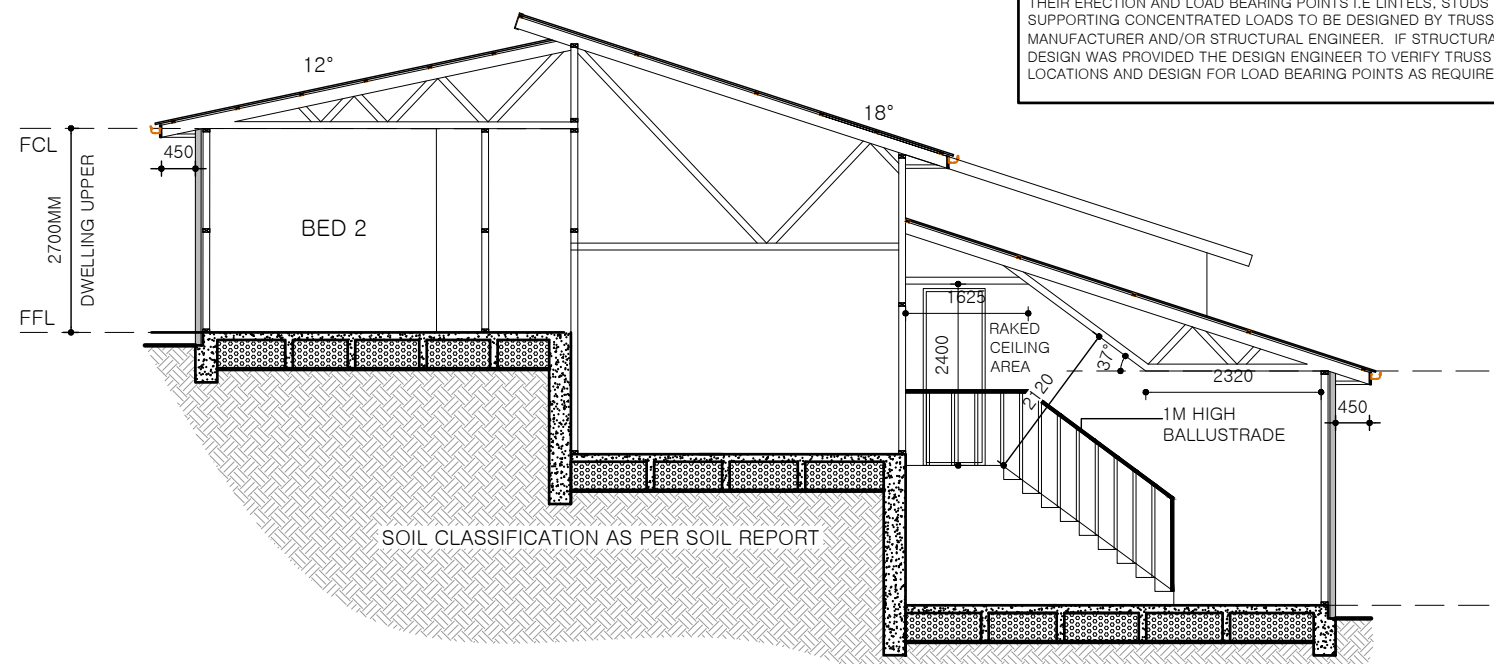
SELECTED 75MM HEBEL POWER PANELS TO EXTERNAL WALLS WITH RENDERED FINISH, INSTALLATION AS PER MANUFACTURES SPECS.

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STRUCTURAL TIMBER WORK – ALL STRUCTURAL TIMBER WORK AND ASSOCIATED CONNECTIONS SHALL COMPLY WITH A.S. 1720 TIMBER STRUCTURES CODE. ALL TIMBER MEMBERS SHALL BE STRESS GRADED AND MARKED IN ACCORDANCE WITH A.S. 2858, A.S. 1748, A.S. 1749 AND B.C.A. ALL TIMBER FRAMING INCLUDING FLOORS, WALLS AND ROOF, SHALL COMPLY WITH AS 1684 TIMBER FRAMING CODE. ALL WALL BRACING SHALL BE IN ACCORDANCE WITH A.S. 1684.

PROVIDE 10mm EXPANSION JOINTS @ 5000 MAX. CRS. IN MASONRY WALLS ABOVE OR CLOSE TO JUNCTIONS BETWEEN: DIFFERENT TYPES OF FOOTING SYSTEMS, FOOTINGS FOUNDED AT SIGNIFICANTLY DIFFERENT DEPTHS, OR FOOTINGS FOUNDED ON SIGNIFICANTLY DIFFERENT MATERIALS. (ie. CLAY & ROCK) ALSO WHERE NEW BRICKWORK ABUTTS EXISTING BRICKWORK.

TRUSS MANUFACTURERS SPECIFICATIONS TO BE PROVIDED PRIOR TO THEIR ERECTION AND LOAD BEARING POINTS I.E LINTELS, STUDS SUPPORTING CONCENTRATED LOADS TO BE DESIGNED BY TRUSS MANUFACTURER AND/OR STRUCTURAL ENGINEER. IF STRUCTURAL DESIGN WAS PROVIDED THE DESIGN ENGINEER TO VERIFY TRUSS LOCATIONS AND DESIGN FOR LOAD BEARING POINTS AS REQUIRED.



SECTION B
SCALE 1:100

SELECTED COLORBOND ROOFING AT 22.5° PITCH. ROOFING SHALL COMPLY TO A.S. 2050 – 2002 & A.S. 2049 – 2002. (TYP).

REFER TO TRUSS MANUFACTURERS DOCUMENTATION FOR ALL DETAILS ON PRE-FABRICATED ROOF FRAMING (TYP) @ 900 cts. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO MANUFACTURE & INSTALLATION.

ROOF BATTENS: 38x75 F8 H.W. AT 900 CRS

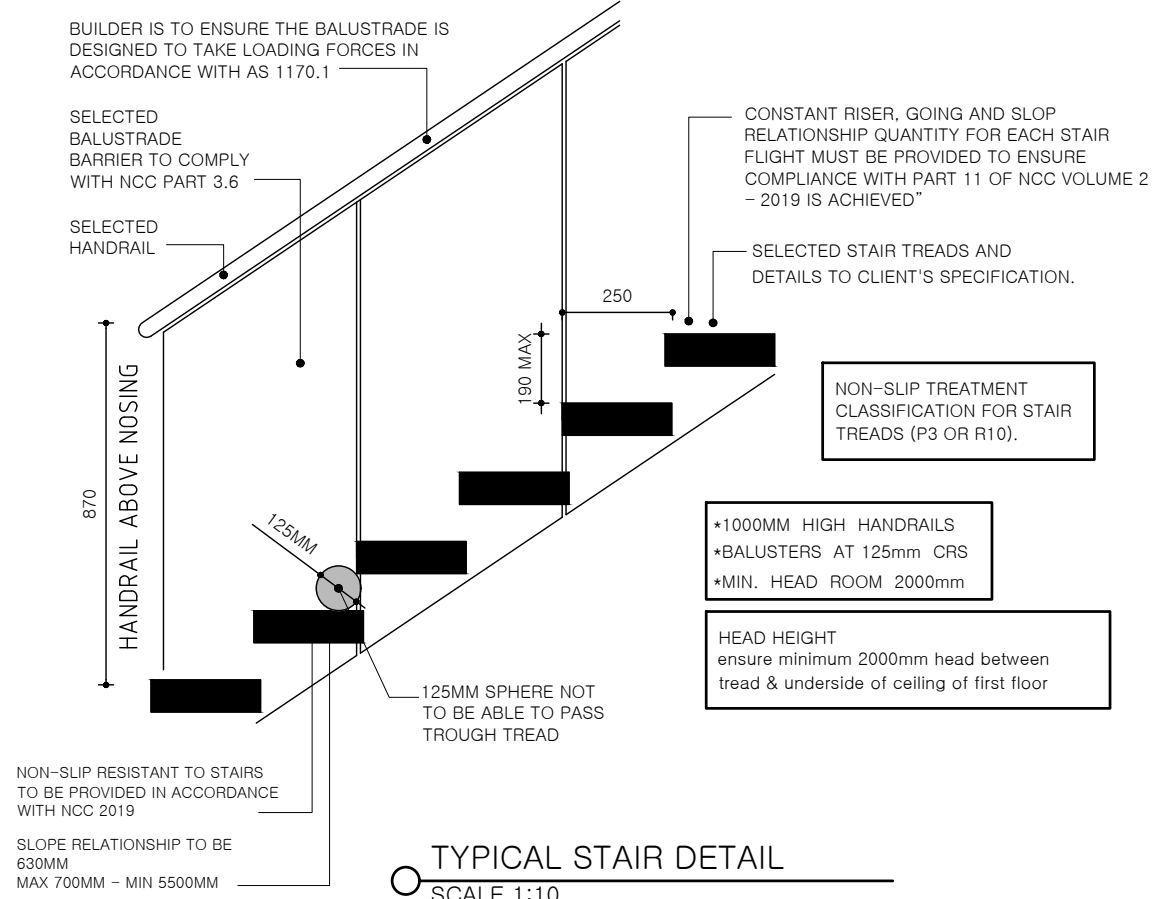
SELECTED COLORBOND GUTTER SET TO FALL 1 IN 500mm FIXED TO A COLORBOND FASCIA (TYP) WHERE HIGH FRONTED GUTTERS ARE INSTALLED, PROVISIONS MUST BE MADE TO AVOID ANY OVERFLOW FROM FLOWING BACK INTO INTO THE ROOF OR BUILDING STRUCTURE BY INSTALLING SLOTTED GUTTERS OR THE LIKE (TYP)

10mm PLASTERBOARD WALL & CEILING LINING, FOR FIXING REFER TO MANUFACTURERS DETAILS. STUDS AT 450 MAX. CENTRES. (TYP)

STUDS:90X45 MGP10 AT 450 CRS WITH NOGGINS AT 1350 MAX CRS

SELECTED 75MM HEBEL POWER PANELS TO EXTERNAL WALLS WITH RENDERED FINISH, INSTALLATION AS PER MANUFACTURES SPECS.

450 EAVE DETAIL
SCALE 1:20



TYPICAL STAIR DETAIL
SCALE 1:10

BUILDER IS TO ENSURE THE BALUSTRADE IS DESIGNED TO TAKE LOADING FORCES IN ACCORDANCE WITH AS 1170.1

SELECTED BALUSTRADE BARRIER TO COMPLY WITH NCC PART 3.6

SELECTED HANDRAIL

CONSTANT RISER, GOING AND SLOP RELATIONSHIP QUANTITY FOR EACH STAIR FLIGHT MUST BE PROVIDED TO ENSURE COMPLIANCE WITH PART 11 OF NCC VOLUME 2 – 2019 IS ACHIEVED"

SELECTED STAIR TREADS AND DETAILS TO CLIENT'S SPECIFICATION.

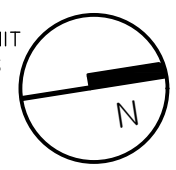
NON-SLIP TREATMENT CLASSIFICATION FOR STAIR TREADS (P3 OR R10).

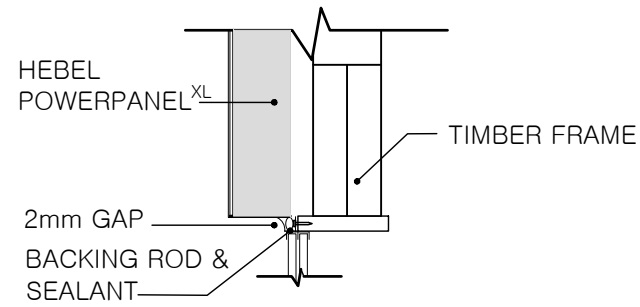
*1000MM HIGH HANDRAILS
*BALUSTERS AT 125mm CRS
*MIN. HEAD ROOM 2000mm

HEAD HEIGHT ensure minimum 2000mm head between tread & underside of ceiling of first floor

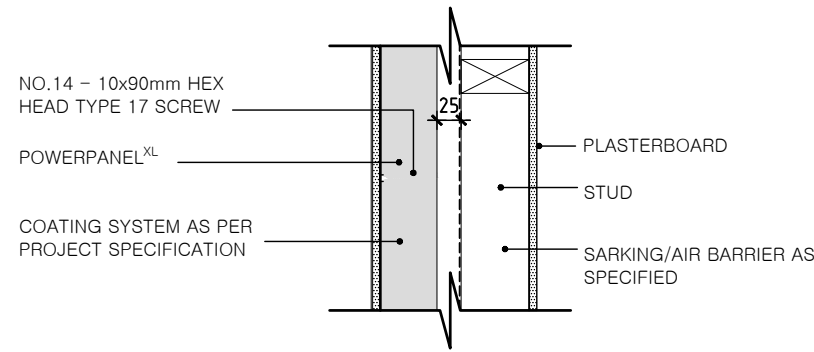
NON-SLIP RESISTANT TO STAIRS TO BE PROVIDED IN ACCORDANCE WITH NCC 2019

SLOPE RELATIONSHIP TO BE 630MM MAX 700MM – MIN 5500MM





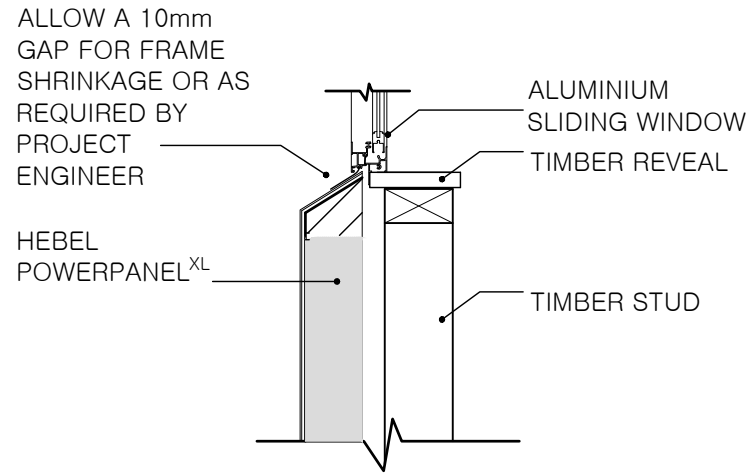
HEBEL HEADER DETAIL
SCALE 1:5



HEBEL POWERPANEL XL EXTERNAL FIXING DETAIL
SCALE 1:10

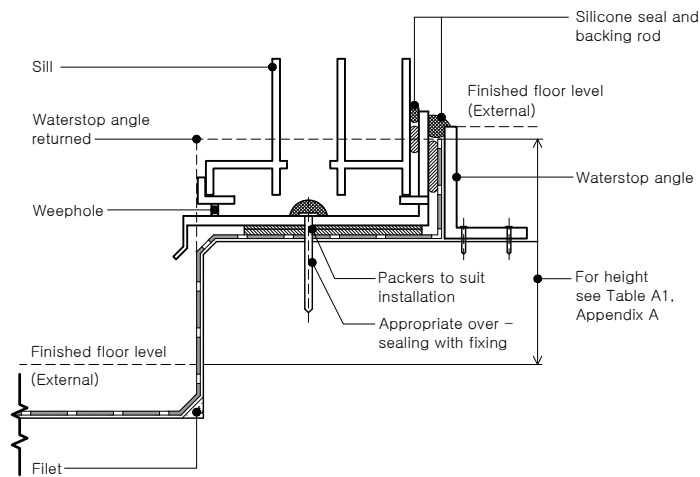
CONTACT HEBEL TECHNICAL SERVICES FOR INTERNAL FIX BOUNDARY LINE DETAILS.

NOTE: WHEN POSITIONING THE STUD FRAMES ALLOW 5-7mm EXTRA CAVITY WIDTH FOR THE SHEET BRACING BETWEEN TOP HAT AND TIMBER STUD.

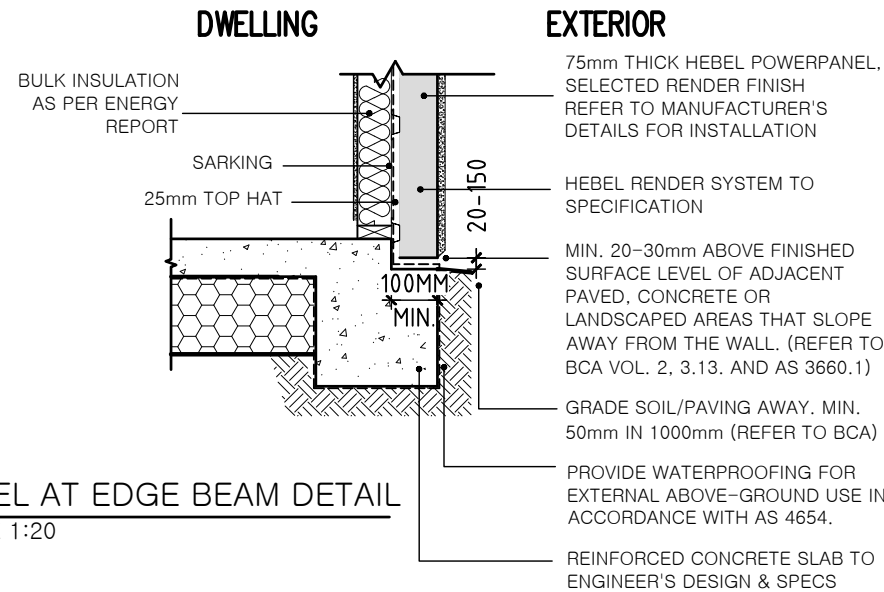


HEBEL WINDOW SILL DETAIL
SCALE 1:5

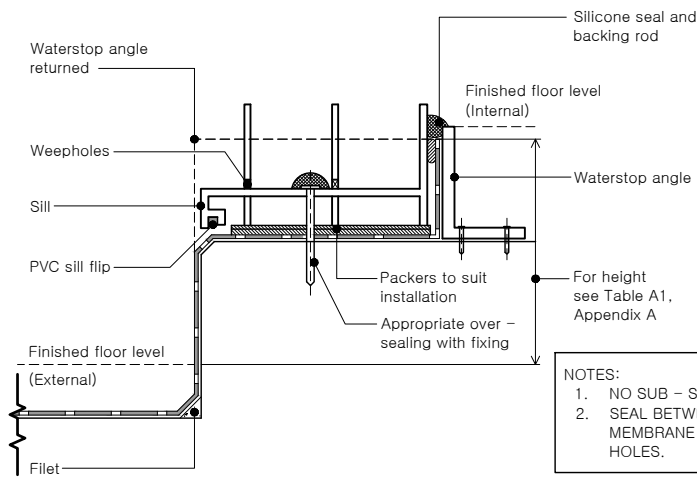
NOTES:
1. SUB SILL IS INSTALLED BEFORE DOOR.
2. SEAL BETWEEN SILL, PACKER AND MEMBRANE BEFORE DRILLING FIXING HOLES.



EXTERNAL WATERPROOFING DETAIL
NOT TO SCALE

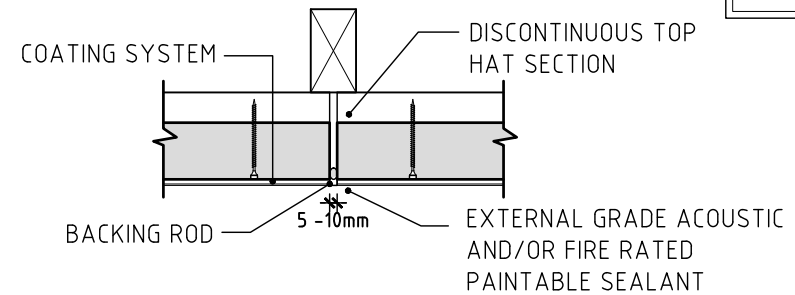


HEBEL AT EDGE BEAM DETAIL
SCALE 1:20



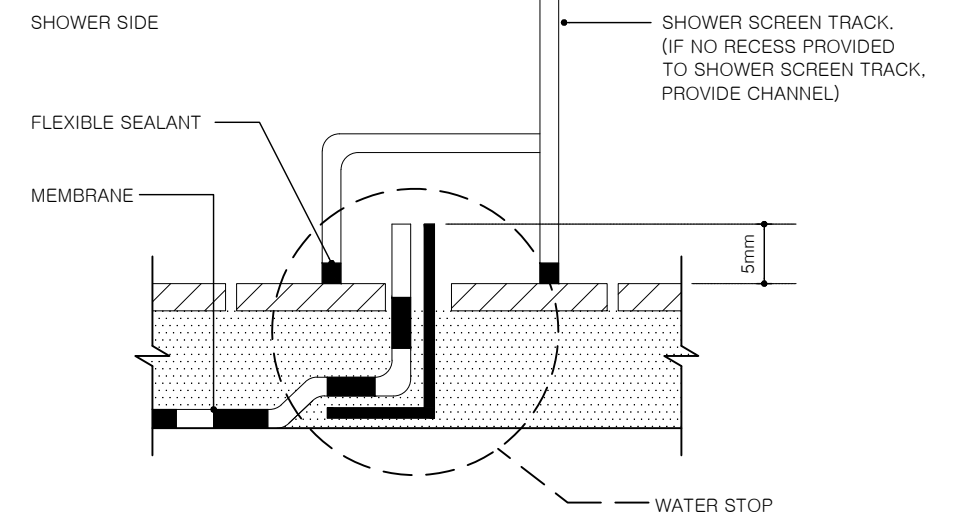
EXTERNAL WATERPROOFING DETAIL
NOT TO SCALE

NOTES:
1. NO SUB - SILL INSTALLED.
2. SEAL BETWEEN SILL/PACKER AND MEMBRANE BEFORE DRILLING FIXING HOLES.



TYPICAL VERTICAL CONTROL JOINT
SCALE 1:20

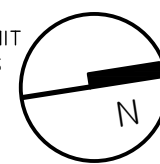
- A WATERSTOP SHALL BE POSITIONED SO THAT ITS VERTICAL LEG WILL FINISH A MINIMUM OF 5MM ABOVE THE FINISHED FLOOR LEVEL, WHERE A SHOWER SCREEN IS TO BE INSTALLED.
- WHERE THE WATER STOP INTERSECTS WITH A WALL OR IS JOINED, THE JUNCTION SHALL BE WATERPROOF.



WATER STOP DERAIL FOR ENCLOSED SHOWER WITH NO STEP DOWN
NOT TO SCALE

DRAINAGE NOTES:
1. SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS 3500 'NATIONAL PLUMBING CODE'.
2. BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
3. TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
4. STORMWATER DRAINS ARE INDICATIVE ONLY, DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.
• GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20)

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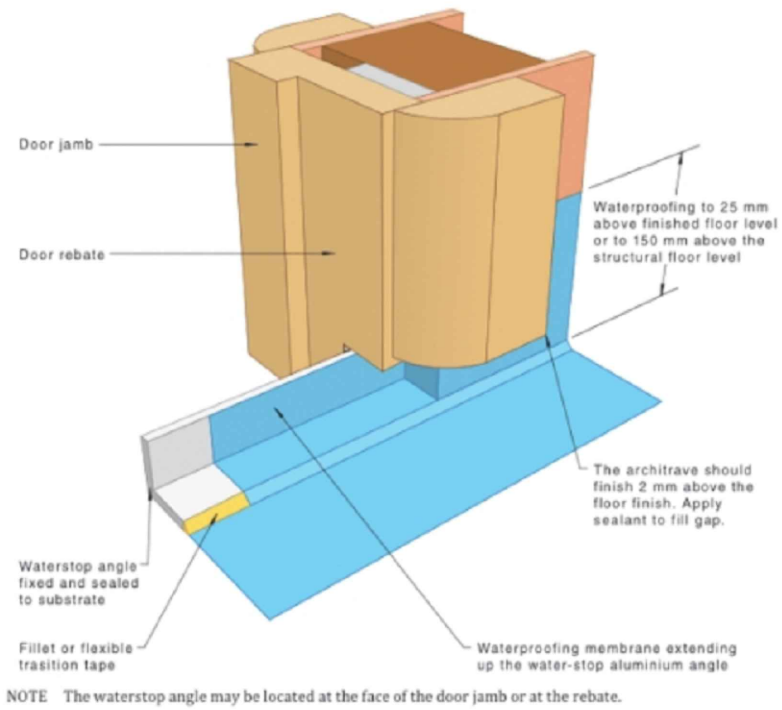


Figure 4.9.1(A) — Example of liquid waterproofing at door opening framework

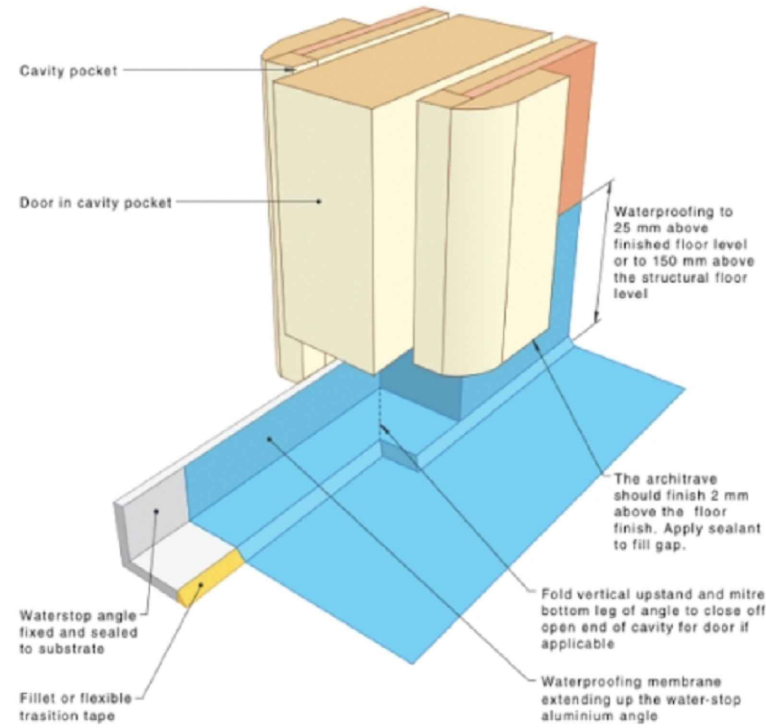
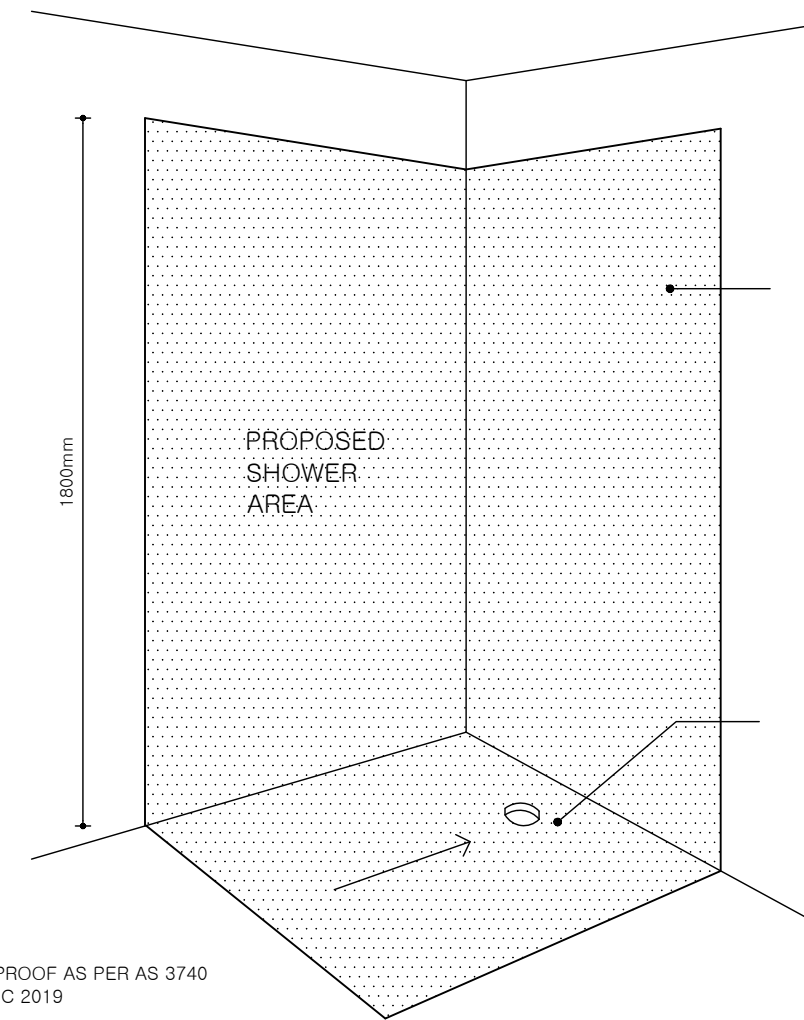


Figure 4.9.1(B) — Waterproofing at door opening cavity slider

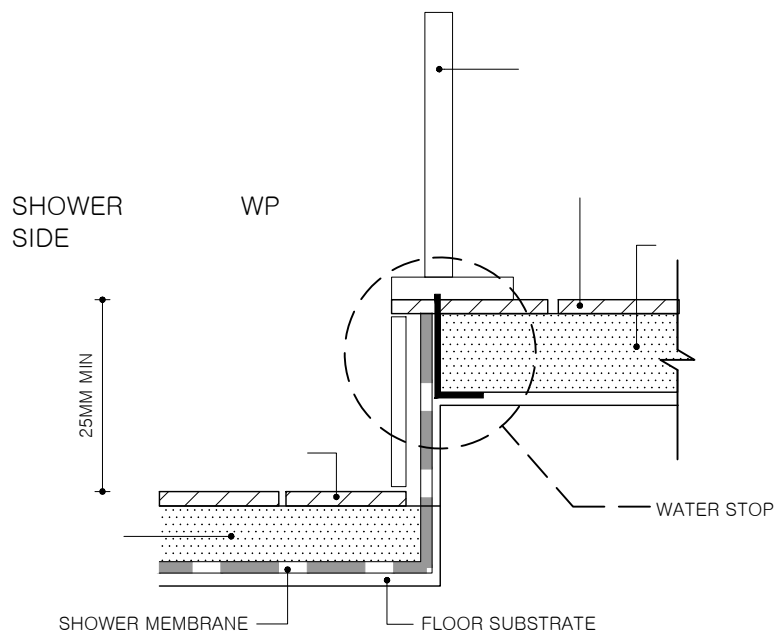
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WATERPROOF AS PER AS 3740 AND NCC 2019

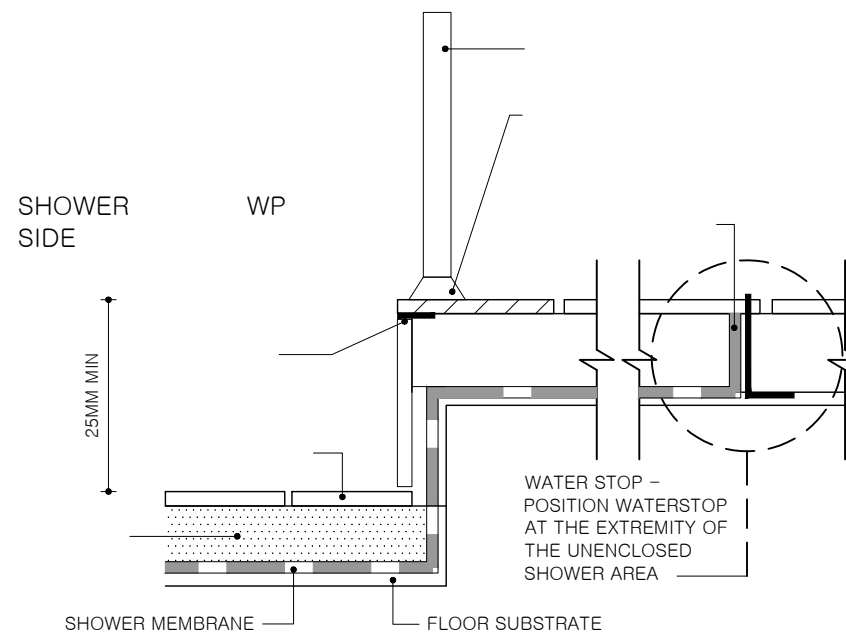
PERIMETER FLASHING DETAIL
NOT TO SCALE

A MINIMUM 25MM STEP DOWN FROM THE HIGHEST FINISHED FLOOR LEVEL OF THE SHOWER AREA TO THE LEVEL OUTSIDE THE SHOWER

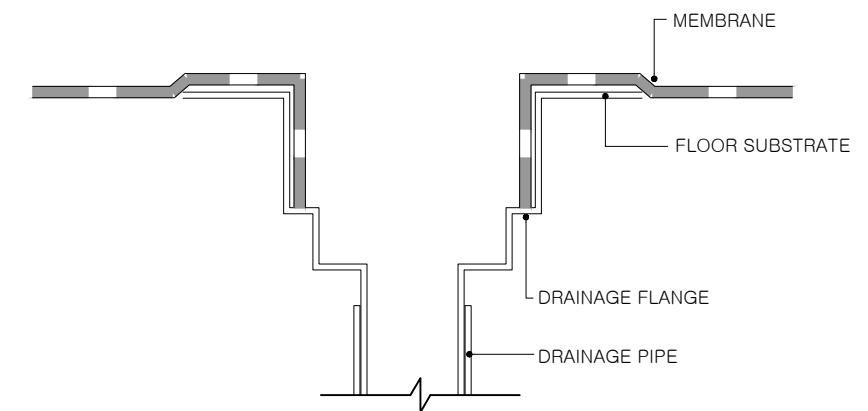


ENCLOSED AND UNENCLOSED STEPDOWN SHOWERS
NOT TO SCALE

A MINIMUM 25MM STEP DOWN FROM THE HIGHEST FINISHED FLOOR LEVEL OF THE SHOWER AREA TO THE LEVEL OUTSIDE THE SHOWER



SHOWER WATERPROOFING DETAIL
NOT TO SCALE



FLOOR WASTE – TYPICAL MEMBRANE TERMINATION AT DRAINAGE OUTLET
NOT TO SCALE



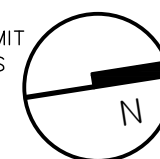
DRAWING TITLE
DETAILS

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PROJECT:
PROPOSED DWELLING
AT:
NO.16 BLESSING RISE PAKENHAM
VIC
FOR:

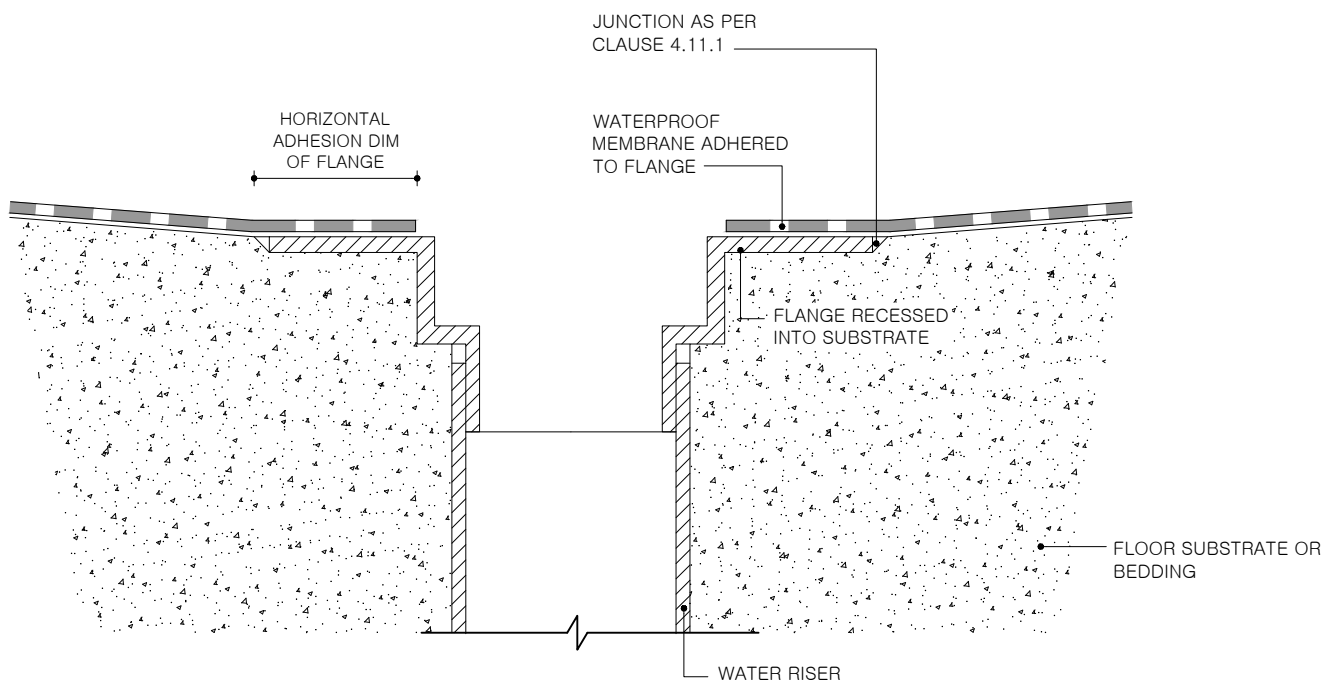
DRAWN: EY
DATE: 13.04.2024
SCALE: 1:100 (A3)
JOB NO: 8002024
STATUS: WD
PG NO: 09

REV	DATE	AMENDMENT	REV	DATE	AMENDMENT
-	13.4	CONTRACT PLANS	E	15.8	BUILDING PERMIT COUNCIL ITEMS
A	20.5	MINOR CHANGES	F	9.10	
B	28.5	AMENDMENT			
D	12.7	CONS. DWG			

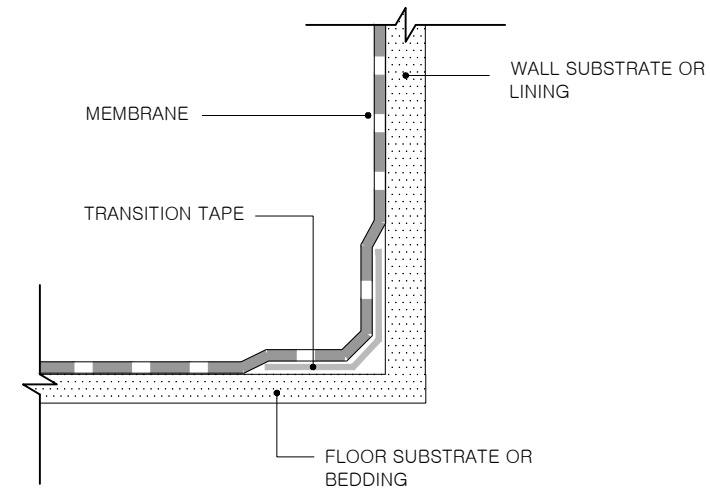


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MEMBRANE TO DRAINAGE FLANGE DETAIL
NOT TO SCALE



BOND BREAKER DETAIL
NOT TO SCALE

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Waterproofing to 150mm above the structural floor

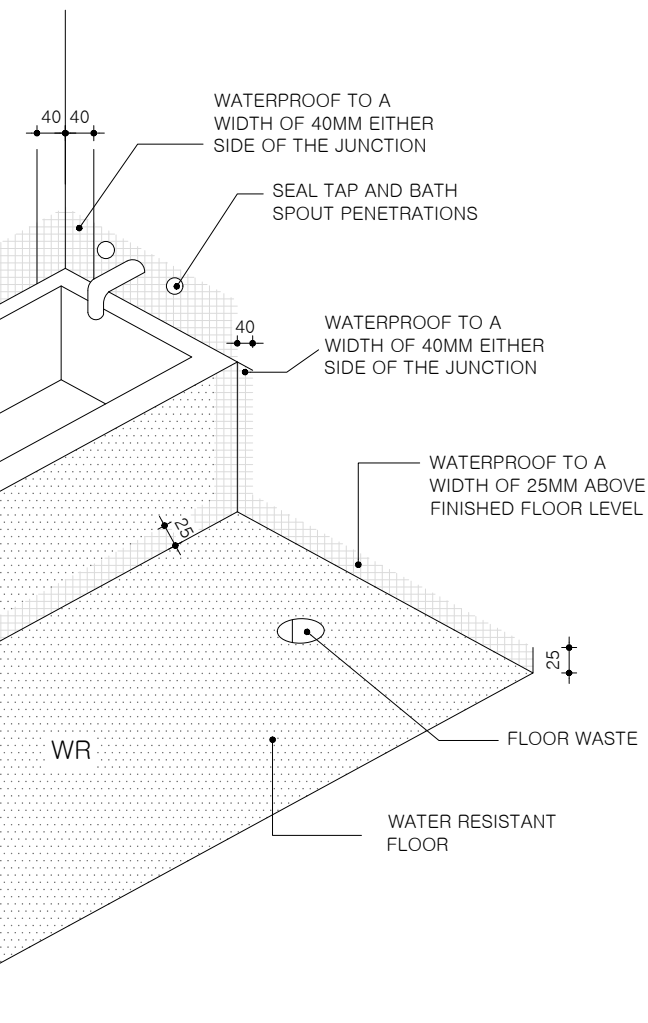
Waterproofing 3 – 5mm LAP to steel frame architrave

Waterproofing extends to waterstop aluminum angle

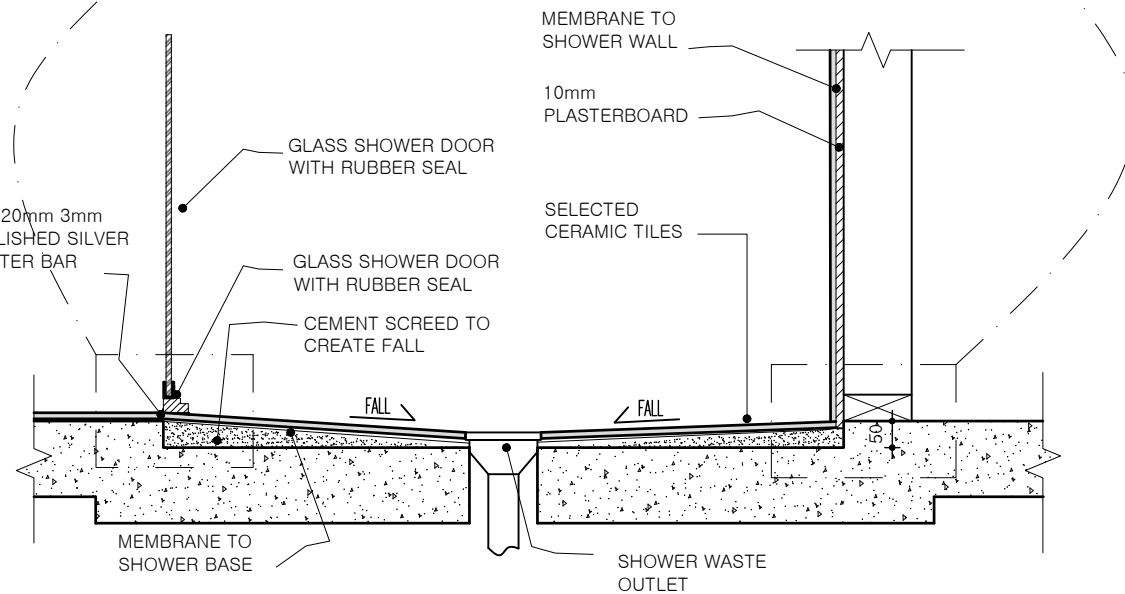
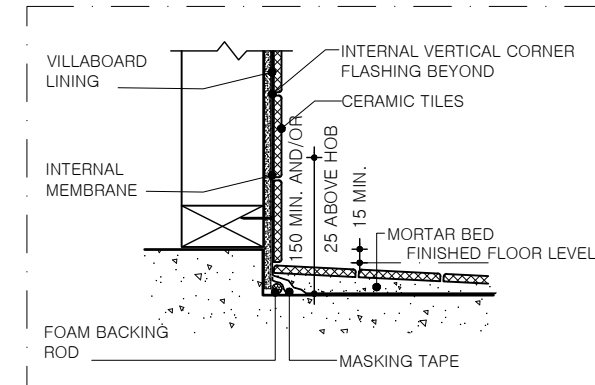
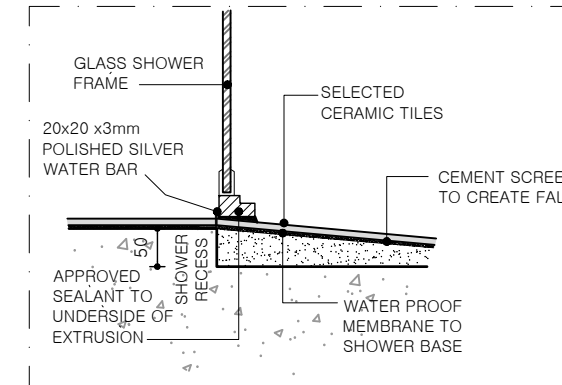
WATER RESISTANT TO 150MM ABOVE TUB

WATERPROOF JUNCTION

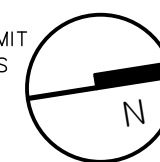
BATH WATERPROOF DETAIL
NOT TO SCALE



A JUNCTION WHERE WATERPROOFING TO WATERPROOFING SURFACES MEET. THE WATERPROOFING IS TO BE CONTINUOUS ACROSS THE JUNCTION AND INCORPORATE AN APPROPRIATE BOND BREAKER. WHERE THE PERIMETER FLASHING TO WALL/FLOOR SURFACES THEY SHOULD BE CONTINUOUSLY SEALED (USUALLY WITH BOND BREAKER), HAVING THE VERTICAL LEG A MINIMUM OF 25MM ABOVE THE FINISHED FLOOR LEVEL (EXCEPT DOORWAYS) AND HORIZONTAL LEG A MINIMUM WIDTH OF 50MM. A WATER STOP WITH A VERTICAL LEG FINISHING FLUSH WITH THE FINISHED FLOOR LEVEL IS TO BE INSTALLED AT FLOOR LEVEL OPENINGS. PROTECTING WATER MIGRATING TO NON-WET AREAS.



RECESSED SHOWER DETAIL



POWER LEGEND	
	SINGLE GPO - 300mm
	DOUBLE GPO - 300mm
	SINGLE GPO - 1100mm
	DOUBLE GPO - 1100mm
	SINGLE GPO - 1350mm
	DOUBLE GPO - 1350mm
	TELEVISION POINT
	WEATHERPROOF GPO - EXTERNAL
	DATA POINT
	SINGLE GPO - D/WASHER @ 300H
	SINGLE GPO - FOR M/WAVE @ 750H
	SINGLE GPO - FOR SECURITY SYS.
	TELEVISION POINT

LIGHTING LEGEND	
	40w CEILING LIGHT & BATTEN HOLDER
	8w LED DOWNLIGHT
	OYSTER LIGHT
	EXTERNAL LIGHT POINT
	HEATER/FAN & LIGHT - 2 GLOBE
	HEATER/FAN & LIGHT - 4 GLOBE
	PENDENT LIGHT
	JUNCTION BOX
	CEILING FAN
	CEILING FAN WITH LIGHT
	PARA FLOOD LIGHT - SINGLE
	PARA FLOOD LIGHT - DOUBLE
	EXTERNAL SENSOR LIGHT
	600 FLUORO - SINGLE
	600 FLUORO - DOUBLE

	1200 FLUORO - SINGLE
	1200 FLUORO - DOUBLE
	WALL LIGHT BATTEN HOLDER
	DIMMER LIGHT SWITCH
	LIGHT TIMER
	CEILING EXHAUST FAN
	LIGHT SWITCH LOCATION (approx)

HEATING LEGEND	
	CEILING HEATING DUCT (APPROX LOCATION)
	HEATING UNIT WITH LIGHT & GPO IN CEILING
	THERMOSTAT
	RETURN AIR
	EVAPORATIVE COOLING DUCT

DUCTED VACUUM	
	DUCTED VACUUM UNIT
	DUCTED VACUUM POINT (APPROX)

INTERCOM	
	COLOR INTERCOM MONITOR
	DOOR BELL POINT LINKED WITH INTERCOM

SA DENOTES LOCATIONS OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-1993 & UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING, THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.

EF DENOTES: CEILING EXHAUST FAN PROVIDE A LIGHT AND AN EXHAUST FAN WHERE NATURAL LIGHTING AND VENTILATION IS NOT PROVIDED WHERE REQUIRED BY LOCAL AUTHORITY, DUCT THE EXHAUST TO THE OUTSIDE.

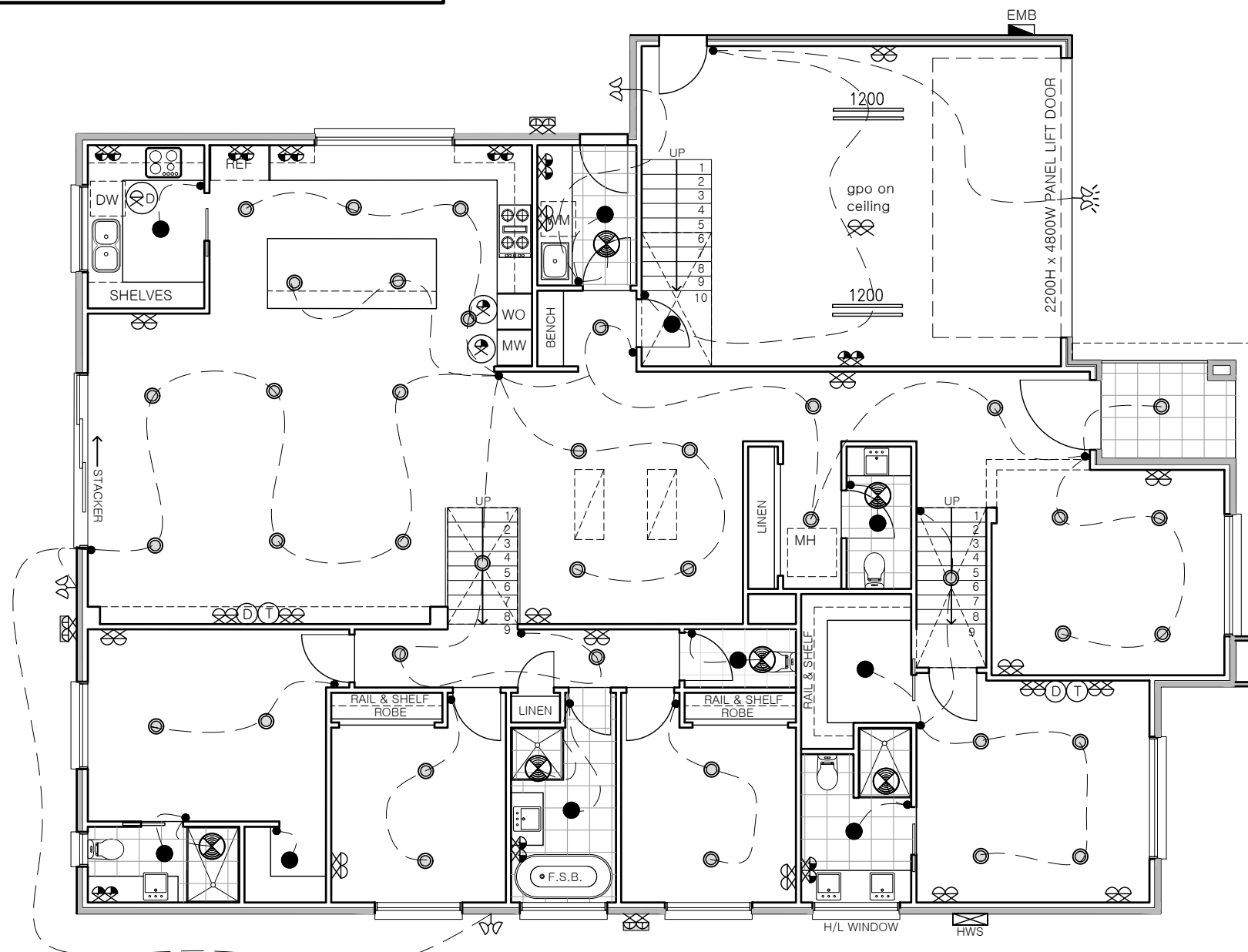
ELECTRICAL NOTE
ALL SYMBOLS AND SYMBOL LOCATIONS ARE INDICATIVE ONLY AND TO BE USED AS A GUIDE ONLY. SYMBOLS AND LOCATIONS ARE NOT DRAWN TO SCALE.

NOTES: PROVIDE LIGHT & POWER FOR HEATER UNIT WITHIN ROOF SPACE NEAR ROOF ACCESS. PROVIDE POWER POINT WITHIN ROOF SPACE FOR COOLING UNIT. ALL EXTERNAL FITTINGS TO BE WATERPROOF

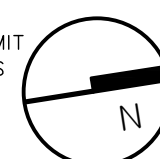
ELECTRICAL ANALYSIS TABLE					
	AREA	WATTS PER LIGHT POINT	NO. LIGHTS USED	TOTAL WATTS USED	TOTAL WATTAGE PER SQM
DWELLING	217.05	8 & 40	49	712	3.28
GARAGE	42.34	40	3	120	2.83
PORCH	3.88	8	1	8	2.06

LIGHTING NOT TO EXCEED 5 WATTS PER SQUARE METER FOR LIVING AREAS IN ACCORDANCE WITH NCC 2019

LIGHTING NOT TO EXCEED 3 WATTS PER SQUARE METER FOR GARAGE IN ACCORDANCE WITH NCC 2019



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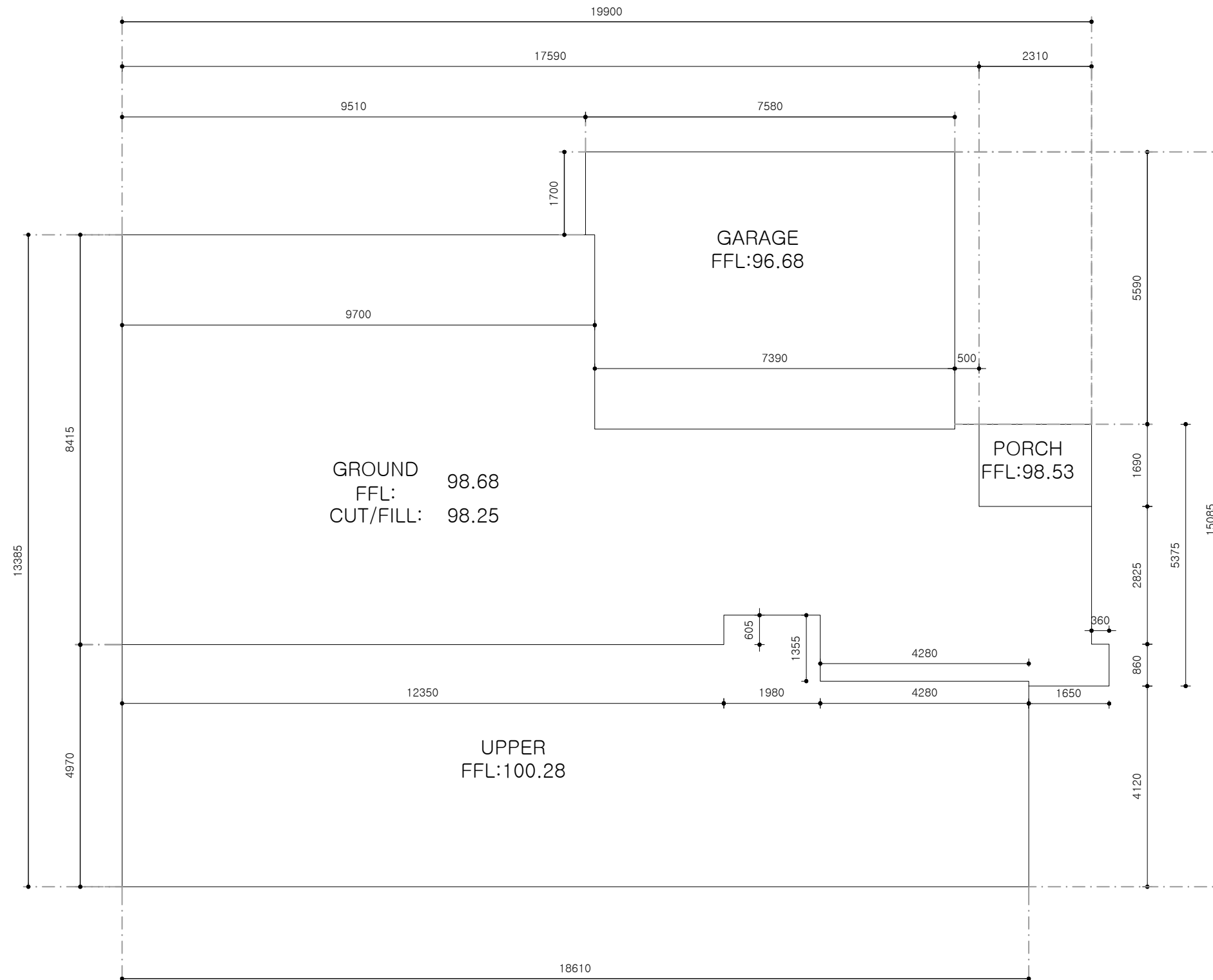
IMPORTANT NOTES (SLAB PLAN)

- ALL PLUMBING PENETRATIONS ARE INDICATIVE ONLY AND NEEDED TO BE ADJUSTED ACCORDINGLY ON SITE AS PER PLUMBERS REQUIREMENT.
- PROVIDE 150mm STEP DOWN TO CONCRETE SLAB FOR TILED BASE SHOWER.
- BATH, SHOWER, VANITY, W.C., SINK FIT OUTS AS PER ITS INSTALLATION SPECIFICATIONS. PLUMBER TO INSTALL FIT OUTS TO THE BEST POSSIBLE LOCATION.
- CONCRETE TO SET OUT ACCORDING TO FLOOR PLAN, SLAB AND ENGINEERING PLAN.

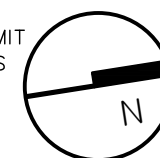
SLAB TYPE:

- WAFFLE SLAB.

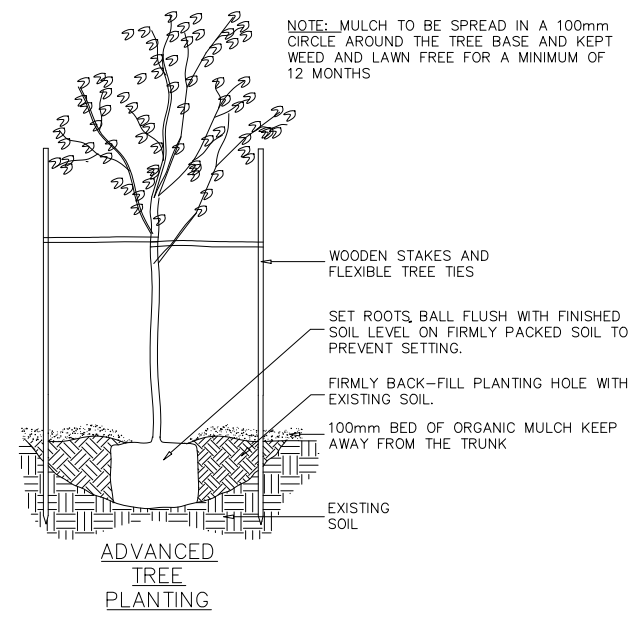
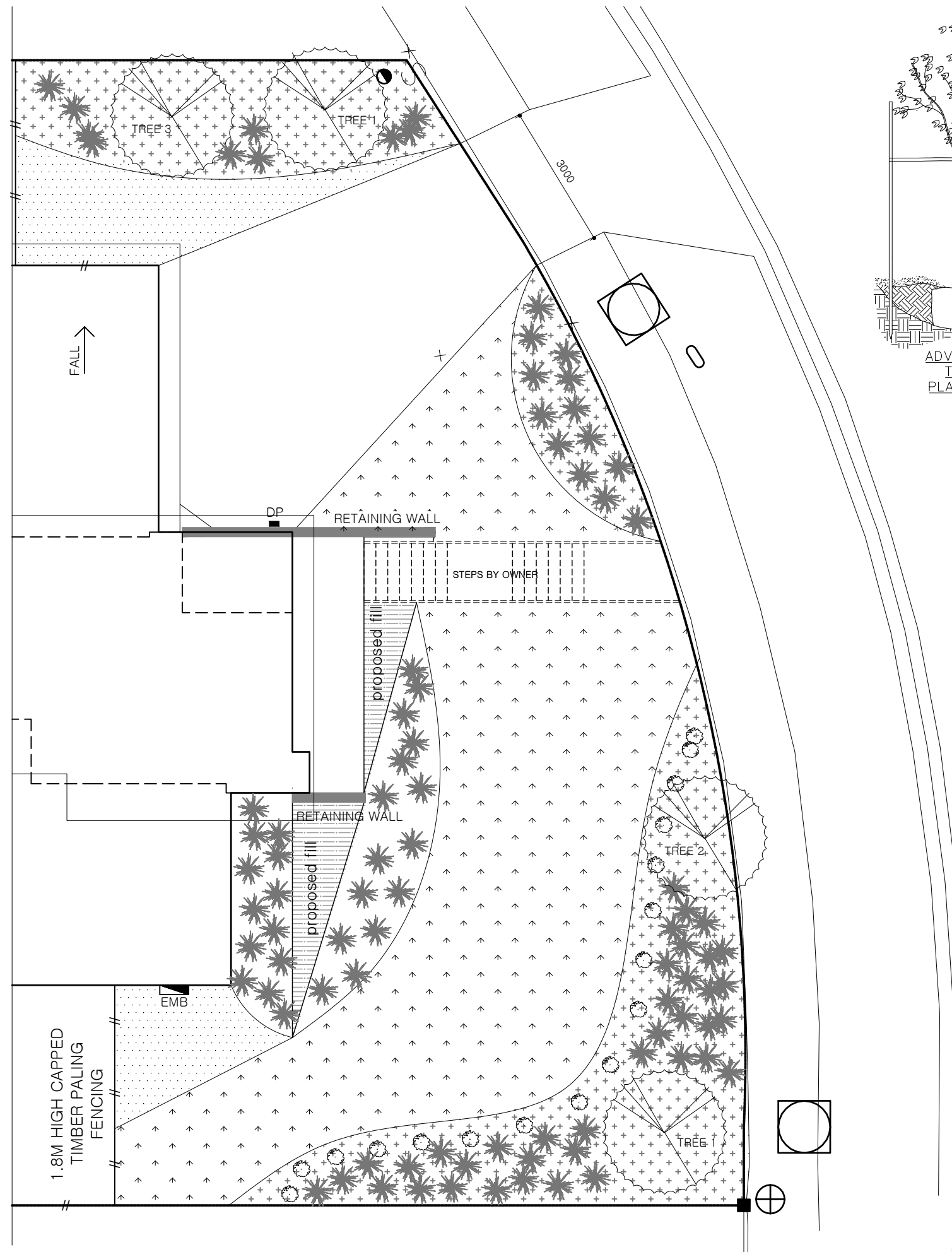
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REV	DATE	AMENDMENT	REV	DATE	AMENDMENT
-	13.4	CONTRACT PLANS	E	15.8	BUILDING PERMIT
A	20.5	MINOR CHANGES	F	9.10	COUNCIL ITEMS
B	28.5	AMENDMENT			
D	12.7	CONS. DWG			

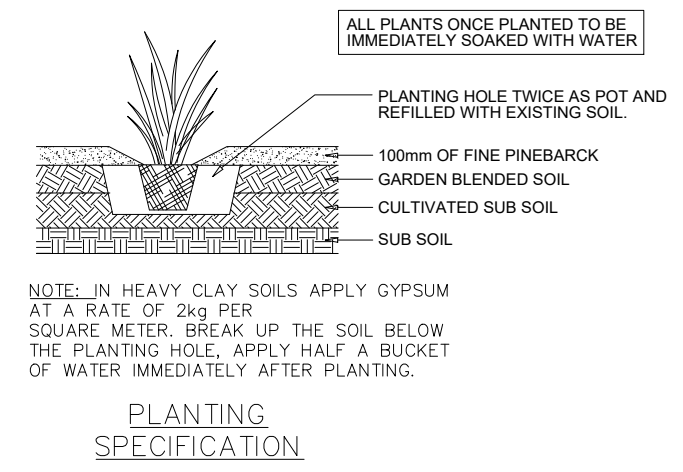


PROPOSED PLANT LIST
TREE 1: WILLOW MYRTLE minimum mature height of 4m
TREE 2: SILVER MYALL minimum mature height of 4m
TREE 3: ORNAMENTAL PEAR minimum mature height of 2m
PLANTS TO GARDEN BEDS:
-RIVER BOTTLEBRUSH
-KANGAROO PAW
-WEEPING BOTTLEBRUSH
-HILLS FIG
TURF/GRASS: Buffalo Grass



- LEGEND:**
- CONCRETE
 - SEEDED TURF
 - MULCHED GARDEN BED WITH PLANTS
 - PAVERS
 - COMPACTED STONES
 - DECKING

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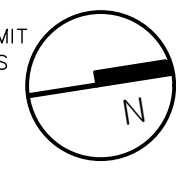


DRAWING TITLE
LANDSCAPE PLAN

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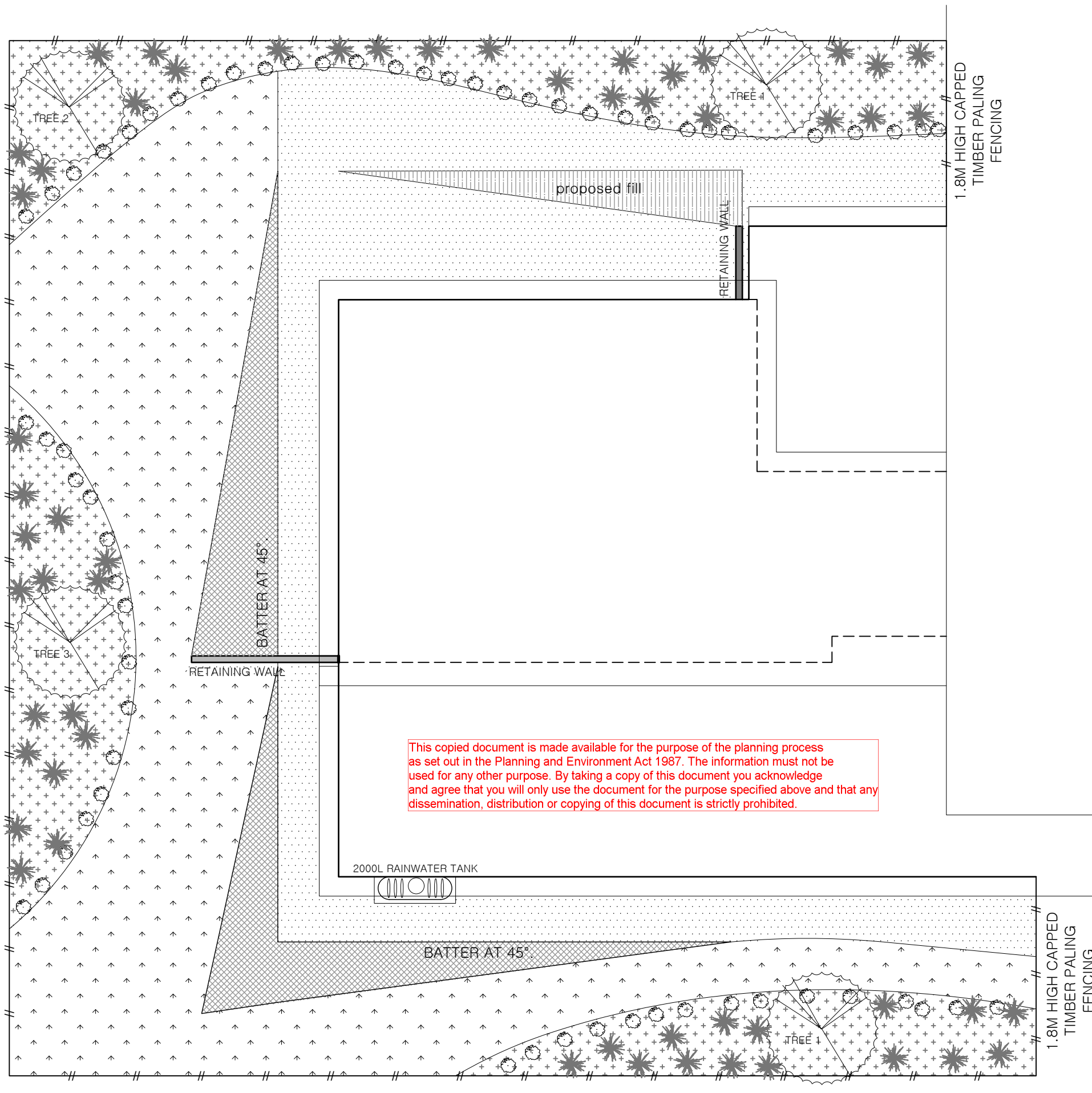
PROJECT:
PROPOSED DWELLING
AT:
NO.16 BLESSING RISE PAKENHAM VIC
FOR:

DRAWN:	EY	REV	DATE	AMENDMENT	REV	DATE	AMENDMENT
DATE:	13.04.2024	-	13.4	CONTRACT PLANS	E	15.8	BUILDING PERMIT COUNCIL ITEMS
SCALE:	1:100 (A3)	A	20.5	MINOR CHANGES	F	9.10	
JOB NO:	8002024	B	28.5	AMENDMENT			
STATUS:	WD	D	12.7	CONS. DWG			
PG NO:	13						

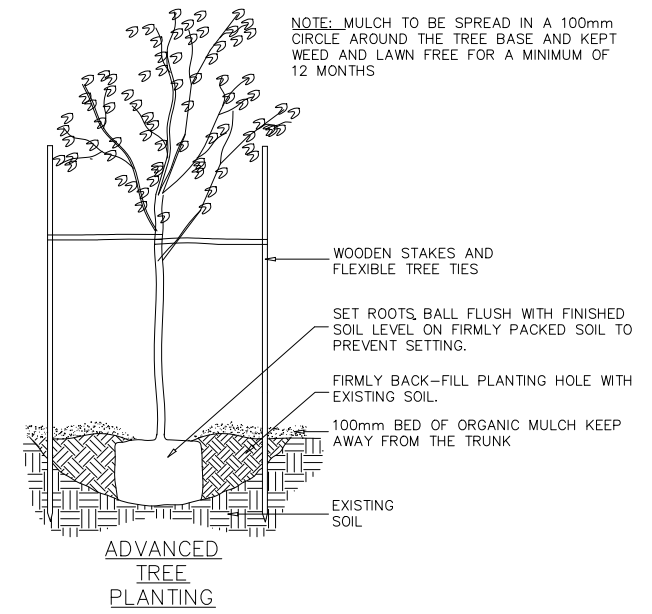


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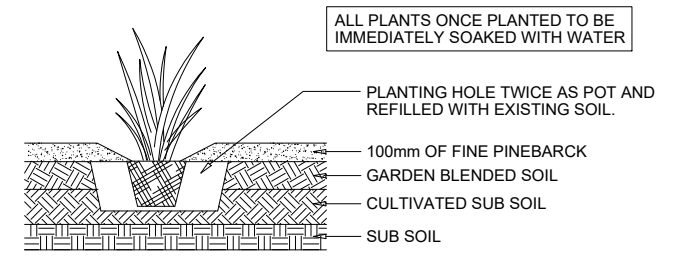
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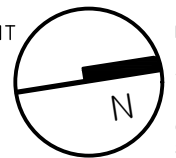
LEGEND:

- CONCRETE
- SEEDED TURF
- MULCHED GARDEN BED WITH PLANTS
- PAVERS
- COMPACTED STONES
- DECKING

PROPOSED PLANT LIST
TREE 1: WILLOW MYRTLE minimum mature height of 4m
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TREE 3: ORNAMENTAL PEAR minimum mature height of 2m
PLANTS TO GARDEN BEDS: -RIVER BOTTLEBRUSH -KANGAROO PAW -WEEPING BOTTLEBRUSH -HILLS FIG
TURF/GRASS: Buffalo Grass



NOTE: IN HEAVY CLAY SOILS APPLY GYPSUM AT A RATE OF 2kg PER SQUARE METER. BREAK UP THE SOIL BELOW THE PLANTING HOLE, APPLY HALF A BUCKET OF WATER IMMEDIATELY AFTER PLANTING.



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DRAWING TITLE
REAR LANDSCAPE PLAN

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PROPOSED DWELLING
AT:
NO.16 BLESSING RISE PAKENHAM VIC
FOR:

DRAWN:	EY	REV	DATE	AMENDMENT	REV	DATE	AMENDMENT
DATE:	13.04.2024	-	13.4	CONTRACT PLANS	E	15.8	BUILDING PERMIT
SCALE:	1:100 (A3)	A	20.5	MINOR CHANGES	F	9.10	COUNCIL ITEMS
JOB NO:	8002024	B	28.5	AMENDMENT			
STATUS:	WD	D	12.7	CONS. DWG			
PG NO:	14						