

Notice of Application for a Planning Permit



The land affected by the application is located at:	L3 LP134373 V9424 F761 5 Mary Street, Bunyip VIC 3815
The application is for a permit to:	Use and development of land for two (2) dwellings, outbuilding, and associated works including earthworks, removal of native vegetation and removal of two (2) pine trees

APPLICATION DETAILS	
The applicant for the permit is:	[REDACTED]
Application number:	T230470
<p>You may look at the application and any documents that support the application at the office of the Responsible Authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website: cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>	

HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		12 December 2024
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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Application Summary

Portal Reference A32365Y8

Basic Information

Proposed Use Building a 2 storey dwelling, Shed and the removal of 15 trees
Current Use Vacant
Cost of Works \$430,000
Site Address 5 Mary Street Bunyip 3815

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,383.30	100%	\$1,383.30
	Total		\$1,383.30



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vc.gov.au

Monday to Friday 8.30am–
5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

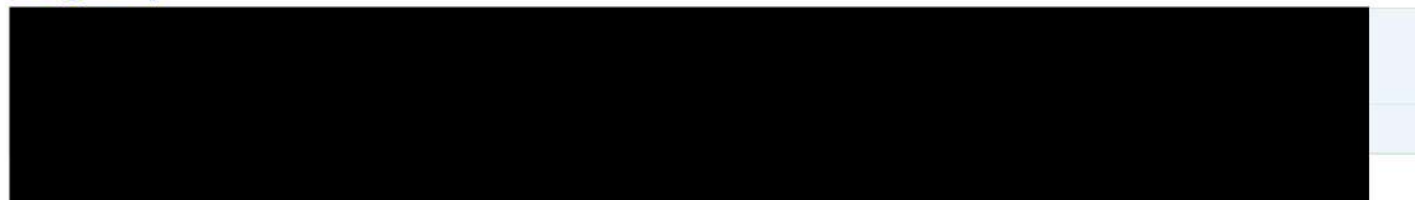
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Documents Uploaded

Date	Type	Filename
24-09-2023	A Copy of Title	Register Search Statement - Volume 9424 Folio 761-198475897.pdf
24-09-2023	A Copy of Title	Mary St unsigned contract.pdf
24-09-2023	Encumbrance	Mary St unsigned contract.pdf
24-09-2023	Site plans	Site plan TOWN PLANNING ISSUE-210923.pdf
24-09-2023	Existing floor plan	Site plan TOWN PLANNING ISSUE-210923.pdf
24-09-2023	A proposed floor plan	Site plan TOWN PLANNING ISSUE-210923.pdf
24-09-2023	Existing elevation plans	Site plan TOWN PLANNING ISSUE-210923.pdf
24-09-2023	Proposed elevation plan	Site plan TOWN PLANNING ISSUE-210923.pdf
24-09-2023	Overlay Requirements	Planning property report.pdf
24-09-2023	Additional Document	Mary St BAL.pdf
24-09-2023	Additional Document	Legal Point Of Discharge (LPD) Mary Street.Pdf
24-09-2023	Additional Document	Mary St Soil test.pdf
24-09-2023	Additional Document	Mary St Wind.pdf
24-09-2023	Additional Document	Previous owner request for planning information.Pdf
24-09-2023	Additional Document	Register Search Statement - Volume 9424 Folio 761-198475897.pdf
24-09-2023	Additional Document	RN-14416.1 (LCA) 5 Mary St BUNYIP F.pdf
24-09-2023	Additional Document	MS01163 Arborist Assessment 5 Mary Street Bunyip.pdf
24-09-2023	Additional Document	To the Planning Department Cardinia Shire.docx

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By



Declaration

By ticking this checkbox, I, Chris Favrelle, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T230470
Address of the Land:	L3 LP134373 V9424 F761, 5 Mary Street, Bunyip VIC 3815

APPLICANT DETAILS

[Redacted Name]	
Address:	6 Ecology Crescent Officer 3809
Phone:	[Redacted Phone]
Email:	[Redacted Email]

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input checked="" type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
second dwelling		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$550000

DECLARATION

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 09424 FOLIO 761

Security no : 124112575468P

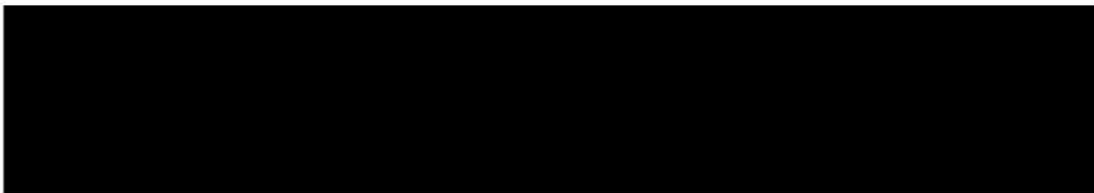
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LAND DESCRIPTION

Lot 3 on Plan of Subdivision 134373.
PARENT TITLE Volume 04332 Folio 395
Created by instrument LP134373 06/08/1981

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AX443623T 13/11/2023
AUSTRALIA AND NEW ZEALAND BANKING GROUP LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP134373 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX443623T (E)	MORTGAGE	Registered	13/11/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 5 MARY STREET BUNYIP VIC 3815

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 13/11/2023

DOCUMENT END



Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	LP134373
Number of Pages (excluding this cover sheet)	1
Document Assembled	12/02/2024 14:14

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LP134373

EDITION 1

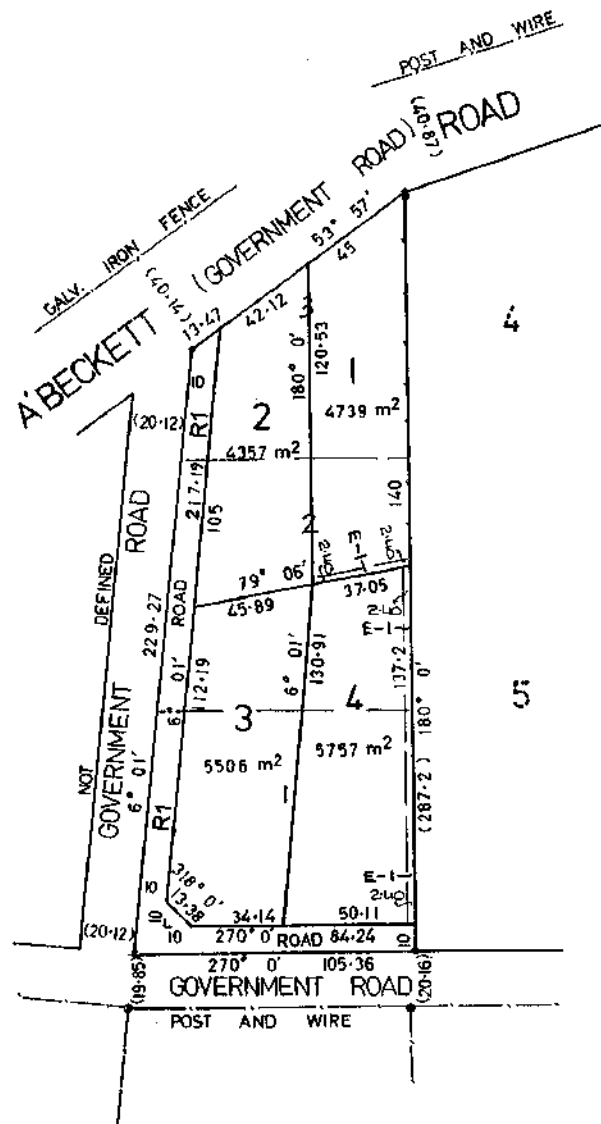
APPROVED 13/12/81

<p style="text-align: center;">PLAN OF SUBDIVISION OF CROWN</p> <p>ALLOTMENTS 1, 2 & 3, SECTION 8, TOWNSHIP AND PARISH OF BUNYIP COUNTY OF MORNINGTON</p> <p>SCALE OF  METRES</p>	APPROPRIATIONS
	<p>BROWN — CARRIAGE WAY BLUE — DRAINAGE</p>
	NOTATIONS
	FOR REFERENCE MARKS SEE FIELDNOTES

Vol. 4332 Fol. 395

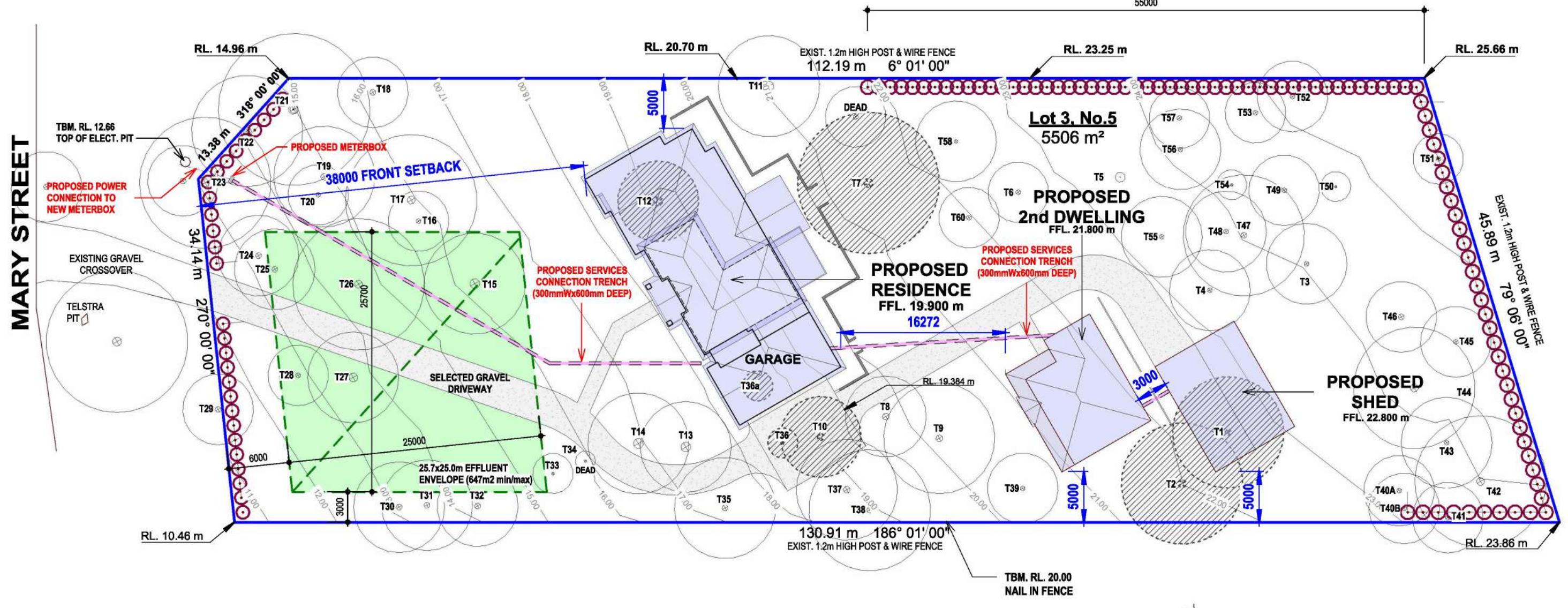


COLOUR CONVERSION
E-1 = BLUE
R1 = BROWN



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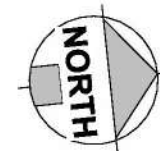


SITE - PROPOSED 1-400

1 : 400

TREE LEGEND

-  DENOTES EXISTING TREES TO BE RETAINED
-  DENOTES EXISTING TREES TO BE REMOVED
-  DENOTES PROPOSED TREE




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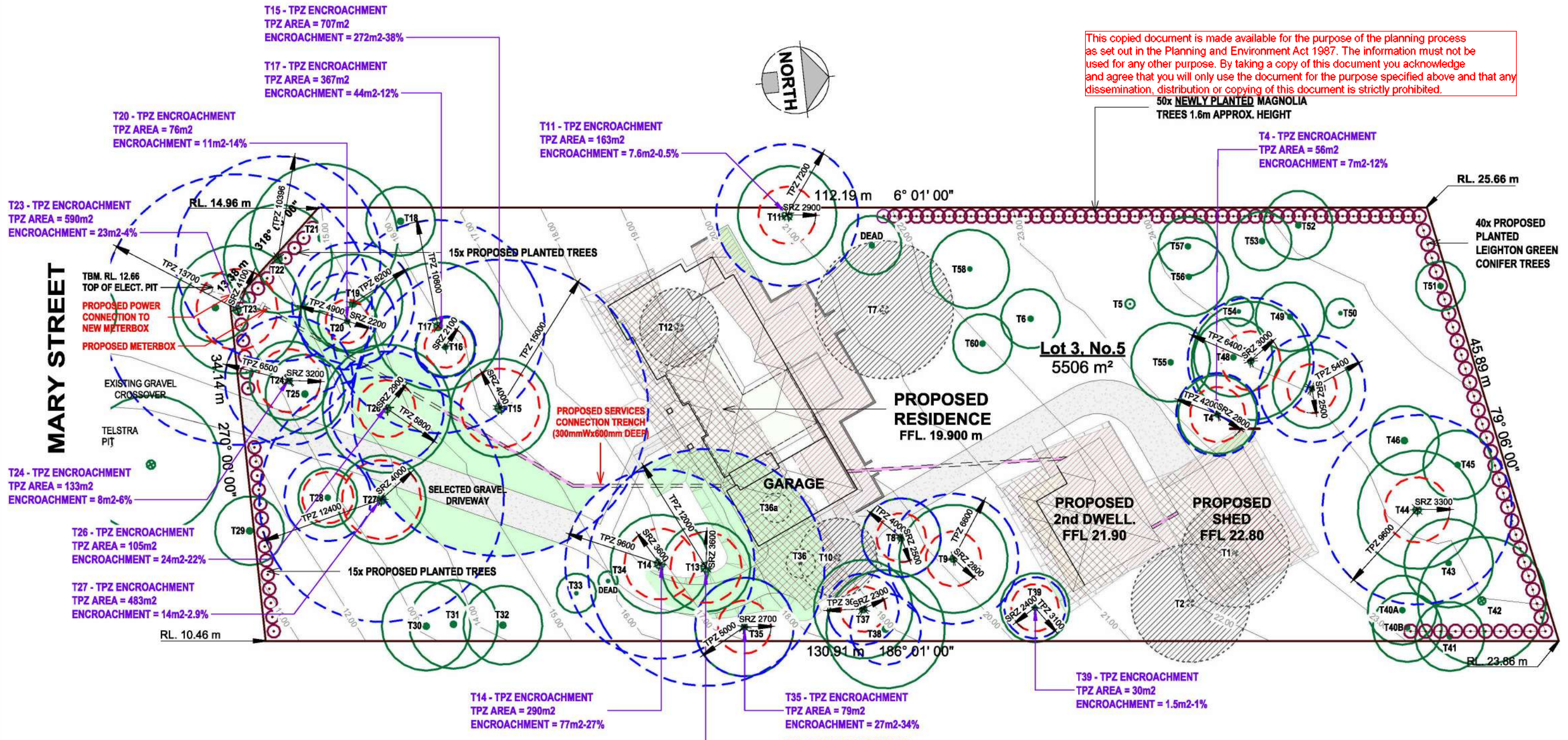
TOWN PLANNING ISSUE 5 (REDESIGN+2nd DWELL)	SMW	19.09.24
TOWN PLANNING ISSUE 4 (TREE REMOVAL)	SMW	07.06.24
TOWN PLANNING ISSUE 3	SMW	04.04.24
TOWN PLANNING ISSUE 2	SMW	15.02.24
PROPOSED SITE CONDITIONS PLAN	SMW	28.11.23
TOWN PLANNING ISSUE	SMW	21.09.23

DRG No. **295223**
Sht No: 01



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Building Practitioner

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SITE - PROPOSED TREE MANAGEMENT
1 : 400

SITE CUT/FILL LEGEND

- DENOTES EXTENT OF PROPOSED SITE CUT
- DENOTES EXTENT OF PROPOSED SITE FILL

TREE LEGEND

- DENOTES EXISTING TREES TO BE RETAINED
- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES PROPOSED TREE

TREE PROTECTION LEGEND
AS PER ARBOURIST REPORT PREPARED BY - MARK SKOVDAM - DATED:11.12.23

- DENOTES EXTENT OF TREE SRZ
- DENOTES EXTENT OF TREE TPZ
- DENOTES EXTENT OF TREE TPZ ENCROACHMENT

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TOWN PLANNING ISSUE 5 (REDESIGN+2nd DWELL)	SMW	19.09.24
TOWN PLANNING ISSUE 4 (TREE REMOVAL)	SMW	07.06.24
TOWN PLANNING ISSUE 3	SMW	04.04.24
TOWN PLANNING ISSUE 2	SMW	15.02.24
PROPOSED SITE CONDITIONS PLAN	SMW	28.11.23
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DRG No. **295223**

Sht No: 02

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Building Practitioner

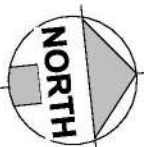
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38215

29270

10578

14686



MARY STREET

EXIST. 1.2m HIGH POST & WIRE FENCE
112.19 m 6° 01' 00"

5000

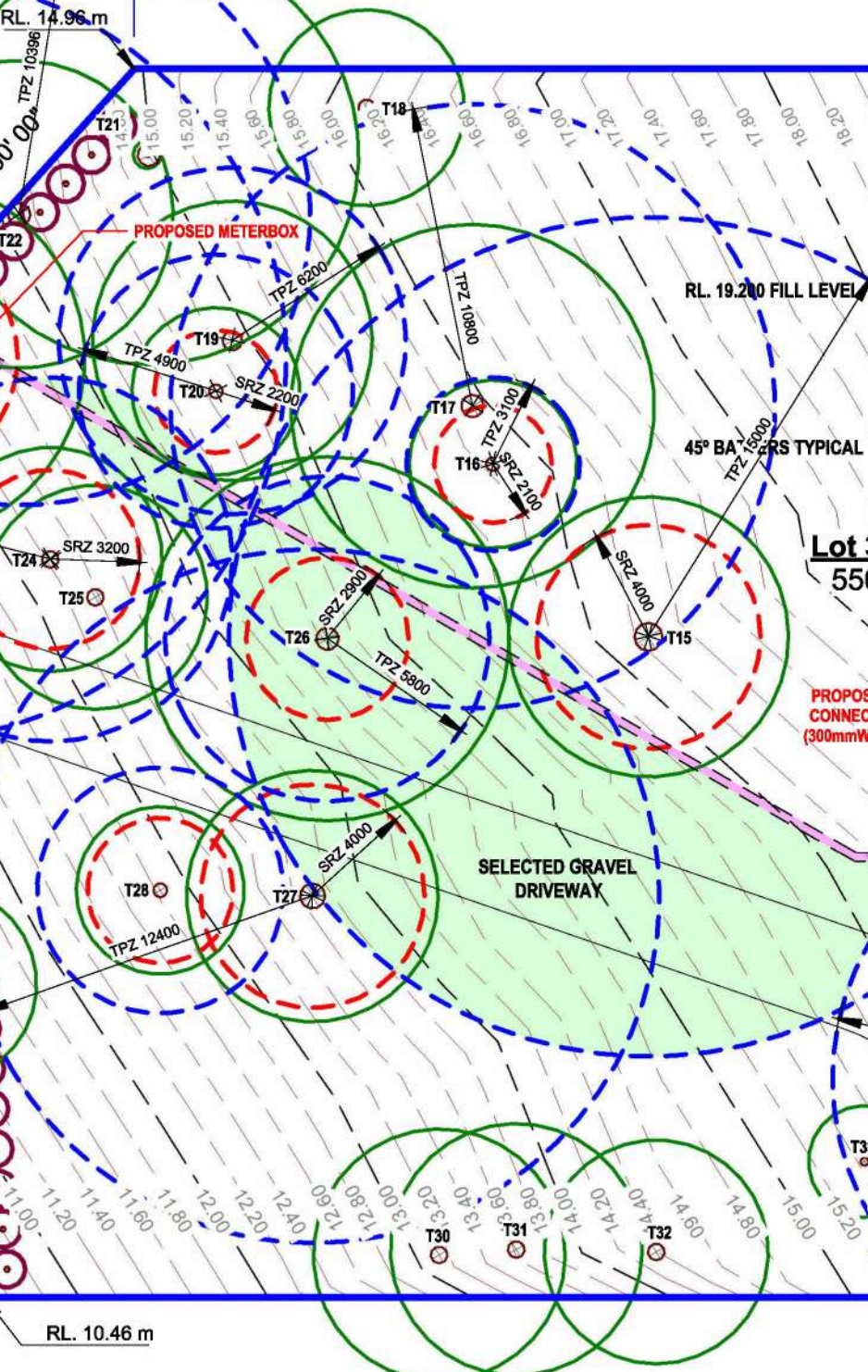
TBM. RL. 12.66
TOP OF ELECT. PIT

PROPOSED POWER
CONNECTION TO
NEW METERBOX

EXISTING GRAVEL
CROSSOVER

TELSTRA
PIT

34.14 m
270° 00' 00"



Lot 3, No.5
5506 m²

PROPOSED
RESIDENCE
FFL. 19.900 m

GARAGE
FFL. 19.484 m

RL. 19.284 CUT LEVEL

FFL. 19.556 m
STORE

SITE CUT
RIDGE RL. 27.18 m
NGL RL. 18.73 m

1.0m MAX. HEIGHT BRICKWORK
OR. SIMILAR RETAINING WALL

SELECTED GRAVEL
DRIVEWAY

45° MAX. BATTERS TYPICAL

130.91 m 186° 01' 00"

EXIST. 1.2m HIGH POST & WIRE FENCE

34637

15270






9994

TBM. RL. 20.00
NAIL IN FENCE



PSD
03A

TREE PROTECTION LEGEND

AS PER ARBOURIST REPORT PREPARED BY -
MARK SKOV DAM - DATED:11.12.23

-  DENOTES EXISTING TREES TO BE RETAINED
-  DENOTES EXISTING TREES TO BE REMOVED
-  DENOTES EXTENT OF TREE SRZ
-  DENOTES EXTENT OF TREE TPZ
-  DENOTES EXTENT OF TREE TPZ ENCROACHMENT

SITE CUT/FILL LEGEND

-  DENOTES EXTENT OF PROPOSED SITE CUT
-  DENOTES EXTENT OF PROPOSED SITE FILL

PART SITE - DWELLING

1 : 250

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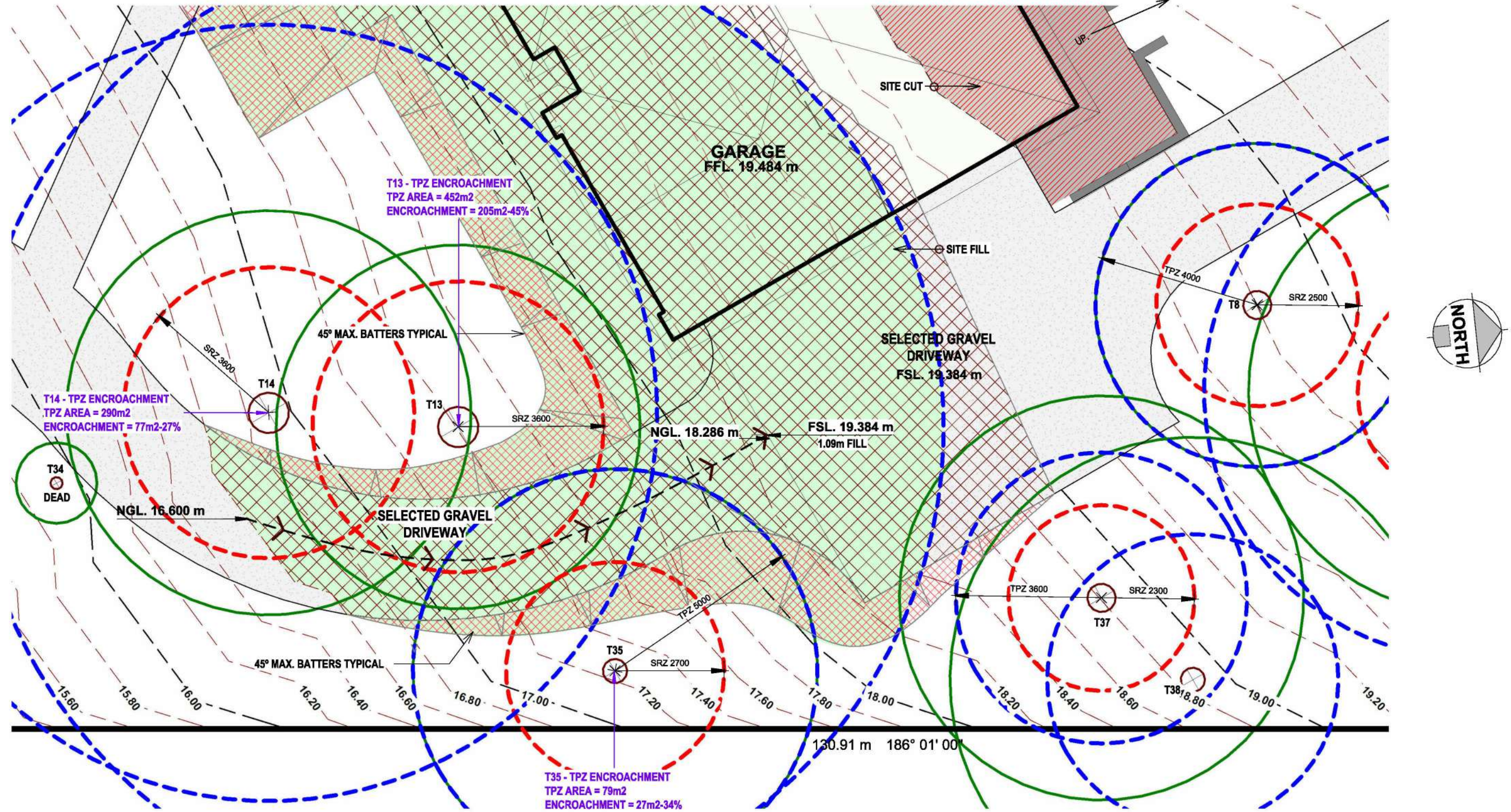
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DRG No. **295223**

Sht No: 03

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PSD - PART SITE - DRIVEWAY
1 : 100

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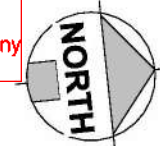


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Sht No: 03A

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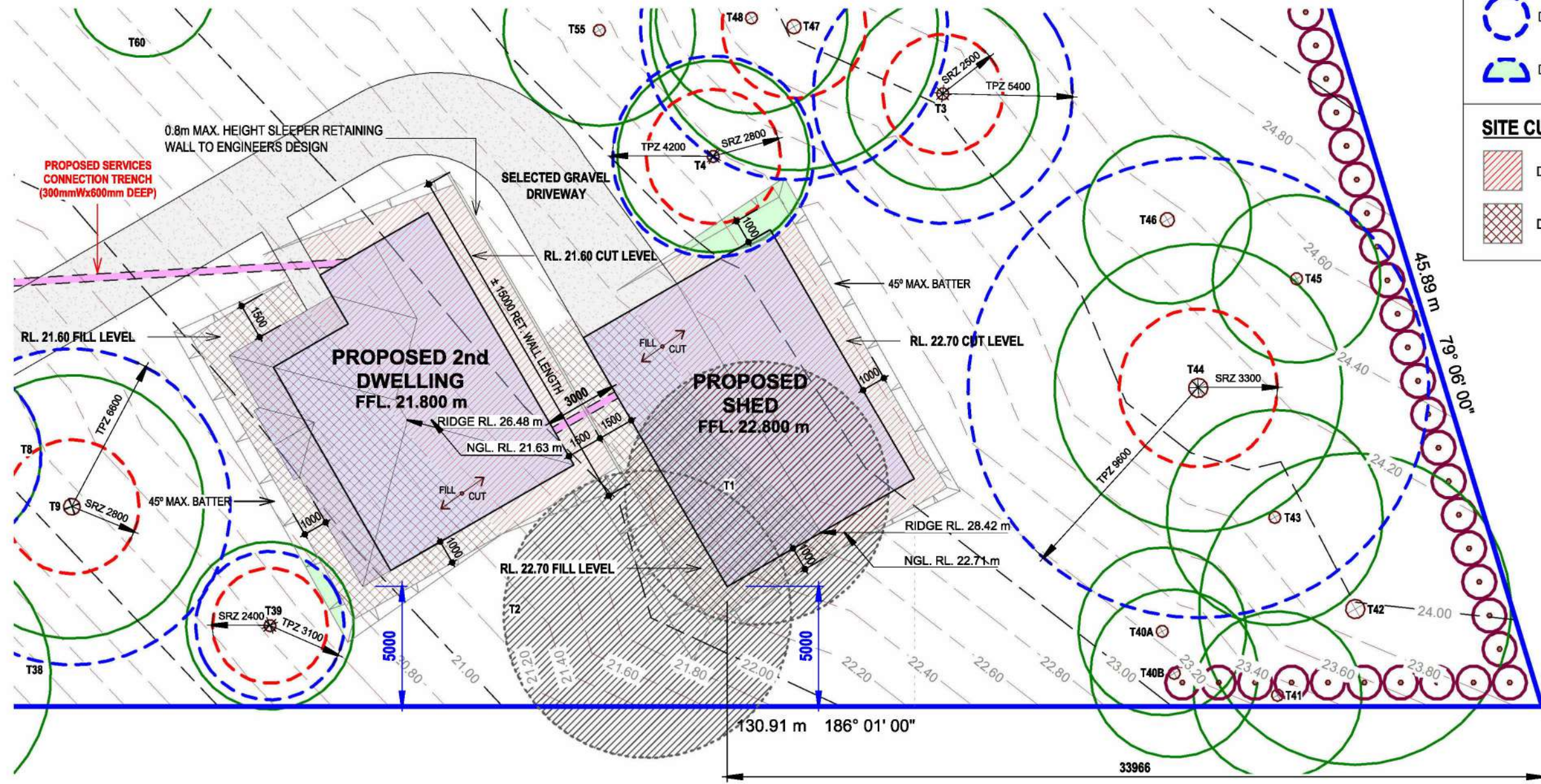


TREE PROTECTION LEGEND
AS PER ARBOURIST REPORT PREPARED BY -
MARK SKOVDAM - DATED:11.12.23

- DENOTES EXISTING TREES TO BE RETAINED
- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES EXTENT OF TREE SRZ
- DENOTES EXTENT OF TREE TPZ
- DENOTES EXTENT OF TREE TPZ ENCROACHMENT

SITE CUT/FILL LEGEND

- DENOTES EXTENT OF PROPOSED SITE CUT
- DENOTES EXTENT OF PROPOSED SITE FILL



PART SITE - 2nd DWELLING/SHED
1 : 200

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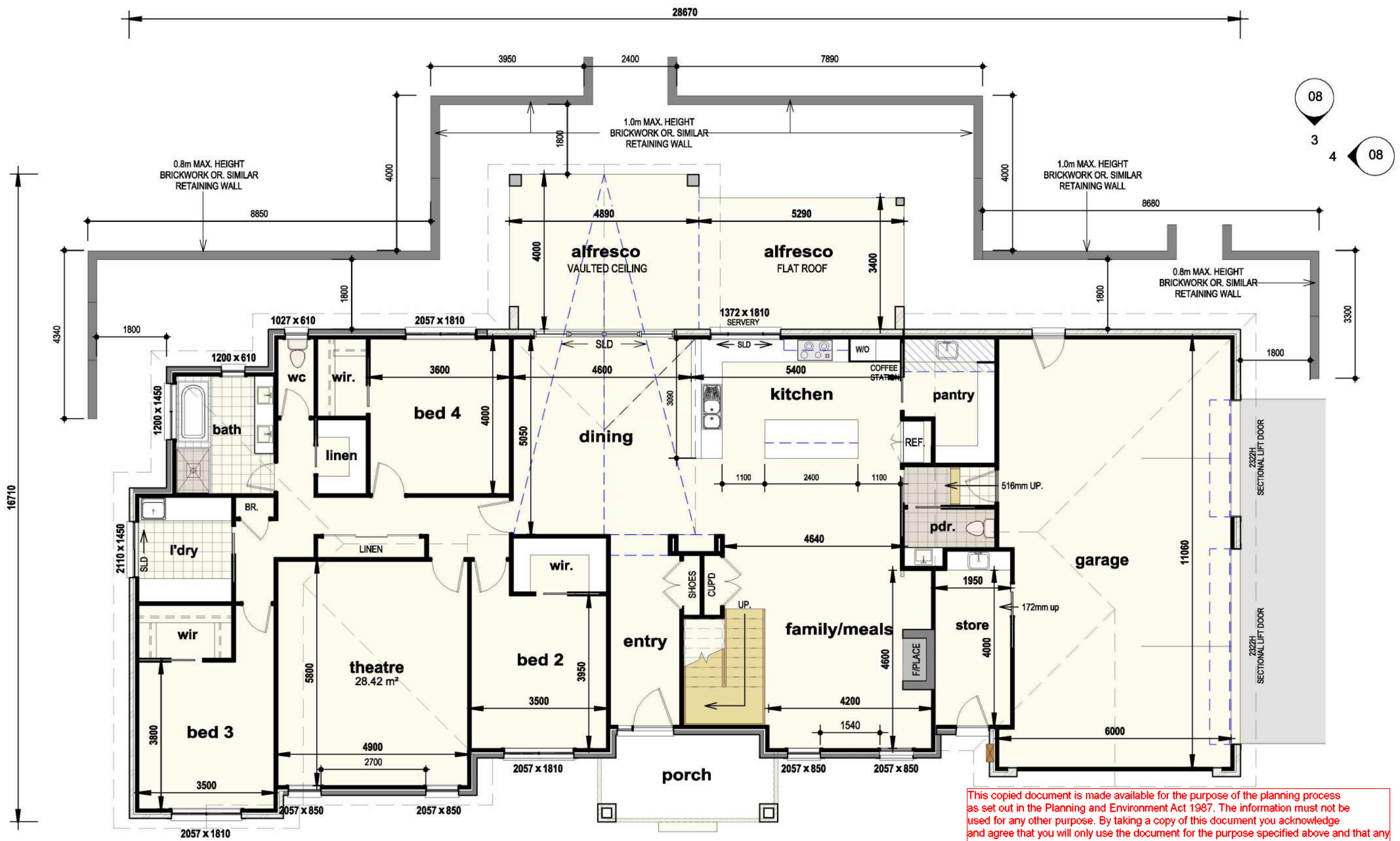
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DRG No. **295223**
Sht No: 04

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GROUND FLOOR PLAN
1 : 100

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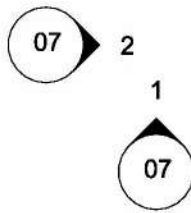
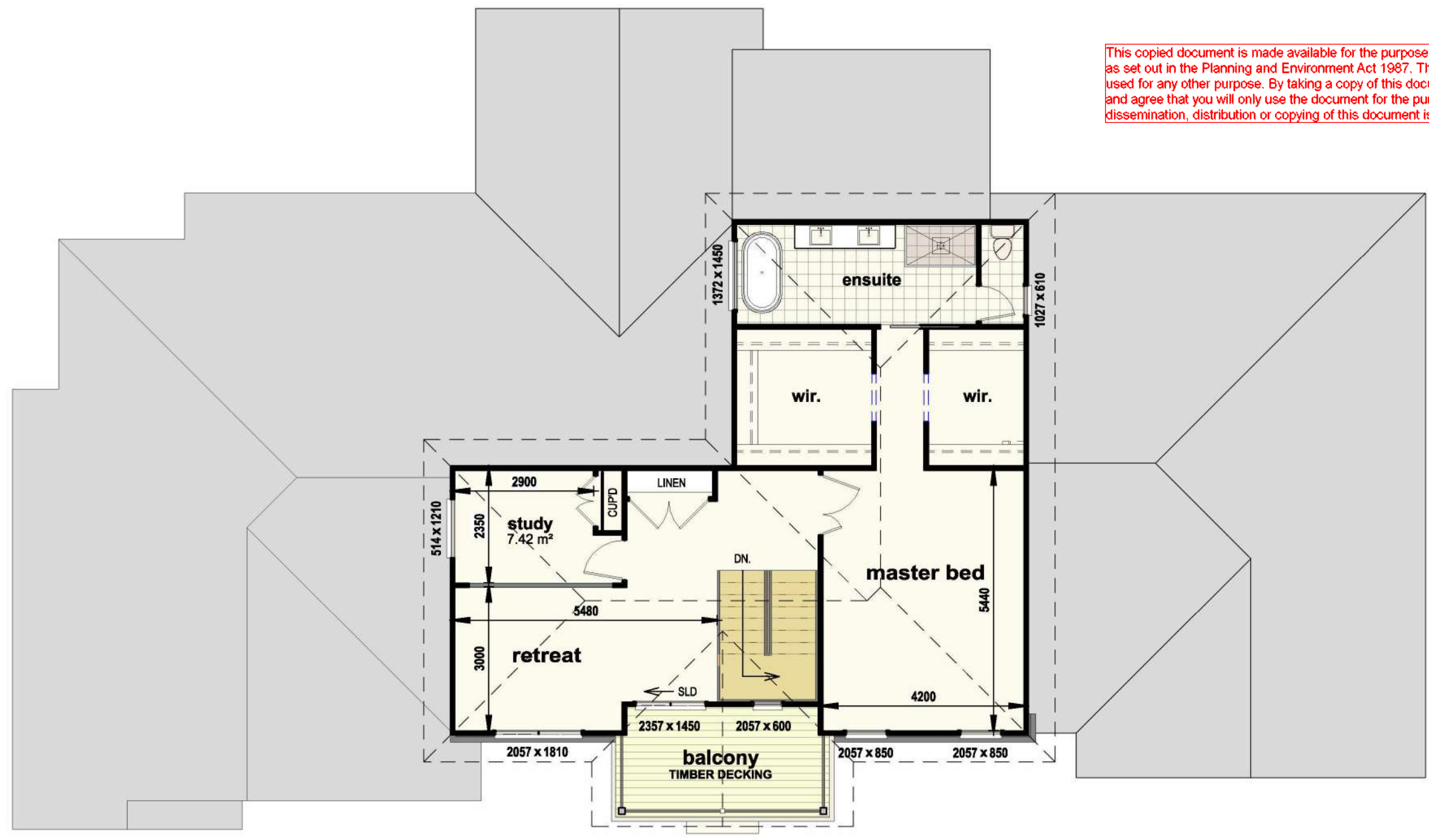
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Sht No: 05

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UPPER FLOOR PLAN

1 : 100

AREA SCHEDULE		
Name	Area	Squares
GROUND FLOOR	241.92 m ²	26.04
UPPER FLOOR	97.03 m ²	10.44
GARAGE	79.86 m ²	8.60
ALFRESCO	37.55 m ²	4.04
BALCONY	11.38 m ²	1.23
PORCH	9.88 m ²	1.06
Grand total	477.61 m ²	51.41

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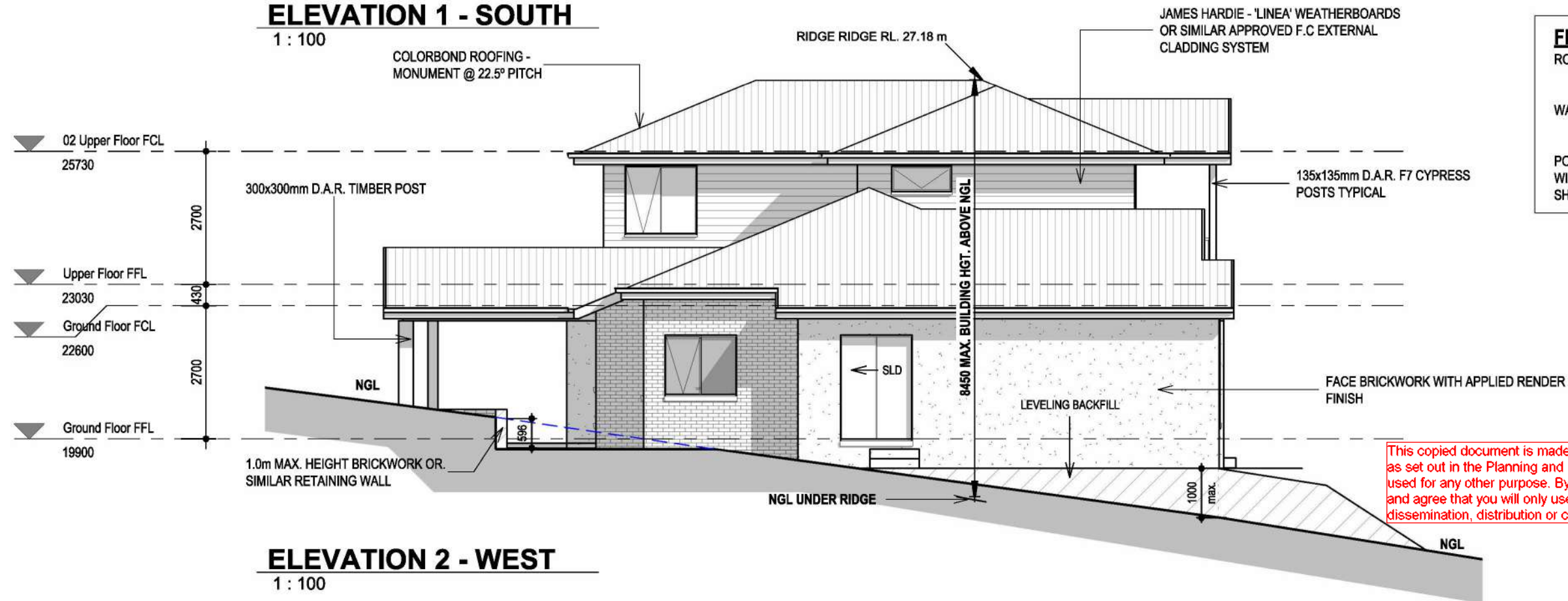
TOWN PLANNING ISSUE 5 (REDESIGN+2nd DWELL)	SMW	19.09.24
TOWN PLANNING ISSUE 4 (TREE REMOVAL)	SMW	07.06.24
TOWN PLANNING ISSUE 3	SMW	04.04.24
TOWN PLANNING ISSUE 2	SMW	15.02.24
PROPOSED SITE CONDITIONS PLAN	SMW	28.11.23
TOWN PLANNING ISSUE	SMW	21.09.23

DRG No. **295223**
Sht No: 06
 REGISTERED Building Practitioner



ELEVATION 1 - SOUTH

1 : 100



ELEVATION 2 - WEST

1 : 100

FINISHES SCHEDULE	
ROOF	ROOFING - MONUMENT
	FASCIA - CREAM / OFF WHITE
	GUTTERS - MONUMENT
WALLS	BRICKWORK - BROWNISH RECYCLED LOOK
	RENDER - CREAM / OFF WHITE
	WEATHERBOARDS - CREAM / OFF WHITE
POSTS	- CREAM / OFF WHITE
WINDOWS	- MONUMENT
SHED	- ALL MONUMENT

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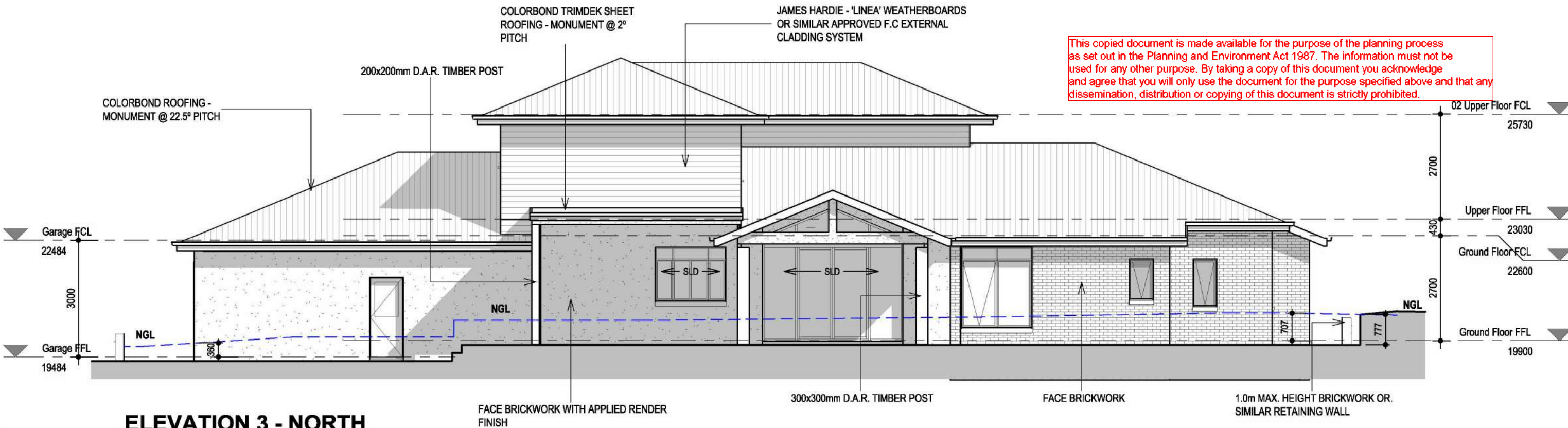
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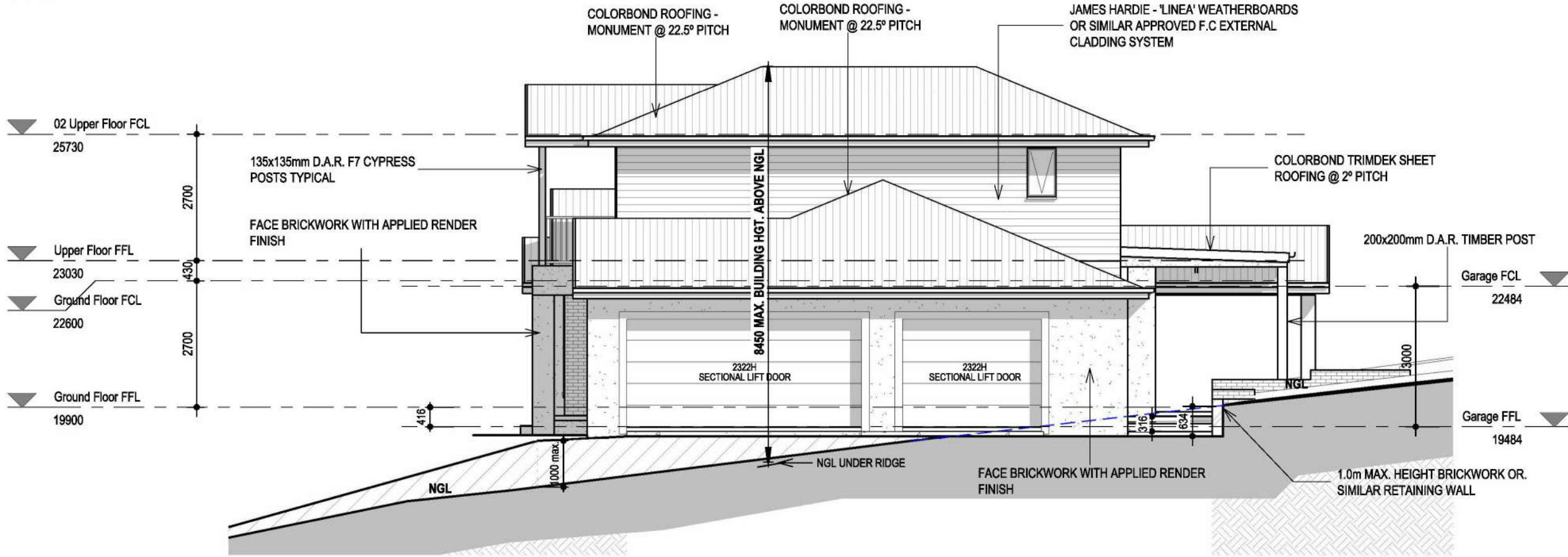
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PROPOSED SITE CONDITIONS PLAN	SMW	28.11.23
TOWN PLANNING ISSUE	SMW	21.09.23

DRG No.	295223
Sht No:	07
	REGISTERED Building Practitioner

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ELEVATION 3 - NORTH
1 : 100



ELEVATION 4 - EAST
1 : 100

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PROPOSED SITE CONDITIONS PLAN	SMW	28.11.23
TOWN PLANNING ISSUE	SMW	21.09.23

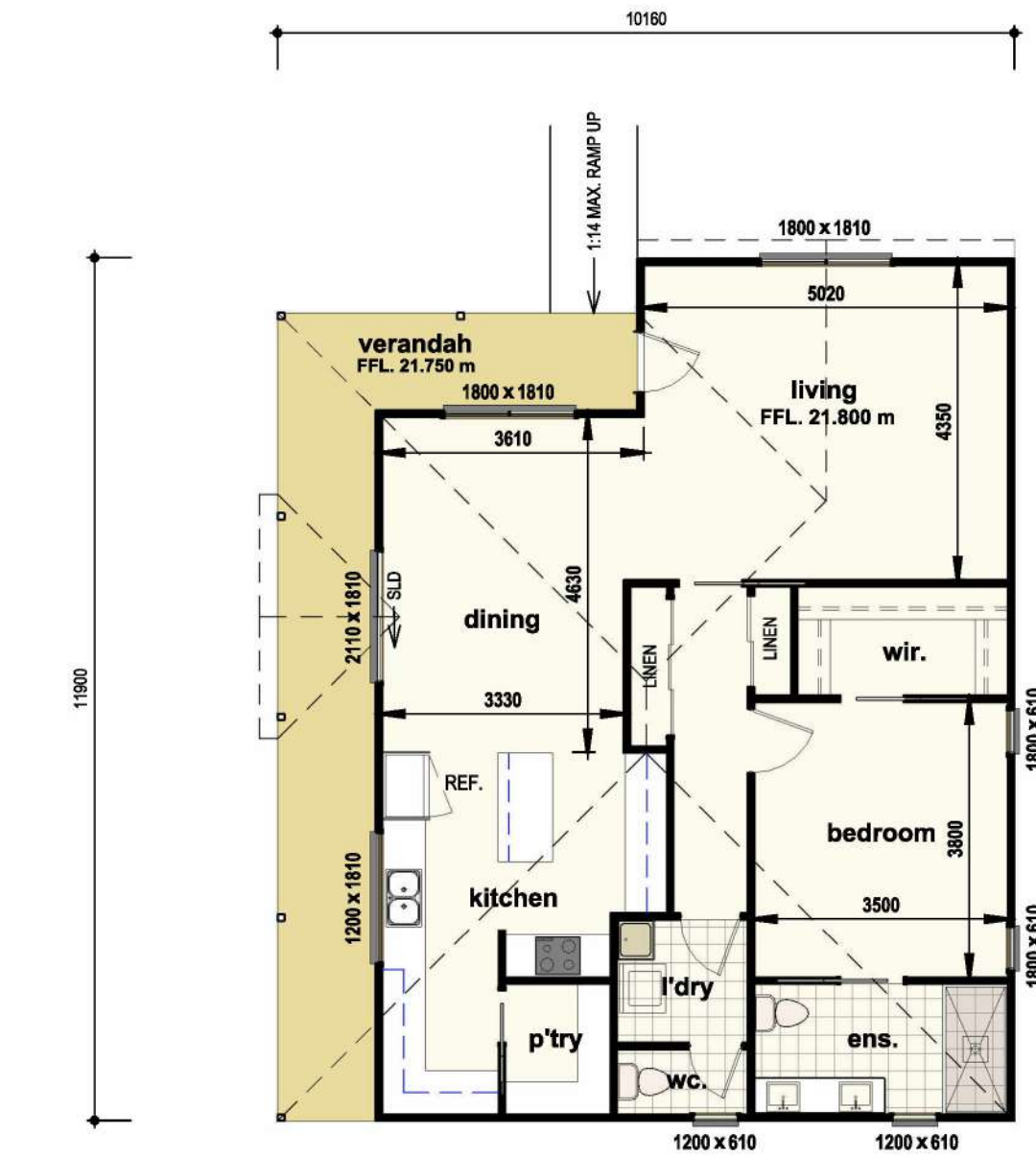
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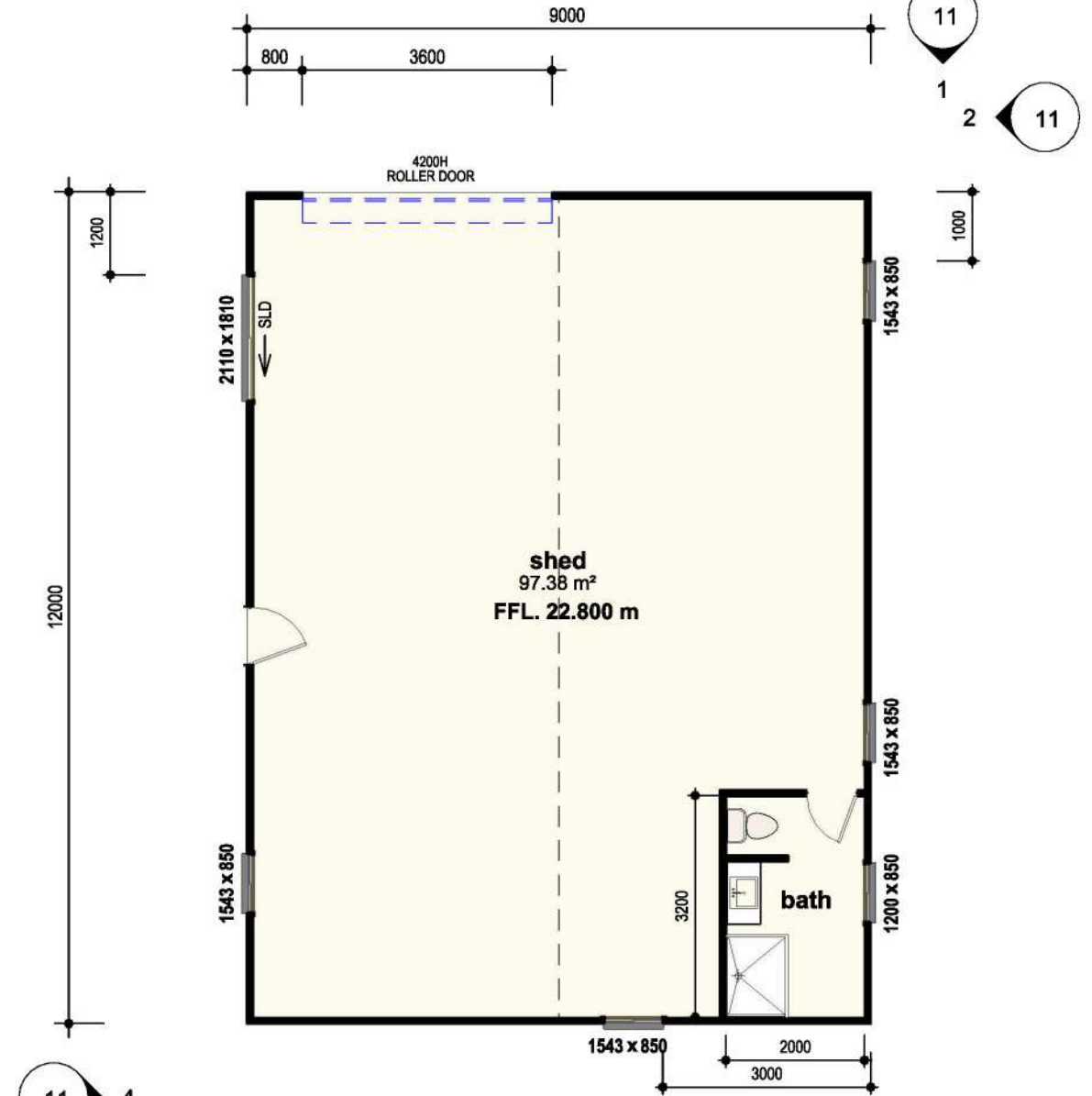
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2nd DWELLING FLOOR PLAN

1 : 100

AREA SCHEDULE 2nd DWELLING		
Name	Area	Squares
2nd DWELLING	97.29 m ²	10.47
2nd DWELLING VER.	19.93 m ²	2.14
Grand total	117.21 m ²	12.62



SHED FLOOR PLAN

1 : 100

AREA SCHEDULE SHED		
Name	Area	Squares
TOTAL SHED	108.00 m ²	11.63

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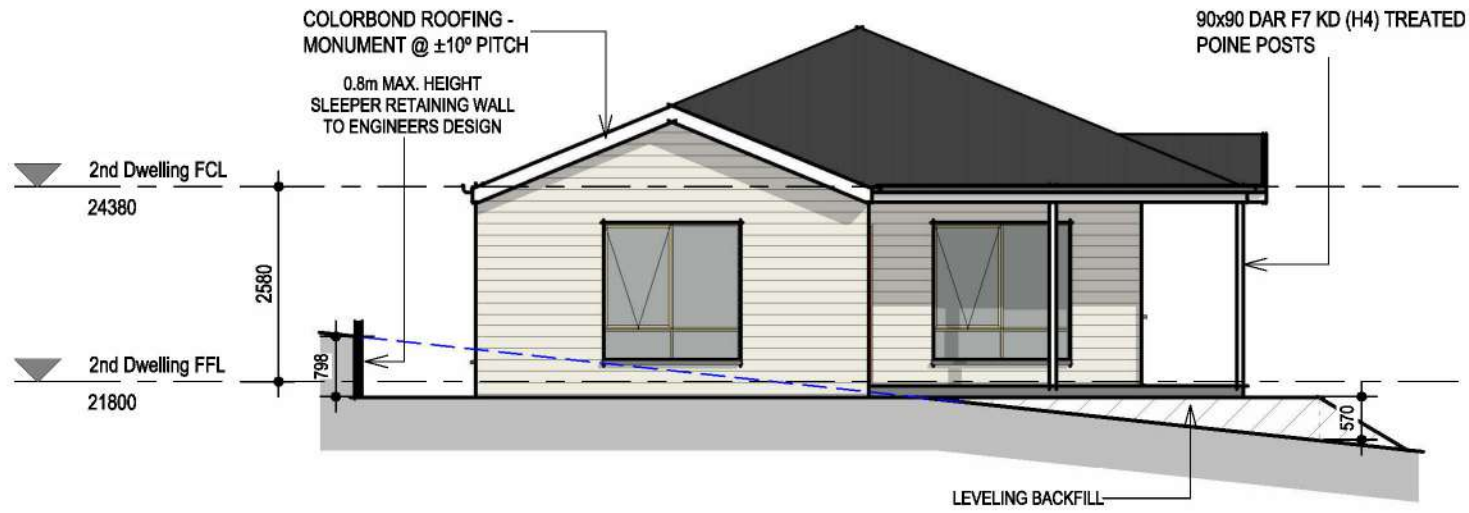
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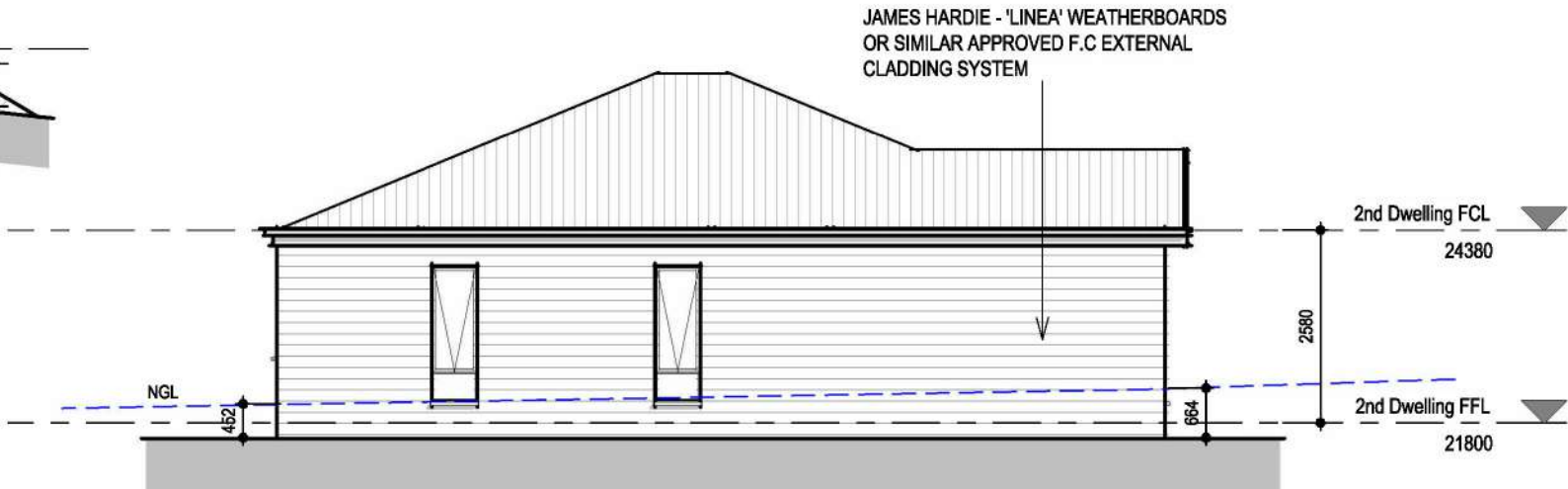
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DRG No.	295223
Sht No:	09
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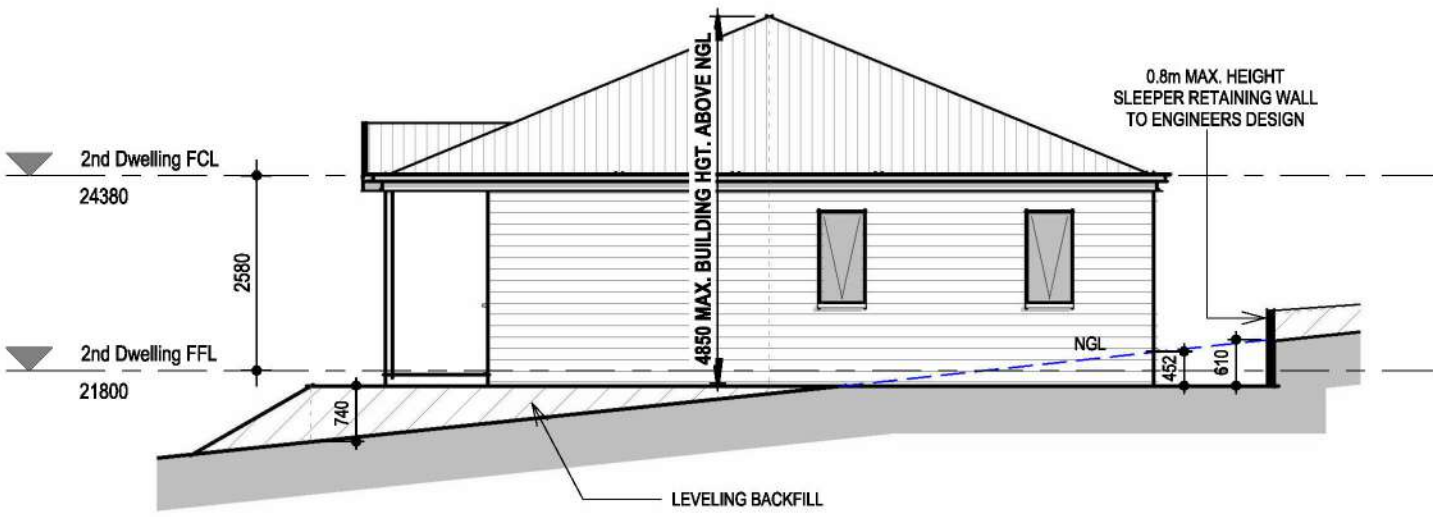
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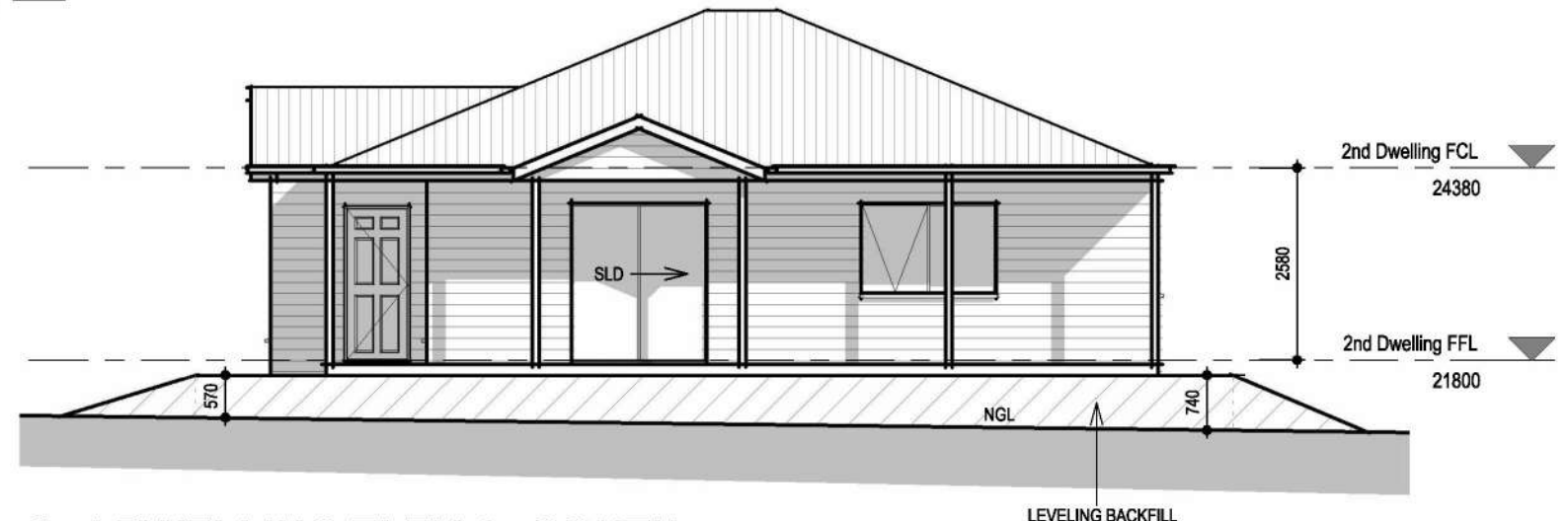
2nd DWELLING ELEV.1 - WEST
1 : 100



2nd DWELLING ELEV.2 - NORTH
1 : 100



2nd DWELLING ELEV.3 - EAST
1 : 100



2nd DWELLING ELEV.4 - SOUTH
1 : 100

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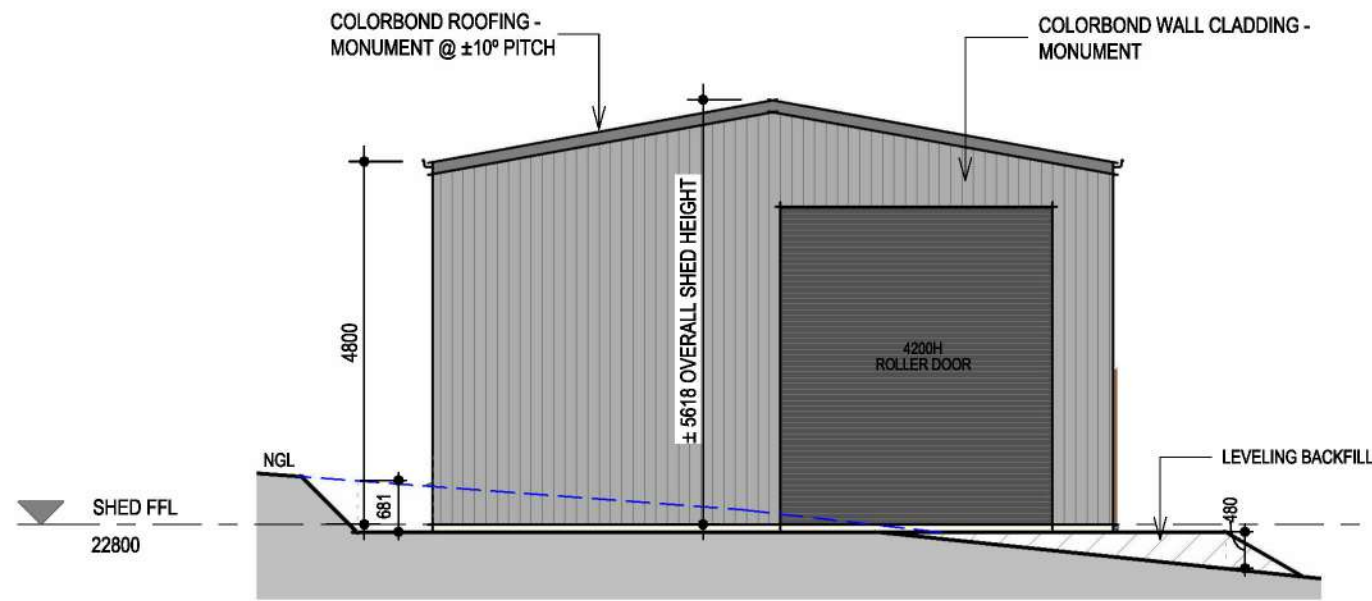
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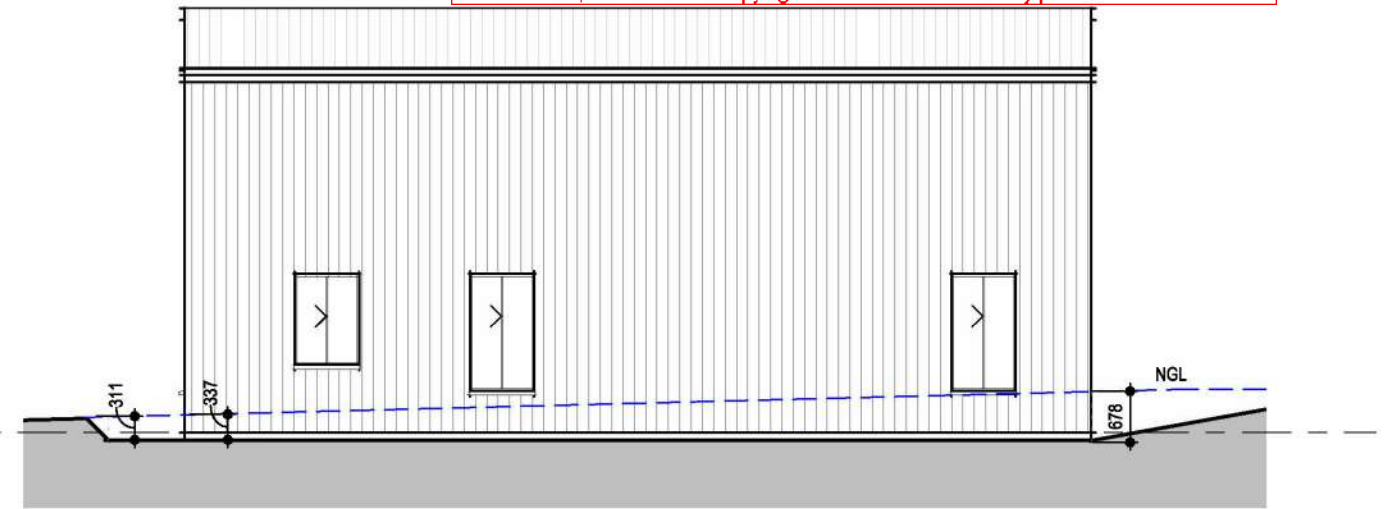
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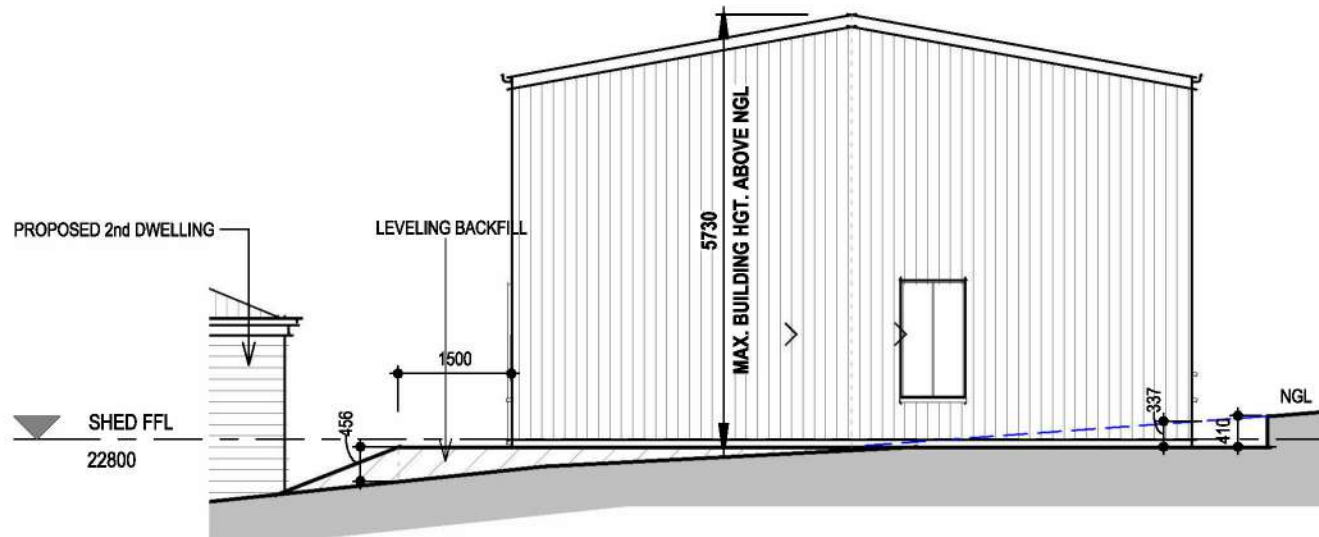
SHED ELEVATION 1 - WEST

1 : 100



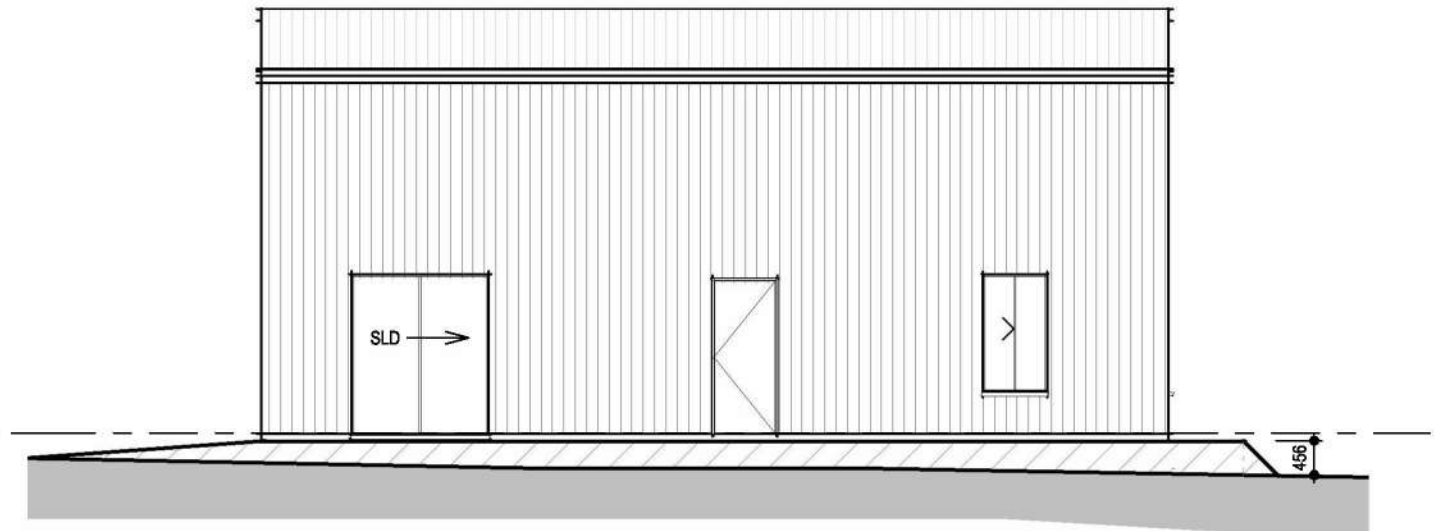
SHED ELEVATION 2 - NORTH

1 : 100



SHED ELEVATION 3 - EAST

1 : 100



SHED ELEVATION 4 - SOUTH


1 : 100

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TOWN PLANNING REPORT

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The construction of two dwellings and a shed,
associated works including earthworks and the
removal of vegetation

at 5 Mary Street, Bunyip VIC 3815



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1. PRELIMINARY

ADDRESS	5 Mary Street, Bunyip VIC 3815 Lot 3 LP134373			
RESPONSIBLE AUTHORITY	Cardinia Shire Council			
ZONE	Low Density Residential Zone - Schedule 2			
OVERLAY	Design and Development Overlay - Schedule 1 Vegetation Protection Overlay - Schedule 1			
BUSHFIRE PRONE AREA	Yes			
CULTURAL HERITAGE	No			
EASEMENTS, RESTRICTIONS, ENCUMBRANCES	No			
PROPOSAL	Construction of two dwellings and a shed, and associated works including earthworks and the removal of vegetation.			
PERMIT TRIGGERS	Clause 32.03-1, use of land for two dwellings (section 2 use) Clause 42.02, a permit is required to remove vegetation. Clause 43.02, a permit is required under the Design and Development Overlay to construct a building or construct or carry out works as the total height of the building exceeds 7m, earthworks are required and the buildings and works will result in the removal of native vegetation. Clause 52.17, a permit is required to remove native vegetation.			
RELEVANT PLANNING CONTROLS AND INCORPORATED DOCUMENTS	Clause 11 Settlement Clause 13.02 Bushfire Planning Clause 15 Built Environment & Heritage Clause 16 Housing Clause 18 Transport Clause 19 Infrastructure Clause 43.02 Design and Development Overlay Clause 42.05 Vegetation Protection Overlay Clause 52.17 Native Vegetation Clause 65.01 Approval of an application or plan			
NLS QUALITY SYSTEM	AUTHOR	DATE ISSUED	CHECKED BY	REVISION
	RO	22/10/2024	JB	4

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2. INTRODUCTION

This town planning report has been prepared by Nobelius Land Surveyors on behalf of the landowner of Lot 3 LP134373, 5 Mary Street, Bunyip to support a planning permit application seeking Council approval to construct two dwellings and a shed, associated works including earthworks and the removal of vegetation.

The subject site is a vacant lot within the Bunyip township boundary and is zoned Low Density Residential Zone – Schedule 2 in the Cardinia Planning Scheme. The Design and Development Overlay – Schedule 1 and the Vegetation Protection Overlay – Schedule 1 apply.

The landowner is seeking Council approval for the construction of a detached double storey dwelling, shed and associated works including earthworks and the removal of native vegetation on the subject site. A dwelling is an as of right use in the Low Density Residential Zone – Schedule 2 providing it is the only dwelling on the lot and meets the requirements of Clause 32.03-2. A planning permit is triggered for this proposal pursuant to:

- Clause 32.03-1, a permit is required to use the land for a second dwelling (section 2 use).
- Clause 42.02, a permit is required to remove vegetation.
- Clause 43.02, a permit is required under the Design and Development Overlay to construct a building or construct or carry out works as the total height of the building exceeds 7m, earthworks are required and the buildings and works will result in the removal of native vegetation.
- Clause 52.17, a permit is required to remove, destroy or lop native vegetation.

A Land Capability Assessment Report and an Arboricultural Assessment Report have informed the proposed development, and the key site constraints and considerations have been identified and appropriately responded to throughout the design process. The site features native vegetation, and the avoid, minimise and offset requirements of Clause 52.17 Native Vegetation and objectives of the applicable overlays are particularly relevant to this proposal.

It is submitted that the proposed subdivision is an appropriate planning outcome that helps to give effect to the relevant policies, objectives and strategies of the Cardinia Planning Scheme, aligns with Council's vision for the DDO1 area and Precinct 3 in the *Bunyip Township Strategy 2009*, and ultimately provides for modest population growth with minimal impacts to native vegetation.

This town planning report should be read in conjunction with the following supporting documents:

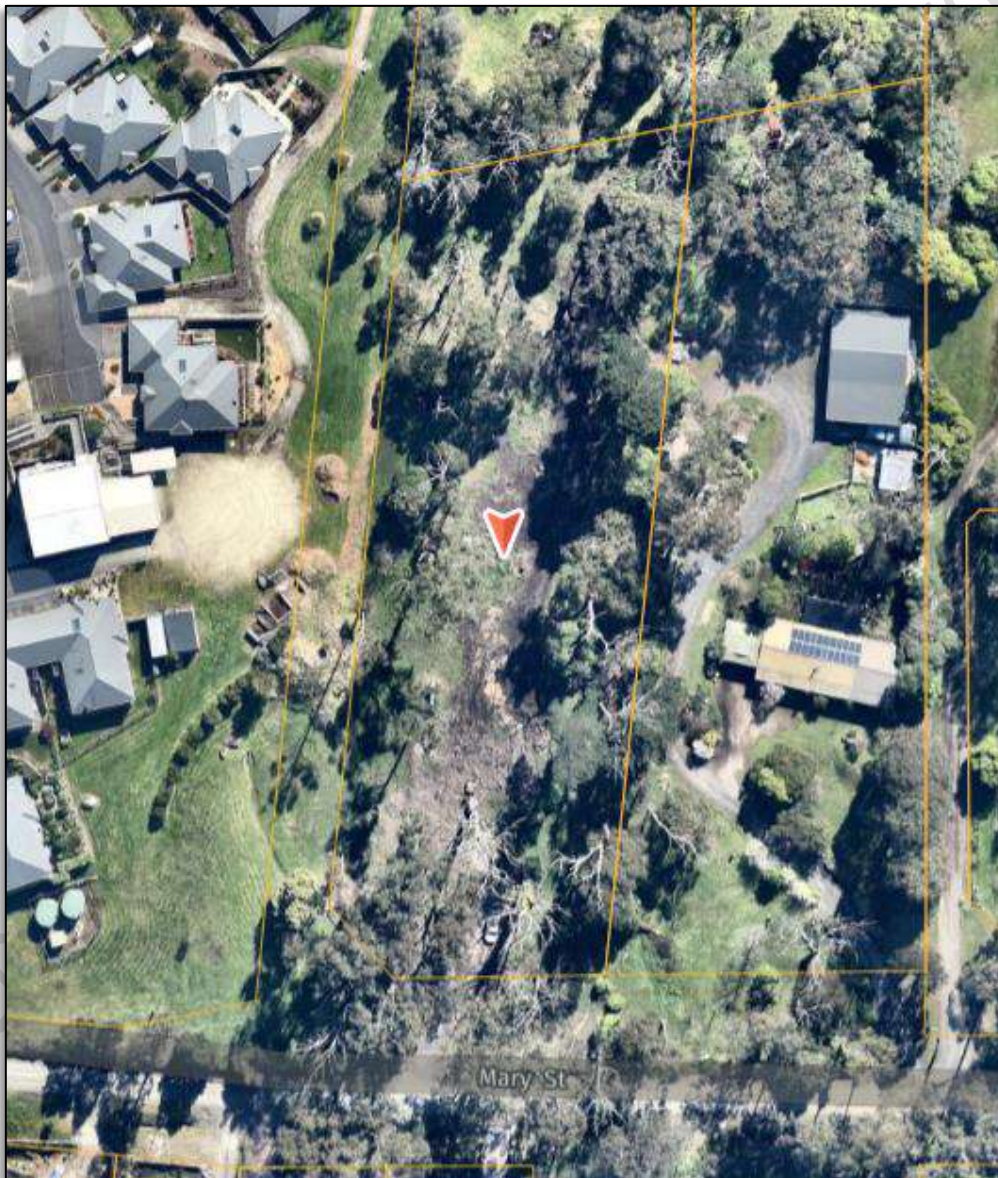
- Current copy of title and plan
- Proposed site conditions plan and development plans prepared by Korden Design (revised October 2024)
- Tree Protection Management Plan and Impact Report prepared by Jim's Trees and Stumps (revised October 2024)
- Land Capability Assessment prepared by Soil Test Express (revised October 2024)
- Native Vegetation Removal Report (June 4, 2024)
- List of available offsets (June 4, 2024)

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3. SUBJECT SITE AND SURROUNDING LOCALITY

SITE ANALYSIS

The land is formally described as Lot 3 LP134373, 5 Mary Street, Bunyip. The site forms part of the low-density residential precinct to the east of the Bunyip town centre and encompasses a total area of 5,508m². The site is an elongated rectangular corner lot, with 34.14m frontage to Mary Street to the south, a corner splay of 13.38m, and 121.19m frontage to the paper road to the west. The land is vacant with scattered mid-high vegetation. No restrictions are recorded on the title and no easements encumber the site.



5 MARY STREET, BUNYIP (NEARMAP 03/09/23)

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PERMIT HISTORY

A planning permit for the development of the land for a single storey dwelling, a carport and vegetation removal for the site was issued in June 2019 (T180393) and has since lapsed. The current planning permit application (T230470) seeks Council approval for the construction of two dwellings, a shed and associated works including earthworks and removal of vegetation. A summary of the planning permit history pertaining to 5 Mary Street, Bunyip is provided below:

T230470	Construction of a dwelling, shed and associated works including earthworks and removal of vegetation. Lodged 25 September 2023 (Current)
T180393-PC1	Section 173 Agreement. Lodged 27 June 2019, withdrawn 02 December 2019.
T180393	Development of the land for a single storey dwelling, a carport and vegetation removal. Lodged 26 June 2018, permit issued 17 June 2019.

SURROUNDS

The subject site is located in the south-east corner of the Low-Density Residential Zone cell to the east of the town centre of Bunyip and to the north of the railway line:



SUBJECT SITE AND WIDER CONTEXT (CARDINIA POZI MAP)

The low-density residential cell is characterised by large residential lots developed with a single detached dwelling and small outbuildings. The cell has strong character associated with generous front setbacks, established vegetation and a variety of residential architecture. The street network is sympathetic to the topography and predominately used for local traffic. Mary Street, not unlike many residential streets in Bunyip, is unsealed with open culvert drains on either side and no footpaths.

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Mary Street extends from Anderson Street to the west, Henry Road to the east and provides local access to residential lots on either side. A street view image of Mary Street with the driveway of the subject site to the left is provided below:



LOOKING EAST ALONG MARY STREET FROM THE FRONT OF THE SUBJECT SITE (GOOGLE MAPS, 2023)

The land immediately adjoining the subject site has been described below and highlights a development pattern of single detached dwellings on generously sized lots:

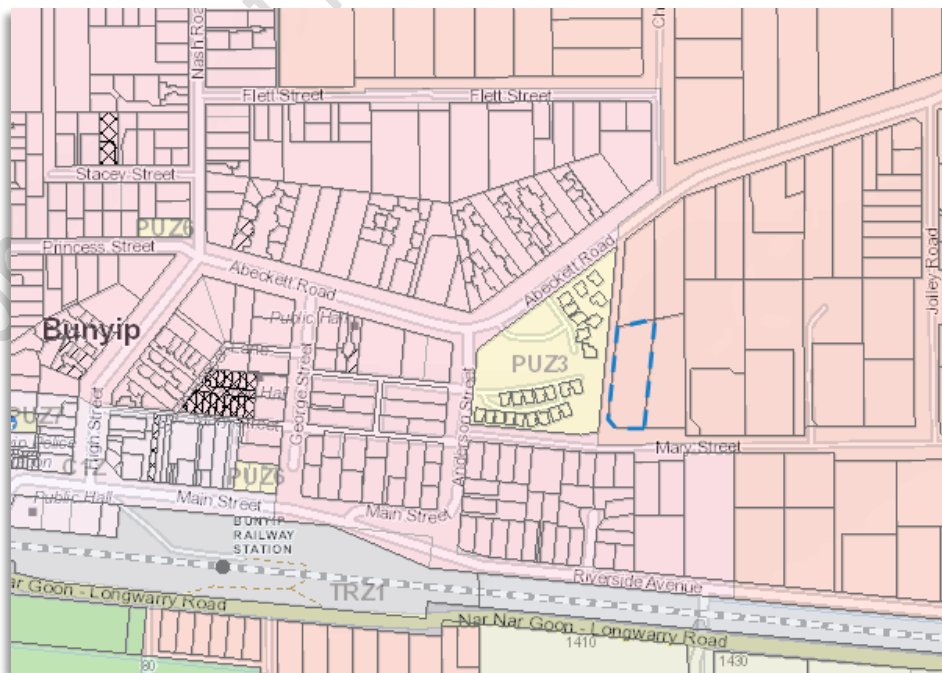
NORTH	30 Abeckett Road, Bunyip (Lot 2 LP134373) A low density residential zoned lot of 4,356m ² , developed with a single dwelling and associated outbuildings.
EAST	7 Mary Street, Bunyip (Lot 4 LP134373) A low density residential zoned lot of 5,755m ² , developed with a single dwelling and associated outbuildings.
SOUTH	32 Mary Street, Bunyip (Lot 1 LP139011) A general residential zoned lot of 956m ² , developed with a single dwelling and detached garage.
	32A Mary Street, Bunyip (Lot 6 PS540255) A general residential zoned lot of 956m ² , developed with a single dwelling and detached dwelling.
	34 Mary Street, Bunyip (Lot 1 LP139011) A general residential zoned lot of 1,923m ² , developed with a single dwelling.
WEST	A government road (paper road) abuts the subject sites western boundary, and 22 Abeckett Road, Bunyip (PC373038) A large parcel of land with an area of 20,164m ² , zoned Public Use Zone – Health and Community (PUZ3). Developed with multiple small units and a large facility associated with Hillview Bunyip Aged Care.

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Aerial and cadastral images of the subject site and all adjoining land is provided below:



AERIAL IMAGE OF SUBJECT SITE AND SURROUNDS (NEARMAP 03/09/2023)



ZONING MAP (VICPLAN)

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ENVIRONMENTAL CONSIDERATIONS

TOPOGRAPHY

Topographically, the land gently falls 15.2m from the north-west to the south-east across a distance of approximately 125m. Earthworks are proposed as part of the development to counter the slope.

CULTURAL HERITAGE

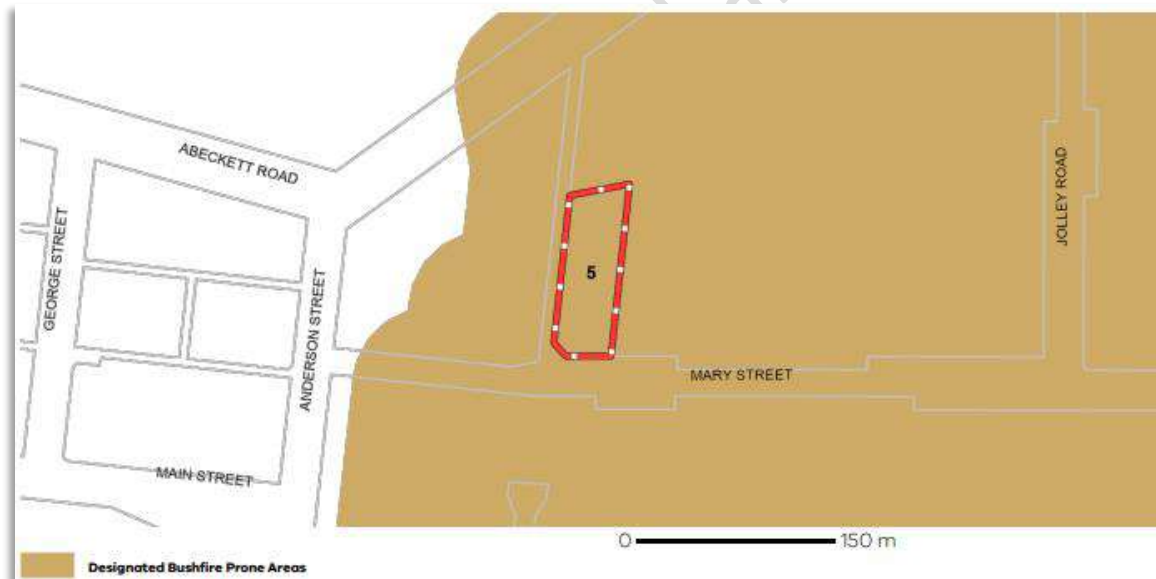
The land is not mapped within an area of potential cultural significance.

VEGETATION

The subject site features established vegetation, with messmate (*Eucalyptus obliqua*) trees being the predominate species on and adjoining the site. The provisions of Clause 52.17 Native Vegetation and 42.02 Vegetation Protection Overlay apply and have been addressed within this report.

BUSHFIRE PRONE AREA

The entirety of the subject site is mapped as a designated Bushfire Prone Area. Further information on how the proposal has considered the implications of being mapped within a designated bushfire prone area has been provided in the response to clause 13.02 Bushfire Planning in subsection 7 of this report.



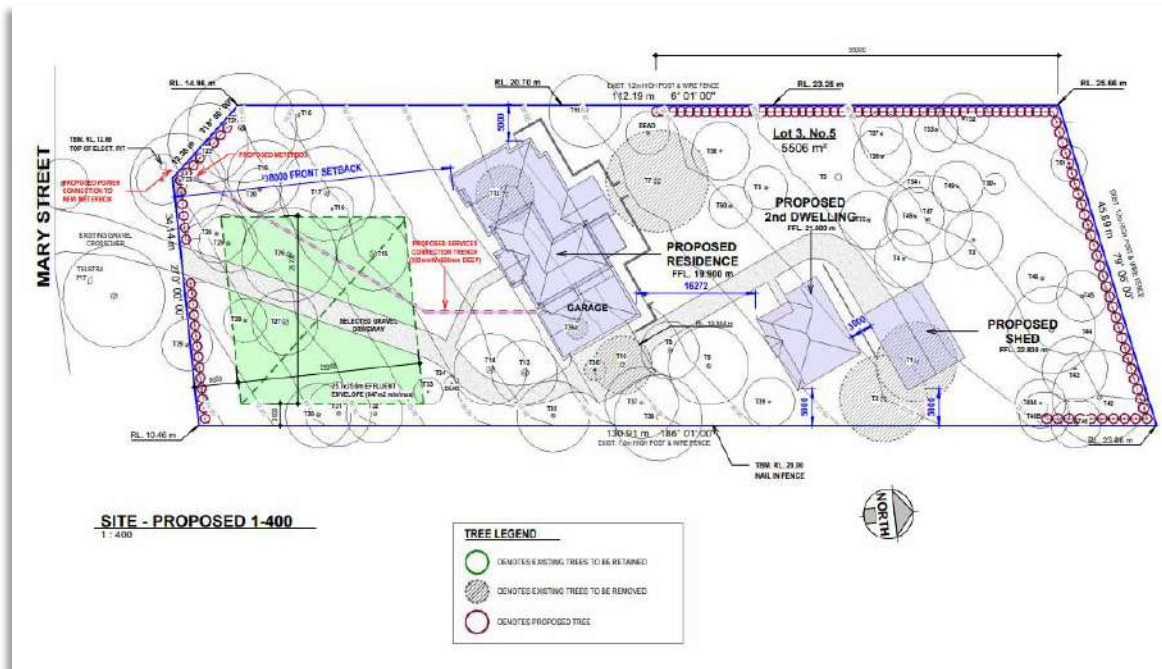
DESIGNATED BUSHFIRE PRONE AREAS (VICPLAN)

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4. THE PROPOSAL

Council approval is sought for the construction of two dwellings and a shed, and associated works including earthworks and removal of vegetation.

A site plan showing the proposed location of the two dwellings, shed, driveway and effluent area is provided below:



EXTRACT OF PROPOSED SITE CONDITIONS PLAN

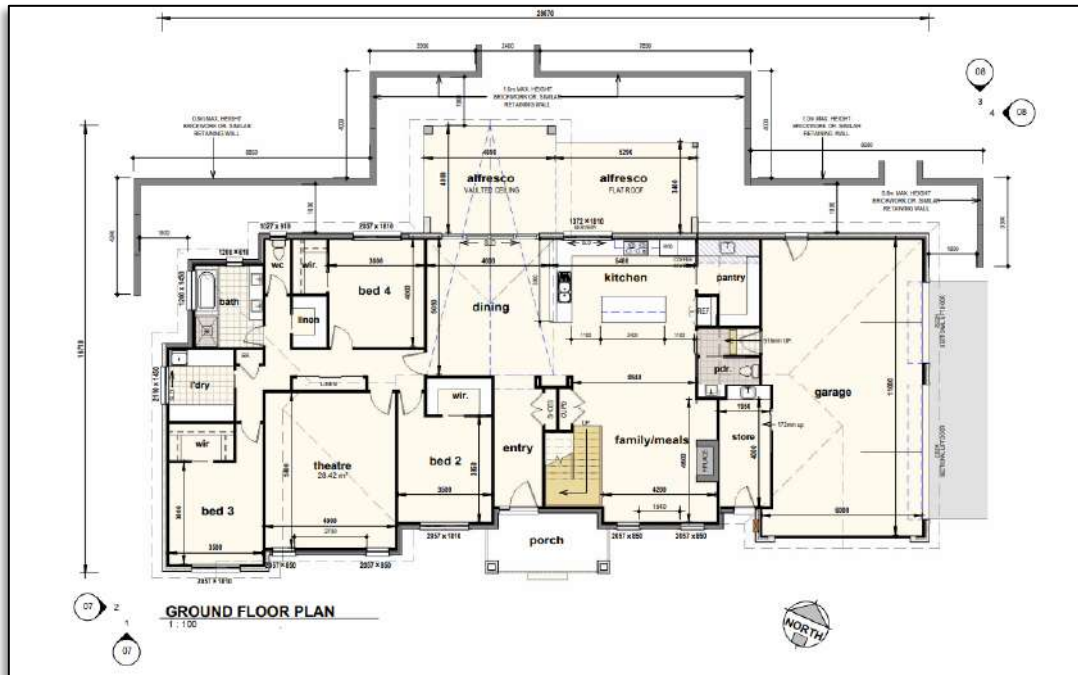
A permit is triggered for this proposal pursuant to:

- Clause 32.03-1 (LDRZ) - a permit is required to use the land for a second dwelling (section 2 use).
- Clause 42.02-2 (VPO) - a permit is required to remove, destroy or lop any vegetation.
- Clause 43.02 (DDO) a permit is required under the Design and Development Overlay to construct a building or construct or carry out works as the total height of the building exceeds 7m, earthworks are required and the buildings and works will result in the removal of native vegetation.
- Clause 52.17 Native Vegetation - a permit is required to remove, destroy or lop native vegetation.

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PROPOSED PRIMARY DWELLING

The proposed dwelling will be a double storey residence with five bedrooms, five living areas, and two bathrooms. A double garage underroof will provide car parking for two vehicles. The maximum building height of the dwelling above natural ground level is 8.45m. Floorplan extracts are provided below:



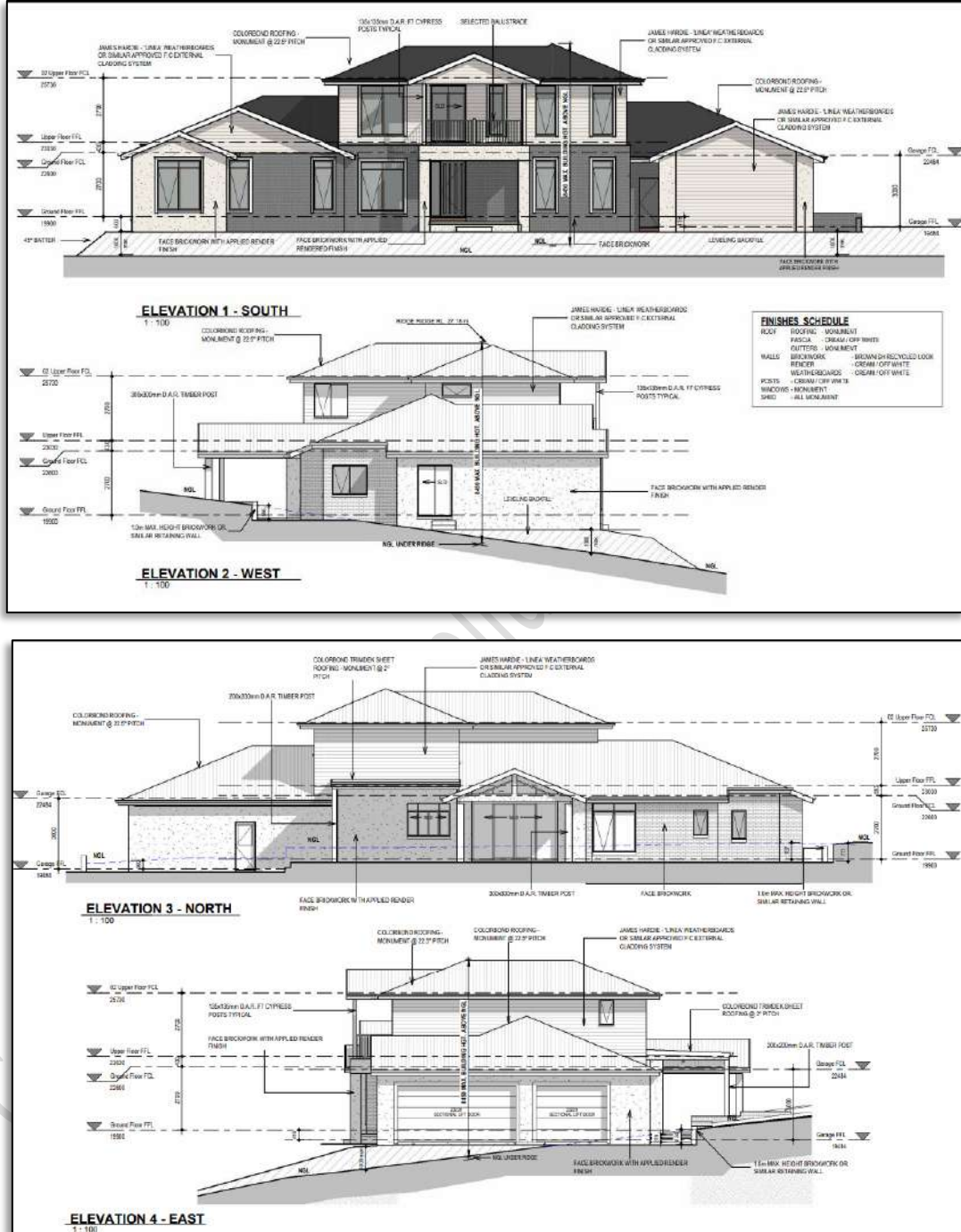
EXTRACT OF GROUND FLOOR PLAN



EXTRACT OF UPPER FLOOR PLAN

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The dwelling is proposed to be finished in neutral tones in a contemporary architectural style. A variety of materials and finishes are proposed to provide articulation which will help to create visual interest and minimise any appearance of bulk. A combination of rendered brick and James Hardie 'linea' boards are proposed to clad the façade, and the hip and gable colourbond sheet roof in 'monument'. Extracts of elevations of the primary dwelling are provided below:

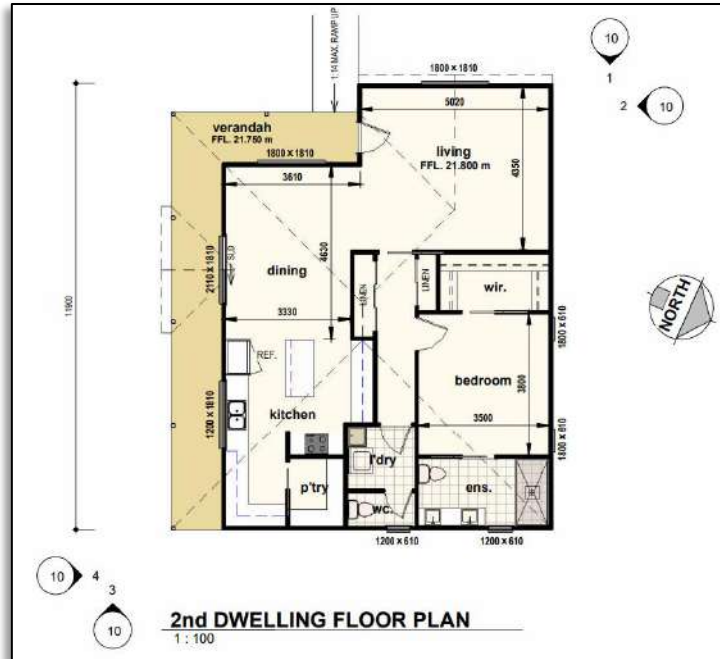


ELEVATIONS PROPOSED PRIMARY DWELLING

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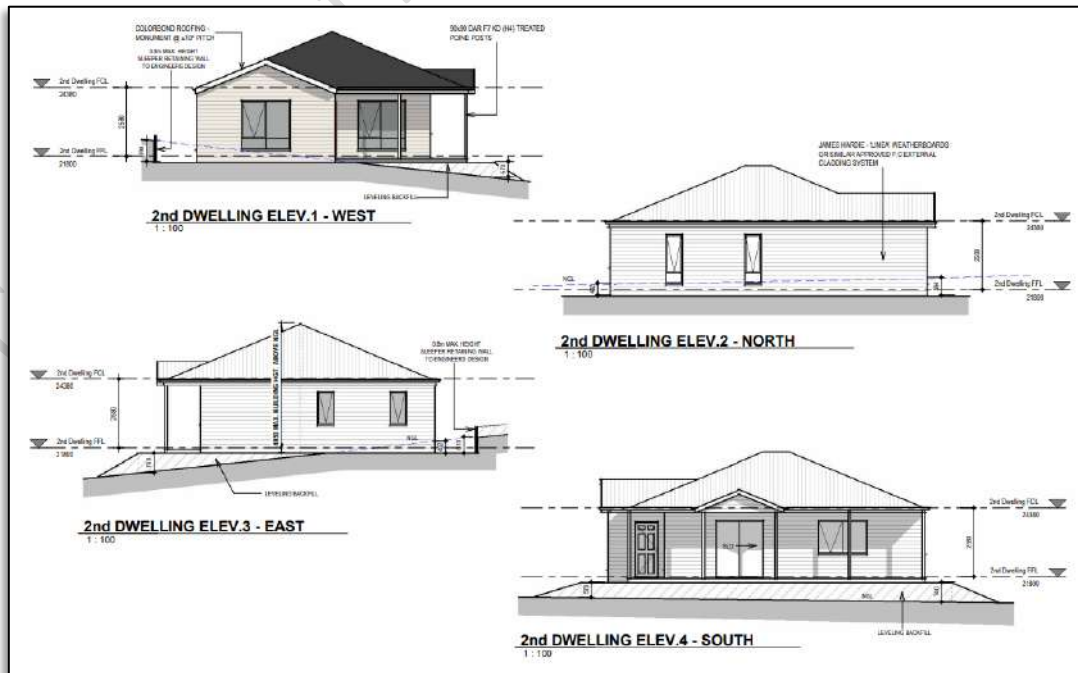
PROPOSED SECOND DWELLING

It is proposed to construct a second dwelling on the site, with one bedroom and open plan living. The second dwelling will be sited to the rear of the primary dwelling and have an underroof area of 117.21m²:



FLOOR PLAN PROPOSED SECOND DWELLING

The proposed second dwelling is to be constructed from materials that are consistent to those used in the primary dwelling – James Hardie ‘Linea’ Weatherboard cladding, with a ‘Monument’ colorbond hip and gable roof with articulated porch:



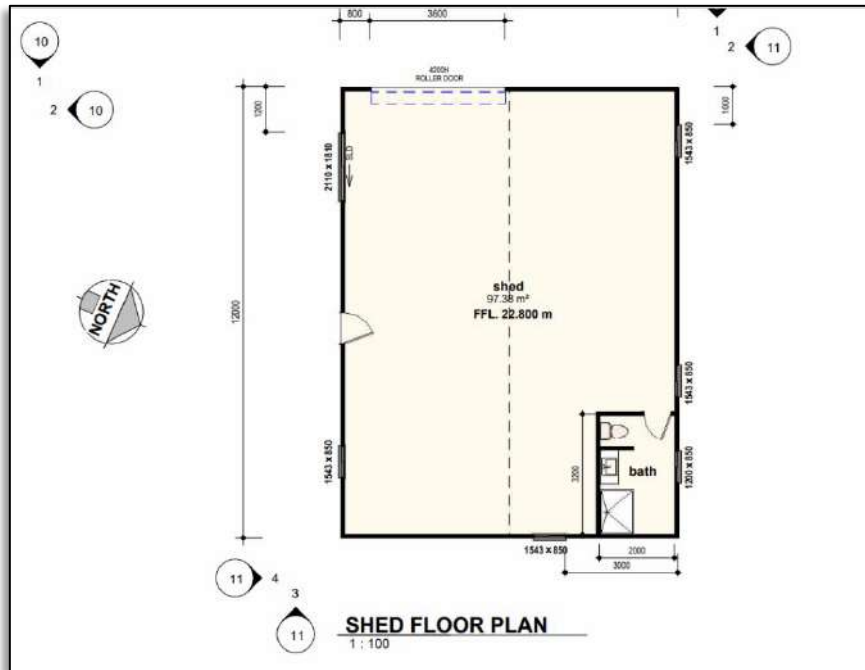
ELEVATIONS PROPOSED SECOND DWELLING

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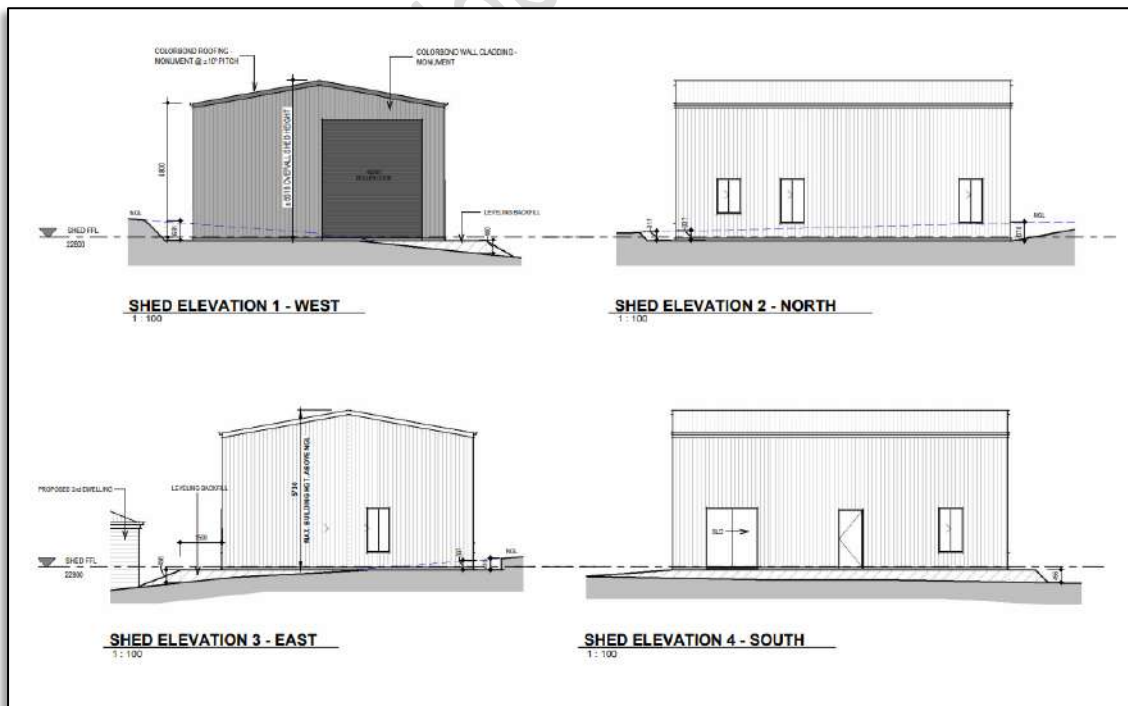
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PROPOSED SHED

It is proposed to construct a standard rectangular shed with an area of 108m² in the north-east corner of the subject site (to the rear of the dwellings). The shed will be clad in Colorbond 'monument' and complement the two dwellings in terms of colours, materials and form:



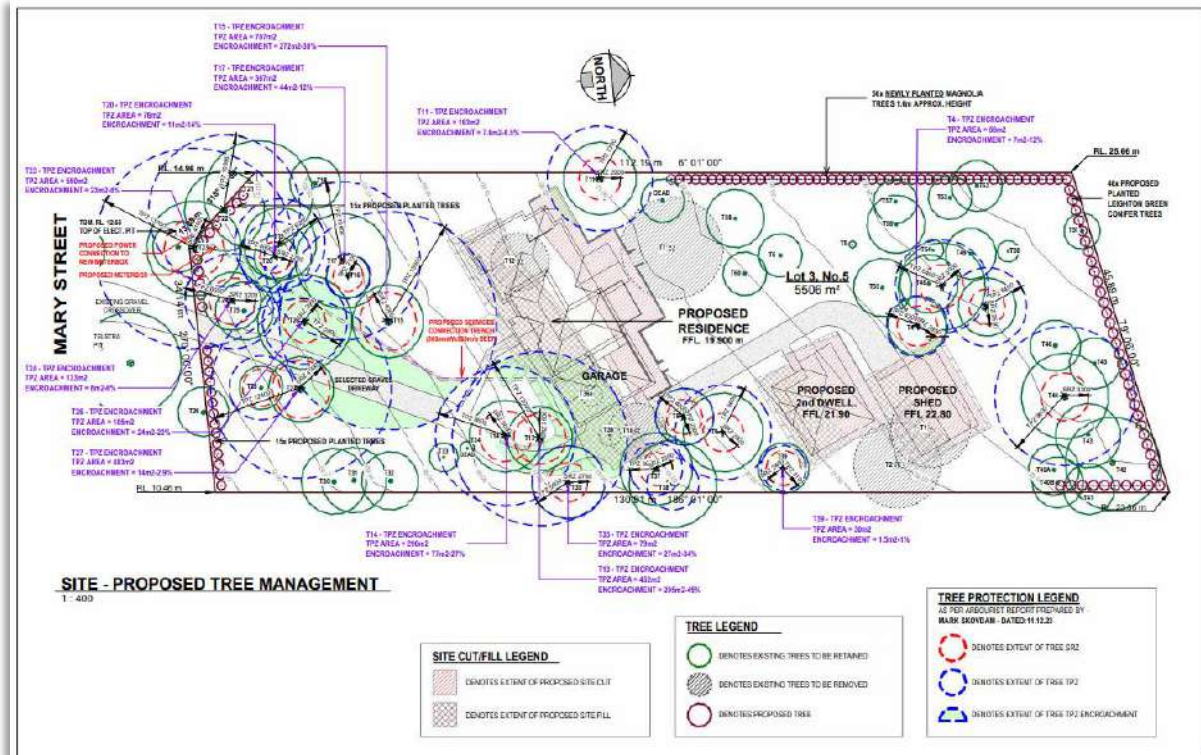
FLOOR PLAN PROPOSED SHED



ELEVATIONS PROPOSED SHED

EARTHWORKS

Earthworks are proposed to facilitate the development to counter the slope of the site, trench services and construct a driveway. Please refer to Sheets 2-5 of the development plans prepared by Korden Design (updated October 2024) for further information re: cut and fill.

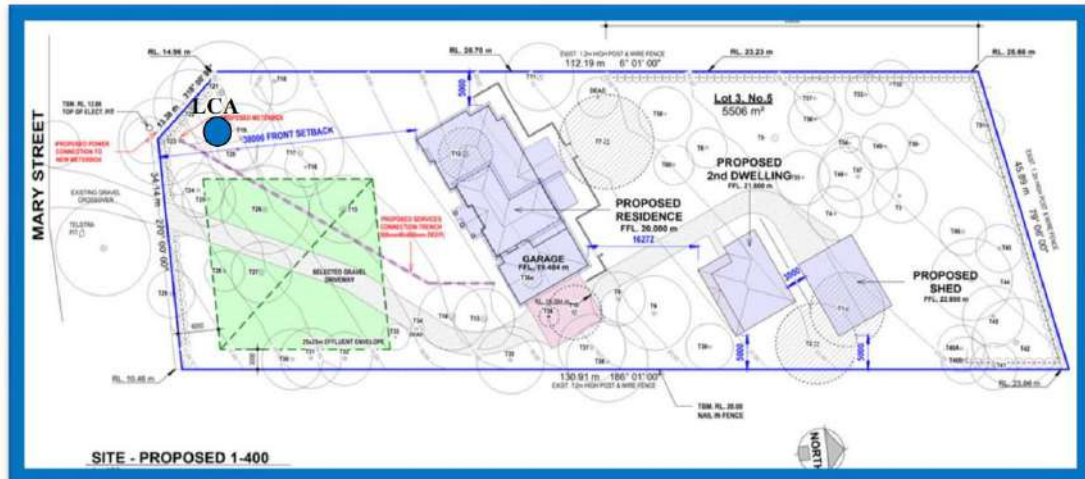


SITE PLAN SHOWING AREAS OF CUT AND FILL PROPOSED AROUND DWELLING (SHEET 2)

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WASTEWATER TREATMENT

In the absence of reticulated sewer, a Land Capability Assessment (LCA) has been prepared by Soil Test Express (updated October 2024) and has determined that the subject site can treat and retain all domestic wastewater on site. The proposed effluent area (LAA) is shown on the images below:



PROPOSED LAA AS PER SOIL TEST EXPRESS LCA REPORT

Upon recommendation of the LCA, it is proposed to use a secondary treated subsurface irrigation system. A wick trench or bed system is not recommended due to the high potential for impacts to vegetation within the effluent area. The proposed effluent area has been minimised as far as practicable to avoid impacts to native vegetation whilst still ensuring compliance with the LCA, noting that subsurface irrigation requires a large area due to high rainfall and low evaporation over winter.

The LAA has been setback a minimum of 3m to all buildings and boundaries to ensure compliance with EPA setback requirements. The LCA notes that both the main dwelling and second dwelling should utilise one combined effluent area and can also share a septic tank if plumbing permits. Full water saving devices are recommended.

The LCA has been reviewed by the arborist, who notes that the secondary treated subsurface irrigation system is suitable for the purposes of tree retention and can be installed around trees. The arborist confirms that it is acceptable to install the secondary treated subsurface irrigation system around vegetation within and near the LAA as outlined within the code of practice – onsite wastewater management 3.7.2.1 & 3.11.2. Subsection 6.3 (p. 11-12) of the arborist report also notes:

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The subsurface irrigation system should be installed within the effluent envelope around the driveway to limit root exposure/access and ensure pipes do not become blocked with roots from live vegetation. Relocation may require minor adjustment of driveway, impacts to trees from realignment of driveway will be negligible. By using the designated envelope, it makes maintenance of the leech field easier by limiting root exposure and will not see the consequential loss of vegetation over time due to maintenance issues with the wastewater system.

In terms of vegetation impacts associated with the LAA, the arborist notes:

Installation of the subsurface irrigation system involves laying a narrow diameter pipework grid across an area approximately 100mm below natural ground level to gain the most benefits from the system by allowing nutrients into the surface soil for trees and plants to disperse the wastewater using evapotranspiration. 100mm depth is considered minor soil disturbance and low impact on the trees, it is not expected that trees 15, 16, 24, 26, 27, 28, 30 and 32 will see a loss of viability (trees 15, 27 and 32 are dead), live trees will likely see a net gain as eucalypts are generally considered acceptable for wastewater irrigation as demonstrated by the CSIRO.

To minimise any impacts to the tree's, the irrigation field must be installed using hand digging techniques whereby pipes can be laid and fed around any surface roots that may be present.

Please refer to the Land Capability Assessment and the Arborist Impact Assessment reports for further information on the effluent disposal area, proposed waste-water disposal system and associated potential for impacts to vegetation.

VEGETATION

An Arborist Impact Assessment was prepared by Jim's Tree and Stump Removal in December 2023 (updated Oct 24) and provides an assessment against standard arboricultural terms and details and tree viability as per **AS4970-2009 Protection of Trees on Development Sites**.

Upon review of the development plans and LCA, the arborist anticipates that the development will have the following implications for onsite vegetation:

VEGETATION PROPOSED TO BE RETAINED

Thirty-one (31) trees will not be impacted by the development.

Eight (8) trees will experience minor encroachment impacts. Fourteen (14) trees will experience major encroachment impacts and the arborist has detailed measures to ensure their retention and long-term viability within the development.

VEGETATION PROPOSED FOR REMOVAL

Seven (7) trees are not viable with the current proposal (Trees 1, 2, 7, 10, 12, 36 & 36a). Trees 1 & 2 are exotic Radiata Pines which require a permit under the VPO1, and Trees 7, 10, 12, 36 & 36a are indigenous to Victoria and their removal requires a permit and offsets pursuant to Clause 52.17 Native vegetation. Please refer to our response to **Clause 52.17 Native vegetation** for further details regarding the removal of native vegetation from the site and how the net loss to biodiversity is proposed to be offset.

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TREES PROPOSED TO BE REMOVED, PERMIT REQUIREMENT AND RELEVANT EXEMPTIONS (IF APPLICABLE)				
TREE NO.	SPECIES	INDIGENOUS TO VICTORIA	PERMIT REQUIRED	EXEMPTIONS APPLY
1	<i>Pinus radiata</i>	No	Yes – under the VPO1 as the DBH is greater than 40cm	N/A
2	<i>Pinus radiata</i>	No	Yes – under the VPO1 as the DBH is greater than 40cm	N/A
7	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
10	<i>Eucalyptus sp.</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
12	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
36	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
36a	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No

The extent of vegetation proposed to be removed is the minimum required to support the development:

- Trees 1 & 2 are proposed to be removed as they are located within the proposed shed envelope.
- Trees 10 and 36 are proposed to be removed to enable the construction of a driveway.
- Trees 7, 12 and 36a are all proposed to be removed as they are sited within the proposed building footprint.

Two *Pittosporums* (Tree 25 and Tree 59 in the report) have already been removed from the site.

VEGETATION PROPOSED TO BE RETAINED WITH MAJOR ENCROACHMENT IMPACTS

Fifteen (15) trees will incur major encroachment impacts (greater than 10% of TPZ) as a result of the siting and scale of the development, however, protective measures have been specified by the arborist to ensure their retention and longevity. Trees 15 & 34 are dead and proposed for retention as habitat trees.

Fourteen out of fifteen trees with major encroachment impacts are species indigenous to Victoria, and Section B.1 of the *Assessors Handbook for Applications to remove, lop or destroy native vegetation* details that unless an arborist report indicates otherwise, a tree, or trees will be deemed lost if the encroachment (of compaction or excavation) into the TPZ is greater than 10 per cent or is inside the SRZ. No permit or offsets are required for trees that will incur major encroachment impacts as a result of the development as the arborist has outlined protection measures to ensure their longevity and viability as per *Table 8.3 Tree Data* from the arborist report below:

Tree	Name	DBH (cm)	Details	Encroachment (%)	Protection Measures to Enable Retention
4	Messmate (<i>Eucalyptus obliqua</i>)	35		14.2%	TPZ Fencing
8	Messmate (<i>Eucalyptus obliqua</i>)	33		29.4% (Major)	TPZ Fencing, mulch, permeable driveway
9	<i>Euc. sp.</i>	55	Dead*	45.9% (Major)*	TPZ Fencing, mulch, permeable driveway
13	Messmate (<i>Eucalyptus obliqua</i>)	100	Large.	21% (Major)	TPZ Fencing, permeable driveway
14	<i>Pinus radiata</i>	80		27% (Major)	TPZ Fencing, permeable driveway, hand dig trench

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15	<i>Euc. sp.</i>	125	Large Dead* Hollow bearing	42.1% (Major)*	Hand dig trench
17	Mealy Stringybark (<i>Eucalyptus cephalocarpa</i>)	90	Large	14.2% (Major)	Hand dig trench
19	Messmate (<i>Eucalyptus obliqua</i>)	52		12.2% (Major)	Hand dig trench
20	Messmate (<i>Eucalyptus obliqua</i>)	41		19.7% (Major)	Hand dig trench
24	Messmate (<i>Eucalyptus obliqua</i>)	54		20.7% (Major)	Hand dig trench, permeable driveway
26	Messmate (<i>Eucalyptus obliqua</i>)	48		31.1% (Major)	Hand dig trench, permeable driveway
27	<i>Euc. sp.</i>	103	Large Dead*	22.3% (Major)*	Hand dig trench, permeable driveway
34	<i>Euc. sp.</i>	46	Dead* Hollow bearing	47% (Major)*	Permeable driveway
35	Broad Leaved Peppermint (<i>Eucalyptus dives</i>)	42		33% (Major)	TPZ Fencing, permeable driveway
37	Southern Blue Gum (<i>Eucalyptus globulus subsp. bicostata</i>)	30		34% (Major)	TPZ Fencing, permeable driveway

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5. RELEVANT PLANNING CONTROLS

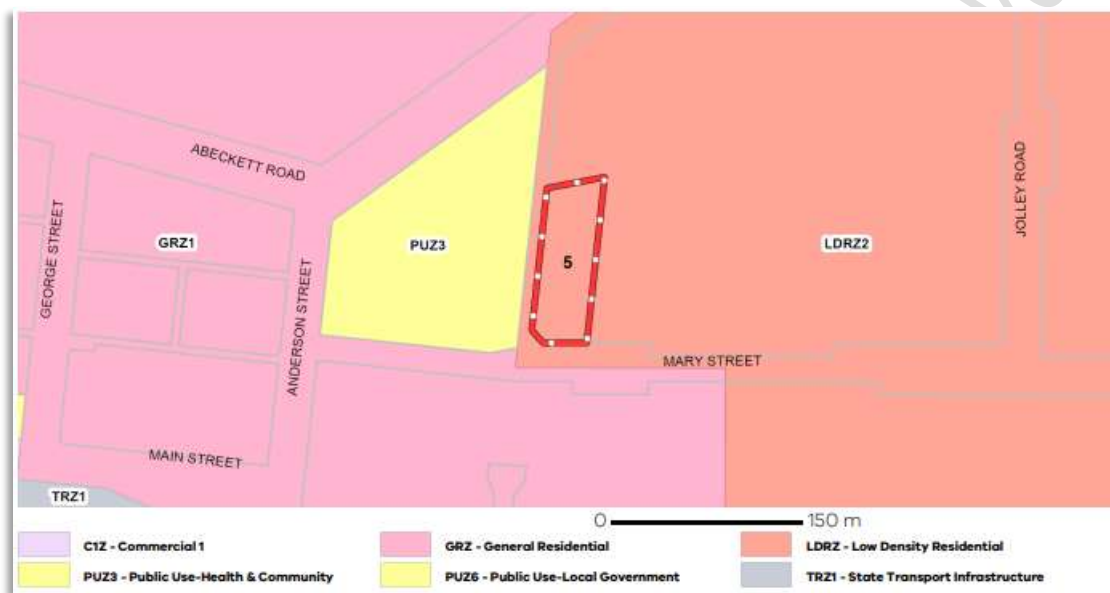
The following section addresses the objectives and requirements of the zoning and overlay controls relevant to the subject site identifying how these planning controls relate to the proposal, trigger an assessment and how we have addressed the requirements of planning provisions.

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ZONING CONTROLS

32.03 LOW DENSITY RESIDENTIAL ZONE – SCHEDULE 2

The site is mapped within the Low Density Residential Zone (LDRZ) of the Cardinia Planning Scheme:



ZONING MAP (VICPLAN)

PURPOSES

The purposes of the LDRZ include:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.

TABLE OF USES

A dwelling is a section 1 use on the condition that it must be the only dwelling on the lot and meet the requirements of **Clause 32.03-2**. If the condition is not met, the use of the land for a dwelling is a section 2 use.

Clause 32.03-2 outlines that a lot may be used for one or two dwellings provided the following requirements are met:

- Each dwelling must be connected to a reticulated sewerage, if available. If reticulated sewerage is not available, all wastewater from each dwelling must be treated and retained

within the lot in accordance with the requirements in the Environment Protection Regulations under the Environment Protection Act 2017 for an on-site wastewater management system.

- *Each dwelling must be connected to a reticulated potable water supply or have an alternative potable water supply, with appropriate storage capacity, to the satisfaction of the responsible authority.*
- *Each dwelling must be connected to a reticulated electricity supply or have an alternative energy supply to the satisfaction of the responsible authority.*

Reticulated sewer is not available and as such, a Land Capability Assessment (LCA) has been prepared to demonstrate that the subject site can treat and retain all domestic wastewater onsite. The dwelling will connect to all available reticulated services, including water and electricity.

PERMIT REQUIREMENT

A permit is required to construct or carry out building or works associated with a use in Section 2 of **Clause 32.03-1** or where an outbuilding has dimensions greater than those specified in the schedule to the zone (none specified). A second dwelling is a Section 2 Use in the Table of Uses at Clause 32.03-1.

DECISION GUIDELINES

The decision guidelines contained in **Clause 32.03-6** have been considered in the proposal:

General

- *The Municipal Planning Strategy and the Planning Policy Framework.*

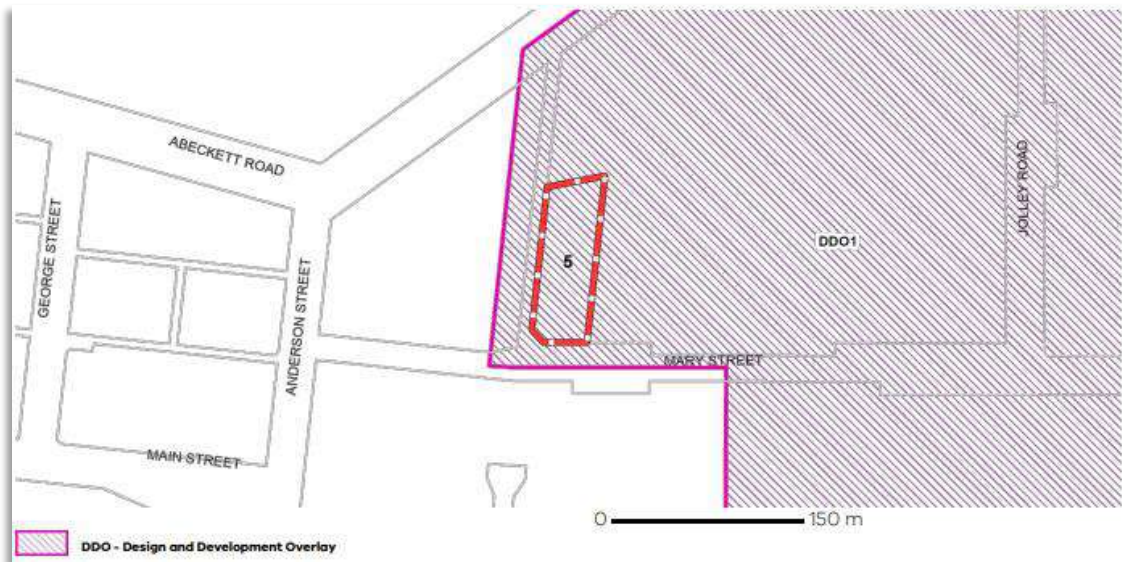
Please refer to subsections 5-8 of this report for an assessment of the proposal against the MSS and the relevant local and state planning policies, objectives and strategies as contained in the Cardinia Planning Scheme.

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OVERLAYS

43.02 DESIGN AND DEVELOPMENT OVERLAY – SCHEDULE 1

The **Design and Development Overlay – Schedule 1** applies to the subject site and all surrounding land:



DESIGN AND DEVELOPMENT OVERLAY – SCHEDULE 1 (VICPLAN)

PURPOSE

The purposes of the DDO include:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

BUILDINGS AND WORKS

Pursuant to **Clause 43.02-2** a permit is required to construct a building or construct or carry out works unless the schedule to this overlay specifically states that a permit is not required. Buildings and works must be constructed in accordance with any requirements in a schedule to this overlay.

SCHEDULE 1 TO 43.02 DESIGN AND DEVELOPMENT OVERLAY

Schedule 1 to the DDO outlines the following design objectives:

- To ensure that the location and design of buildings creates an attractive low density residential environment.
- To ensure that any development has regard to the environmental features and constraints of the land.
- To ensure that the subdivision of land has regard to the existing pattern of subdivision in the area.

A permit is required pursuant to **section 2.0 Buildings & Works** as:

- Earthworks are required.

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- The buildings and works will result in the removal of native vegetation.

DECISION GUIDELINES

The decision guidelines contained in **Clause 43.02-6** include:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The design objectives of the relevant schedule to this overlay.*
- *The provisions of any relevant policies and urban design guidelines.*
- *Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Whether the design, form, layout, proportion and scale of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Whether the design, form, layout, proportion and scale of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking.*
- *Whether the subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Any other matters specified in a schedule to this overlay.*

In addition to the above, **Subsection 6.0** of the Schedule 1 to the DDO also requires Council to consider:

- *The Land Capability Study for the Cardinia Shire (February 1997).*
- *The protection and enhancement of the natural environment and character of the area including the retention of remnant vegetation and habitat, and the need to plant vegetation along waterways, gullies, ridgelines and property boundaries.*
- *The impact of any buildings and works on areas of remnant vegetation, and habitat of botanical and zoological significance.*
- *The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.*
- *Measures to address the environmental hazards or constraints including slope, erosion, drainage, salinity and fire.*
- *The protection of waterways and water quality through the appropriate management of effluent disposal, erosion and sediment pollution.*

DESIGN RESPONSE

The proposal is consistent with the Municipal Strategy and Planning Policy Framework, aligns with the design objectives sought for the DDO area and provides for an additional quality dwelling within the Bunyip township. The proposed buildings have taken design cues from built form in the wider area in terms of colours, materials, bulk, scale and size. The proposed buildings have been sited sympathetically amongst established trees with setbacks that contribute to the sense of spaciousness observable in the wider context. The proposed built form will contribute to the valued rural character and attractiveness of the low-density residential environment. The design is responsive to the topography of the site and existing vegetation and a feature survey has formed the basis of the proposed design. Earthworks will be required to facilitate the proposed development. The earthworks are not extensive nor are they foreseen to contribute to any erosion or adverse impacts associated with drainage on the existing infrastructure or neighbouring allotments.

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42.02 VEGETATION PROTECTION OVERLAY – SCHEDULE 1

The **Vegetation Protection Overlay – Schedule 1** applies to the subject site and all surrounding land:



VEGETATION PROTECTION OVERLAY – SCHEDULE 1 (VICPLAN)

PURPOSE

The VPO seeks:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

PERMIT REQUIREMENT

Pursuant to **Clause 42.02-2** a permit is required to remove, destroy or lop any vegetation specified in a schedule to this overlay unless the table at **42.02-3** specifically states that a permit is not required.

A permit is required to remove the following vegetation:

TREE NO.	SPECIES	INDIGENOUS TO VICTORIA	PERMIT REQUIRED	EXEMPTIONS APPLY
1	<i>Pinus radiata</i>	No	Yes – under the VPO1 as the DBH is greater than 40cm	N/A
2	<i>Pinus radiata</i>	No	Yes – under the VPO1 as the DBH is greater than 40cm	N/A
7	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
10	<i>Eucalyptus sp.</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
12	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
36	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
36a	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No

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DECISION GUIDELINES

Pursuant to **Clause 42.02-5**, Council must consider the following decision guidelines:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The statement of the nature and significance of the vegetation to be protected and the vegetation protection objective contained in a schedule to this overlay.*
- *The effect of the proposed use, building, works or subdivision on the nature and type of vegetation to be protected.*
- *The role of native vegetation in conserving flora and fauna.*
- *The need to retain native or other vegetation if it is rare, supports rare species of flora or fauna or forms part of a wildlife corridor.*
- *The need to retain vegetation which prevents or limits adverse effects on ground water recharge.*
- *The need to retain vegetation:*
 - *Where ground slopes exceed 20 per cent.*
 - *Within 30 metres of a waterway or wetland.*
 - *On land where the soil or subsoil may become unstable if cleared.*
 - *In areas where the removal, destruction or lopping of vegetation could adversely affect the integrity or long-term preservation of an identified site of scientific, nature conservation or cultural significance.*
 - *Which is of heritage or cultural significance.*
- *The need to remove, destroy or lop vegetation in accordance with a land management plan or works program.*
- *Whether the application includes a land management plan or works program.*
- *Whether provision is made or is to be made to establish and maintain vegetation elsewhere on the land.*
- *Any other matters specified in a schedule to this overlay.*

DESIGN RESPONSE

The proposal is consistent with the *Statement of nature and significance of vegetation to be protected* as outlined in subsection 1.0 of schedule 1 to **Clause 42.02 Vegetation Protection Overlay**:

'The low density residential area within the Shire supports substantial areas of remnant indigenous vegetation and mature exotic species. The maintenance of enhancement of the flora habitat is vital for the long-term protection of these areas and the native fauna they support. Some of these areas contain small lots which are not protected under the native vegetation controls of Clause 52.17 resulting in areas of vegetation becoming increasingly fragmented.

The remnant vegetation is important for its contribution to habitat and environmental value and processes. This vegetation provides protection to waterways including in the reduction of siltation and contributes to habitat corridors as well as playing a role in supporting soil stability, reducing stormwater runoff, and limiting erosion and salinity.'

In addition to the above, the proposal has also considered the vegetation protection objectives to be achieved as described in subsection 2.0 of schedule 1 to **Clause 42.02 Vegetation Protection Overlay**:

- *To protect and conserve existing vegetation as an important element of the character of low density residential areas.*
- *To maintain and enhance local habitat and biolinks, including hollow bearing trees.*

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- *To avoid and minimise the removal of vegetation where it contributes to the management of environmental hazards such as erosion, salinity, siltation of creeks and watercourses, and stormwater runoff.*
- *To ensure that vegetation remains a significant part of the character and visual amenity of these areas, with the built form being located within a landscape, and vegetation being the predominant feature.*

The siting of the proposed buildings, driveway and services is responsive to the environmental features and constraints of the site and provides for the retention of a large percentage of the existing vegetation onsite. The vegetation proposed to be removed is the minimum required to facilitate the buildings and works, and protective measures will be employed to ensure that any trees with minor and major encroachment impacts can remain viable and be retained on the site. Hollow-bearing trees are proposed to be retained within the development:



Tree 15 – hollow bearing and proposed to be retained.



Tree 32 – hollow bearing and proposed to be retained.



Tree 34 – hollow bearing and proposed to be retained.

The proposed buildings and works will not adversely affect ground water recharge, and the site does not have a slope greater than 20 per cent nor is it within 30 metres of a waterway or wetland. The subject site is not within an erosion management overlay area where soil is foreseen to be unstable if vegetation is cleared, and is not within a known area of scientific, heritage or cultural significance. No land management plan or works program applies to the site. Please refer to the Arborist Impact Assessment report prepared by Jims Trees and Stumps (updated Oct 24) for further information on vegetation proposed to be retained/removed.

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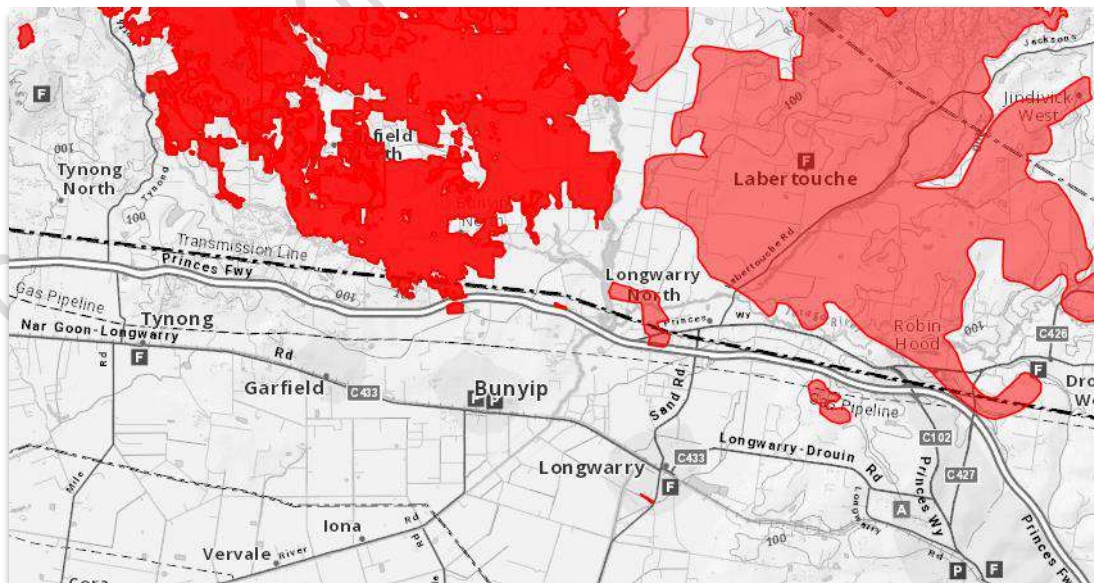
6. MUNICIPAL PLANNING STRATEGY

CLAUSES 21.01-2 KEY INFLUENCES AND 21.01-3 KEY ISSUES

The Cardinia Shire seeks to be recognised as a unique place of environmental significance where our quality of life and sense of community is balanced by sustainable and sensitive development, population and economic growth. The proposal is sensitive to the key issues facing Cardinia that have regard to preserving heritage significant areas, mitigating risks associated with flooding and bushfire, providing housing and services for a growing community, and facilitating economic development. The subject site is located within the strategic low-density residential area of Bunyip and is consistent with the Cardinia Shire Strategic Framework Plan at **Clause 21.01-5**.

CLAUSE 21.02 ENVIRONMENT

Clause 21.02 Environment describes planning's role in protecting, improving and managing the Shire's environment, natural resources and biodiversity, as well as ensuring risks to life, property and the environment are minimised. The proposal is consistent with **Clause 21.02-2 Landscape** and **Clause 21.02-3 Biodiversity** which both seek to avoid the erosion of the existing biodiversity of the Shire and its significant contribution to the landscape. The subject site features established vegetation, much of which is indigenous to Victoria, and the proposed buildings and works have been sited to minimise the extent of vegetation required to be removed to facilitate the proposal. **Clause 21.02-3 Bushfire Management** acknowledges the high risk associated with some of the areas within the shire. Bunyip has modest slope with vegetation coverage akin to grazed paddocks (AS3959-2018) as opposed to the more steeply sloped and densely vegetated areas associated with the Bunyip State Reserve to the north of the Princess Freeway, which has experienced fire damage as a result of the 2009 and 2019 fires (refer below). Locating residential development in existing low risk areas such as Bunyip township meets the primary objective of all planning provisions that seek to mitigate bushfire risk.



BUNYIP HAS TOPOGRAPHIC AND VEGETATION CHARACTERISTICS THAT MAKE IT A LOW RISK AREA AS EVIDENCED BY THE VICTORIAN FIRE RISK MAPPING ABOVE, 2022.

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CLAUSES 21.03 SETTLEMENT AND HOUSING

Clause 21.03 Settlement and Housing and more specifically Clause 21.03-4 Rural Townships nominates Bunyip as a large rural township, in which the following key issues are relevant:

- *Retaining and enhancing the existing rural township character.*
- *Acknowledging that the capacity for growth varies depending on the environmental and infrastructure capacities of each of the towns.*
- *Designing with regard to the surrounding unique characteristics of the townships.*

The proposed dwelling has taken design cues from built form in the immediate neighbourhood and responds to the existing features of the site, including the topography and native vegetation. The proposed buildings and works are of high quality and will contribute to the valued and attractive low density residential environment evident in the wider context. Whilst reticulated sewer is not available, a Land Capability Assessment has been undertaken and found that the subject site can treat and retain all wastewater onsite. The site can connect to all other available reticulated services.

CLAUSE 21.08 LOCAL AREAS - WESTERN PORT REGION

Clause 21.08-2 Bunyip seeks to ensure use and development proposals in Bunyip are generally consistent with the requirements of the *Bunyip Township Strategy, September 2009*. An assessment of the proposal against the strategy is provided in subsection 8 of this report.

7. STATE AND LOCAL PLANNING POLICY FRAMEWORK

This part of the report assesses and responds to the legislative and policy requirements for the project outlined in the Cardinia Planning Scheme and in accordance with the Planning and Environment Act 1897. The relevant clauses of the State & Local Planning Policy Framework for subdivisions of the type presented in this report are largely contained in Clauses 11, 13, 15, 18 and 19.

An assessment against the relevant clauses of the Cardinia Planning Scheme has been provided below:

CLAUSE 11 SETTLEMENT

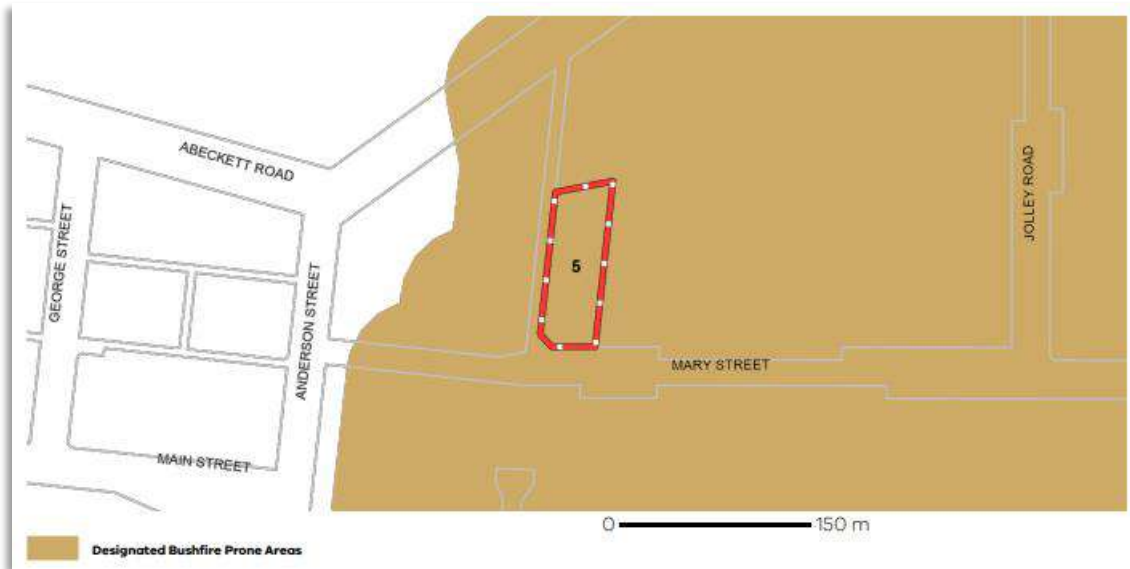
Clause 11.01-1S Settlement, and **11.01-1R Settlement – Metropolitan Melbourne** have regard for sustainable growth and development that preserves the delineation between the residential areas of townships such as Bunyip and the surrounding green wedge land. The provision of an additional dwelling within the township boundary of Bunyip is supported by the strategy contained in **Clause 11.01-1R Green-wedges – Metropolitan Melbourne** which seeks to consolidate new residential development in existing settlements. Bunyip is contained within the urban growth boundary and is well serviced in terms of transport corridors and services. The proposal aligns with the objective of **Clause 11.03-2S Growth areas** and the strategies to *concentrate urban expansion into growth areas that are served by high-capacity public transport and retain unique characteristics of established areas impacted by growth*.

CLAUSE 13 ENVIRONMENTAL RISKS AND AMENITY

Clause 13.01-1S Natural hazards and climate change is a recently introduced planning mechanism (VC216, 10/16/2022) that seeks to prioritise risk-based planning to minimise the potential for impacts and natural hazards associated with climate change. The strategy to focus growth and development to low-risk locations is relevant to this proposal which makes provision for an additional dwelling on a residential zoned lot within the township boundary in a location that can mitigate bushfire risk. The subject site is not vulnerable to flooding, nor is it subject to the intensified risks associated with bushfire. The proposal contemplates the development of a single dwelling and associated outbuilding in a low-density residential precinct of Bunyip, which is consistent with risk mitigation policies.

Clause 13.02-1S Bushfire Planning relates to land within a designated bushfire prone area, subject to the Bushfire Management Overlay; and/or proposed to be used or developed in a way that may create a bushfire hazard. The objective of **Clause 13.02-1S** is to *strengthen the resilience of settlements and communities to bushfire through risk based planning that prioritises the protection of human life* and is achieved through strategies that prioritise the *protection of human life* over all other policy considerations; *directing population growth and development to low risk locations*; and *ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire* with low risk locations being those that are assessed as having a radiant heat flux of less than 12.5 kilowatts/square metre under AS3959-2018 (Construction of Buildings in Bushfire Prone Areas – Standards Australia, 2020); and reducing community vulnerability to bushfire through the consideration of bushfire risk at all stages of the planning process. The entirety of the subject site is located within an identified Bushfire Prone Area as per the *VicPlan* extract below:

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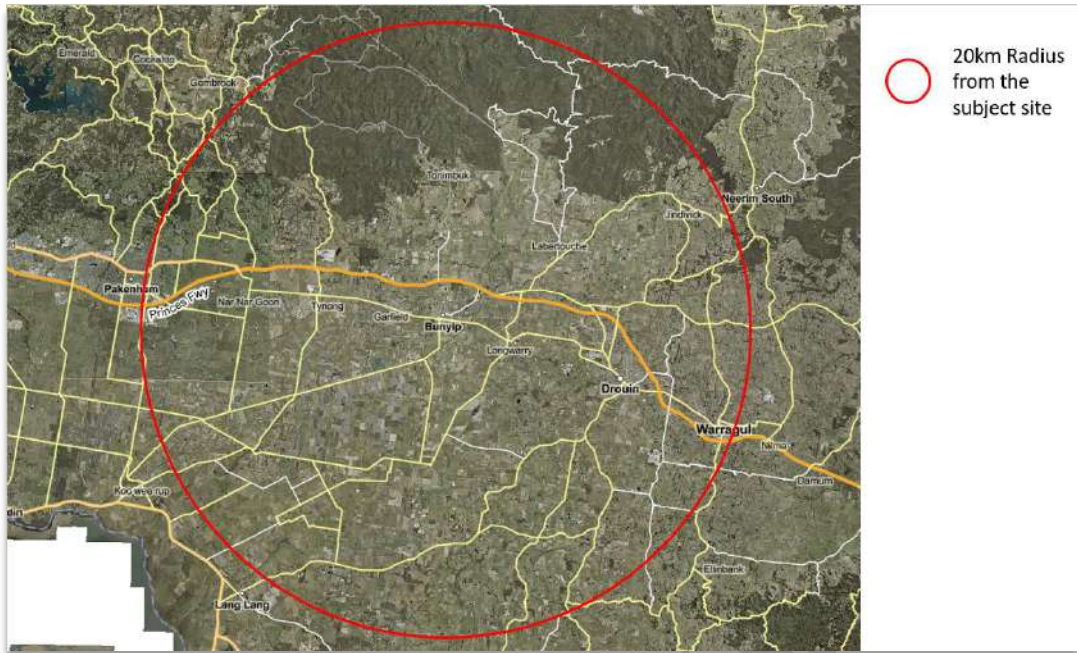


THE ENTIRETY OF THE SITE IS WITHIN A DESIGNATED BUSHFIRE PRONE AREA (VICPLAN)

As such, an assessment of the landscape conditions within 20 kilometres of the site; the local condition within 1 kilometre of the site; the neighbourhood conditions within 400 metres of the site; and on the subject site is presented below in accordance with the requirements of clause 13.02.

- Landscape conditions (as indicated below) – The area within a 20km radius of the site features a combination of landscapes consisting of cleared farming and grazing; rural/urban development, urban development and densely forested areas. To the north are the foothills associated with the Dandenong Ranges which exhibit extensive pockets of dense vegetation consistent with the Forest and Woodland classifications of *AS3959-2018 Construction of Buildings in bushfire-prone areas* and steep topography. The site is surrounded by a patchwork of farming and grazing land interspersed with rural development to the east, south and west. The surrounding road network features principal transport corridors including Princes Freeway (having a west to east orientation), Nar Nar Goon-Longwarry Road (East to west orientation), Bunyip-Modella Road (north to south orientation). The relevance of the road network is that they are most likely those roads that will become the main access points and thoroughfares during an emergency situation.

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- Local conditions (please refer to the map below) – The area within a 1km radius of the subject site features a combination of land use and development consistent with rural residential zones and general residential zones. To the north is land subject to the LDRZ3 accessed via a local road network. Vegetation is generally native trees adjacent to boundaries and within road reserves with a distinct cleared area, generally subject to the GWZ and the Princes Highway separating the subject site from the Bunyip State Park to the north, which is the direction generally associated with more intense fire conditions and risk. The land is generally employed for low density residential development in both a northerly and easterly direction with general residential zoned land to the west and southwest. Bunyip features gentle topography that flattens out to the south.



- Neighbourhood conditions within 400m of the site (please refer to the map below) – The subject site is surrounded by land characterised as residential land that is subject to intensifying residential development to the west and northwest. Land to the northeast, east

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and southeast is characteristic of low density residential development. Vegetation is contained to roadside reserves and properties, and is consistent with modified woodland and excluded vegetation (as per AS3959:2018 Construction of buildings in Bushfire Prone Areas). Access to and from the site is via a crossover to Mary Street adjacent to the southern boundary.



- Site conditions (Please refer to the Map right) – The site features a gentle downward slope from the high point adjacent to northeastern corner down toward the southwestern corner adjacent to Mary Street. The site is dominated by modified woodland as per AS3959:2018 Construction of buildings in Bushfire Prone Areas.



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The site is a low risk location having a radiant heat flux of less than 12.5 kilowatts/square metre under AS3959-2018 Construction of Buildings in Bushfire Prone Areas (Standards Australia, 2018). Access for emergency services to the site, and egress options from the site are consistent with the standards of **Clause 53.02** and the strategies of **Clause 21.02-4 Bushfire management**. Mary Street provides west and east connectivity. The proposed development implies a modest increase to the residential population of Bunyip in a well serviced location with interconnected road networks and a Low BAL area where the risk of bushfire is mitigated.

CLAUSE 15 BUILT ENVIRONMENT AND HERITAGE

Clause 15 Built Environment and Heritage has the objective to ensure planning delivers high quality built form that is efficient, responds to surrounding character and the environment and associated risks, protects heritage, and provides the functionality required by the community. The proposal aligns with the objective of **Clause 15.01-2S Building design** which seeks to *achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development* and the neighbourhood character objective of **Clause 15.01-5S**. A comprehensive site analysis has formed the basis for the proposed design, and the proposed built form is responsive to the key constraints and considerations of the site. The proposal is compatible with the existing and emerging residential character from the area, and no adverse impacts on neighbouring dwellings or surrounding uses are anticipated as a result of the siting and height of built form on the site. Design cues have been taken from built form in the wider neighbourhood to ensure that the form, scale and appearance of the proposed buildings on the subject site are responsive to and contribute to the valued low-density residential environment. Solar gains and opportunities for enhanced energy performance have been considered in the siting and orientation of the proposed dwelling. The residents will have good passive surveillance of the public realm through the siting and setbacks of the proposed dwelling and shed, which will support personal safety, perceptions of safety and property security. Vegetation has been retained where possible and mitigation measures are proposed to be implemented to prevent further adverse impacts to trees. Landscaping can be provided to help soften the impact of any built form on the site.

CLAUSE 16 HOUSING

Clause 16 Housing has regard for the provision of diverse & affordable housing and supporting infrastructure in well serviced locations. **Clause 16.01-1S Housing supply** seeks to *facilitate well-located, integrated and diverse housing that meets community needs* and the proposal is consistent with the many strategies that support this objective. The proposal contemplates a small increase in the proportion of housing within the Bunyip settlement boundary, and will ultimately provide a well-designed single dwelling with a high level of internal and external amenity that meets the needs and aspirations of the landowners.

CLAUSE 18 TRANSPORT

Clause 18 Transport has regard for the provision of 'connectivity' for residents to social and economic opportunities which facilitates reliable movement for people and goods and supports sustainability, health and wellbeing. Of salience here are the strategies of **Clause 18.01-1S Land use and transport integration** that seek to reduce distances people have to travel between their place of residence and

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their employment, education and service providers in order to promote mobility within and between communities. This proposal provides for an additional dwelling in a well serviced location where the residents can access a wide range of social, health, education, community and leisure facilities within walking distance of the site. This promotes non-car dependent mobility and supports active living and improved wellbeing synonymous with the 20-minute neighbourhood (**Clause 18.01-2S Transport system**) and sustainable and safe transport (**Clause 18.01-3S**) and the strategies of **Clause 18.02-1S Walking** and **Clause 18.02-2S Cycling**.

CLAUSE 19 INFRASTRUCTURE

Clause 19 has regard for the provision of infrastructure. Of particularly relevance are Clauses 19.03-2S Infrastructure design and provision and Clause 19.03-3S Integrated water management which seek to provide timely, efficient and cost-effective development infrastructure that meets the community needs by integrating planning and engineering design of new subdivisions and development. Reticulated services are available and provided to the boundary of the subject site. Reticulated sewer is not available, and a Land Capability Assessment (LCA) has been prepared that has demonstrated that the subject site can treat and retain all domestic wastewater on site. Please refer to the LCA report for further information.

8. RELEVANT INCORPORATED DOCUMENTS

BUNYIP TOWNSHIP STRATEGY (2009)

The Bunyip Township Strategy, 2009 (referred to as the strategy hereafter) outlines the following vision for Bunyip:

'A rural township with extensive recreational opportunities, potential for substantial growth and a commercial and retail centre providing an extensive range of services to the township and nearby residents. The Bunyip Township will contain a range of housing types that respect the rural character of the town and the natural landscape. Open space areas will be diverse, to allow access for active and passive recreation while ensuring the protection of remnant vegetation and wildlife corridors to allow the movement of species throughout the landscape.'

Of the many strategic objectives outlined within the strategy, the following are particularly relevant to this proposal:

- *Provide to the growth of Bunyip as an attractive rural township.*
- *Maintain the rural township character.*
- *Protect and enhance the environment, especially those elements which contribute to the character of the Bunyip Township.*

The proposal is consistent with the existing pattern of residential development and contemplates a single detached dwelling within a low-density residential cell of Bunyip with a generous setback from Mary Street. The proposed built form is not foreseen to contribute to any adverse impacts to the valued rural township character. The proposed built form has taken design cues from built form in the

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wider neighbourhood to ensure integration with the surrounding residential environment. The subject site is a large residential lot and offers excellent opportunities for landscaping which will help to soften views to the built form from the public domain and adjoining land.

The strategy identifies that *residential development within the Bunyip township will impact on existing vegetation, place additional pressure on the environment and physical infrastructure and could potentially alter the character of the township.* However, the key issues contained in section 4.6 of the Bunyip Township Strategy also describe how the development of vacant land within the township provides for population growth which in turn generates economic and social benefits and increases the long-term sustainability of the town. Our proposal seeks to balance the preservation of native vegetation with the social and economic benefits of providing further housing within the township boundary.

The Existing Character Precinct Plan identifies the subject site as being contained within Existing Character *Precinct 3 – Informal Low Density Residential Areas with existing vegetation.* The Strategic Framework plan identifies the subject site as being contained within the south-eastern corner of *Precinct 3 - Low Density Residential Area,* and the preferred character for this precinct is outlined below:

'The rural character of Bunyip's low density residential area will be maintained and enhanced through the retention of existing indigenous trees and vegetation, the provision of very large allotments with wide frontages and considerable garden areas. New developments will be designed and constructed to a high standard.'

The Precinct Character Guidelines (Table 10) for Precinct 3: Low Density Residential Areas have been considered in the proposed development. The proposed dwelling and associated outbuilding appropriately respond to the guidelines for Precinct 3. As mentioned previously, the built form will be generously setback from Mary Street (as sought for large allotments within the precinct), and landscaping will occur throughout the frontage. Fencing will be open post and wire style. The proposed dwelling and outbuilding are of high-quality design and will be constructed to a high standard. The proposed materials, colours and finishes are complementary to those observed in development throughout the wider neighbourhood.

The contribution of existing vegetation to the amenity and character of the site and the wider low-density residential environment is recognised. Vegetation onsite has been retained and incorporated into the development where possible, and any native vegetation proposed to be removed is the minimum extent required to support the development. A Tree Management Plan has been prepared (contained in the Arboricultural Impact Assessment report) and details how vegetation nominated for retention will be protected onsite.

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9. PARTICULAR PROVISIONS

The relevant particular provisions/documents that will be addressed are identified below:

- Clause 52.17 Native vegetation

CLAUSE 52.17 NATIVE VEGETATION

Clause 52.17 Native vegetation seeks:

To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017 (The Guidelines)):

1. *Avoid the removal, destruction or lopping of native vegetation.*
2. *Minimise the impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.*
3. *Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.*

To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

Clause 52.17 Native vegetation applies to land with an area greater than 4000m² and prescribes the requirement for a permit to remove, destroy or lop native vegetation, including dead native vegetation where native vegetation is defined as vegetation indigenous to Victoria.

Pursuant to **Clause 52.17**:

- A permit is required to remove, destroy or lop native vegetation unless the removal is in accordance with an incorporated Native Vegetation Precinct Plan (NVPP) under **Clause 52.16** or an exemption tabled at **52.17-7** specifically states that a permit is not required (unless the NVP specifies otherwise).
- A permit may also be required if the responsible authority considers that a proposed use or development is considered likely to involve or result in the consequential loss of native vegetation as a result of issuing a permit or approving a plan.

NATIVE VEGETATION REMOVAL (INTERMEDIATE PATHWAY)

Vegetation has been retained onsite where possible, however, a small amount of native vegetation is required to be removed to facilitate the proposed development. The siting of the proposed dwelling and driveway will require the removal and offsetting of three large and two small indigenous trees (five scattered trees in total). This is the minimum extent required to facilitate the development.

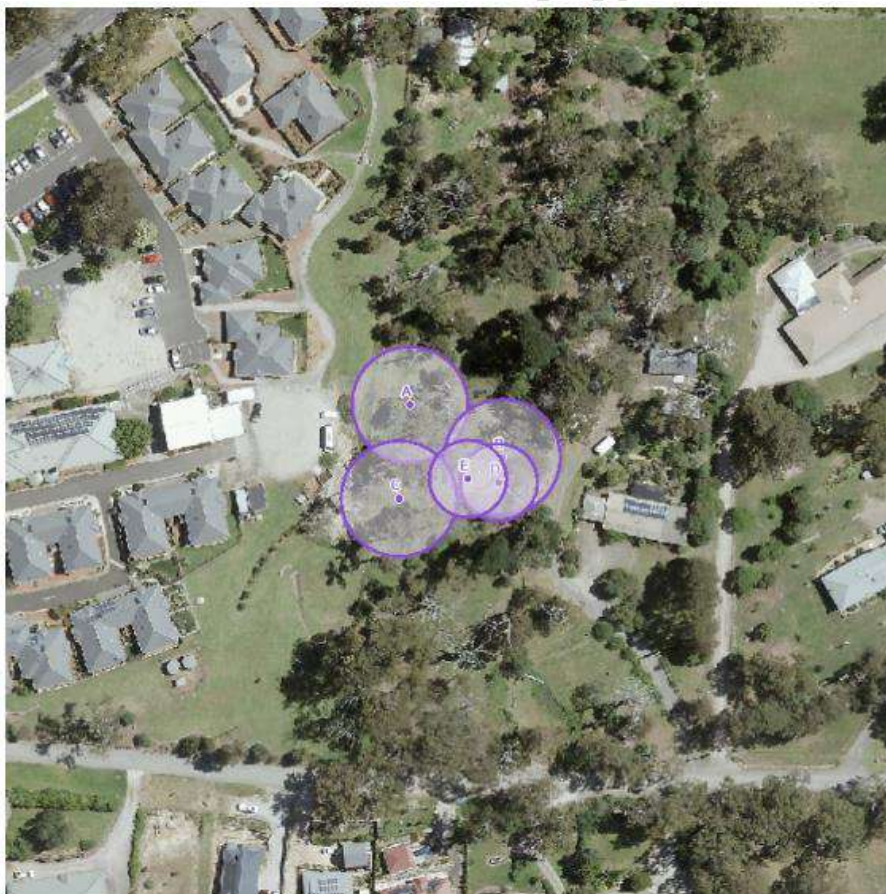
The details of vegetation proposed to be removed from the site, permit requirement and any relevant exemptions are tabled below (please read in conjunction with the Arboricultural Impact Assessment report):

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TREE NO.	SPECIES	INDIGENOUS TO VICTORIA	PERMIT REQUIRED	EXEMPTIONS APPLY
7	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
10	<i>Eucalyptus sp.</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
12	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
36	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No
36a	<i>Eucalyptus obliqua</i>	Yes	Yes – under the VPO1 and Clause 52.17	No

INDIGENOUS VEGETATION PROPOSED FOR REMOVAL REQUIRING OFFSETS AS PER CL. 52.17			
Tree	Name	DBH (cm)	Details
7	Messmate (<i>Eucalyptus obliqua</i>)	128	Largest tree on site. Removal recommended by arborist due to major TPZ encroachment from building footprint (23.3%)
10	Euc. Sp. (dead)	80	Large. Within the proposed driveway.
12	Messmate (<i>Eucalyptus obliqua</i>)	84	Large. Within the proposed building envelope.
36	Messmate (<i>Eucalyptus obliqua</i>)	53	Within the proposed driveway.
36a	Messmate (<i>Eucalyptus obliqua</i>)	53	Within the proposed building envelope.

An aerial map identifying native vegetation proposed for removal is provided below (where A = Tree 7 (Large), B = Tree 10 (Large), C = Tree 12 (Large), D = Tree 36, E = Tree 36a (all scattered trees)):



 Proposed Removal



35 m

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SUMMARY OF NATIVE VEGETATION REMOVAL & OFFSETS

A summary of the native vegetation to be removed as per the NVR report is tabled below:

Assessment pathway	Intermediate Assessment Pathway		
Location category	Location 1 The native vegetation extent map indicates that this area is not typically characterised as supporting native vegetation. It does not meet the criteria to be classified as Location Category 2 or 3. The removal of less than 0.5 hectares of native vegetation in this area will not require a Species Offset.		
Total extent including past and proposed removal (ha) Includes endangered EVCs (ha): 0	0.206	Extent of past removal (ha)	0
		Extent of proposed removal – Patches (ha)	0.000
		Extent of proposed removal – Scattered Trees (ha)	0.206
No. Large Trees proposed to be removed	3	No. Large Patch Trees	0
No. Small Scattered Trees	2	No. Large Scattered Trees	3

The offset requirements if approval is granted include:

General Offset amount	0.037 General Habitat Units
Minimum strategic biodiversity value score	0.161
Large Trees	3
Vicinity	Melbourne Water CMA or CARDINIA SHIRE LGA

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NVR APPLICATION REQUIREMENTS (INTERMEDIATE PATHWAY)

RECENT PHOTOGRAPHS OF NATIVE VEGETATION FOR REMOVAL



TREE 7 – Large Messmate

Arborist notes:

Tree #	7
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	128
Height (m)	25
Spread (m)	14
Structure	Poor / fair
Health	Fair
Age	Mature
Amenity value	
Defects	waterlogged soil. included bark union. wound where a large limb has failed. history of limb failures. significant deadwood in canopy. high crown
NOTES	

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TREE 10 – Large dead Euc. sp.

Arborist notes:

Tree #	10
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	80
Height (m)	12
Spread (m)	5
Structure	Failed
Health	Dead
Age	Senescent
Amenity value	
Defects	Large hollow at base
NOTES	

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TREE 12 – Large Messmate

Arborist notes:

Tree #	12
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	84
Height (m)	22
Spread (m)	8
Structure	Fair
Health	Poor
Age	Semi-mature / mature
Amenity value	
Defects	waterlogged soil. history of limb failures. significant deadwood in canopy. significant dieback in canopy
NOTES	

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TREES 36 & 36A – Messmate

Arborist notes:

Tree #	36 & 36a
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	53
Height (m)	6
Spread (m)	3
Structure	Very Poor
Health	Poor
Age	Semi-mature
Amenity value	
Defects	36a Coppiced and bifurcated regrowth 36 failed
NOTES	

PREVIOUS NATIVE VEGETATION REMOVAL

Not applicable.

AVOID AND MINIMISE STATEMENT

The proposed buildings and works have been sited to minimise impacts to native vegetation and consideration has been given to all ancillary uses, utilities, access and earthworks. Tree size, and arboricultural and habitat values have been key considerations in tree removal/retention decisions and the design process. It is submitted that:

- The proposed siting of the dwelling and shed have avoided and minimised the amount of native vegetation required to be removed. The siting of the dwelling responds to the topographical constraints of the site and makes best use of a cleared area in the centre of the site. The siting of the dwelling and shed have sought to avoid the tree protection zones of large native trees.
- Hollow-bearing trees have been retained in recognition of their habitat value (Trees 15, 32 and 34).
- The siting of the proposed outbuilding (shed) has avoided native vegetation removal and instead requires the removal of non-indigenous trees (cypress).
- The selection of a wastewater treatment system and the location of the LAA has considered impacts to native vegetation.
- The area of the site subject to the trenching of services has been selected by the arborist as the location with the least impact to native vegetation.

The retention of native vegetation has been considered in the proposed design, and the extent of trees proposed to be removed is the minimum extent required and consistent with the avoid, minimise and offset requirements of Clause 52.17.

PROPERTY VEGETATION PLAN

Not applicable.

DEFENDABLE SPACE

The subject site is mapped entirely within a designated bushfire prone area. No vegetation is proposed to be removed to create defendable space.

CL 52.16 NATIVE VEGETATION PRECINCT PLAN

Not applicable.

OFFSET STATEMENT

The landowners intend to purchase the required offsets from a third-party offset provider to ensure that there is no net loss to biodiversity if the proposed native vegetation removal is approved. A Native Vegetation Removal (NVR) Report has been prepared and a list of available offsets is provided to demonstrate that the required offsets are available for purchase. The landowners are aware of the likely cost of the offsets.

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10. GENERAL PROVISIONS

The relevant general provisions that will be addressed in this section are identified below:

- Clause 65 Decision Guidelines
- Clause 65.01 Approval of an Application or Plan

CLAUSE 65 DECISION GUIDELINES

Clause 65 states that the Responsible Authority must decide whether the proposal will provide acceptable outcomes in terms of the decision guidelines of this Clause. The decision guidelines of Clause 65.01 relate to the approval of an application or plan, have been taken into account throughout the design process, and an assessment of the development against these guidelines identifies that the proposal is an acceptable planning outcome.

CLAUSE 65.01 APPROVAL OF AN APPLICATION OR PLAN	
DECISION GUIDELINES	RESPONSE
<i>The matters set out in Section 60 of the Act.</i>	The land is not identified as being contaminated. The site constraints and considerations of the land have been responded to throughout the design process.
<i>Any significant effects the environment, including the contamination of the land, may have on the use or development.</i>	
<i>The Municipal Planning Strategy and the Planning Policy Framework.</i>	The planning considerations have been adequately addressed within this report in sections 4-6.
<i>The purpose of the zone, overlay or other provision.</i>	
<i>Any matter required to be considered in the zone, overlay or other provision.</i>	
<i>The orderly planning of the area.</i>	
<i>The effect on the environment, human health and amenity of the area.</i>	The proposed development does not pose any foreseeable adverse impacts to the environment, human health or the amenity of the area. Any potential adverse impacts have been identified and responded to throughout the design process. The removal of native vegetation will be offset.
<i>The proximity of the land to any public land.</i>	The proposed development does not adversely impact any public land within the vicinity of the site.
<i>Factors likely to cause or contribute to land degradation, salinity or reduce water quality.</i>	No foreseeable factors that may cause or contribute to land degradation, salinity or reduced water quality have been identified during the design process.

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<i>Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.</i>	The development is not foreseen to adversely impact on or overwhelm the existing stormwater infrastructure.
<i>The extent and character of native vegetation and the likelihood of it's destruction.</i>	Native vegetation on and adjoining the site has been assessed by a AQF 5 qualified arborist and a Native Vegetation Removal Report has been prepared. The avoid, minimise and offset approach has been employed, as per Clause 52.17. All efforts have been made to ensure that any removal of native vegetation is the minimum required.
<i>Whether native vegetation is to be or can be protected, planted or allowed to regenerate.</i>	
<i>The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.</i>	The subject site is not prone to flood. The potential for sheet erosion will be significantly reduced with the development of the land and further landscaping. The risk of fire can be mitigated to an acceptable level.
<i>The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.</i>	Loading and unloading facilities are not relevant to this proposal.
<i>The impact the use or development will have on the current and future development and operation of the transport system.</i>	The proposed subdivision does not adversely impact on the current and future development and operation of the transport system.

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11. CONCLUSION

This town planning report has sought to demonstrate that the proposal is an appropriate planning outcome that helps to give effect to the relevant policies, objectives and strategies of the Cardinia Planning Scheme and the *Bunyip Township Strategy 2009*.

It is submitted that this proposal warrants Council's full support when having regard for the below:

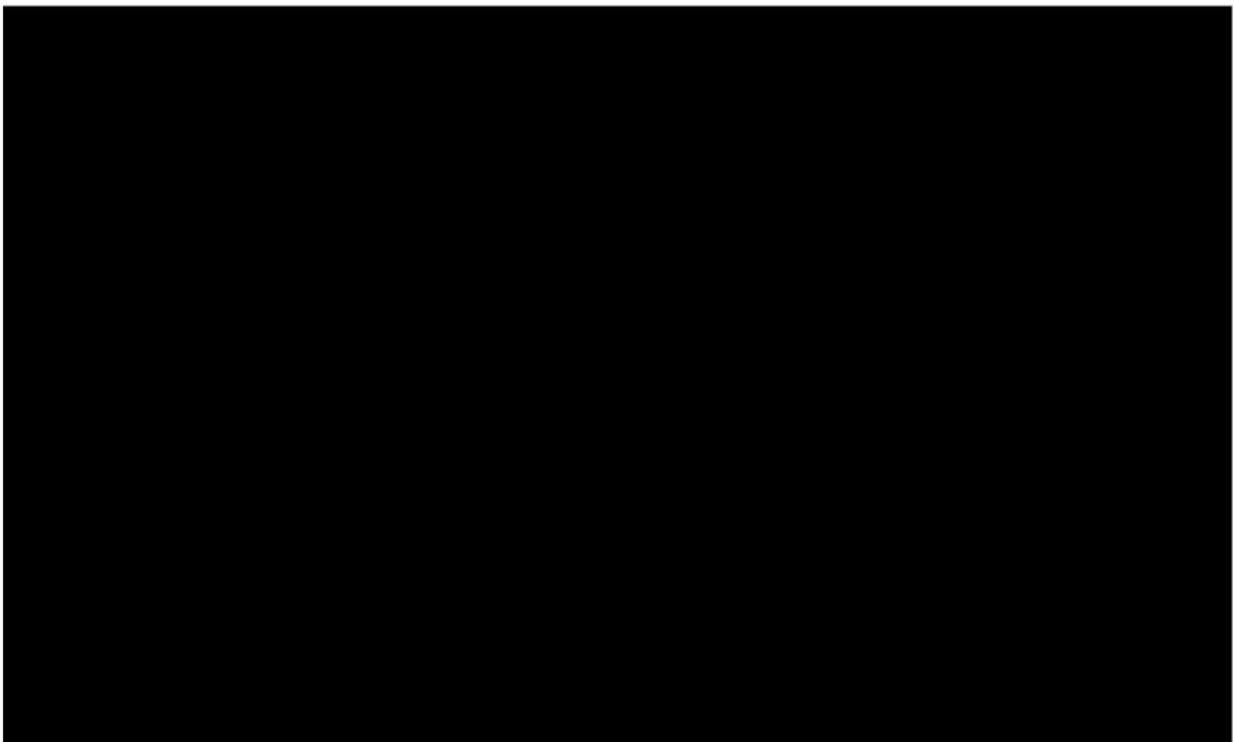
- The proposal provides for additional housing and population growth in a well serviced location with good access to public transport.
- The proposed design is compatible with the existing and emerging character of the surrounding low density residential environment.
- The proposed setbacks, height and siting of the dwelling negate any potential for negative impacts on the surrounding neighbourhood or other uses.
- The proposed dwelling is well-designed and will provide high quality internal and external amenity. The colours, materials and finishes are appropriate for the neighbourhood and are responsive and sympathetic to those observed throughout the wider context.
- The proposed development has considered the retention of vegetation through the siting and design of the structures proposed for the site. The extent of native vegetation proposed to be removed is the minimum required to support the development. Offsets will be purchased from a third-party offset provider to ensure that there is no net loss to biodiversity.
- A Tree Management Plan has been developed to ensure the ongoing viability of the balance of the trees on the site.
- The risks to human life and property associated with fire and other natural hazards can be mitigated for an acceptable level.

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Arborist Impact Assessment 5 Mary Street, Bunyip.





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Executive Summary

Jim's Trees Wantirna has been engaged by Chris Fauvrelle to provide an Arboricultural Impact Assessment Report for the purposes of site development as stipulated by the Cardinia Shire Council's request for further information for application T230470PA. Chris Fauvrelle has nominated changes to the originally submitted site plan and this report has been amended to version 6 to reflect those changes and the City of Cardinia's requirements.

This document does not discuss tree health or structure in detail as this has been covered within the report MN2350 produced by Malcolm Neville for the site. The site is a residential property located in Bunyip which is in the final stages of planning with an amendment being undertaken to alter the design of the development. There are 62 trees located within the site boundary, 7 trees have been assessed to be non-viable, a further 14 trees will require further consideration due to major encroachments and 39 trees will not be impacted by the development due to either no encroachment or minor encroachments and no remedial action is required for these 39 trees.

The latest amendment to this report has been undertaken to address an alteration to the dwelling plans. Alterations have seen a shift of the primary dwelling, an addition of a second smaller dwelling and alter the design and placement of the shed, this overall has led to a reduction in impact for most trees across the site with some trees bearing significantly less encroachment from the development.

1. Introduction

Jim's Trees Wantirna has been engaged to assess the impact development will have on trees located in the property of 5 Mary Street, Bunyip. This report provides an assessment against standard arboricultural terms and details impacts and tree viability as per AS4970-2009 Protection of Trees on Development Sites.

2. Definition of Terms

Tree – Woody perennial with a mature height over 5m.

Deadwood – Branches or stems with no live vascular tissue over 30mm in diameter.

Fail – Mechanical breakage of a tree or its parts.

TPZ – Tree Protection Zone

SRZ – Structural Root Zone

DBH – Diameter at Breast Height

PA – Project Arborist

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3. Method

A ground based visual tree assessment was performed by Malcolm Neville in June 2023.

Tree data has been collected from the above-mentioned report produced by Malcolm Neville for the subject site.

TPZs and SRZs have been calculated using the formulas set out within AS4970-2009 Protection of Trees on development Sites.

Vegetation protections under the City of Cardinia Planning Scheme have been reviewed to assess vegetation laws within the site, applicable sections of the Planning Scheme:

- Cl.42.02 Vegetation Protection Overlay
- Cl.42.02 Vegetation Protection Overlay Schedule 1 (VPO1)
- Cl.52.17 Native Vegetation

Encroachments and plans have been supplied by the draftsman for the subject site Korden Design.

Land Capability Assessment supplied by the client has been reviewed (see section 6.3).

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3.1 Assumptions and Limitations

- Care has been taken to obtain all relevant information from reliable sources, the consultant cannot guarantee or be responsible for the accuracy of the information provided by third parties.
- The consultant shall not be required to give testimony or attend court by reason of this report unless subsequent contractual agreements are made, including payment of a negotiated additional fee for such services.
- Diagrams, sketches, graphs and photographs in this report are intended as visual aids and may not be to scale, these should not be construed as engineering or architectural drawings or reports.
- The inspection is limited to visual examination of accessible components unless otherwise stated in the "Method".
- There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
- The Author takes all reasonable care to ensure all referenced material is accurate and quoted in correct context but does not take responsibility for information quoted or supplied.

5. Observations

Tree Number	Genus & Species	Calliper*	DBH	SRZ	TPZ	Encroachment*
1	<i>Pinus radiata</i>	85	80	3.1	9.6	Remove
2	<i>Pinus radiata</i>	87	82	3.1	9.8	Remove
3	<i>Eucalyptus cephalocarpa</i>	50	45	2.5	5.4	0%
4	<i>Eucalyptus obliqua</i>	38	35	2.2	4.2	12%
5	<i>Eucalyptus sp.</i>	85	80	3.1	9.6	0%
6	<i>Eucalyptus obliqua</i>	50	45	2.5	5.4	0%
7	<i>Eucalyptus obliqua</i>	138	128	3.8	15	Remove
8	<i>Eucalyptus obliqua</i>	36	33	2.2	4.0	25%
9	<i>Eucalyptus sp.</i>	60	55	2.7	6.6	1%
10	<i>Eucalyptus sp.</i>	85	80	3.1	9.6	Remove
11	<i>Eucalyptus obliqua</i>	65	60	2.8	7.2	0.5%
12	<i>Eucalyptus obliqua</i>	89	84	3.2	10.1	Remove
13	<i>Eucalyptus obliqua</i>	110	100	3.4	12.0	45%
14	<i>Pinus radiata</i>	85	80	3.1	9.6	27%
15	<i>Eucalyptus sp.</i>	135	125	3.8	15.0	38%
16	<i>Eucalyptus obliqua</i>	29	26	2.0	3.1	0%
17	<i>Eucalyptus cephalocarpa</i>	95	90	3.2	10.8	12%
18	<i>Eucalyptus dives</i>	65	60	2.8	7.2	0%
19	<i>Eucalyptus obliqua</i>	57	52	2.6	6.2	12.2%
20	<i>Eucalyptus obliqua</i>	45	41	2.4	4.9	14%
21	<i>Eucalyptus obliqua</i>	135	115	3.8	13.8	10%
22	<i>Eucalyptus obliqua</i>	85	78	3.1	9.4	10%
23	<i>Eucalyptus obliqua</i>	124	114	3.6	13.7	4%
24	<i>Eucalyptus obliqua</i>	59	54	2.7	6.5	20.7%
25	Removed					

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26	<i>Eucalyptus obliqua</i>	53	48	2.5	5.8	31.1%
27	<i>Eucalyptus sp.</i>	113	103	3.5	12.4	22.2%
28	<i>Eucalyptus obliqua</i>	42	37	2.3	4.4	9%
29	<i>Eucalyptus sp.</i>	71	66	2.9	7.9	0%
30	<i>Eucalyptus globulus subsp. bicostata</i>	45	40	2.4	4.8	0%
31	<i>Eucalyptus globulus subsp. bicostata</i>	52	47	2.5	5.6	0%
32	<i>Eucalyptus sp.</i>	97	92	3.3	11.0	0%
33	<i>Eucalyptus obliqua</i>	28	25	1.9	3.0	0%
34	<i>Eucalyptus sp.</i>	51	46	2.5	5.5	30%
35	<i>Eucalyptus dives</i>	47	42	2.4	5.0	34%
36	<i>Eucalyptus obliqua</i>	58	53	2.6	6.4	Remove
36a	<i>Eucalyptus obliqua</i>	58	53	2.6	6.4	Remove
37	<i>Eucalyptus globulus subsp. bicostata</i>	33	30	2.1	3.6	34%
38	<i>Eucalyptus globulus subsp. bicostata</i>	33	30	2.1	3.6	5%
39	<i>Pittosporum undulatum</i>	29	26	2.0	3.1	1%
40a	<i>Pittosporum undulatum</i>	55	50	2.6	6.0	0%
40b	<i>Pittosporum undulatum</i>	55	50	2.6	6.0	0%
41	<i>Pittosporum undulatum</i>	55	50	2.6	6.0	0%
42	<i>Eucalyptus cephalocarpa</i>	93	88	3.2	10.6	0%
43	<i>Acacia baileyana</i>	33	30	2.1	3.6	0%
44	<i>Eucalyptus cephalocarpa</i>	85	80	3.1	9.6	0%
45	<i>Eucalyptus obliqua</i>	60	55	2.7	6.6	0%
46	<i>Eucalyptus obliqua</i>	53	48	2.5	5.8	0%

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47	<i>Eucalyptus obliqua</i>	58	53	2.6	6.4	0%
48	<i>Eucalyptus obliqua</i>	58	53	2.6	6.4	0%
49	<i>Eucalyptus obliqua</i>	49	44	2.5	5.3	0%
50	<i>Eucalyptus sp.</i>	120	110	3.6	13.2	0%
51	<i>Eucalyptus obliqua</i>	44	38	2.3	4.6	0%
52	<i>Eucalyptus obliqua</i>	36	33	2.2	4.0	0%
53	<i>Eucalyptus obliqua</i>	31	28	2.0	3.4	0%
54	<i>Eucalyptus sp.</i>	45	40	2.4	4.8	0%
55	<i>Eucalyptus obliqua</i>	41	38	2.3	4.6	0%
56	<i>Eucalyptus obliqua</i>	38	35	2.2	4.2	0%
57	<i>Eucalyptus obliqua</i>	28	25	1.9	3.0	0%
58	<i>Acacia baileyana</i>	27	24	1.9	2.9	0%
59	Removed					
60	<i>Eucalyptus obliqua</i>	31	28	2.0	3.4	0%

***where 'remove' is listed trees have been deemed un-viable with the proposed plans.**

- 7 Trees are not viable with the current proposal.
- 2 Trees have been removed prior to this report being undertaken.
- 31 Trees will not be impacted by the development with a further 8 trees experiencing a minor encroachment.
- 14 Trees will see a major encroachment into TPZs and will require further consideration.
- 5 Trees under the current siting will require offsets to be secured prior to removal; Trees 7, 10, 12, 36 & 36a.
- Trees 15 & 34 are dead and hollow bearing – proposed for retention.
- Trees on site have appropriate area free for contiguous TPZ offsets, tree 26 does not benefit from this however it is unlikely to be detrimentally impacted due to driveway being laid at grade with a permeable material.



6. Discussion

6.1 Tree Laws

Vegetation protected under VPO1.

There are local policies that apply to these trees which must be adhered to, VPO and VPO1, which states that a permit is required to remove, destroy, or lop any vegetation, this does not apply to trees listed on the weed species list contained within the VPO1 document or is dead and under 40cm diameter at 1.3m above ground level. Some weeds contained within the document will require a permit to remove where they meet the 40cm at 1.3m above ground level threshold.

Clause 52.17 Native Vegetation

Native vegetation located on sites greater than or equal to 4000m² require a permit to remove and offsets to be secured prior to removal unless the native vegetation is captured within the exemptions found within cl.52.17-7 or is a weed listed in the schedule to cl.52.17 (none present).

6.2 Tree Impact

Removed – Trees 25 & 59.

Trees 25 and 59 have been removed prior to undertaking this report, these trees are no longer applicable to the site.

Not viable with proposed design – Trees 1, 2, 7, 10, 12, 36 & 36a.

Trees 1, 12 & 36a will not be viable with the proposed build due to either being sited within the build footprints or being situated in a position where retention is made untenable, tree 2 will likely see extensive impact to its TPZ and will not be viable with the current design.

Trees 10 & 36 sit within the direct line of the driveway, retention of these trees is not possible to ensure access to the site with the current design.

Tree 7 will see an encroachment of 23.3%, this is considered to be a major encroachment as per AS4970-2009 although this species can tolerate moderate amounts of root disturbance this tree is situated where it will see significant excavations into its TPZ. The alteration to grade and changes to the hydrology of the site means that this tree will likely see an increase in soil saturation; saturated soils have much lower shear strength. It is unlikely that this trees stability in the ground can be guaranteed, removal is recommended.

No encroachment – Trees 3, 5, 6, 16, 18, 29, 30, 31, 32, 33, 40a, 40b, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51,

Trees 3, 18, 30, 31, 33, 40a, 40b, 41, 42, 43, 44, 45, 46, 47, 48, 49, 51, 52, 53, 55, 56, 57, 58 & 60 will not be impacted by the proposed development, these trees are either sited further than 15m from any works or their TPZs are not encroached upon by the proposed works including driveway installation and trenching for services.



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52, 53, 54, 55, 56, 57, 58 & 60. Trees 5,6,16,29,32,50 & 54 are dead, these trees will not be impacted due to works being conducted outside their respective SRZ's. These trees have no live vascular tissue and the SRZ is required to be maintained to ensure the structural stability of the trees, encroachment into TPZ is not required for dead trees (see 1.4.5 of AS4970-2009). No further action is required for these trees.

Minor Encroachment – Trees 9, 11, 21, 22, 23,28, 38 & 39. Trees 11, 21, 22, 23, 38 & 39 all see minor encroachments that do not enter the SRZ of the trees, any encroachment that is <10% is considered to be minor and tolerable as per section 3.3.2 of AS4970-2009. No root investigation is required for these trees and no further action is required for these trees.

Major encroachment – Services Trench and Driveway – Trees 8, 13, 14, 15, 17, 19, 20, 24, 26, 27, 34, 35 & 37. Trees 8,13, 14, 24, 26, 27, 28, 35 and 37 will all be subject to major encroachments due to the driveway installation, it has been indicated that the driveway is to be crushed rock laid at grade. This is considered to be low impact on trees due to permeability and no excavation around roots, Trees 8, 24, 26, 28, 35 and 37 have been observed growing successfully in areas of high soil compaction including factory yards and dirt/gravel car parks, it is not expected that the driveway installation will be detrimental to these trees' longevity.

Tree 13 will see fill placed within the TPZ of the tree, this is not expected to detrimentally impact on the longevity of the tree, the encroachment from the dwelling is 21% with a further 24% non-inhibitive encroachment from the driveway. The species profile indicates that this is tolerable as the species frequently tolerates root disturbance and it is not expected to alter the trees useful life expectancy due to the trees already poor health.

Trees 27 and 34 are dead, driveway installation within the SRZ of these trees is not expected to impact the structural integrity of these trees.

Trees 14, 15, 17, 19, 20, 24 and 26 will see major encroachments due to service installation, other layouts have been assessed and dismissed as the current services installation course provides the least amount of impact to vegetation. To minimise further impacts to vegetation the services will need to be installed using non-destructive digging techniques, these are low impact methods of excavating around tree roots as outlined in AS4970-2009 Page 12 section 3.3.4(a). Services are to be fed around tree roots with backfilling being undertaken as soon as services have been installed. Where hydro-spade is nominated, pressure must be kept low to avoid stripping bark from roots.

Tree 14 will see a combined encroachment from the driveway, fill and service trench of 27%, due to the trees hardy species profile, this is not



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expected to detrimentally impact on the trees longevity and with trenching being located outside of the trees SRZ it is not expected to have its stability impacted.

Tree 15 is dead and will see the services trench run through the SRZ of the tree, whilst the trees health is not of concern the roots through the SRZ must not be severed and services must be fed around roots. Provided no roots are severed the tree is unlikely to experience a detriment to its stability. It is possible to retain this tree with this provision.

**Major
Encroachment –
Shed – Tree 4.**

Encroachment into Tree 4's TPZ from shed construction is 12%, this is lower than the previous design although still slightly higher than would be acceptable for a minor encroachment however as the species will tolerate moderate amounts of soil disturbance this is unlikely to detrimentally affect the tree, it is recommended to isolate this tree from construction using TPZ fencing. 0.41m of excavation is specified on the supplied plans into the TPZ of this tree, due to the relatively small size of Tree 4 it is not expected that excavations will impact on tree stability or health.

6.3 Land Capability Assessment (LCA)

**Use secondary
treated subsurface
irrigation
wastewater
system.**

I have reviewed the LCA for the site and assessed the location of the land application area (LAA). The LCA indicates that two types of wastewater treatment are appropriate for the site; wick trench and bed and secondary treated subsurface irrigation.

Due to level of excavation required for the wick trench and bed this method of wastewater treatment is unsuitable for the site as it will likely yield trees nominated for retention on site unviable.

The secondary treated subsurface irrigation system is suitable for the purposes of tree retention and can be installed around trees, it is acceptable to install around and maintain vegetation near the LAA as outlined within the code of practice – onsite wastewater management 3.7.2.1 & 3.11.2.

The subsurface irrigation system should be installed within the effluent envelope around the driveway to limit root exposure/access and ensure pipes do not become blocked with roots from live vegetation. Relocation may require minor adjustment of driveway, impacts to trees from re-alignment of driveway will be negligible.

By using the designated envelope, it makes maintenance of the leech field easier by limiting root exposure and will not see the consequential loss of vegetation over time due to maintenance issues with the wastewater treatment system.

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Impact to vegetation.

Installation of the subsurface irrigation system involves laying a narrow diameter pipework grid across an area approximately 100mm below natural ground level to gain the most benefits from the system by allowing nutrients into the surface soil for trees and plants to disperse the wastewater using evapotranspiration. 100mm depth is considered minor soil disturbance and low impact on the trees, it is not expected that trees 15, 16, 24, 26, 27, 28, 30, 31 and 32 will see a loss of viability (trees 15, 27 and 32 are dead), live trees will likely see a net gain as eucalypts are generally considered acceptable for wastewater irrigation as demonstrated by the CSIRO.

To minimise any impact to the tree's, the irrigation field must be installed using hand digging techniques whereby pipes can be laid and fed around any surface roots that may be present.

6.4 LAA Location

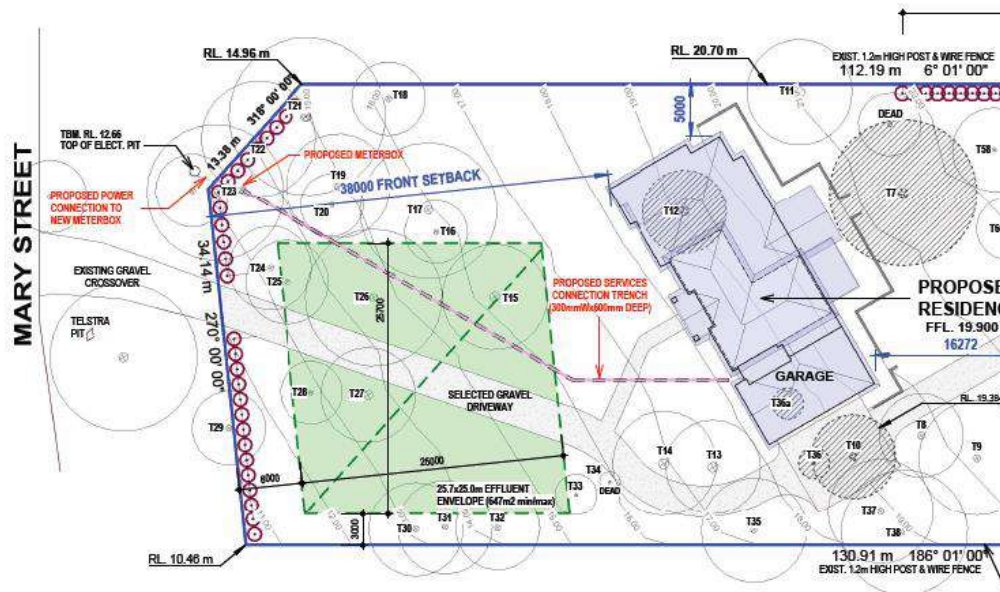


Image 1. Shows proposed location of subsurface irrigation field (green square).



7. Specifications

- Establish exclusion zones around Trees 4, 8, 13, 14, 35, 37, 38 & 39.** It is recommended to establish an exclusion zone using TPZ fencing around trees, this will prevent storage of materials and soil compaction around trees to be retained, this is likely to only be necessary for trees around the immediate development sites. TPZ fencing must conform with AS4970-2009 (see figures 1,2 & 3 of section 8.3 of this report). Due to the size of the site it is unreasonable to fence around all trees, Trees 4, 8, 13, 14, 35, 37, 38 & 39 have been assessed to be the most likely to be impacted from construction works and requiring an exclusion zone.
- Gravel driveway must be laid at grade.** The gravel driveway must be laid at grade and no excavation is to occur within the TPZs and SRZs of trees 8, 13, 14, 15, 24, 26, 27, 28, 34, 35, 37 & 38 for driveway installation.
- Trenching for services must be undertaken by hand digging.** Trenching for services must be undertaken by hand digging through all TPZs and through the SRZ for Tree 15 (roots must not be severed for Tree 15), this is considered to be a non-destructive excavation method as outlined 3.3.4 (a) of AS4970-2009, all trenching through TPZ's must be undertaken under the supervised of the Project Arborist or suitably qualified delegate.
- Designate area for materials storage on site.** An area of the site must be designated as materials storage so as to avoid materials being stored in areas where impact to trees is likely to occur, materials must be kept in the designated area. Due to the size of the site, it is unreasonable to fence around all trees
- Implement TPMP.** A Tree Protection Management Plan (TPMP) should be implemented prior to development to ensure protection measures are adhered to through inspections and clear protection measures.
- LAA installation must be undertaken by hand.** To minimise any impact to the tree's, the irrigation field must be installed using hand digging techniques whereby pipes can be laid and fed around any surface roots that may be present.
- Tree 13** Due to the poor health of Tree 13, specifications are to maximise the trees survivability potential within the site, there is not expected to be any impact to the root system of the tree with the level of fill placed around the roots, encroachments into the trees TPZ are not expected to alter the trees useful life expectancy.

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8. Tree Protection Management Plan

This Tree Protection Management Plan (TPMP) has been developed as a response to the City of Cardinia request for further information, it addresses the retention of trees on site and appropriate protection measures to be implemented to ensure long term viability of retained vegetation.

8.1 Project Arborist Engagement

Malcolm Neville, owner and operator of Jim's Trees and Stumps Wantirna has been engaged by Chris Fauvrelle and agreed to undertake the responsibility of Project Arborist for the development site of 5 Mary Street, Bunyip, Victoria.

8.2 Supporting Documents

Arboricultural Assessment MN2350 produced by Jim's Trees and Stumps Wantirna for 5 Mary Street, Bunyip.

Drawings 295223-09 by Kordon Designs Building and Drafting.

Land Capability Assessment by Soil Test Express.

The above documents have been submitted with all trees surveyed and discussed.

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8.3 Tree Data

Tree data below has been collated from major encroachments found in the Table in Observations section 5 of this report, impacts to all other trees on site have been discussed at section 6.2 Tree Impact and will not be covered within this section of the report.

Tree #	Genus Species	Calliper	DBH	SRZ	TPZ	Encroachment %	TPZ Protection
4	<i>Eucalyptus obliqua</i>	38	35	2.2	4.2	14.2%	Supervision during excavation, TPZ Fencing
8	<i>Eucalyptus obliqua</i>	36	33	2.2	4.0	29.4%	TPZ Fencing, mulch, permeable driveway.
13	<i>Eucalyptus obliqua</i>	110	100	3.4	12.0	21%	TPZ Fencing, mulch,

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							permeable driveway, hand dig trench.
14	<i>Pinus radiata</i>	85	80	3.1	9.6	27%	TPZ Fencing, mulch, permeable driveway, hand dig trench.
15	<i>Eucalyptus sp.</i>	135	125	3.8	15.0	42.1%	Hand dig trench
17	<i>Eucalyptus cephalocarpa</i>	95	90	3.2	10.8	14.2%	Hand dig trench
19	<i>Eucalyptus obliqua</i>	57	52	2.6	6.2	12.2%	Hand dig trench
20	<i>Eucalyptus obliqua</i>	45	41	2.4	4.9	19.7%	Hand dig trench
24	<i>Eucalyptus obliqua</i>	59	54	2.7	6.5	20.7%	Hand dig trench, permeable driveway
26	<i>Eucalyptus obliqua</i>	53	48	2.5	5.8	31.1%	Hand dig trench, permeable driveway
27	<i>Eucalyptus sp.</i>	113	103	3.5	12.4	22.2%	Hand dig trench, permeable driveway
34	<i>Eucalyptus sp.</i>	51	46	2.5	5.5	47%	Permeable driveway
35	<i>Eucalyptus dives</i>	47	42	2.4	5.0	33%	TPZ Fencing, permeable driveway.
37	<i>Eucalyptus globulus subsp. bicostata</i>	33	30	2.1	3.6	34%	TPZ Fencing, permeable driveway.

8.4 Tree Protection Measures

1. **Tree Protection Fencing*** - Chain wire mesh panels 1.8m in height with concrete feet to avoid damaging roots (see Figure 1). Fencing should be erected before any machinery or material is brought on site and before works commence, including demolition. min (AS4687), fencing must be signed as per figure 2. Once erected Fencing must not be removed or altered without approval from the Project Arborist. Applicable to trees 4, 8, 13, 14, 35, 37 & 39.
2. **Ground protection using Rumble Boards*** - If unforeseen temporary access is required within the TPZ, ground protection is required. The purpose of ground protection is to prevent root damage and soil compaction within the TPZ. Measures may include a permeable membrane such as geotextile fabric beneath a layer of mulch or crushed rock below Rumble Boards (see Figure 3)

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3. **Trunk and Branch Protection*** - Where necessary, install protection to the trunk and branches of the tree as shown in Figure 3. Positioning and materials to be specified by the Project Arborist, no nails or screws to be used for attachment.

*Temporary Fencing, signs, rumble boards on top of mulch, trunk and stem protection, all must comply with standards set out within AS4970-2009.

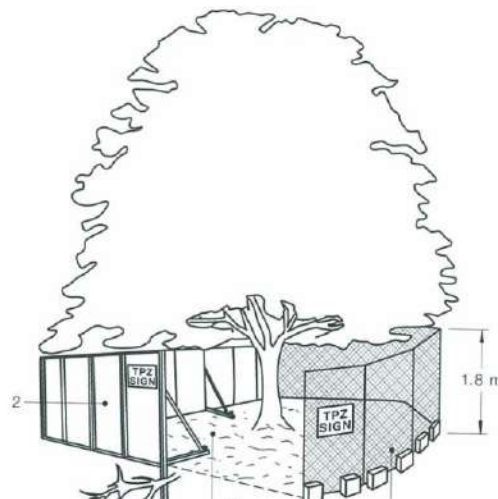


Figure 1. Tree Protection Fencing

Source: Australian Standards AS4970-2009 Protection of Trees on Development Sites.

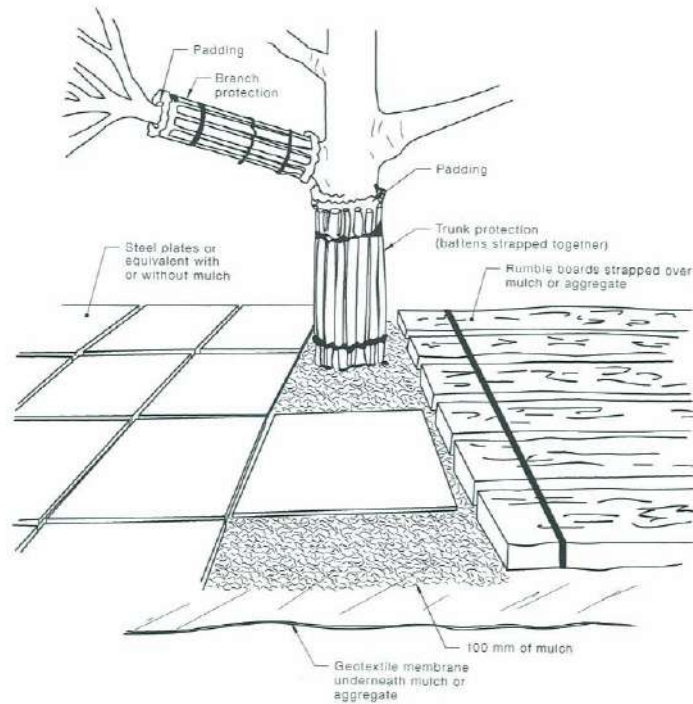


Figure 2. Signage in compliance with AS4970-2009

Source: nationalsafetysigns.com.au

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IES:

Figure 3. Branch, trunk and ground protection.

Source: Australian Standards AS4970-2009 Protection of Trees on Development Sites.

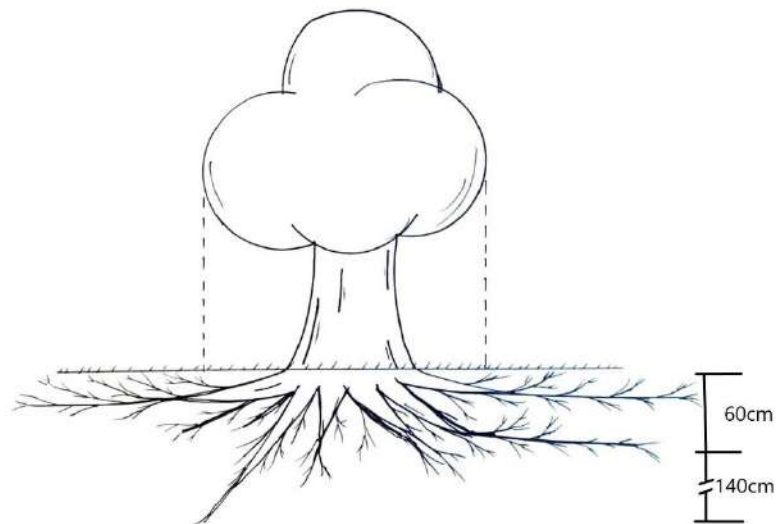


Figure 4. Roots grow predominantly near the soil surface with over 90% of all tree roots growing in the top 60cm of soil and generally no deeper than 2m (this is a generalisation, there are exceptions dependant on species of tree, soil structure and moisture level) this includes most large structural roots, roots on most trees grow beyond the drip line of the tree (indicted by dotted line in the above diagram) often further than the trees height. Soil disturbance within the structural root zone should be avoided, as this can affect the trees stability and moisture uptake.



8.5 Specifications

A Tree Protection Plan has been developed to coincide with the below specifications. See section 12.3 of Appendices for Tree Protection Plan.

8.5.1 Tree Protection

Root management, major encroachment into TPZs, back fill and watering, no alteration to soil grade within TPZs.

As the root systems of trees are generally within the top 60cm of soil (this includes both structural roots and feeder roots, see figure 4 above) it is imperative to avoid soil disturbance where possible. The root systems of trees 4, 15, 17, 19, 20, 24, 26 & 27 must be protected, encroachment into TPZs for the proposed development is unavoidable and during construction any excavation into TPZs must be conducted with a suitably qualified arborist present, where encroachment into TPZ from excavation occurs, any root pruning is to be made using sharp tools on roots. There must be no severance of roots within the SRZ of any tree.

Soil grade must not be altered within the TPZ of any tree to be retained without further approval from the PA. Alteration of soil grade has been carefully considered and any further alteration may shorten a trees useful life expectancy.

Trees 4, 8, 13 and 14 will be subject to being on a construction site and will require additional protection measures to promote viability, these trees must have a layer of mulch laid to a depth of 100mm on all non-paved areas within the trees exclusion zone as defined by the TPZ fencing.

Excavations, trenching, boring must use tree sensitive methods.

All excavation works within the TPZs are to comply with the specifications set out within AS4970-2009, this means that any trenching or excavation works within the TPZ that forms a major encroachment must use tree sensitive methods such as hydro-excavation, air-spade, boring or hand digging, this will allow for installation of services without impacting root systems and allow for the Project Arborist or suitably qualified delegate to assess extent of root pruning required where deemed necessary. This is applicable to trees 4, 13, 14, 15, 17, 19, 20, 24, 26 & 27. All trenching for services must be backfilled and watered upon completion of services installation.

All trenching through TPZ's must be undertaken under the supervised of the Project Arborist or suitably qualified delegate.

LAA irrigation must be installed using hand digging methods and must not be installed using plant/machinery.

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Permeable driveway laid at natural grade. The driveway for the site must be made of a permeable substance and laid at grade, no excavations are permitted for driveway installation. A course gravel will allow water to absorb into the soil and will ensure that tree roots will continue to receive water and limit the effects of soil compaction. This will ensure that driveway installation will remain low impact on Trees 8, 13, 14, 24, 26, 27, 35 and 37.

Tree canopies must be pruned to AS4373-2007 where applicable. The canopies of all trees being retained are not to be impacted by machinery during the build and any necessary pruning works of these trees must be carried out by a suitably qualified arborist and are to comply with AS4373-2007.

TPZ fencing - must conform with AS4970-2009. Trees 4 and 8 must have TPZ fencing and appropriate signage (see figures 1 & 2), footings for TPZ fencing are to be tree sensitive, TPZ fencing is to remain erected for the duration of the build, the purpose of the TPZ fencing is to isolate the trees; no access within the TPZ fencing is acceptable for the entirety of the development process and TPZ fencing must remain for the duration of the development process, excepting where access is required for approved works around tree 4.

TPZ fencing for Tree 4 must be installed to the extent of its TPZ and must only be reduced for approved works, including excavations.

Although the driveway installation is considered to be low impact due to being laid at grade with a permeable material, TPZ fencing is required around trees considered to be located within high traffic areas. This is only necessary for trees around the immediate development sites, due to the size of the site it is unreasonable to fence around all trees. Only Trees 4, 8, 13, 14, 35, 37, 38 & 39 have been assessed to be the most likely to be impacted from construction works and requiring an exclusion zone.

Designated washdown area. A washdown area has been designated in an area of the development where run off will not adversely affect retained vegetation.

Designated storage area. Due to the size of the site, it is not practical to fence off all trees, an area of the site has been designated as a storage area, this an area where all machinery, plant, materials etc must be stored. Machinery, plant and materials must not be stored within the TPZ of any live tree retained on site.

8.5.2 Tree Protection Management Plan Schedule

Development Phase	Task	Tree Requirements	Performed by
Site Meeting	Site Induction.	Educate contractors on the requirements of PA and TMP	Project Arborist and Site Manager
Pre-Construction	Supervise erection of TPZ fencing.	Protection of trees being retained. TPZ fencing erected where applicable. SRZ and TPZ protection checked by PA.	Minimum AQF level 3 Arborists and comply with AS 4373-2009, Site Manager, Project Arborist
Construction	Excavations around Trees 13, 14, 15, 17, 19, 20, 24, 26, 27, 34 & 37.	Project arborist to be on site for excavation.	Site Manager, Project Arborist, Excavation Staff
Construction	Supervise any construction works within TPZ.	Project Arborist must be on site for all excavations involving retained trees inside TPZ	Site Manager Project Arborist
Post Construction	Site Visit	Removal of TPZ fencing to occur	Project Arborist Site manager
Post Construction	Monitor Tree condition	At completion and recommend remedial works if required.	Project Arborist

8.5.3 Notes on Replanting

Subject site already replanted; site is heavily vegetated.

The client has indicated that planting has begun across the site using a mix of *Cupressus leylandii* and *Magnolia grandiflora* as screening plants, the client has indicated that in excess of 100 trees have been planted. Further planting is likely to yield unfavourable results through over-crowding and competition for light.

Replanting should only occur near and around the subsurface irrigation field and preferably with grasses and ground covers that are salt tolerant, some species of tree are acceptable these are trees with non-invasive root systems.

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9. Conclusion

With the changes to the proposed development plans to, from 295223-08 to 295223-09, whereby an additional dwelling has been added to the plans, the main dwelling has been re-sited and the shed redesigned and re-sited, there has been an overall reduction in the impacts to trees proposed to be retained, particularly around trees 8 and 9. This has furthered the objective of cl.52.17 to either avoid the removal of vegetation or minimise the impacts to retained native vegetation.

Offsets are required for any native vegetation to be removed, including dead vegetation, trees 7, 10, 12, 36 & 36a will require offsets to be secured prior to removal, no dead trees have been nominated for removal.

Following the specifications set out within the Tree Protection Management Plan and Impact Report and ensuring tree sensitive construction measures are designed and implemented, the trees covered within this document are not likely to be adversely affected by development of the site and will see continued longevity.

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10. References

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11. Glossary

Evapo-transpiration	The process by which water enter the atmosphere by evaporation from the soil and transpiration from plants.
Grade	The elevation of the ground surface of land prior to any land alteration, including, but not limited to, disturbance, excavation, filling, or construction having occurred.
Major Encroachment	Where development works encroach greater than 10% into the trees TPZ. Trees will require further consideration to ensure ongoing viability.
Minor Encroachment	Where development works encroach less that 10% into a trees TPZ, generally considered tolerable as per AS4970-2009.
Soil Compaction	Compaction of soil, often due to vehicle traffic, that breaks down soil aggregates, reduces soil volume and total pore space limiting a trees ability to grow roots through the soil and gather nutrients, also affects water absorption.
Union	Point where a branch originates from the trunk or another branch. Fork or crotch in a tree.

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12. Appendices

12.1 Descriptors

Health

Health relates to the condition, health and vigour of a tree.

Category	Description
Good	The tree is demonstrating good or exceptional growth. The tree exhibits a full canopy of foliage and has only minor issues with pests or diseases. The tree exhibits good wound wood development.
Fair	The tree is in reasonable condition and growing well. The tree exhibits an adequate canopy of foliage. There may be minor amounts of deadwood in the crown and minor dieback present.
Poor	The tree is not growing to its full capacity; extension growth of the laterals is minimal. The canopy may be thinning or sparse. Large amounts of deadwood may be present throughout the crown with significant dieback. Significant pest and disease problems may be evident or there may be symptoms of stress indicating tree decline.
Dead	The tree has no live vascular tissue.



Structure

Structure relates to the physical form of the tree, including the trunk(s), main scaffold branches and roots. Structure includes the attributes that may influence the probability of major trunk, limb or root failure.

Category	Description
Good	The form of the tree is typical of the species, the crown has good symmetrical form, branch unions appear to be strong with no serious defects present in the trunk or limbs. There is no sign of plate heave or damage to the roots and the tree is considered a good example of the species.
Fair	The tree has some minor structural problems, trees crown may be slightly asymmetrical with minor structural faults in branch unions. Only minor wounds present on trunk(s) and do not affect the overall strength or stability of the tree.
Poor	The tree has a poorly formed crown that is asymmetrical. Branch unions are poorly formed, and scaffold limbs may have a poor taper and become over-extended. Major root damage may have occurred, and root plate heave may be present. Defect's present may result in limb or trunk failure.

Age Class

Category	Description
Juvenile	Recently planted tree.
Semi-mature	Established tree that has not yet reached the expected size for the species.
Mature	The tree has reached the expected size for its species.
Senescent	The trees maturity has peaked, and it has reached its useful life expectancy.

Retention Value

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Retention values below coincide with retention values outlined within the IACA STARS document.

Category	Description
Remove	Tree is hazardous, in irreversible decline or is a weed as outlined by the determining authority.
Low	Tree has poor health, provides little benefit to the neighbourhood character and/or has little habitat value.
Moderate	Tree has fair health, provides some benefit to the neighbourhood character and/or has some habitat value.
High	Tree has good health, adds benefit to the neighbourhood character and/or has good habitat value.

12.2 Tree Survey

Tree #	Genus and Species	Common Name	Height (m)	Canopy (m)	Age Class	Health	Structure	Permit Exempt - Reason
1	<i>Pinus radiata</i>	Radiata Pine	25	12	Semi-mature / mature	Fair	Poor	No
2	<i>Pinus radiata</i>	Radiata Pine	25	12	Semi-mature / mature	Fair	Poor	No
3	<i>Eucalyptus cephalocarpa</i>	Mealy Stringybark	12	5	Juvenile / semi-mature	Good	Poor	No
4	<i>Eucalyptus obliqua</i>	Messmate	8	5	Semi-mature	Poor	Poor	No
5	<i>Eucalyptus sp.</i>	Gum Tree	10	1	N/A	Dead	Poor	No
6	<i>Eucalyptus obliqua</i>	Messmate	18	7	N/A	Dead	Poor	No
7	<i>Eucalyptus obliqua</i>	Messmate	25	14	Mature	Fair	Poor	No
8	<i>Eucalyptus obliqua</i>	Messmate	10	5	Semi-mature / mature	Poor	Poor	No
9	<i>Eucalyptus sp.</i>	Gum Tree	10	10	Semi-mature	Dead	Fair	No
10	<i>Eucalyptus sp.</i>	Gum Tree	12	5	N/A	Dead	Poor	No
11	<i>Eucalyptus obliqua</i>	Messmate	22	8	Semi-mature	Poor	Fair	No
12	<i>Eucalyptus obliqua</i>	Messmate	22	8	Semi-mature / mature	Poor	Poor	No
13	<i>Eucalyptus obliqua</i>	Messmate	24	14	Mature	Poor	Poor	No
14	<i>Pinus radiata</i>	Radiata Pine	24	12	Semi-mature	Fair	Fair	No
15	<i>Eucalyptus sp.</i>	Gum Tree	15	10	N/A	Dead – Hollow bearing	Fair	No
16	<i>Eucalyptus obliqua</i>	Messmate	8	6	Juvenile / semi-mature	Fair	Fair	No
17	<i>Eucalyptus cephalocarpa</i>	Mealy Stringybark	18	15	Semi-mature / mature	Fair	Poor	No
18	<i>Eucalyptus dives</i>	Broad Leaved Peppermint	17	6	Semi-mature	Poor	Poor	No



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19	<i>Eucalyptus obliqua</i>	Messmate	18	8	Semi-mature	Poor	Fair	No
20	<i>Eucalyptus obliqua</i>	Messmate	7	5	Semi-mature	Poor	Good	No
21	<i>Eucalyptus obliqua</i>	Messmate	18	24	Semi-mature / mature	Fair	Fair	No
22	<i>Eucalyptus obliqua</i>	Messmate	17	8	Semi-mature / mature	Poor	Poor	No
23	<i>Eucalyptus obliqua</i>	Messmate	20	14	Mature	Fair	Failed	No
24	<i>Eucalyptus obliqua</i>	Messmate	17	8	Semi-mature / mature	Fair	Failed	No
25	Removed							
26	<i>Eucalyptus obliqua</i>	Messmate	19	10	Semi-mature / mature	Fair	Fair	No
27	<i>Eucalyptus sp.</i>	Gum Tree	17	12	N/A	Dead	Poor	No
28	<i>Eucalyptus obliqua</i>	Messmate	9	7	Semi-mature	Poor	Fair	No
29	<i>Eucalyptus sp.</i>	Gum Tree	17	16	N/A	Dead	Poor	No
30	<i>Eucalyptus globulus subsp. bicostata</i>	Southern Blue Gum	18	8	Semi-mature	Fair	Fair	No
31	<i>Eucalyptus globulus subsp. bicostata</i>	Southern Blue Gum	17	10	Semi-mature	Fair	Good	No
32	<i>Eucalyptus sp.</i>	Gum Tree	18	8	N/A	Dead	Poor	No
33	<i>Eucalyptus obliqua</i>	Messmate	7	4	Juvenile / semi-mature	Fair	Poor	No
34	<i>Eucalyptus sp.</i>	Gum Tree	9	1	N/A	Dead – Hollow bearing	Poor	No
35	<i>Eucalyptus dives</i>	Broad Leaved Peppermint	11	8	Semi-mature	Fair	Fair	No
36	<i>Eucalyptus obliqua</i>	Messmate	6	3	Semi-mature	Poor	Poor	No
36a	<i>Eucalyptus obliqua</i>	Messmate	6	3	Semi-mature	Poor	Poor	No
37	<i>Eucalyptus globulus subsp. bicostata</i>	Southern Blue Gum	12	8	Semi-mature	Good	Good	No



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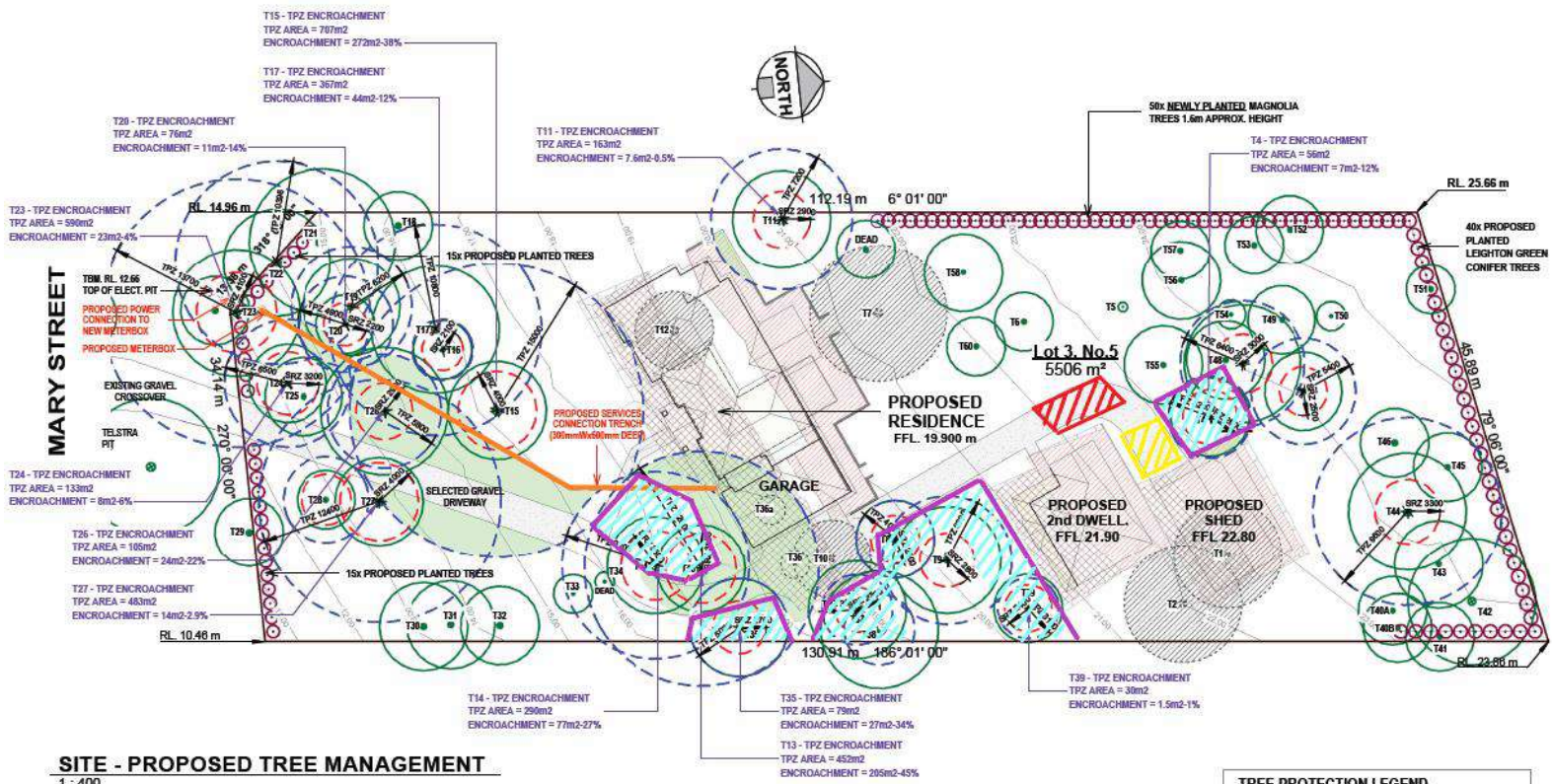
38	<i>Eucalyptus globulus subsp. bicostata</i>	Southern Blue Gum	12	10	Semi-mature	Good	Good	No
39	<i>Pittosporum undulatum</i>	Sweet Pitto	8	7	Semi-mature	Fair	Fair	Yes – Weed
40a	<i>Pittosporum undulatum</i>	Sweet Pitto	10	7	Semi-mature	Poor	Poor	Yes - Weed
40b	<i>Pittosporum undulatum</i>	Sweet Pitto	10	7	Semi-mature	Poor	Poor	Yes - Weed
41	<i>Pittosporum undulatum</i>	Sweet Pitto	10	7	Semi-mature	Poor	Poor	Yes - Weed
42	<i>Eucalyptus cephalocarpa</i>	Mealy Stringybark	18	12	Semi-mature / mature	Fair	Fair	No
43	<i>Acacia baileyana</i>	Cootamundra Wattle	8	6	Semi-mature / mature	Fair	Fair	Yes – Weed -Aus Native – 52.17 Exempt.
44	<i>Eucalyptus cephalocarpa</i>	Mealy Stringybark	18	10	Mature	Poor	Fair	No
45	<i>Eucalyptus obliqua</i>	Messmate	18	7	Semi-mature / mature	Poor	Poor	No
46	<i>Eucalyptus obliqua</i>	Messmate	10	6	Semi-mature / mature	Poor	Poor	No
47	<i>Eucalyptus obliqua</i>	Messmate	15	6	Semi-mature / mature	Poor	Poor	No
48	<i>Eucalyptus obliqua</i>	Messmate	15	6	Semi-mature / mature	Poor	Poor	No
49	<i>Eucalyptus obliqua</i>	Messmate	18	7	Semi-mature / mature	Fair	Fair	No
50	<i>Eucalyptus sp.</i>	Gum Tree	9	5	N/A	Dead	Poor	No
51	<i>Eucalyptus obliqua</i>	Messmate	16	6	Semi-mature	Fair	Fair	No
52	<i>Eucalyptus obliqua</i>	Messmate	9	8	Semi-mature	Fair	Fair	No
53	<i>Eucalyptus obliqua</i>	Messmate	5	4	Semi-mature	Poor	Poor	No
54	<i>Eucalyptus sp.</i>	Gum Tree	7	3	N/A	Dead	Poor	No
55	<i>Eucalyptus obliqua</i>	Messmate	9	6	Semi-mature	Poor	Poor	No
56	<i>Eucalyptus obliqua</i>	Messmate	11	9	Semi-mature	Fair	Fair	No
57	<i>Eucalyptus obliqua</i>	Messmate	8	6	Semi-mature	Poor	Poor	No



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58	<i>Acacia baileyana</i>	Cootamundra Wattle	9	7	Semi-mature	Fair	Fair	Yes – Weed – Aus Native 52.17 Exempt.
59	Removed							
60	<i>Eucalyptus obliqua</i>	Messmate	8	5	Semi-mature	Poor	Poor	No

12.3 Tree Protection Plan



SITE - PROPOSED TREE MANAGEMENT
1 : 400

TPP LEGEND

- TPZ Fencing
- Hand dig trench
- Storage
- Washdown
- Gravel - entire driveway
- Mulch

SITE CUT/FILL LEGEND

- DENOTES EXTENT OF PROPOSED SITE CUT
- DENOTES EXTENT OF PROPOSED SITE FILL

TREE LEGEND

- DENOTES EXISTING TREES TO BE RETAINED
- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES PROPOSED TREE

TREE PROTECTION LEGEND
AS PER ARBOURIST REPORT PREPARED BY - MARK SKOVODAM - DATED:11.12.23

- DENOTES EXTENT OF TREE SRZ
- DENOTES EXTENT OF TREE TPZ
- DENOTES EXTENT OF TREE TPZ ENCROACHMENT

Tree Protection Plan is not to scale, LAA not shown for clarity, refer image 1 section 6.4.

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12.4 Tree Protection Management Plan Specification

The following are guidelines that must be implemented to minimise the impact of the proposed construction works on the existing site trees.

- Tree protection fencing must conform to Australian Standards (AS 4970-2009) and must remain in place for the duration of construction, in good condition with signs visible from all sides.
- Where fencing cannot adequately protect the TPZ and access is required for construction purposes, ground protection using crushed rock or mulch below rumbles boards must be laid down.
- The Project Arborist or suitably qualified delegate must supervise any excavation works within the TPZ or SRZ on either site or adjoining site where existing trees may be affected.
- No Filling, trenching or excavation is to occur within the TPZ or SRZ without an approved planning permit from the responsible authority.
- No machinery, plant or vehicles are to enter the TPZ without consent from the Project Arborist or site manager.
- No Fuel, oil dumps or chemicals to be allowed in or stored in proximity to the TPZ.
- No site sheds, equipment, or storage units to be inside the TPZ.
- No leads, wires, power or any screw or nails to be attached to any tree inside the TPZ
- Supplementary watering must be provided through dry and hot periods of construction.
- Any pruning of the canopies of any trees retained on site or adjoining sites must be done by Qualified Arborists in accordance with Australian Standard Pruning of Amenity Trees (AS 4373-2007)
- The Tree Protection Zone must be mulched (where advised by the project arborist) with organic mulch to a min 100mm depth.
- All excavation within TPZ must be carried out by hand digging or with supervision from the Project Arborist. Where the project arborist identifies roots to be cut, within the TPZ, sharp clean tools will be used. It is not acceptable for excavators or heavy machinery to prune or cut roots inside the TPZ.

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12.5 Tree Protection Inspection Register

Tree Protection Inspection Register			
Site Address	5 Mary St, Bunyip		
Project Arborist Name:	[REDACTED]		
Contact Phone #	0411 336 363		
Site Manager Name:			
Contact Phone #			
Pre-Demolition / Site Preparation			
Site Induction	YES / NO / NA		
Contractors:			
Date:			
Meeting Held on Site	Yes No	Time of Meeting	
TPMP Given to all applicable persons.	YES / NO		
Site Access	<p style="font-size: small; color: red;">This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p>		
Site access determined and acceptable?	YES / NO		
Modification required to TPMP?	YES / NO		
Development clearances of TPZ			

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Vegetation pruning works required?	YES / NO / NA
Undertaken pruning works comply with AS-4373-2007?	YES / NO / NA
Tree Pruning undertaken in accordance with TPMP recommendations?	YES / NO / NA
Vegetation cleared from T.P.Z. in accordance with TPMP recommendations?	YES / NO / NA
Infrastructure cleared from T.P.Z. in accordance with TPMP recommendations?	YES / NO / NA
Tree Protection Area	
Fencing installed in correct location as per TPMP Protection Plan?	YES / NO / NA
Ground protection installed correctly as per TPMP Protection Plan?	YES / NO / NA
Trunk & Branch Protection installed correctly as per TPMP?	YES / NO / NA
Has the applicable Tree Protection Area been mulched to 100mm depth?	YES / NO / NA
Is mulch type in accordance with the TPP?	YES / NO / NA
Signage	
Is signage present?	YES / NO / NA
Does signage comply with TPMP?	YES / NO / NA



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Are project arborist contact details listed on signage?	YES / NO / NA
Root Pruning	
Has root pruning been undertaken in accordance with TPMP?	YES / NO / NA
Supplementary Measures (List as required)	
Date inspected	
Signed	



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Pre-Construction			
Site Induction	YES / NO / NA		
Contractors:			
Date:			
Meeting Held on Site	Yes No	Time of Meeting	
TMP Given to all applicable persons.		YES / NO	
Site Access			
Site access determined and acceptable?		YES / NO	
Modification required to TPMP?		YES / NO	
Development clearances of TPZ			
Vegetation pruning works required?		YES / NO / NA	
Undertaken pruning works comply with AS-4373-2007?		YES / NO / NA	
Tree Pruning undertaken in accordance with TPMP recommendations?		YES / NO / NA	
Vegetation cleared from T.P.Z. in accordance with TPMP recommendations?		YES / NO / NA	
Infrastructure cleared from T.P.Z. in accordance with TPMP recommendations?		YES / NO / NA	
Tree Protection Area			
Fencing installed in correct location as per TPMP Protection Plan?		YES / NO / NA	

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Ground protection installed correctly as per TPMP Protection Plan?	YES / NO / NA
Trunk & Branch Protection installed correctly as per TPMP?	YES / NO / NA
Has the applicable Tree Protection Area been mulched to 100mm depth?	YES / NO / NA
Is mulch type in accordance with the TPP?	YES / NO / NA
Signage	
Is signage present?	YES / NO / NA
Does signage comply with TPMP?	YES / NO / NA
Are project arborist contact details listed on signage?	YES / NO / NA
Root Pruning	
Has root pruning been undertaken in accordance with TPMP?	YES / NO / NA
Materials Storage / Washdown	
Has an area on site been designated for the storage of materials?	YES / NO / NA
Does the area comply with TPMP?	YES / NO / NA



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Has an area on site been designated for plant wash down?	YES / NO / NA
Does the area comply with TPMP?	YES / NO / NA
Utility Service Locations	
Have utility services been marked out on-site plan?	YES / NO / NA
Are all utility services located outside of TPZ?	YES / NO / NA
Is boring/trenching required within TPZ?	YES / NO / NA
Supplementary Measures (List as required)	
Date inspected	
Signed	



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Construction			
Site Induction	YES / NO / NA		
Contractors:			
Date:			
Meeting Held on Site	Yes No	Time of Meeting	
TPMP Given to all applicable persons.		YES / NO	
Site Access			
Site access determined and acceptable?		YES / NO	
Modification required to TPMP?		YES / NO	
Development clearances of TPZ			
Vegetation pruning works required?		YES / NO / NA	
Undertaken pruning works comply with AS-4373-2007?		YES / NO / NA	
Tree Pruning undertaken in accordance with TPMP recommendations?		YES / NO / NA	
Vegetation cleared from TPZ in accordance with TPMP recommendations?		YES / NO / NA	
Infrastructure cleared from TPZ in accordance with TPMP recommendations?		YES / NO / NA	
Tree Protection Area			
Fencing installed in correct location as per Tree Protection Plan?		YES / NO / NA	



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Ground protection installed correctly as per TPMP Protection Plan?	YES / NO / NA
Trunk & Branch Protection installed correctly as per TPMP?	YES / NO / NA
Has the applicable Tree Protection Area been mulched to 100mm depth?	YES / NO / NA
Is mulch type in accordance with the TMP?	YES / NO / NA
Signage	
Is signage present?	YES / NO / NA
Does signage comply with TPMP?	YES / NO / NA
Are project arborist contact details listed on signage?	YES / NO / NA
Root Pruning	
Has root pruning been undertaken in accordance with TPMP?	YES / NO / NA
Materials Storage / Washdown	
Has an area on site been designated for the storage of materials?	YES / NO / NA
Does the area comply with TPMP?	YES / NO / NA



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Has an area on site been designated for plant wash down?	YES / NO / NA
Does the area comply with TPMP?	YES / NO / NA
Utility Service Locations	
Have utility services been marked out on site plan?	YES / NO / NA
Are all utility services located outside of TPZ?	YES / NO / NA
Is boring/trenching required within TPZ?	YES / NO / NA
Supplementary Measures (List as required)	
Date inspected	
Signed	



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Post-Construction			
Site Induction	YES / NO / NA		
Contractors:			
Date:			
Meeting Held on Site	Yes No	Time of Meeting	
TPMP Given to all applicable persons.		YES / NO	
Site Access			
Site access determined and acceptable?		YES / NO	
Modification required to TPMP?		YES / NO	
Development clearances of TPZ			
Vegetation pruning works required?		YES / NO / NA	
Undertaken pruning works comply with AS-4373-2007?		YES / NO / NA	
Tree Pruning undertaken in accordance with TPMP recommendations?		YES / NO / NA	
Vegetation cleared from TPZ in accordance with TPMP recommendations?		YES / NO / NA	
Infrastructure cleared from TPZ in accordance with TPMP recommendations?		YES / NO / NA	
Tree Protection Area			
Fencing removed from location as per TMP Protection Plan?		YES / NO / NA	



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Ground protection removed?	YES / NO / NA
Trunk & Branch Protection removed?	YES / NO / NA
Signage	
Has signage been removed?	YES / NO / NA
Supplementary Measures (List as required)	
Date inspected	
Signed	



12.6 Initial Tree Report Tree Data and Photos

Below has been included to meet the City of Cardinia further information request dated 21 August 2024 for application T230470 'Include photos and individual tree assessments from initial arborist report (and any other missing information in earlier versions) to ensure the final report includes all the necessary information to describe all trees and impacts of construction'. The below details have been taken from the initial Arboricultural Assessment MN2350 authored by Malcolm Neville.

Tree #	1	
Species	<i>Pinus radiata</i>	
Common name	Monterey Pine	
DBH (cm)	80	
Height (m)	25	
Spread (m)	12	
Structure	Fair	
Health	Fair	
Age	Semi-mature / mature	
Amenity value		
Defects	Roots are undermined by rabbits	
NOTES		

Tree #	2	
Species	<i>Pinus radiata</i>	
Common name	Monterey Pine	
DBH (cm)	82	
Height (m)	25	
Spread (m)	12	
Structure	Fair	
Health	Fair	
Age	Semi-mature / mature	
Amenity value		
Defects	damaged surface roots. soil erosion near base Soil erosion or rabbits burrowing	

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Tree #	3
Species	<i>Eucalyptus cephalocarpa</i>
Common name	Mealy Stringybark
DBH (cm)	45
Height (m)	12
Spread (m)	5
Structure	Fair
Health	Good
Age	Juvenile / semi-mature
Amenity value	
Defects	
NOTES	



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Tree #	4
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	35
Height (m)	8
Spread (m)	5
Structure	Poor
Health	Poor
Age	Semi-mature
Amenity value	
Defects	Coppiced regrowth
NOTES	



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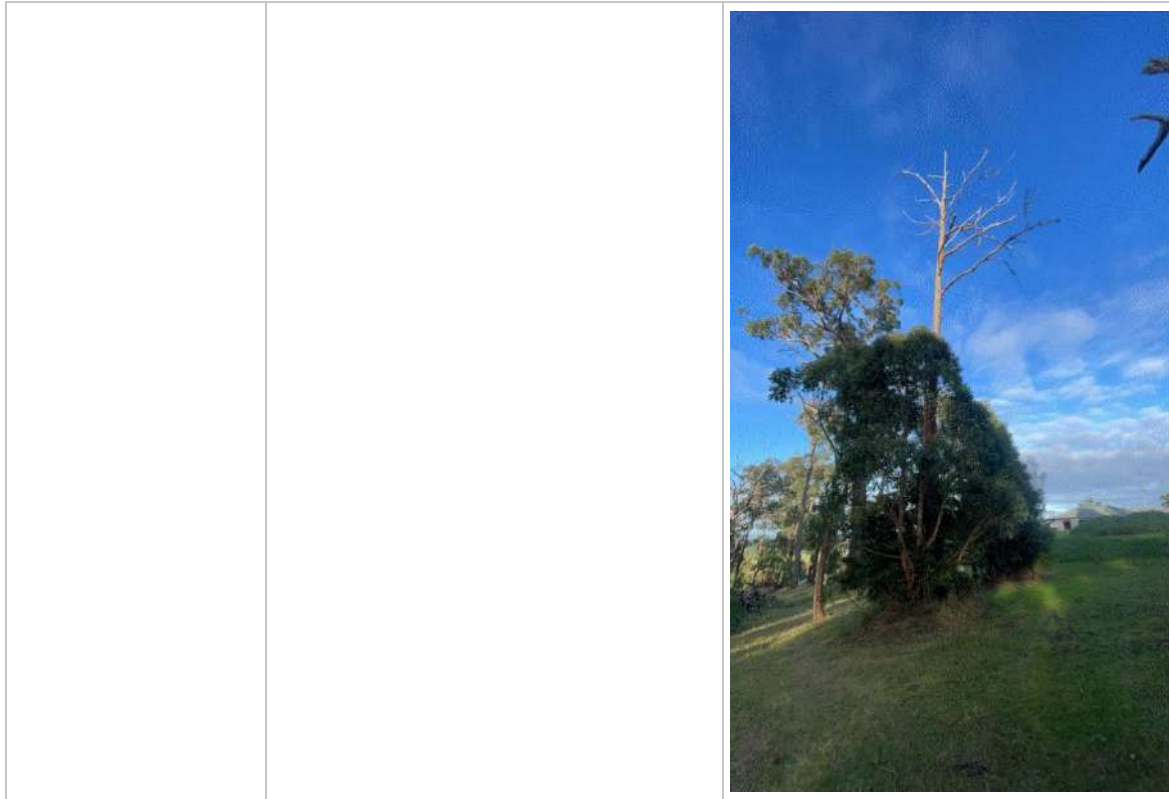
Tree #	5
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	80
Height (m)	10
Spread (m)	
Structure	Failed
Health	Dead
Age	
Amenity value	
Defects	
NOTES	



Tree #	6
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	45
Height (m)	18
Spread (m)	7
Structure	Failed
Health	Dead
Age	Semi-mature / mature
Amenity value	
Defects	Coppiced regrowth
NOTES	



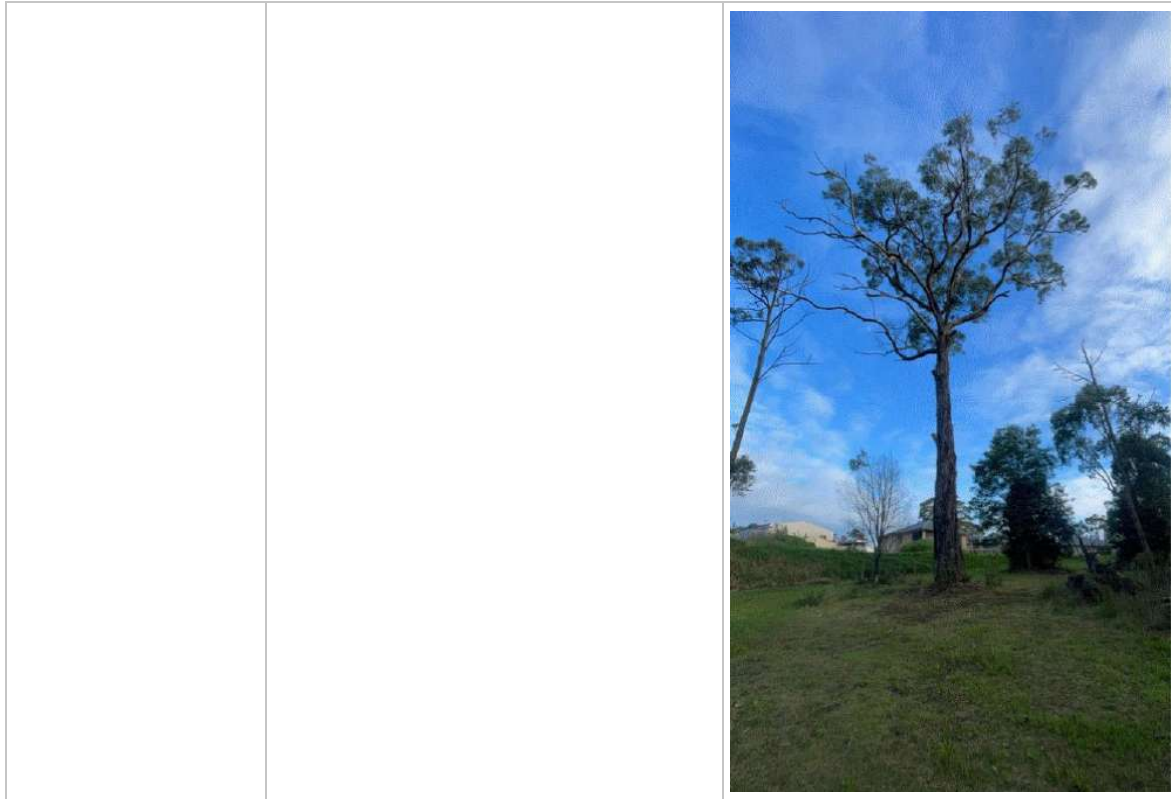
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Tree #	7
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	128
Height (m)	25
Spread (m)	14
Structure	Poor / fair
Health	Fair
Age	Mature
Amenity value	
Defects	waterlogged soil. included bark union. wound where a large limb has failed. history of limb failures. significant deadwood in canopy. high crown
NOTES	



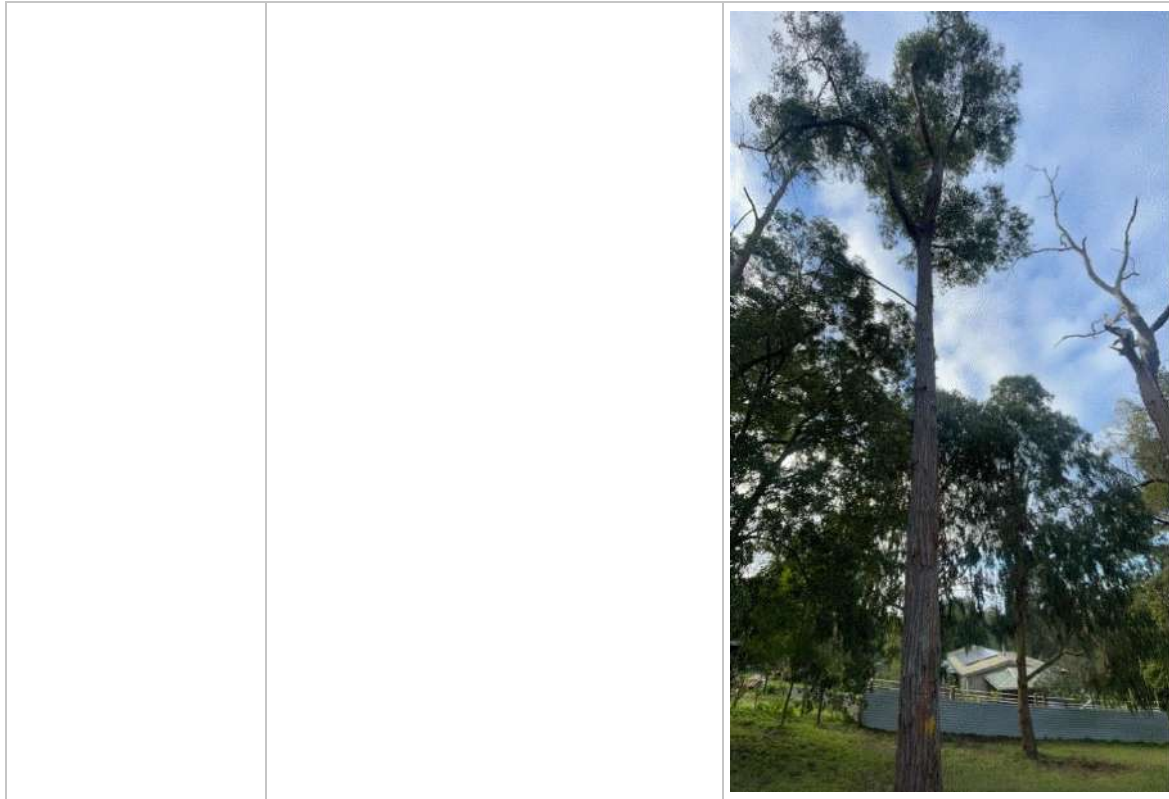
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Tree #	8
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	33
Height (m)	10
Spread (m)	5
Structure	Poor
Health	Poor
Age	Semi-mature / mature
Amenity value	
Defects	epicormic growth throughout. history of limb failures Possums attacking
NOTES	



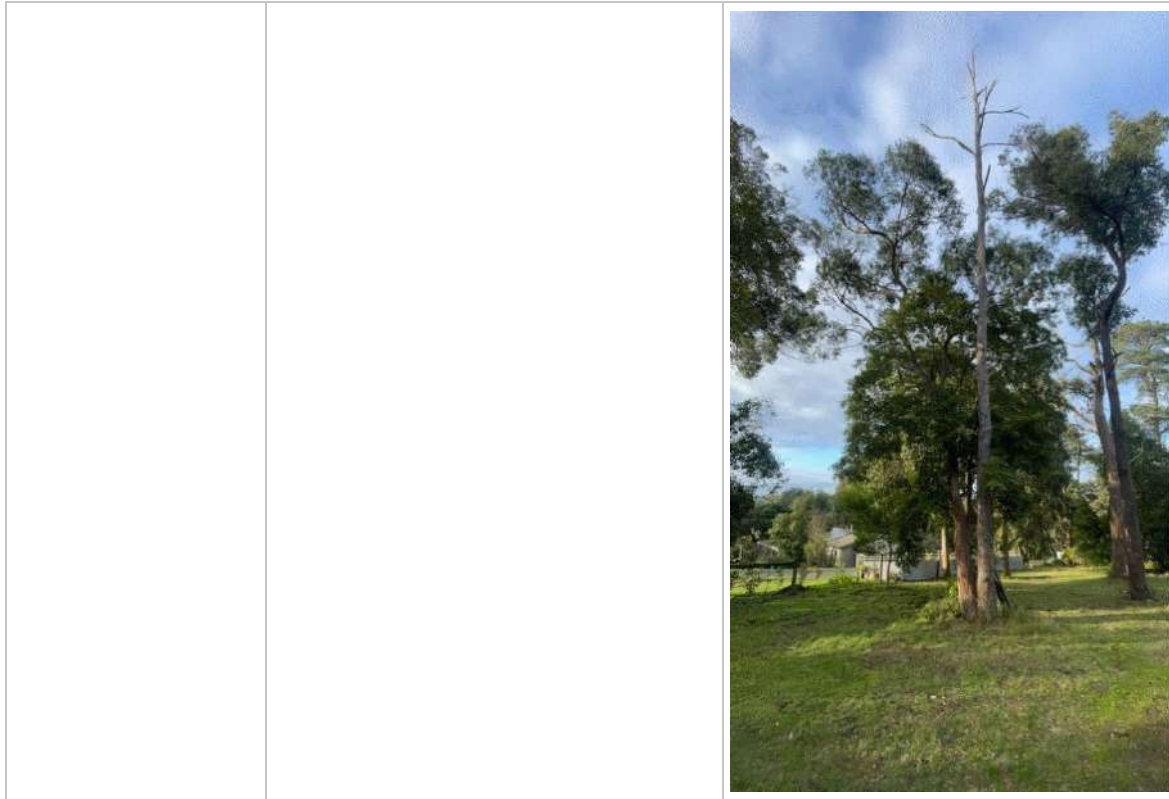
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Tree #	9
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	55
Height (m)	10
Spread (m)	10
Structure	Very Poor
Health	Dead
Age	Semi-mature
Amenity value	
Defects	codominant leaders. leaning
NOTES	



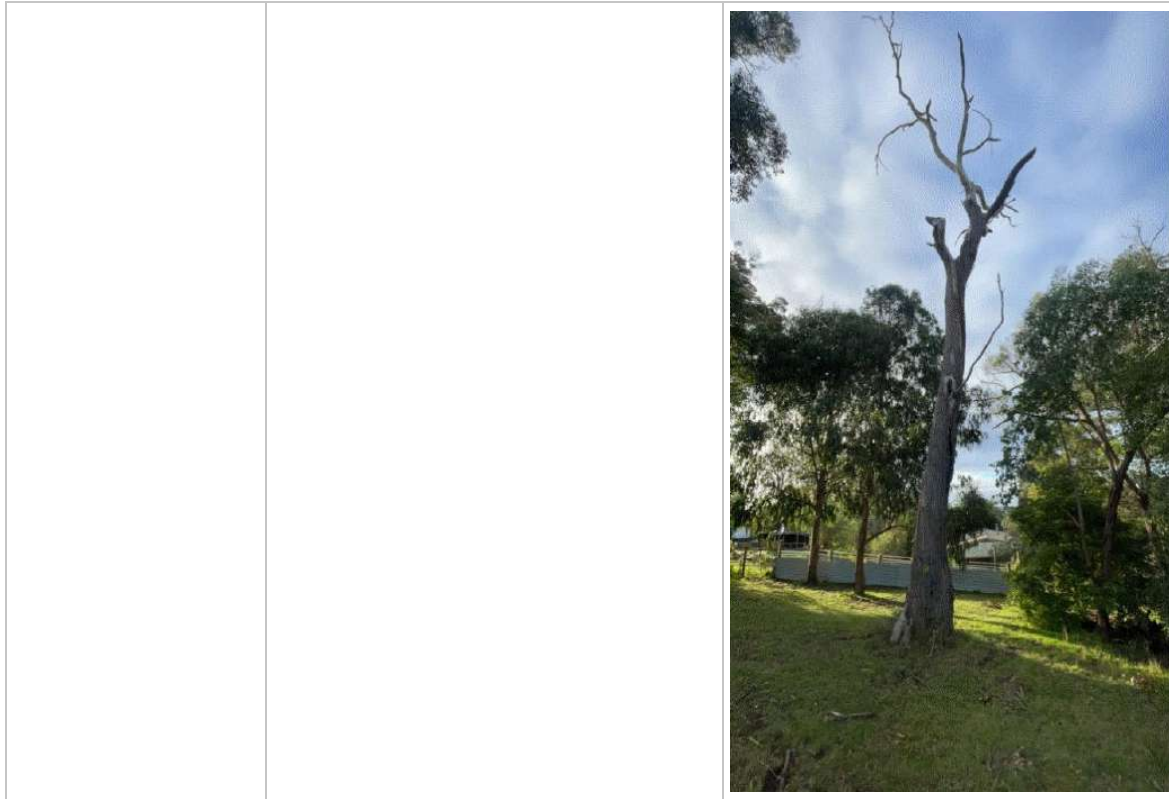
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Tree #	10
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	80
Height (m)	12
Spread (m)	5
Structure	Failed
Health	Dead
Age	Senescent
Amenity value	
Defects	Large hollow at base
NOTES	



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Tree #	11
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	60
Height (m)	22
Spread (m)	8
Structure	Very Poor
Health	Poor
Age	Semi-mature
Amenity value	
Defects	waterlogged soil
NOTES	



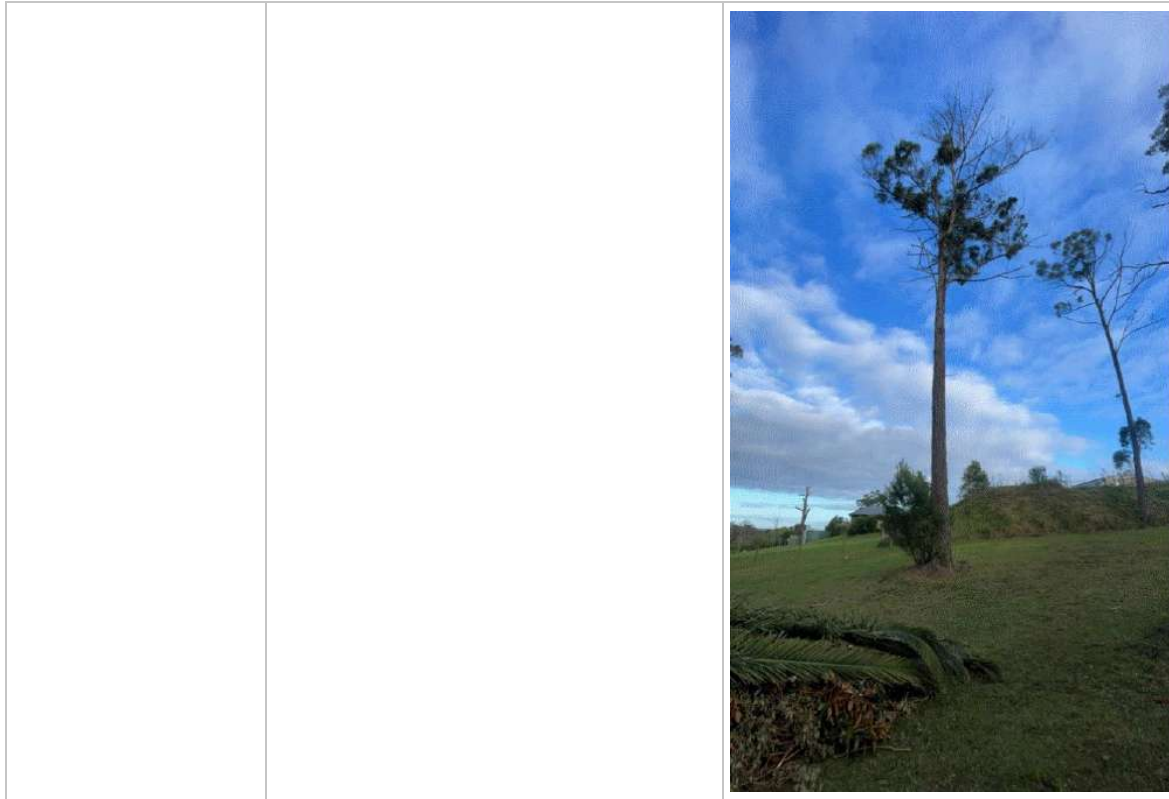
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Tree #	12
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	84
Height (m)	22
Spread (m)	8
Structure	Fair
Health	Poor
Age	Semi-mature / mature
Amenity value	
Defects	waterlogged soil. history of limb failures. significant deadwood in canopy. significant dieback in canopy
NOTES	



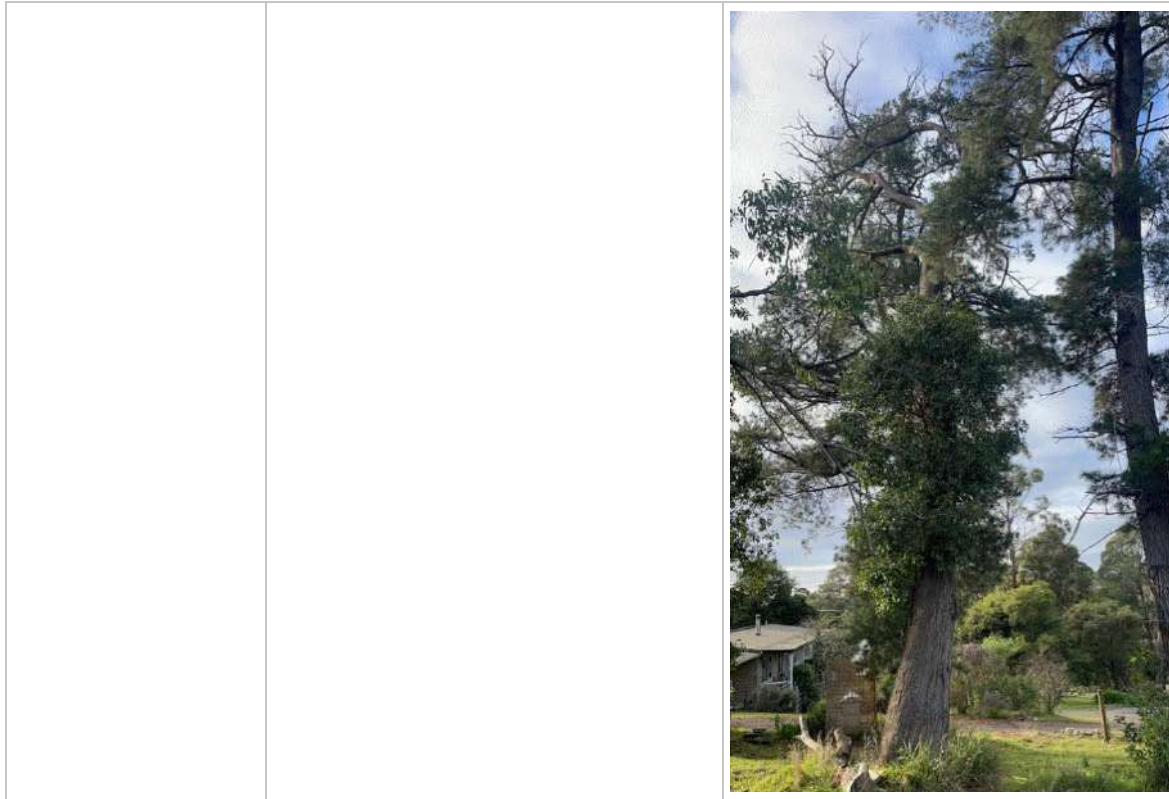
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Tree #	13
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	100
Height (m)	24
Spread (m)	14
Structure	Very Poor
Health	Poor
Age	Mature
Amenity value	
Defects	soil heaving and/or cracking. failed limb. over-pruning, large section of canopy removed. significant deadwood in canopy. significant dieback in canopy. significant lean
NOTES	



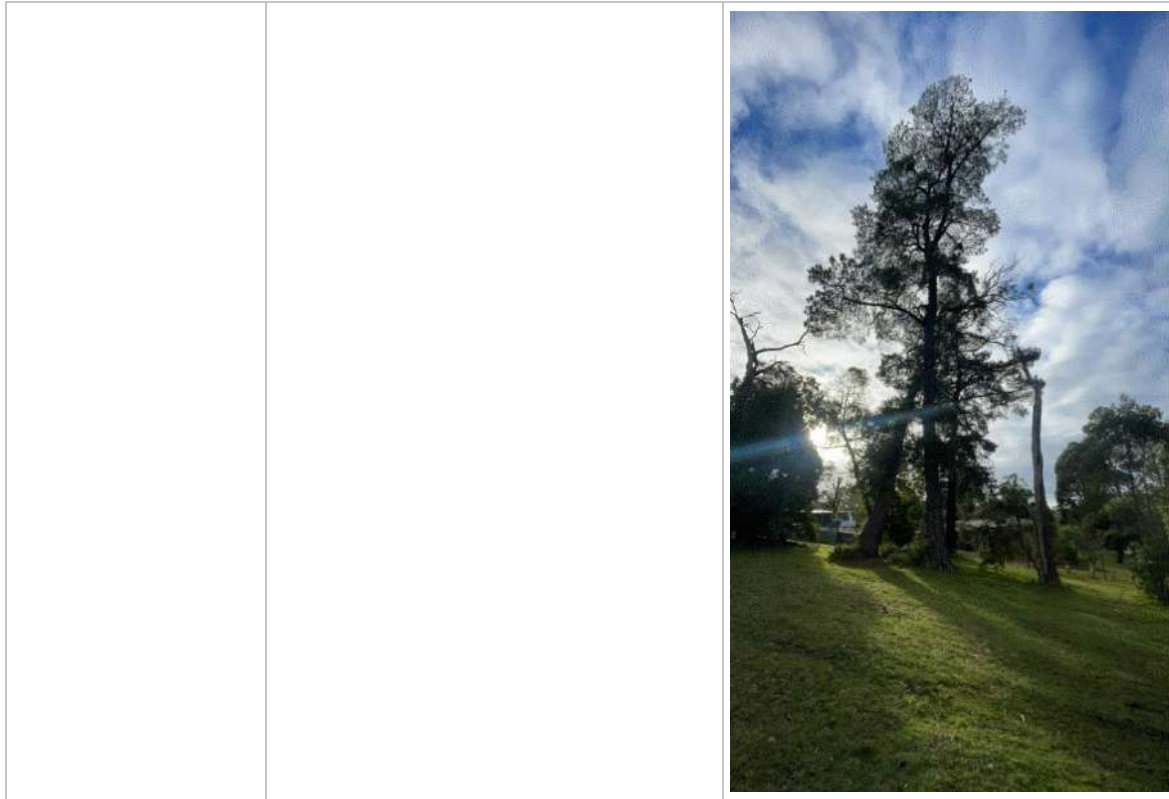
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Tree #	14
Species	<i>Pinus radiata</i>
Common name	Monterey Pine
DBH (cm)	80
Height (m)	24
Spread (m)	12
Structure	Fair
Health	Fair
Age	Semi-mature
Amenity value	
Defects	thin canopy
NOTES	

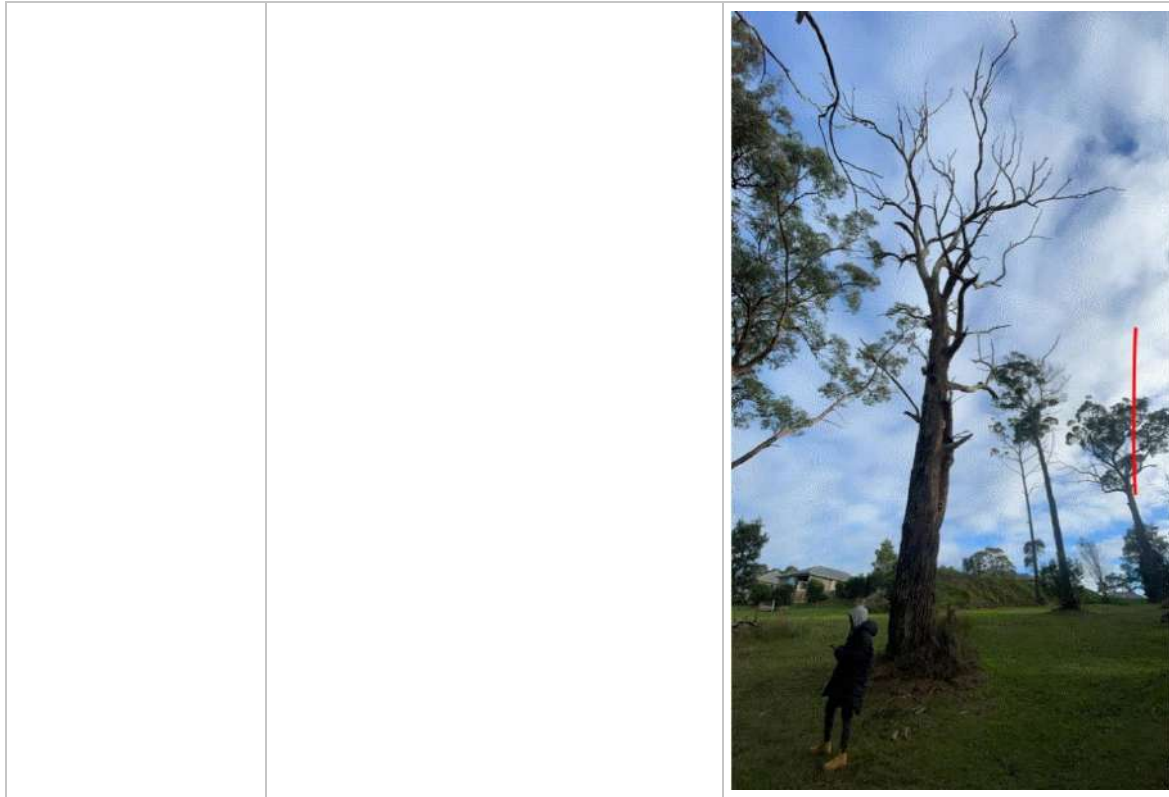


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Tree #	15	
Species	<i>Eucalyptus</i>	
Common name		
DBH (cm)	125	
Height (m)	15	
Spread (m)	10	
Structure	Failed	
Health	Dead	
Age	Senescent	
Amenity value		
Defects		
NOTES		

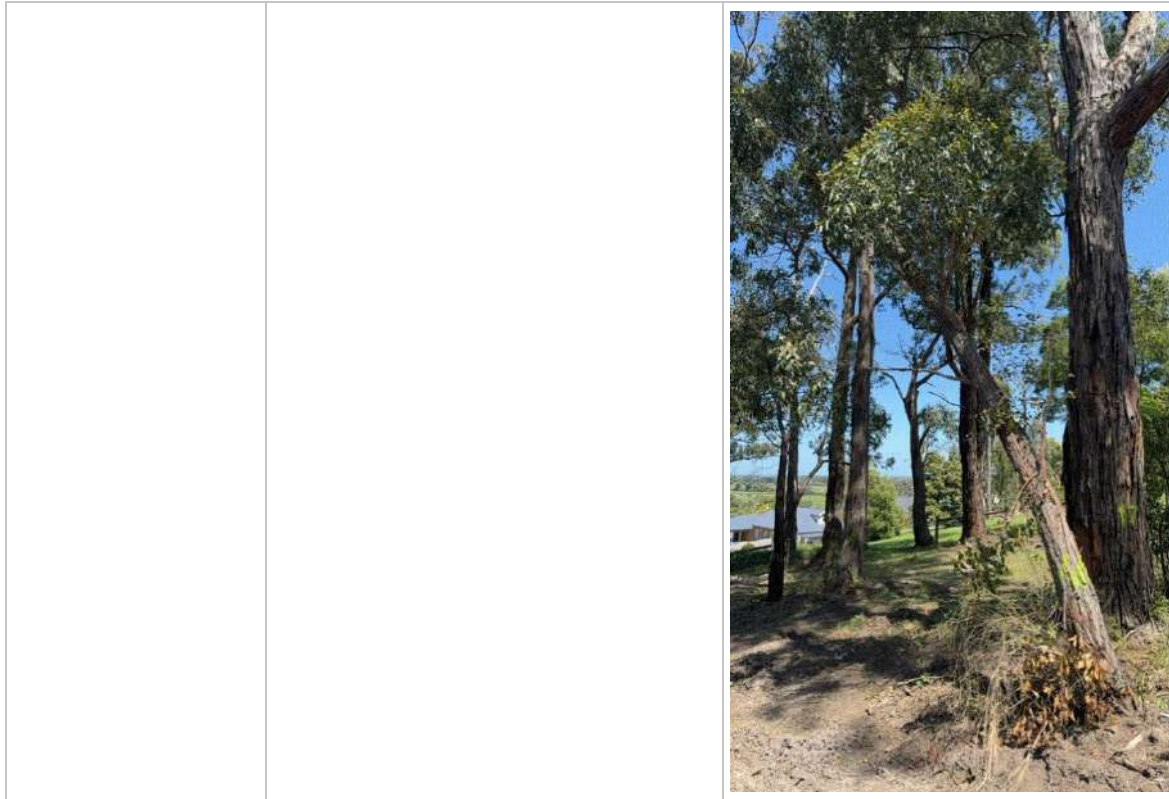
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Tree #	16
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	26
Height (m)	8
Spread (m)	6
Structure	Poor / fair
Health	Fair
Age	Juvenile / semi-mature
Amenity value	
Defects	cut roots. damaged surface roots. excavation/works near tree, large roots cut. significant lean
NOTES	



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Tree #	17
Species	<i>Eucalyptus cephalocarpa</i>
Common name	Mealy Stringybark
DBH (cm)	90
Height (m)	18
Spread (m)	15
Structure	Fair
Health	Fair
Age	Semi-mature / mature
Amenity value	
Defects	damaged surface roots. recent works within root zone. epicormic growth throughout. history of limb failures. minor deadwood
NOTES	



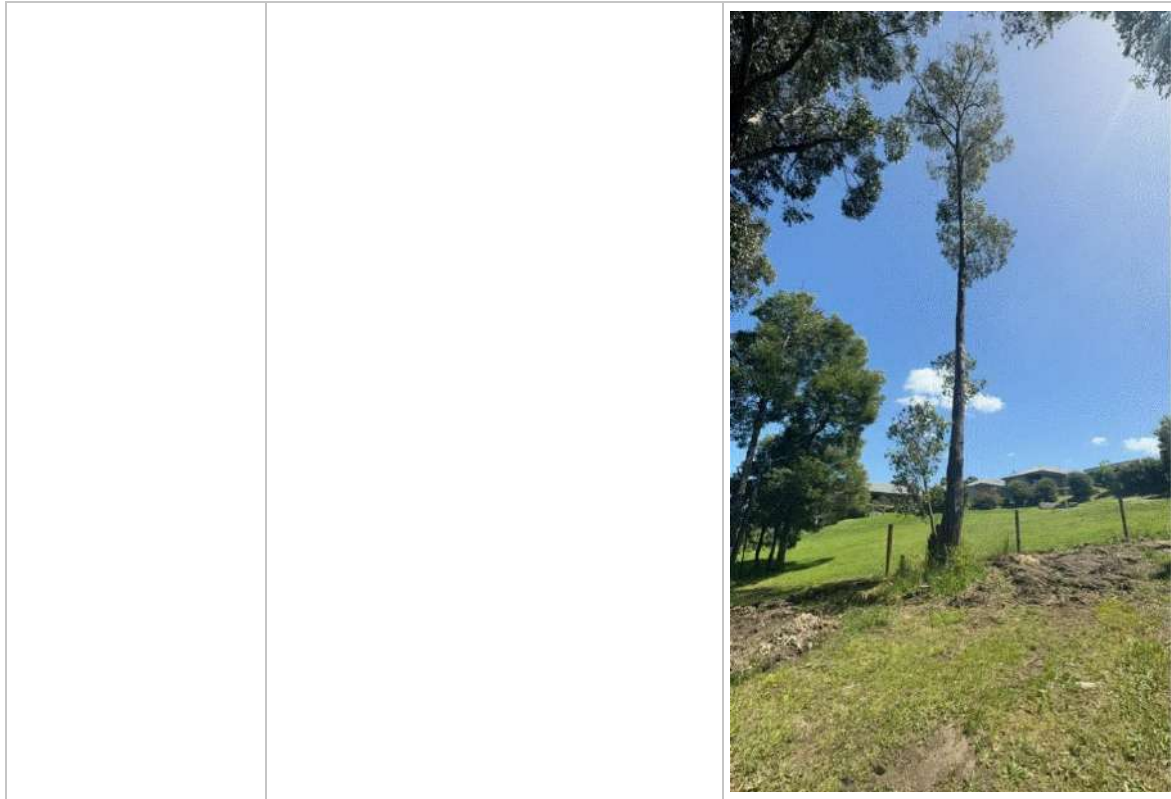
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Tree #	18
Species	<i>Eucalyptus dives</i>
Common name	Broad-leaved Peppermint
DBH (cm)	60
Height (m)	17
Spread (m)	6
Structure	Fair
Health	Poor
Age	Semi-mature
Amenity value	
Defects	cut roots. excavation/works near tree, large roots cut. epicormic shoots on trunk. wound at base. high crown with minimal taper. tree has been topped
NOTES	



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Tree #	19
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	52
Height (m)	18
Spread (m)	8
Structure	Poor / fair
Health	Poor
Age	Semi-mature
Amenity value	
Defects	failed limb now suspended in canopy. minor deadwood
NOTES	

Tree #	20	
Species	<i>Eucalyptus obliqua</i>	
Common name	Messmate Stringybark	
DBH (cm)	41	

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Height (m)	7
Spread (m)	5
Structure	Very Poor
Health	Poor
Age	Semi-mature
Amenity value	
Defects	included bark union. wound. significant decay. epicormic growth throughout. thin canopy
NOTES	



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Tree #	21
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	115
Height (m)	18
Spread (m)	24
Structure	Very Poor
Health	Fair
Age	Semi-mature / mature
Amenity value	
Defects	included bark union. multiple leaders. some epicormic growth. failed limb now suspended in canopy
NOTES	



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Tree #	22
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	78
Height (m)	17
Spread (m)	8
Structure	Poor / fair
Health	Poor
Age	Semi-mature / mature
Amenity value	
Defects	damaged surface roots. excavation of more than 10% of TPZ. codominant leaders with included bark union. wound. wound where a large limb has failed. some epicormic growth. failed limb. significant deadwood in canopy
NOTES	



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Tree #	23
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	114
Height (m)	20
Spread (m)	14
Structure	Fair / good
Health	Fair
Age	Mature
Amenity value	
Defects	cut roots. excavation of more than 10% of TPZ. codominant leaders with included bark union. minor deadwood. significant deadwood in canopy
NOTES	



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Tree #	24
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	54
Height (m)	17
Spread (m)	8
Structure	Poor / fair
Health	Fair
Age	Semi-mature / mature
Amenity value	
Defects	epicormic shoots on trunk. epicormic growth throughout
NOTES	



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Tree #	26
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	48
Height (m)	19
Spread (m)	10
Structure	Poor / fair
Health	Fair
Age	Semi-mature / mature
Amenity value	
Defects	excavation/works near tree, large roots cut. fill placed over roots. codominant leaders with included bark union. epicormic growth throughout. significant deadwood in canopy
NOTES	



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Tree #	27
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	103
Height (m)	17
Spread (m)	12
Structure	Failed
Health	Dead
Age	Senescent
Amenity value	
Defects	Tree is dead and partially covered with ivy
NOTES	



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Tree #	28
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	37
Height (m)	9
Spread (m)	7
Structure	Poor / fair
Health	Poor
Age	Semi-mature
Amenity value	
Defects	waterlogged soil. epicormic shoots on trunk. epicormic growth throughout. significant deadwood in canopy. thin canopy. leaning. poor form due to crowding
NOTES	



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Tree #	29
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	66
Height (m)	17
Spread (m)	16
Structure	Poor
Health	Dead
Age	Senescent
Amenity value	
Defects	
NOTES	



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Tree #	30
Species	<i>Eucalyptus globulus subsp. bicostata</i>
Common name	
DBH (cm)	40
Height (m)	18
Spread (m)	8
Structure	Fair
Health	Fair
Age	Semi-mature
Amenity value	
Defects	
NOTES	



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Tree #	31
Species	<i>Eucalyptus globulus subsp. bicostata</i>
Common name	
DBH (cm)	47
Height (m)	17
Spread (m)	10
Structure	Fair / good
Health	Fair
Age	Semi-mature
Amenity value	
Defects	
NOTES	



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Tree #	32
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	92
Height (m)	18
Spread (m)	8
Structure	Failed
Health	Dead
Age	Senescent
Amenity value	
Defects	habitable hollow/s observed. stick nest/s observed
NOTES	



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Tree #	33
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	25
Height (m)	7
Spread (m)	4
Structure	Poor
Health	Fair
Age	Juvenile / semi-mature
Amenity value	
Defects	codominant leaders Tree is being grazed on by pests
NOTES	



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Tree #	34
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	46
Height (m)	9
Spread (m)	1
Structure	Very Poor
Health	Dead
Age	Senescent
Amenity value	
Defects	
NOTES	




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Tree #	35
Species	<i>Eucalyptus dives</i>
Common name	Broad-leaved Peppermint
DBH (cm)	42
Height (m)	11
Spread (m)	8
Structure	Poor / fair
Health	Fair
Age	Semi-mature
Amenity value	
Defects	epicormic shoots on trunk. some epicormic growth. minor deadwood. leaning
NOTES	



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<p>Tree #</p>	<p>36 & 36a</p>	
<p>Species</p>	<p>Eucalyptus obliqua</p>	
<p>Common name</p>	<p>Messmate Stringybark</p>	

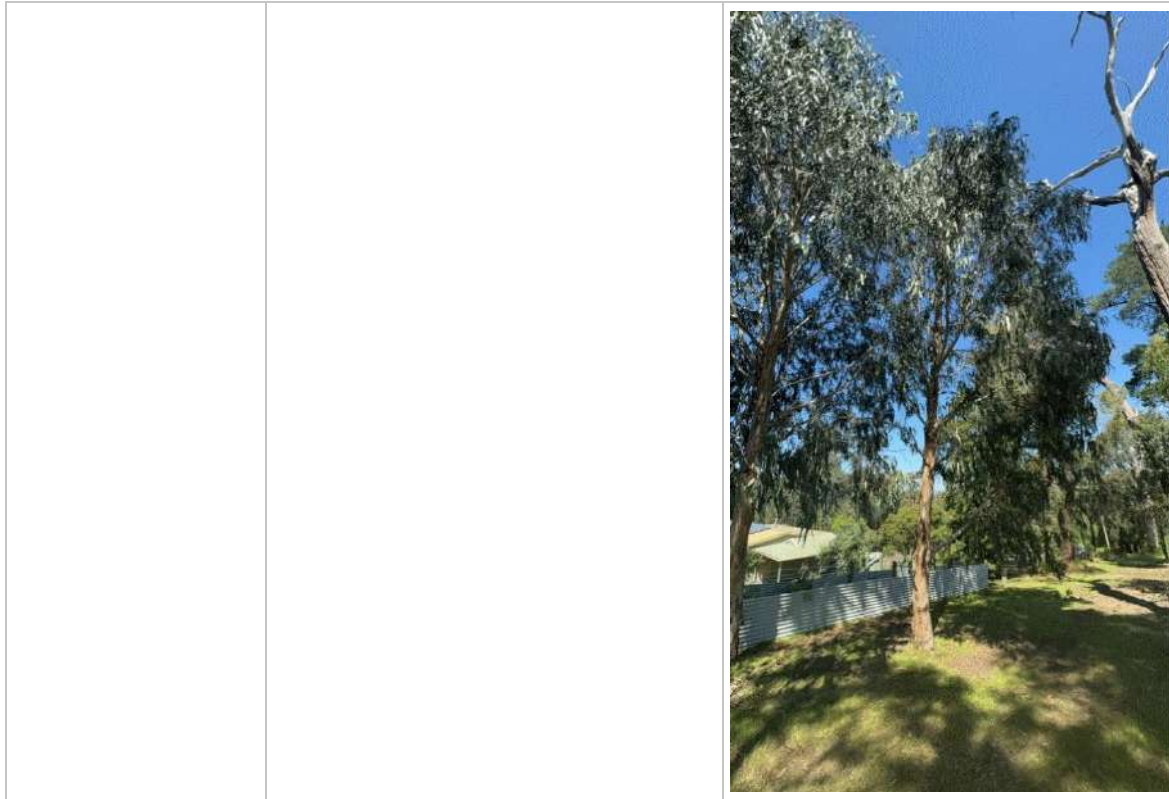
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DBH (cm)	53	
Height (m)	6	
Spread (m)	3	
Structure	Very Poor	
Health	Poor	
Age	Semi-mature	
Amenity value		
Defects	36a Copied and bifurcated regrowth 36 failed	
NOTES		

Tree #	37 x 38
Species	<i>Eucalyptus globulus subsp. bicostata</i>
Common name	
DBH (cm)	30
Height (m)	12
Spread (m)	8.10
Structure	Fair / good
Health	Good
Age	Semi-mature
Amenity value	
Defects	
NOTES	



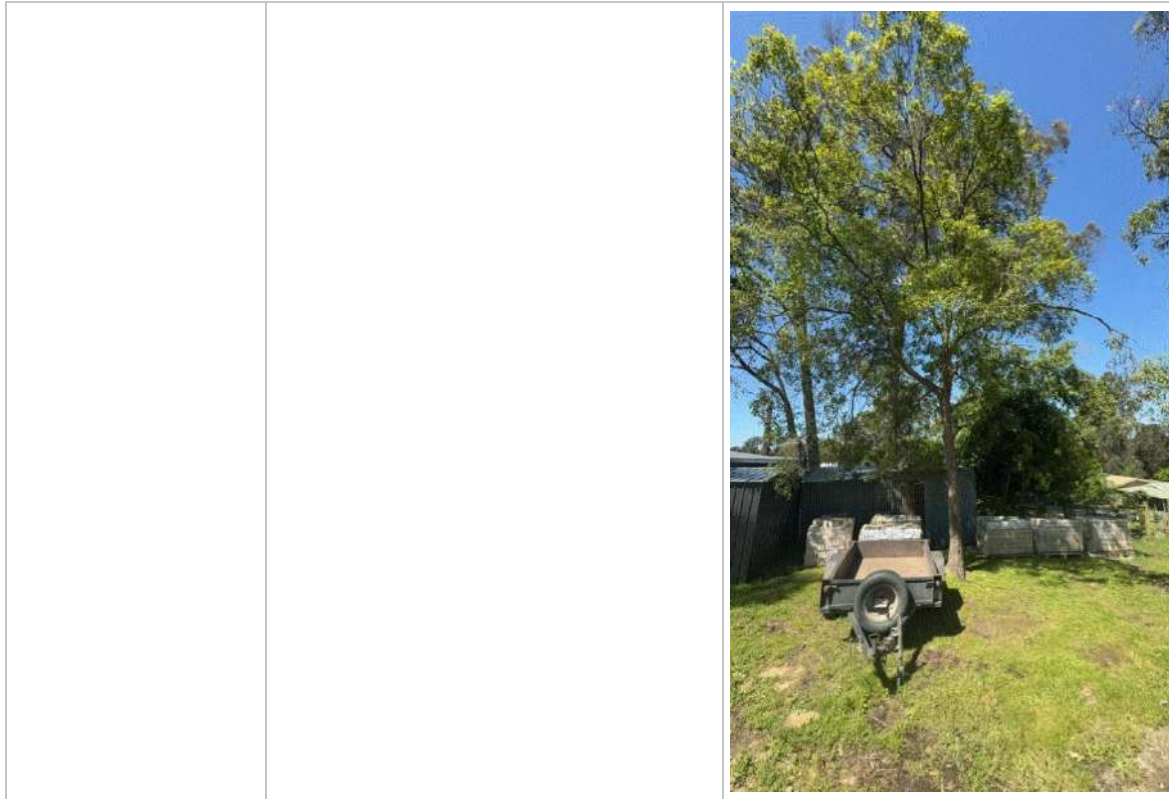
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Tree #	39
Species	<i>Pittosporum undulatum</i>
Common name	Sweet Pittosporum
DBH (cm)	26
Height (m)	8
Spread (m)	7
Structure	Fair
Health	Fair
Age	Semi-mature
Amenity value	
Defects	
NOTES	



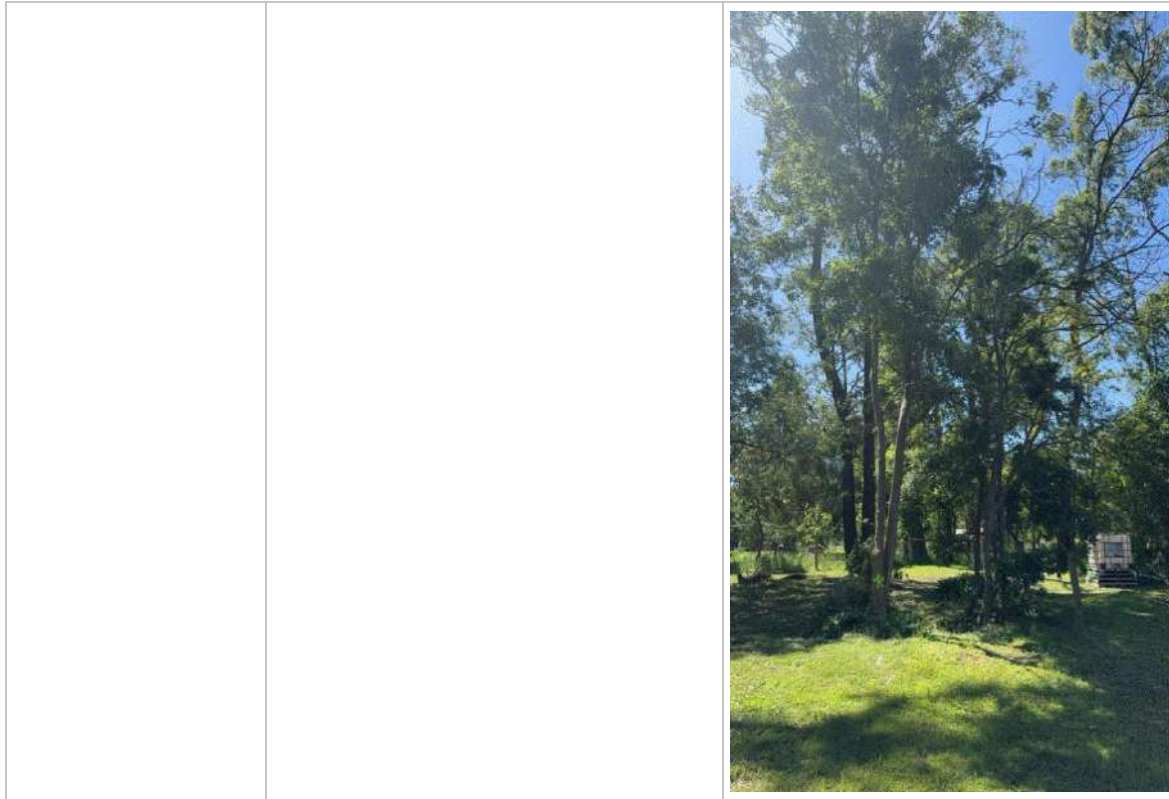
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Tree #	40+41
Species	<i>Pittosporum undulatum</i>
Common name	Sweet Pittosporum
DBH (cm)	50
Height (m)	10
Spread (m)	7
Structure	Very Poor
Health	Poor
Age	Semi-mature
Amenity value	
Defects	
NOTES	



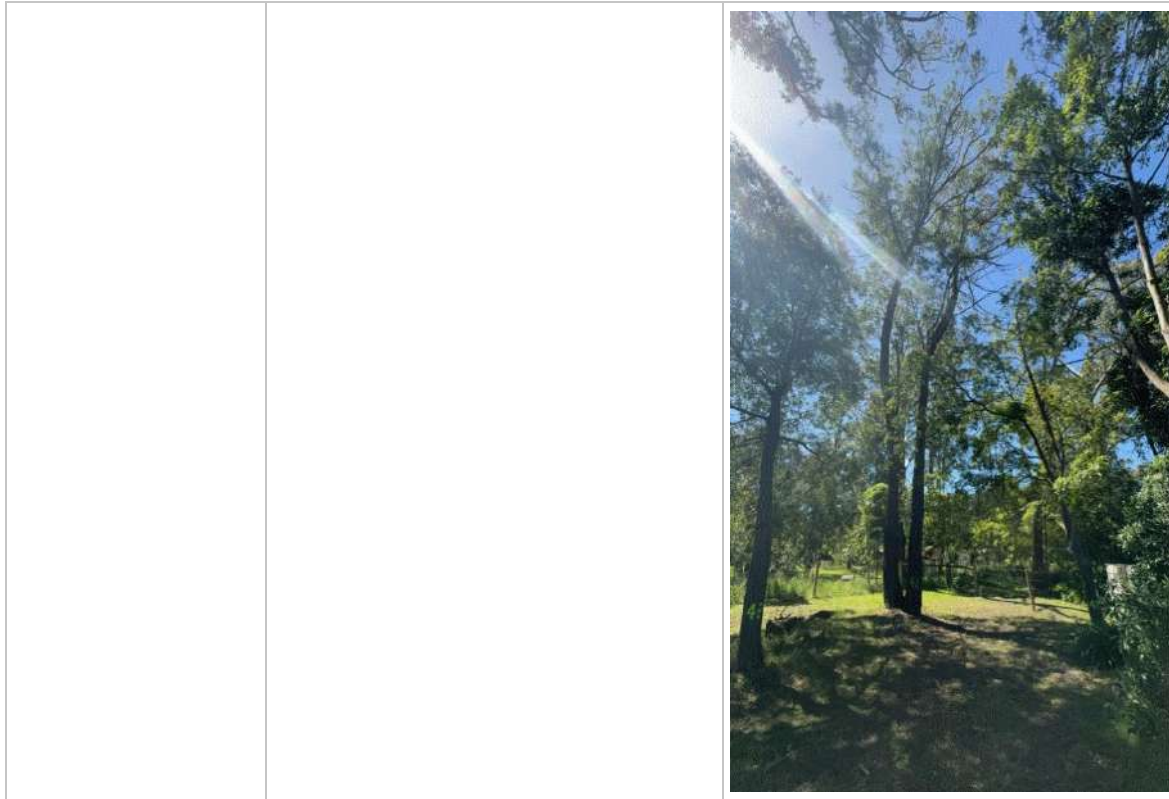
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Tree #	42
Species	<i>Eucalyptus cephalocarpa</i>
Common name	Mealy Stringybark
DBH (cm)	88
Height (m)	18
Spread (m)	12
Structure	Poor / fair
Health	Fair
Age	Semi-mature / mature
Amenity value	
Defects	codominant leaders. some epicormic growth. minor deadwood. thin canopy
NOTES	



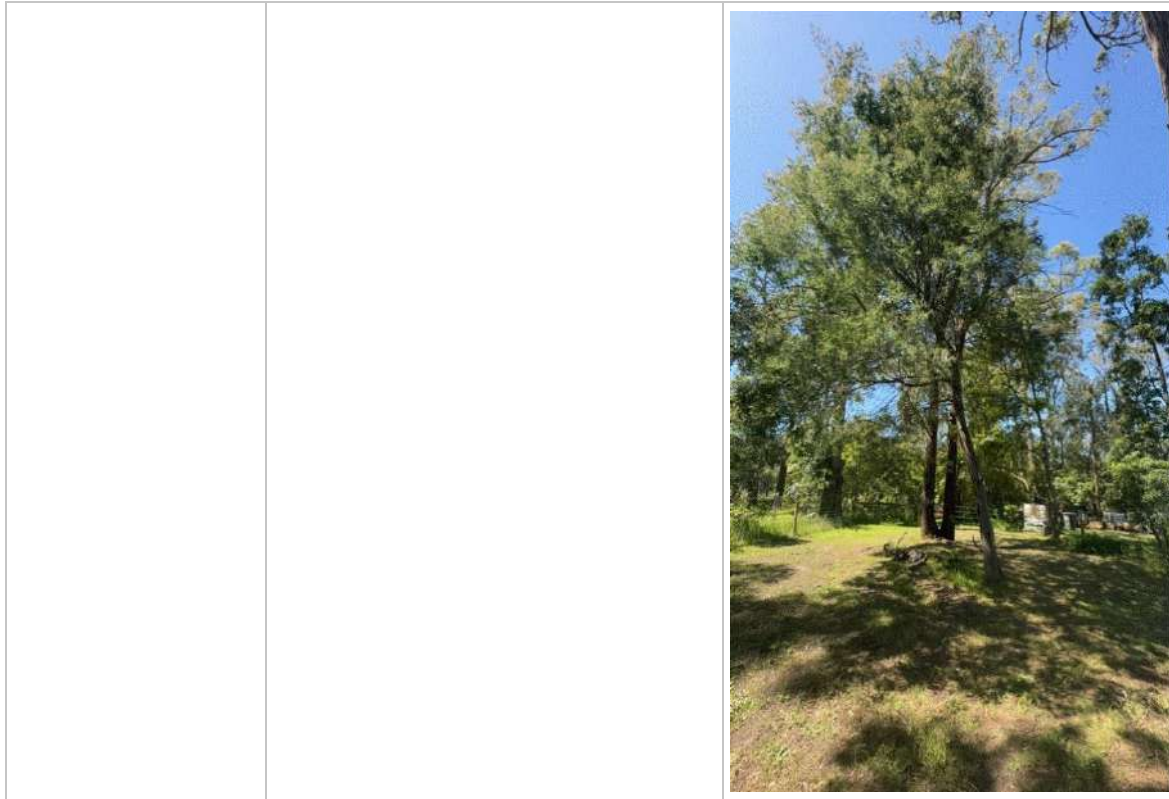
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Tree #	43
Species	<i>Acacia baileyana</i>
Common name	Cootamundra Wattle
DBH (cm)	30
Height (m)	8
Spread (m)	6
Structure	Fair
Health	Fair
Age	Semi-mature / mature
Amenity value	
Defects	splitting in trunk. significant decay Borer attack has started Only a matter of time before tree begins to fail
NOTES	



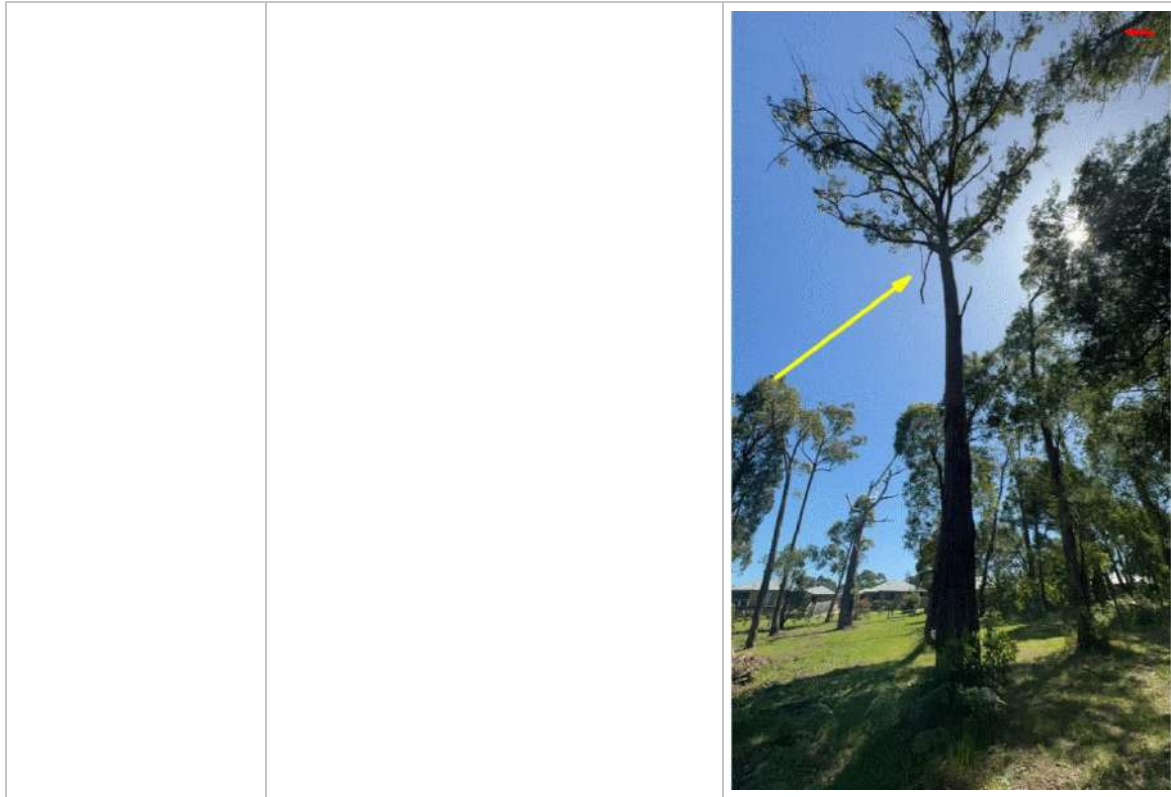
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Tree #	44
Species	<i>Eucalyptus cephalocarpa</i>
Common name	Mealy Stringybark
DBH (cm)	80
Height (m)	18
Spread (m)	10
Structure	Fair
Health	Poor
Age	Mature
Amenity value	
Defects	failed limb. failed limb now suspended in canopy. history of limb failures. significant deadwood in canopy
NOTES	



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Tree #	45	
Species	<i>Eucalyptus obliqua</i>	
Common name	Messmate Stringybark	
DBH (cm)	55	
Height (m)	18	
Spread (m)	7	
Structure	Poor	
Health	Poor	
Age	Semi-mature / mature	
Amenity value		
Defects	epicormic shoots on trunk. epicormic growth throughout. significant deadwood in canopy	

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Tree #	46
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	48
Height (m)	10
Spread (m)	6
Structure	Very Poor
Health	Poor
Age	Semi-mature / mature
Amenity value	
Defects	epicormic shoots on trunk. tree has been topped
NOTES	



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Tree #	47+48
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	53
Height (m)	15
Spread (m)	6
Structure	Very Poor
Health	Poor
Age	Semi-mature / mature
Amenity value	
Defects	epicormic growth throughout. tree has been topped Tree will have canopy hollows where it has been lopped
NOTES	



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Tree #	47+48
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	53
Height (m)	15
Spread (m)	6
Structure	Very Poor
Health	Poor
Age	Semi-mature / mature
Amenity value	
Defects	epicormic growth throughout. tree has been topped Tree will have canopy hollows where it has been lopped
NOTES	



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Tree #	49
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	44
Height (m)	18
Spread (m)	7
Structure	Fair
Health	Fair
Age	Semi-mature / mature
Amenity value	
Defects	minor deadwood. high crown with minimal taper
NOTES	



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Tree #	50
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	110
Height (m)	9
Spread (m)	5
Structure	Poor
Health	Dead
Age	Senescent
Amenity value	
Defects	
NOTES	



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Tree #	51
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	38
Height (m)	16
Spread (m)	6
Structure	Poor / fair
Health	Fair
Age	Semi-mature
Amenity value	
Defects	waterlogged soil. epicormic shoots on trunk. significant deadwood in canopy. leaning
NOTES	



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Tree #	52
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	33
Height (m)	9
Spread (m)	8
Structure	Poor / fair
Health	Fair
Age	Semi-mature
Amenity value	
Defects	wound where co-dominant leader has failed. minor deadwood
NOTES	



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Tree #	53
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	28
Height (m)	5
Spread (m)	4
Structure	Very Poor
Health	Poor
Age	Semi-mature
Amenity value	
Defects	
NOTES	



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Tree #	54
Species	<i>Eucalyptus</i>
Common name	
DBH (cm)	40
Height (m)	7
Spread (m)	3
Structure	Failed
Health	Dead
Age	Senescent
Amenity value	
Defects	
NOTES	



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Tree #	55
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	38
Height (m)	9
Spread (m)	6
Structure	Very Poor
Health	Poor
Age	Semi-mature
Amenity value	
Defects	epicormic shoots on trunk. regrowth from cut stump. failed limb. history of limb failures
NOTES	



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Tree #	56
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	35
Height (m)	11
Spread (m)	9
Structure	Fair
Health	Fair
Age	Semi-mature
Amenity value	
Defects	
NOTES	



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Tree #	57
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	25
Height (m)	8
Spread (m)	6
Structure	Poor
Health	Poor
Age	Semi-mature
Amenity value	
Defects	epicormic shoots on trunk. wound. failed limb now suspended in canopy
NOTES	



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Tree #	58
Species	<i>Acacia baileyana</i>
Common name	Cootamundra Wattle
DBH (cm)	24
Height (m)	9
Spread (m)	7
Structure	Fair
Health	Fair
Age	Semi-mature
Amenity value	
Defects	
NOTES	



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Tree #	60
Species	<i>Eucalyptus obliqua</i>
Common name	Messmate Stringybark
DBH (cm)	28
Height (m)	8
Spread (m)	5
Structure	Poor
Health	Poor
Age	Juvenile / semi-mature
Amenity value	
Defects	wound where co-dominant leader has failed. failed limb
NOTES	



Native Vegetation Removal Report

NVRR ID: 311_20240604_MD4

This report provides information to support an application to remove, destroy or lop native vegetation in accordance with the [Guidelines for the removal, destruction or lopping of native vegetation](#) (the Guidelines). This report **is not an assessment by DEECA** of the proposed native vegetation removal. Offset requirements have been calculated using modelled condition scores.

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Report details

Date created: 04/06/2024

Local Government Area: CARDINIA SHIRE

Registered Aboriginal Party: Bunurong

Coordinates: 145.72620, -38.09708

Address: 5 MARY STREET BUNYIP 3815

Summary of native vegetation to be removed

Assessment pathway	Intermediate Assessment Pathway		
Location category	Location 1 The native vegetation extent map indicates that this area is not typically characterised as supporting native vegetation. It does not meet the criteria to be classified as Location Category 2 or 3. The removal of less than 0.5 hectares of native vegetation in this area will not require a Species Offset.		
Total extent including past and proposed removal (ha) <i>Includes endangered EVCs (ha): 0</i>	0.206	<i>Extent of past removal (ha)</i>	<i>0</i>
		<i>Extent of proposed removal - Patches (ha)</i>	<i>0.000</i>
		<i>Extent of proposed removal - Scattered Trees (ha)</i>	<i>0.206</i>
No. Large Trees proposed to be removed	3	<i>No. Large Patch Trees</i>	<i>0</i>
		<i>No. Large Scattered Trees</i>	<i>3</i>
No. Small Scattered Trees	2		

Offset requirements if approval is granted

Any approval granted will include a condition to secure an offset, before the removal of native vegetation, that meets the following requirements:

General Offset amount ¹	0.037 General Habitat Units
Minimum strategic biodiversity value score ²	0.161
Large Trees	3
Vicinity	Melbourne Water CMA or CARDINIA SHIRE LGA

NB: values within tables in this document may not add to the totals shown above due to rounding

The availability of third-party offset credits can be checked using the Native Vegetation Credit Register (NVCR) Search Tool - <https://nvcr.delwp.vic.gov.au>

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1. The General Offset amount required is the sum of all General Habitat Units in Appendix 1.

2. Minimum strategic biodiversity value score is 80 per cent of the weighted average score across habitat zones where a General Offset is required. **Page 2**



Application requirements

Applications to remove, destroy or lop native vegetation must include all the below information. If an appropriate response has not been provided the application is not complete.

Application Requirement 1 - Native vegetation removal information

If the native vegetation removal is mapped correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 1.

Application Requirement 2 - Topographical and land information

This statement describes the topographical and land features in the vicinity of the proposed works, including the location and extent of any ridges, hilltops, wetlands and waterways, slopes of more than 20% gradient, low-lying areas, saline discharge areas or areas of erosion.

The land falls from the north to the south with a slope of less than 20% gradient. There are no low-lying areas, saline discharge areas or areas of erosion.

Application Requirement 3 - Photographs of the native vegetation to be removed

Application Requirement 3 is not addressed in this Native Vegetation Removal Report. All applications must include recent, timestamped photos of each Patch, Large Patch Tree and Scattered Tree which has been mapped in this report.

Application Requirement 4 - Past removal

If past removal has been considered correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 4.

Application Requirement 5 - Avoid and minimise statement

This statement describes what has been done to avoid and minimise impacts on native vegetation and associated biodiversity values.

The proposed development, driveway and service installation trench have been sited to minimize impacts to vegetation. The retention of large trees and hollow-bearing habitat trees has been a key consideration in the siting of the development. The proposed LAA and selected septic system will not adversely impact on the longevity and health of native vegetation within this area of the site.

Application Requirement 6 - Property Vegetation Plan


This requirement only applies if an approved Property Vegetation Plan (PVP) applies to the property
Does a PVP apply to the proposal?

Application Requirement 7 - Defendable space statement

Where the removal of native vegetation is to create defendable space, this statement:

- Describes the bushfire threat; and

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- 
- Describes how other bushfire risk mitigation measures were considered to reduce the amount of native vegetation proposed for removal (this can also be part of the avoid and minimise statement).

This statement is not required if, the proposed defensible space is within the Bushfire Management Overlay (BMO), and in accordance with the 'Exemption to create defensible space for a dwelling under Clause 44.06 of local planning schemes' in Clause 52.12-5.

It is not proposed to remove any native vegetation for defensible space purposes.

Application Requirement 8 - Native Vegetation Precinct Plan

This requirement is only applicable if you are removing native vegetation from within an area covered by a Native Vegetation Precinct Plan (NVPP), and the proposed removal is not identified as 'to be removed' within the NVPP.

Does an NVPP apply to the proposal?

No

Application Requirement 9 - Offset statement

This statement demonstrates that an offset is available and describes how the required offset will be secured. The Applicant's Guide provides information relating to this requirement.

The landowners will purchase the offset they need from an existing native vegetation credit site. A list of available offsets is provided to demonstrate that the required offsets are available for purchase. The landowners are aware of the likely cost of the offset.

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Next steps

Applications to remove, destroy or lop native vegetation must address all the application requirements specified in the Guidelines. If you wish to remove the mapped native vegetation you are required to apply for approval from the responsible authority (e.g. local Council). This Native vegetation removal report must be submitted with your application and meets most of the application requirements. The following requirements need to be addressed, as applicable.

Application Requirement 3 - Photographs of the native vegetation to be removed

Recent, dated photographs of the native vegetation to be removed **must be provided** with the application. All photographs must be clear, show whether the vegetation is a Patch of native vegetation, Patch Tree or Scattered Tree, and identify any Large Trees. If the area of native vegetation to be removed is large, provide photos that are indicative of the native vegetation.

Ensure photographs are attached to the application. If appropriate photographs have not been provided the application is not complete.

Application Requirement 6 - Property Vegetation Plan

If a PVP is applicable, it must be provided with the application.

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Appendix 1: Description of native vegetation to be removed

General Habitat Units for each zone (Patch, Scattered Tree or Patch Tree) are calculated by the following equation in accordance with the Guidelines.

General Habitat Units = extent without overlap x condition score x general landscape factor x 1.5, where the general landscape factor = 0.5 + (strategic biodiversity value score/2)

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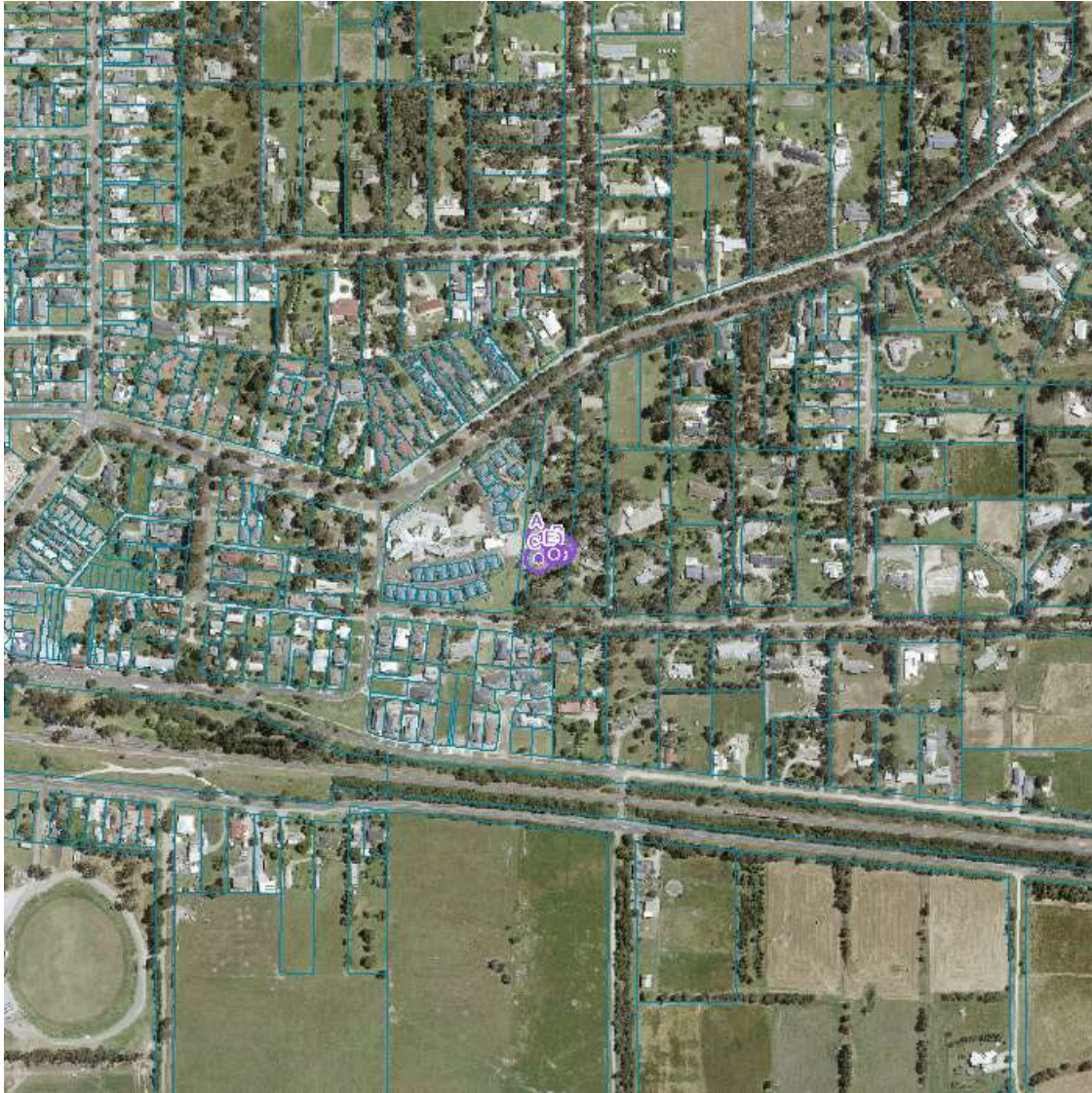
The General Offset amount required is the sum of all General Habitat Units per zone.

Native vegetation to be removed

Information provided by or on behalf of the applicant			Information calculated by NVR Map							
Zone	Type	DBH (cm)	EVC code (modelled)	Bioregional conservation status	Large Tree(s)	Condition score (modelled)	Polygon extent (ha)	Extent without overlap (ha)	SBV score	General Habitat Units
A	Scattered Tree	128	HSF_0016	Least Concern	1	0.200	0.070	0.066	0.210	0.012
B	Scattered Tree	80	HSF_0016	Least Concern	1	0.200	0.070	0.069	0.185	0.012
C	Scattered Tree	84	HSF_0016	Least Concern	1	0.200	0.070	0.067	0.210	0.012
D	Scattered Tree	53	HSF_0016	Least Concern	-	0.200	0.031	0.002	0.184	0.000
E	Scattered Tree	53	HSF_0016	Least Concern	-	0.200	0.031	0.002	0.210	0.000

Appendix 2: Images of mapped native vegetation

1. Property in context



- Proposed Removal
- Property Boundaries




200 m

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2. Aerial photograph showing mapped native vegetation



 Proposed Removal



35 m

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3. Location Risk Map



□ Proposed Removal

□ Location 1

□ Location 2

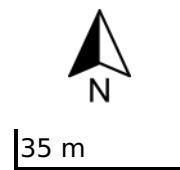
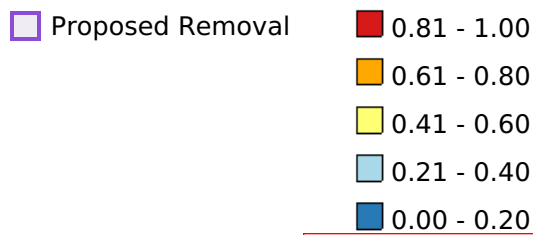
□ Location 3



35 m

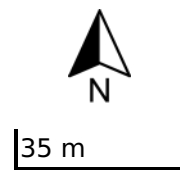
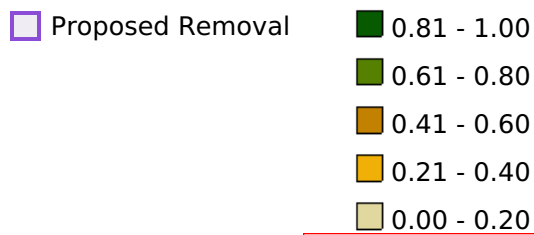
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4. Strategic Biodiversity Value Score Map



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5. Condition Score Map



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6. Endangered EVCs

Not Applicable

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Report of available native vegetation credits

This report lists native vegetation credits available to purchase through the Native Vegetation Credit Register.

This report is **not evidence** that an offset has been secured. An offset is only secured when the units have been purchased and allocated to a permit or other approval and an allocated credit extract is provided by the Native Vegetation Credit Register.

Date and time: 04/06/2024 05:37

Report ID: 24639

What was searched for?

General offset

General habitat units	Strategic biodiversity value	Large trees	Vicinity (Catchment Management Authority or Municipal district)	
0.037	0.161	3	CMA	Melbourne Water
			or LGA	Cardinia Shire

Details of available native vegetation credits on 04 June 2024 05:37

These sites meet your requirements for general offsets.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
BBA-0277	2.315	443	Melbourne Water	Mornington Peninsula Shire	No	Yes	No	Abezco, Ethos, VegLink
BBA-0670	16.212	106	Melbourne Water	Cardinia Shire	No	Yes	No	Abezco, VegLink
BBA-0677	7.936	1414	Melbourne Water	Whittlesea City	No	Yes	No	Abezco, VegLink
BBA-0678	42.899	2599	Melbourne Water	Nillumbik Shire	No	Yes	No	VegLink
BBA-0678_02	0.562	58	Melbourne Water	Nillumbik Shire	Yes	Yes	No	Abezco, VegLink
BBA-2789	1.317	14	Melbourne Water	Baw Baw Shire	Yes	Yes	No	Contact NVOR
BBA-2790	2.911	116	Melbourne Water	Baw Baw Shire	Yes	Yes	No	Contact NVOR
BBA-2870	2.544	431	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	VegLink
BBA-2871	14.783	1662	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	VegLink
TFN-C1636	0.043	110	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	Yarra Ranges SC
TFN-C1664	0.745	44	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	Yarra Ranges SC
VC_CFL-0838_01	0.184	648	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	VegLink
VC_CFL-3687_01	0.278	61	Melbourne Water	Baw Baw Shire	Yes	Yes	No	Baw Baw SC
VC_CFL-3708_01	0.197	504	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	VegLink

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VC_CFL-3709_01	0.128	360	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	VegLink
VC_CFL-3710_01	6.300	322	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	VegLink
VC_CFL-3740_01	0.063	15	Melbourne Water	Yarra Ranges Shire	Yes	Yes	No	Bio Offsets
VC_CFL-3744_01	1.164	349	Melbourne Water	Macedon Ranges Shire	Yes	Yes	No	VegLink
VC_CFL-3762_01	0.047	79	Melbourne Water	Moorabool Shire	Yes	Yes	No	VegLink

These sites meet your requirements using alternative arrangements for general offsets.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
----------------	-----	----	-----	-----	------------	--------	-------------	-----------

There are no sites listed in the Native Vegetation Credit Register that meet your offset requirements when applying the alternative arrangements as listed in section 11.2 of the Guidelines for the removal, destruction or lopping of native vegetation.

These potential sites are not yet available, land owners may finalise them once a buyer is confirmed.

Credit Site ID	GHU	LT	CMA	LGA	Land owner	Trader	Fixed price	Broker(s)
VC_CFL-3746_01	4.962	563	Melbourne Water	Macedon Ranges Shire	Yes	Yes	No	VegLink

LT - Large Trees

CMA - Catchment Management Authority

LGA - Municipal District or Local Government Authority

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Next steps

If applying for approval to remove native vegetation

Attach this report to an application to remove native vegetation as evidence that your offset requirement is currently available.

If you have approval to remove native vegetation

Below are the contact details for all brokers. Contact the broker(s) listed for the credit site(s) that meet your offset requirements. These are shown in the above tables. If more than one broker or site is listed, you should get more than one quote before deciding which offset to secure.

Broker contact details

Broker Abbreviation	Broker Name	Phone	Email	Website
Abezco	Abzeco Pty. Ltd.	(03) 9431 5444	offsets@abzeco.com.au	www.abzeco.com.au
Baw Baw SC	Baw Baw Shire Council	(03) 5624 2411	bawbaw@bawbawshire.vic.gov.au	www.bawbawshire.vic.gov.au
Bio Offsets	Biodiversity Offsets Victoria	0452 161 013	info@offsetsvictoria.com.au	www.offsetsvictoria.com.au
Contact NVOR	Native Vegetation Offset Register	136 186	nativevegetation.offsetregister@delwp.vic.gov.au	www.environment.vic.gov.au/native-vegetation
Ecocentric	Ecocentric Environmental Consulting	0410 564 139	ecocentric@me.com	Not available
Ethos	Ethos NRM Pty Ltd	(03) 5153 0037	offsets@ethosnrm.com.au	www.ethosnrm.com.au
Nillumbik SC	Nillumbik Shire Council	(03) 9433 3316	offsets@nillumbik.vic.gov.au	www.nillumbik.vic.gov.au
TFN	Trust for Nature	8631 5888	offsets@tfn.org.au	www.trustfornature.org.au
VegLink	Vegetation Link Pty Ltd	(03) 8578 4250 or 1300 834 546	offsets@vegetationlink.com.au	www.vegetationlink.com.au
Yarra Ranges SC	Yarra Ranges Shire Council	1300 368 333	biodiversityoffsets@yarraranges.vic.gov.au	www.yarraranges.vic.gov.au

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For more information contact the DEECA Customer Service Centre 136 186 or the Native Vegetation Credit Register at nativevegetation.offsetregister@delwp.vic.gov.au

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Obtaining this publication does not guarantee that the credits shown will be available in the Native Vegetation Credit Register either now or at a later time when a purchase of native vegetation credits is planned.

Notwithstanding anything else contained in this publication, you must ensure that you comply with all relevant laws, legislation, awards or orders and that you obtain and comply with all permits, approvals and the like that affect, are applicable or are necessary to undertake any action to remove, lop or destroy or otherwise deal with any native vegetation or that apply to matters within the scope of Clauses 52.16 or 52.17 of the Victoria Planning Provisions and Victorian planning schemes

Land Capability Assessment

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Report No: 14416.2

Location: 5 Mary St, BUNYIP

Date: 12/07/2023

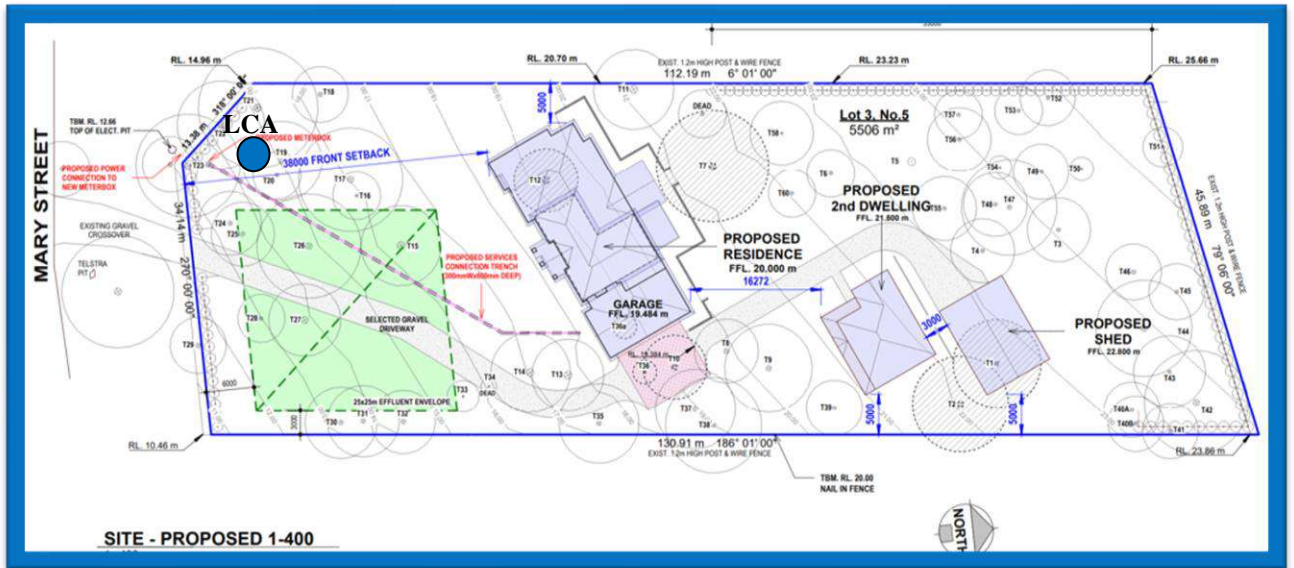


1. **Owner/ Developer** [REDACTED]
2. **Zoning:** Low density residential zone (LDRZ) (LDRZ2).
3. **Overlays:** Has overlays (DDO)(DDO1)(VPO)(VPO1). The property is in a designated bush fire prone area.
4. **Allotment Size:** 5500 m2
5. **Anticipated Wastewater:** 1200 Litres per Day.
6. **Number of Rooms Usable for Bedrooms:** 5 Bedrooms, study not included in this LCA as it is not enclosed. Plans sighted. + 1 bedroom unit plan unsighted. These have been combined into one LAA.

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7. Site Plan:



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8. Published Soil Information:

The site is situated within a geological area of Devonian Upper, Strathbogie Granodiorite. The site investigation confirmed this.

9. Site Key Features:

Table 1: Site Assessment

	Feature	Description	Level of Constraint	Mitigation Measures
A	Buffer Distances	Can be met	Minor	Nil
B	Climate	High Rainfall than evap water	Moderate	Yes
C	Drainage	Dry	Minor	Nil
D	Erosion & Landslip	Minor	Minor	Nil
E	Exposure & Aspect	Good Exposure	Minor	Nil
F	Flooding	Not expected	Minor	Nil
G	Groundwater	>20m	Minor	Nil
H	Imported Fill	No	Minor	Nil
I	Land Available for LAA	Large lot	Minor	Nil
J	Landform	Slight slope	Minor	Nil
K	Rock Outcrops	Nil	Minor	Nil
L	Feature	Nil	Minor	Nil
M	Run-on & Runoff	Slope	Moderate	Yes
N	Slope	<10-20%	Moderate	Yes
O	Surface Waters	Nil	Minor	Yes
P	Vegetation	Grass	Minor	Nil

B) Full water balance completed for subsurface irrigation low DLR applied to wick trench and bed.

J, M & N) Divert runoff away from LAA.

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10. Soil Survey and Analysis:

Table 2: Soil Assessment

	Feature	Assessment	Level of Constraint	Mitigation Measures
A	Electrical Conductivity	.06dSm ⁻¹	Minor	Nil
B	Emerson Aggregate Class	7	Minor	Nil
C	pH	5.73	Minor	Nil
D	Rock Fragments	<10%	Minor	Nil
E	Soil Test Depth	1.5m	Minor	Nil
F	Soil Permeability & Design Loading Rates	Cat 4	Minor	Nil
G	Permanent Watertable Depth	<5m not encountered	Minor	Nil

- Bore logs on page 9.

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11. Water Balance:

Yearly Rainfall: 1116.9

Yearly Pan Evaporation: 1015.4

Daily water usage: 8 people at 150litres per day

Site Address:		5 Mary Street Bunyip														
Date:		Assessor:														
INPUT DATA																
Design Wastewater Flow	Q	1,200	L/day	Based on maximum potential occupancy and derived from Table 4 in the EPA Code of Practice (2013)												
Design Irrigation Rate	DIR	3.0	mm/day	Based on soil texture class/permeability and derived from Table 9 in the EPA Code of Practice (2013)												
Nominated Land Application Area	L	267	m ²	1												
Crop Factor	C	0.6-0.8	unitless	Estimates evapotranspiration as a fraction of pan evaporation; varies with season and crop type ²												
Rainfall Runoff Factor	RF	0.8	unitless	Proportion of rainfall that remains onsite and infiltrates, allowing for any runoff												
Mean Monthly Rainfall Data	Longwarry 085208		BoM Station and number													
Mean Monthly Pan Evaporation Data	Noojee 085277		BoM Station and number													
Parameter	Symbol	Formula	Units	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Days in month	D		days	31	28	31	30	31	30	31	31	30	31	30	31	365
Rainfall	R		mm/month	59.5	50.3	59	68.2	75.3	69.9	73.3	83.2	90.5	87.6	83.9	72.4	873.1
Evaporation	E		mm/month	151.9	126	102.3	63	43	36	40.3	55.8	75	99.2	114	133.3	1039.8
Crop Factor	C		unitless	0.80	0.80	0.70	0.70	0.60	0.60	0.60	0.60	0.70	0.80	0.80	0.80	0.80
OUTPUTS																
Evapotranspiration	ET	ExC	mm/month	122	101	72	44	26	22	24	33	53	79	91	107	772.79
Percolation	B	DIRxD	mm/month	93.0	84	93.0	90.0	93.0	90.0	93.0	93.0	90.0	93.0	90.0	93.0	1095.0
Outputs		ET+B	mm/month	214.5	184.8	164.6	134.1	118.8	111.6	117.2	126.5	142.5	172.4	181.2	199.6	1867.8
INPUTS																
Retained Rainfall	RR	RxRF	mm/month	47.6	40.24	47.2	54.56	60.24	55.92	58.64	66.56	72.4	70.08	67.12	57.92	698.48
Applied Effluent	W	(QxD)/L	mm/month	139.3	125.8	139.3	134.8	139.3	134.8	139.3	139.3	134.8	139.3	134.8	139.3	1640.4
Inputs		RR+W	mm/month	186.9	166.1	186.5	189.4	199.6	190.8	198.0	205.9	207.2	209.4	202.0	197.2	2338.9
STORAGE CALCULATION																
Storage remaining from previous month			mm/month	0.0	0.0	0.0	21.9	77.2	158.0	237.1	317.9	397.3	462.0	499.1	519.8	
Storage for the month	S	(RR+W)-(ET+B)	mm	-27.6	-18.7	21.9	55.3	80.8	79.2	80.8	79.4	64.7	37.0	20.8	-2.4	
Cumulative Storage	M		mm	0.0	0.0	21.9	77.2	158.0	237.1	317.9	397.3	462.0	499.1	519.8	517.5	
Maximum Storage for Nominated Area	N		mm	519.85												
	V	NxL	L	138799												
LAND AREA REQUIRED FOR ZERO STORAGE			m ²	223	232	317	453	635	647	635	621	514	364	316	262	
MINIMUM AREA REQUIRED FOR ZERO STORAGE:			m ²	647.0												

Design Irrigation Rate	Subsurface Irrigation Area	Design Wastewater Discharge	Wick Trench & Bed DLR	Wick Trench & Bed Length
3mm	647m ²	1200L/day	8	113m

Wick Trench and Bed sizing:

Q = Daily design flow rate L/Day.

W = Width of trench & bed.

DLR = Design load rating in MM/Day from table 9.

F = Factor 1.2

1200L/ (DLR x(W/F)

1200L/ (5 1m² x 1.6/1.2)

1200L/6.66 L/M

112.57M

12. System Location

Effluent Area:

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13. Monitoring Operation and Maintenance:

- Have suitably trained and qualified contractor to service systems at the frequency required by council.
- Recommend use of AAA fixtures and appliances.
- Use cleaning products and toiletries suitable for septic systems.
- Maintain vegetation over effluent area.
- Keep livestock and vehicles off the effluent area to avoid compaction.

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14. Conclusion:

Soil Test Express can recommend the use of a secondary treated subsurface irrigation or wick trench and bed for treating and maintaining wastewater within the site. Wick trench and bed system should be divided into trench and beds no longer than 20m.

Maintain all EPA setbacks.

Vegetation must be maintained over LAA at all times.

Subsurface irrigation requires a large area due to high rainfall low evaporation in winter.

A reserve area of similar size should be set aside if wick trench and bed is selected.

Both Main house and unit combined into one LAA and can share septic tank if plumbing allows.

Full water saving devices recommended.

Note: Recommendations outlined in this report are subject to council approval.

Mr J Dunn
SOIL TEST EXPRESS

Site Location: 5 Mary St, Bunyip **GEOTECHNICAL LAND CAPABILITY ASSESSMENT LOGS**

Client: Chris Fauvrelle **Proposal:** Residential Septic System **Report No:** 14416.2

Test Date: 12/07/2023

Topography of the land:

- Uneven Surface
- Essentially Level
- Undulating Surface
- Multiple Hills
- Slight Slope
- Moderate Slope
- Steep Slope
- Extreme Condition

Technicians Comments:

Slope Direction: Right-hand Side

Trees: type: Various **Size:** Medium-Large

Water: type:

Soil Drainage:

Good: Sandy

Fair: to

Poor: Clay

Existing Structures:

Existing Structure Condition: Good Fair Poor

Existing Structure Description:

Layer Description Borehole 1	Depth
Clayey Sandy Silt Fill. Grey/Brown Medium Dense. Dry	100mm
Clayey Sandy Silt Grey Firm Dry	600mm
Silty Sandy Clay Orange/Brown/Grey Medium to High Plasticity Stiff to Very Stiff Dry to Moist	1500mm
Borehole Terminated at 1.5m	

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Duffy & Simon C/- InfoTrack (LEAP)
E-mail: certificates@landata.vic.gov.au

Statement for property:
LOT 3 5 MARY STREET BUNYIP 3815
3 LP 134373

REFERENCE NO.	YOUR REFERENCE	DATE OF ISSUE	CASE NUMBER
62E//19776/3	LANDATA CER 67623879-025-1	20 JANUARY 2023	43265238

1. Statement of Fees Imposed

The property is classified as a serviced property with respect to charges which as listed below in the Statement of Fees.

(a) By Other Authorities

Melbourne Water Corporation Total Service Charges	01/01/2023 to 31/03/2023	\$41.19
--	--------------------------	---------

(c) By South East Water

Subtotal Service Charges	\$41.19
Arrears	\$41.15
TOTAL UNPAID BALANCE	\$82.34

- Financial Updates (free service) are only available online please go to (type / copy the complete address shown below): <https://secureapp.southeastwater.com.au/PropertyConnect/#!/order/info/update>

* Please Note: if usage charges appear above, the amount shown includes one or more of the following:

Water Usage, Recycled Water Usage, Sewage Disposal, Fire Service Usage and Trade Waste Volumetric Fees.

Interest may accrue on the South East Water charges listed in this statement if they are not paid by the due date as set out in the bill.

- The total annual service fees and volumetric fees for water usage and sewerage disposal for each class of property are set out at www.southeastwater.com.au.
- Updates of rates and other charges will only be provided for up to six months from the date of this statement.
- If this property has recently been subdivided from a "parent" title, there may be service or other charges owing on the "parent" which will be charged to this property, once sold, that do not appear on this statement. You must contact us to see if there are any such charges as they may be charged to this property on sale and should therefore be adjusted with the owner of the parent title beforehand.

- If the property is sold, the vendor is liable to pay all fees incurred in relation to the property until the vendor gives South East Water a Notice of Disposition of Land required by the Water (Disposition of Land) Regulations 2010. Please include the Reference Number set out above in that Notice.
- Fees relating to the property may change from year-to-year in accordance with the Essential Service Commission's Price Determination for South East Water.
- Every fee referred to above is a charge against the property and will be recovered from a purchaser of the property if it is not paid by the vendor.
- Information about when and how outstanding fees may be paid, collected and recovered is set out in the Essential Services Commission's Customer Service Code, Urban Water Businesses.
- If this Statement only sets out rates and fees levied by Parks Victoria and Melbourne Water, the property may not be connected to South East Water's works. To find out whether the property is, or could be connected upon payment of the relevant charges, or whether it is separately metered, telephone 131 694.
- For a new connection to our water or sewer services, fees / charges will be levied.

2. Encumbrance Summary

Where available, the location of sewers is shown on the attached plan. Please ensure where manholes appear, that they remain accessible at all times "DO NOT COVER". Where driveways/paving is proposed to be constructed over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset, the owner will be responsible for all costs associated with any demolition and or re-instatement works, necessary to allow maintenance and or repair of the asset effected. Where changes to the surface levels requires maintenance shafts/holes to be altered, all works must be carried out by South East Water approved contractors only. For information call 131694. For all other works, prior consent is required from south East Water for any construction over easements for water supply/sewerage purposes, or within 1 metre of a South East Water asset.

Information available at Melbourne Water indicates that this property is not subject to flooding from Melbourne Water's drainage system, based on a flood level that has a probability of occurrence of 1% in any one year.

ENCUMBRANCE ENQUIRY EMAIL infostatements@sew.com.au

If no plan is attached to this Statement, South East Water is not aware of any works belonging to South East Water being present on the property.

If a plan is attached to this Statement, it indicates the nature of works belonging to South East Water, their approximate location, and the approximate location of any easement relating to those works.

Important Warnings

The map base for any attached plan is not created by South East Water which cannot and does not guarantee the accuracy, adequacy or completeness of any information in the plan, especially the exact location of any of South East Water's works, which may have changes since the attached plan was prepared. Their location should therefore be proven by hand before any works are commenced on the land.

Unless South East Water's prior written approval is obtained, it is an offence to cause any structure to be built or any filling to be placed on a South East Water easement or within 1 metre laterally of any of its works or to permit any structure to be built above or below any such area.

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INFORMATION STATEMENT

STATEMENT UNDER SECTION 158, WATER ACT 1989

Any work that requires any South East Water manhole or maintenance shaft to be altered may only be done by a contractor approved by South East Water at the property owner's cost.

If the owner builds or places filling in contravention of that requirement, the owner will be required to pay the cost of any demolition or re-instatement of work that South East Water considers necessary, in order to maintain, repair or replace its asset.

This Statement does not include any information about current or outstanding consent issued for plumbing works on at the property.

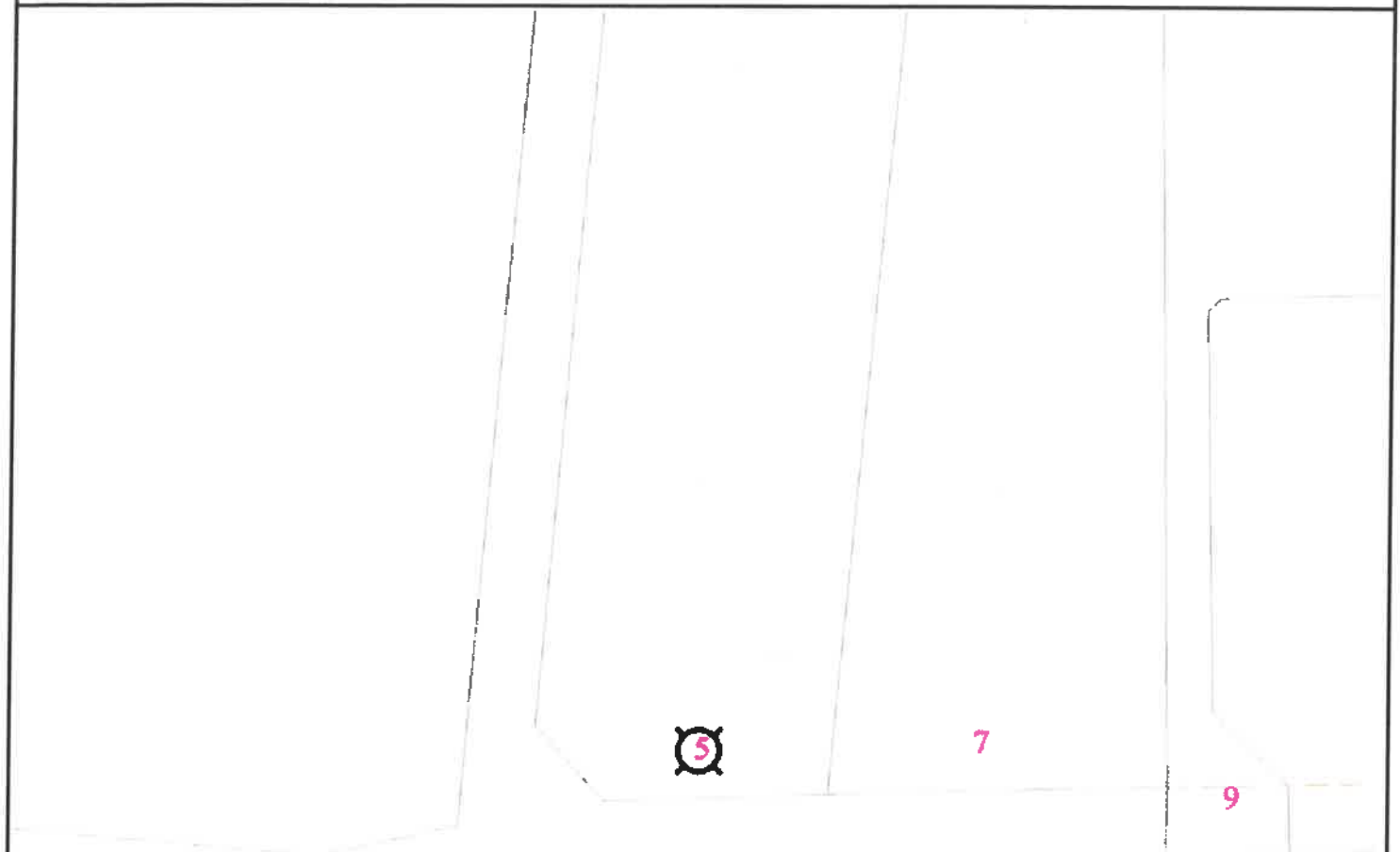
3. Disclaimer

This Statement does not contain all the information about the property that a prospective purchaser may wish to know. Accordingly, appropriate enquiries should be made of other sources and information.

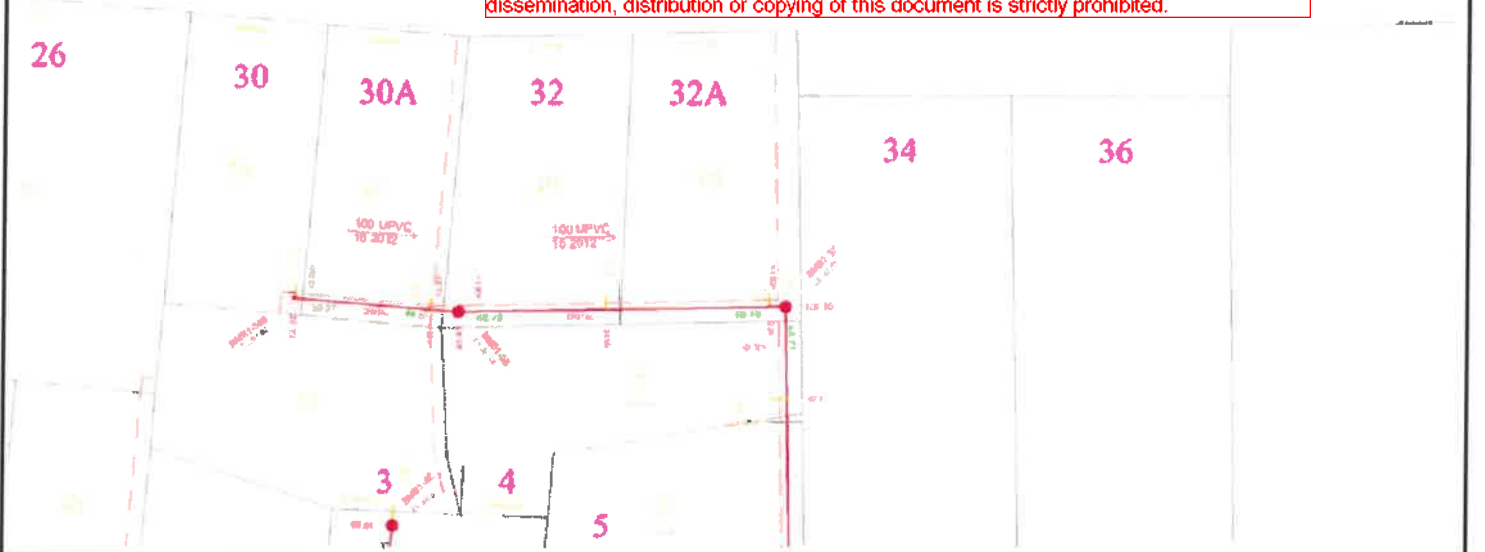
South East Water has prepared the information in this Statement with due care and diligence. It cannot and does not accept liability for any loss or damage arising from reliance on the information given, beyond the extent set out in section 155 of the Water Act 1989 and sections 18 and 29 of the Australian Consumer Law.

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South East Water
Information Statement Applications
PO Box 2268, Seaford, VIC 3198



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WARNING: This plan is issued solely for the purpose of assisting you in identifying South East Water's and Melbourne Water's specified assets through further investigation only. It is not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. (Refer to attached letter for further details). Assets labelled AC may contain asbestos and therefore works on these assets must be undertaken in accordance with OH&S Regulations. Abandoned and currently unused assets are shown in orange.

Title/Road Boundary	Subject Property	Maintenance Hole
Proposed Title/Road	Sewer Main & Property Connections	Inspection Shaft
Easement	Direction of Flow	Offset from Boundary
Melbourne Water Assets		
Sewer Main	Underground Drain	Natural Waterway
Maintenance Hole	Channel Drain	Underground Drain M.H.

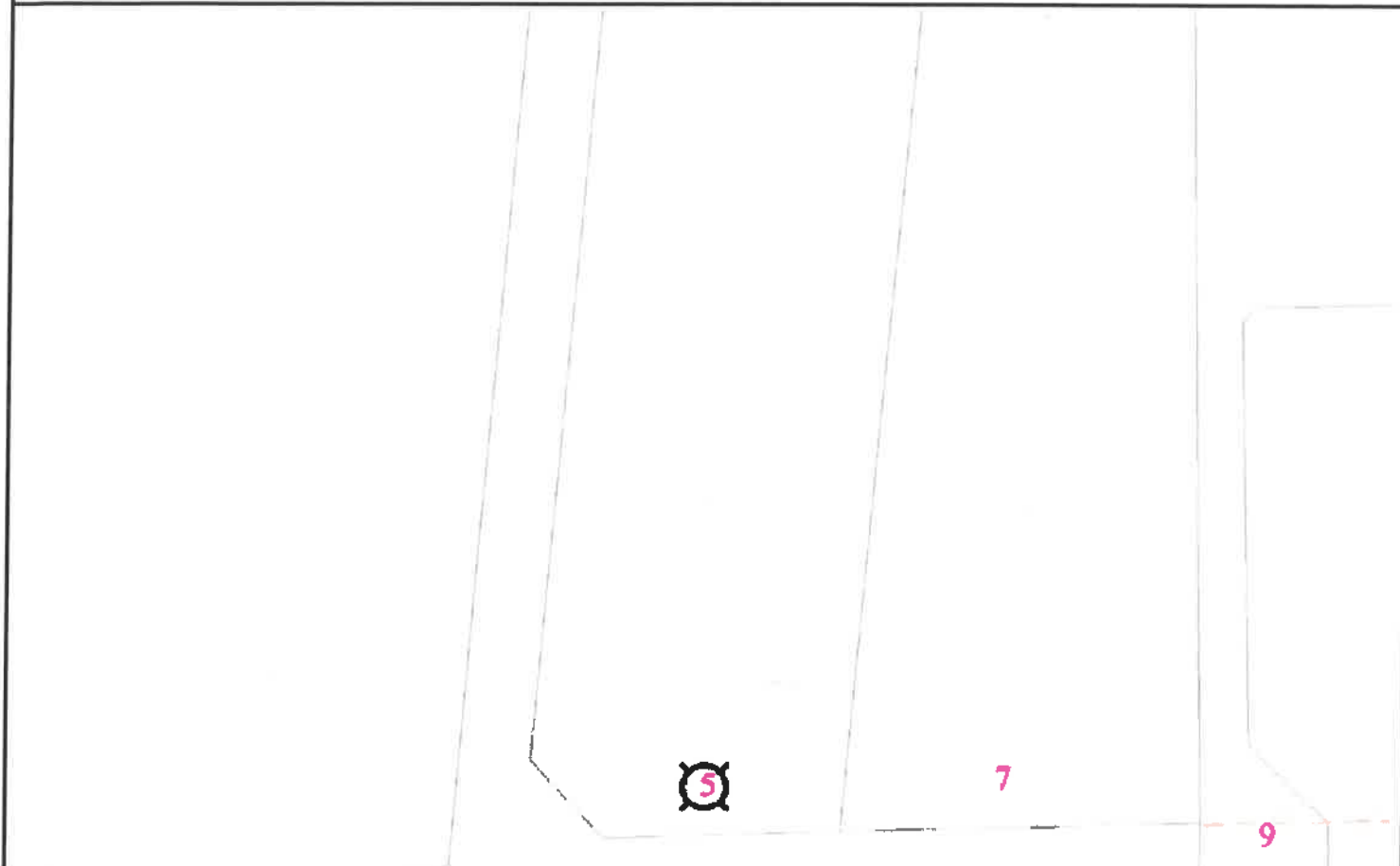


Property: Lot 3 5 MARY STREET BUNYIP 3815

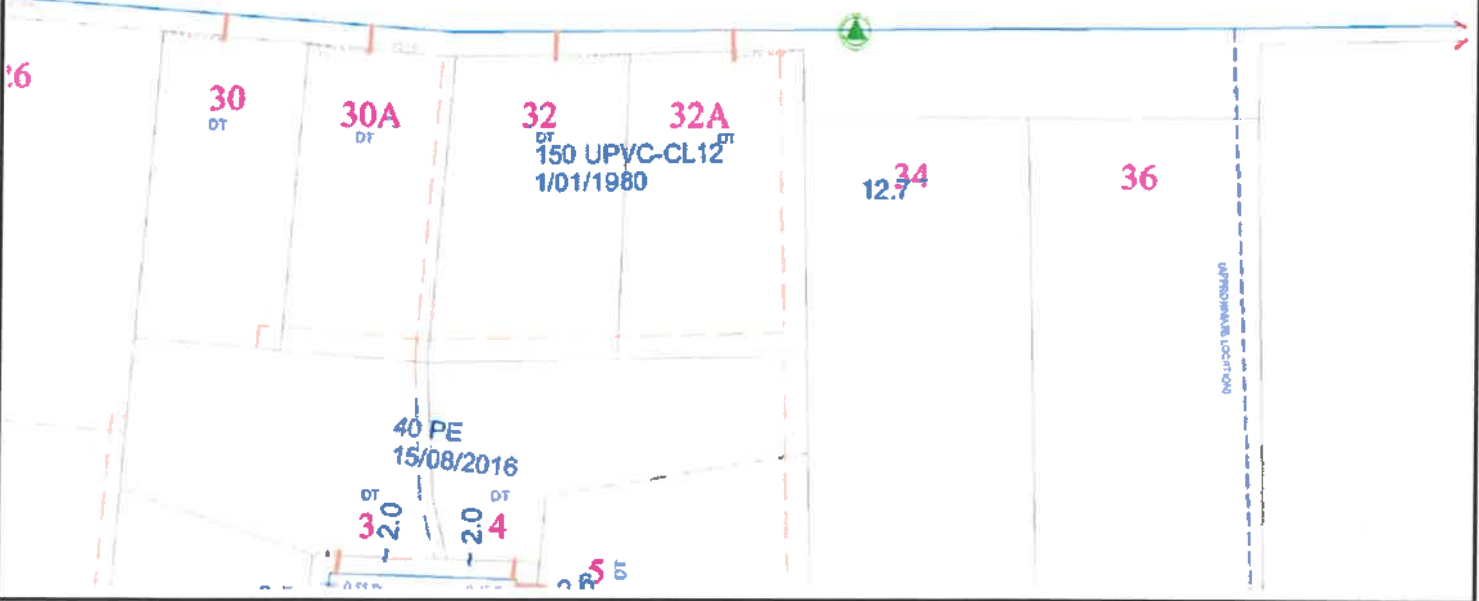
Case Number: 43265238



Date: 20 JANUARY 2023



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LEGEND						
	Title/Road Boundary		Subject Property			Hydrant
	Proposed Title/Road		Water Main Valve			Fireplug/Washout
	Easement		Water Main & Services		~ 1.0	Offset from Boundary



ASSET INFORMATION - RECYCLED WATER

(RECYCLE WATER WILL APPEAR IF IT'S AVAILABLE)

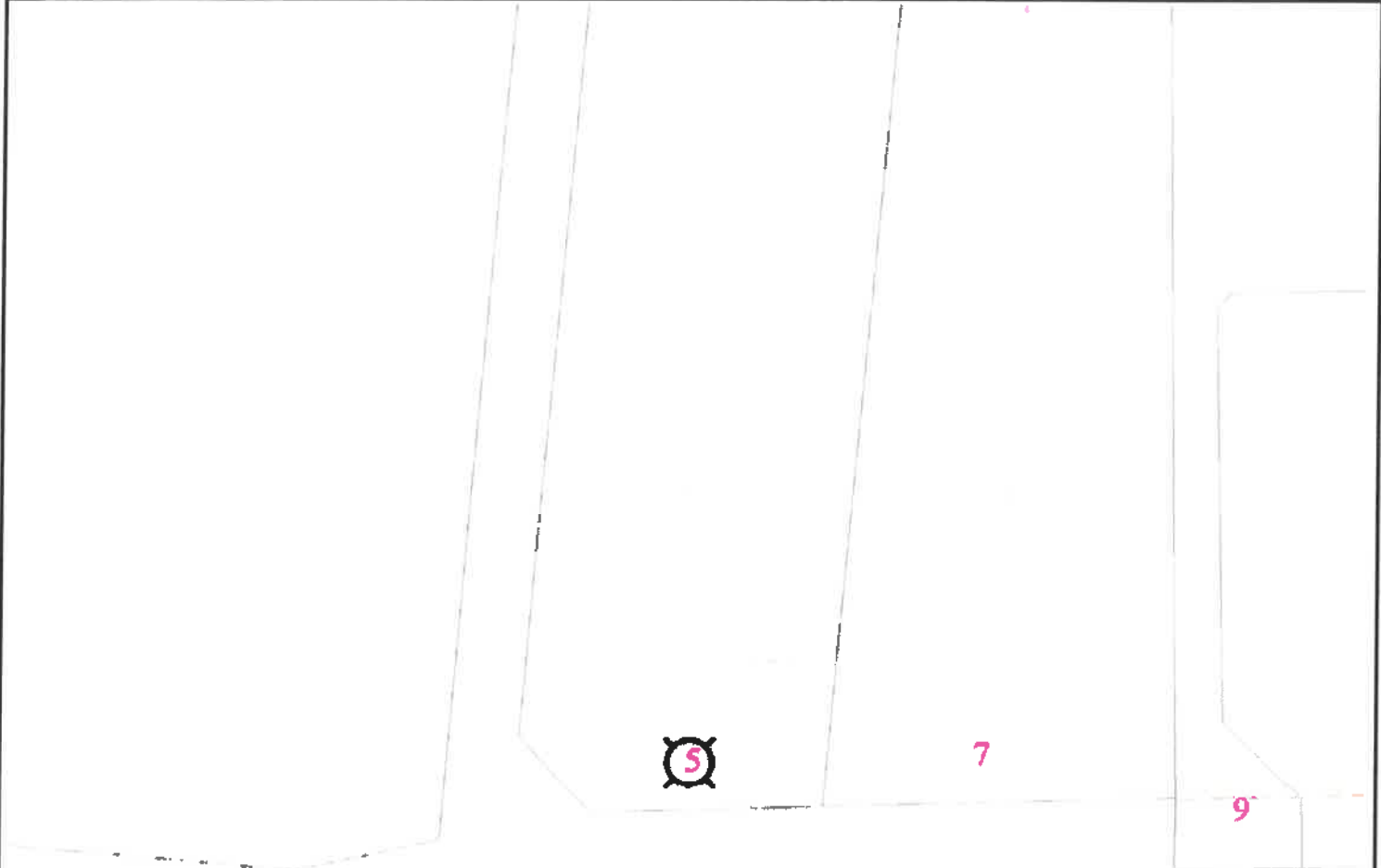
Property: Lot 3 5 MARY STREET BUNYIP 3815



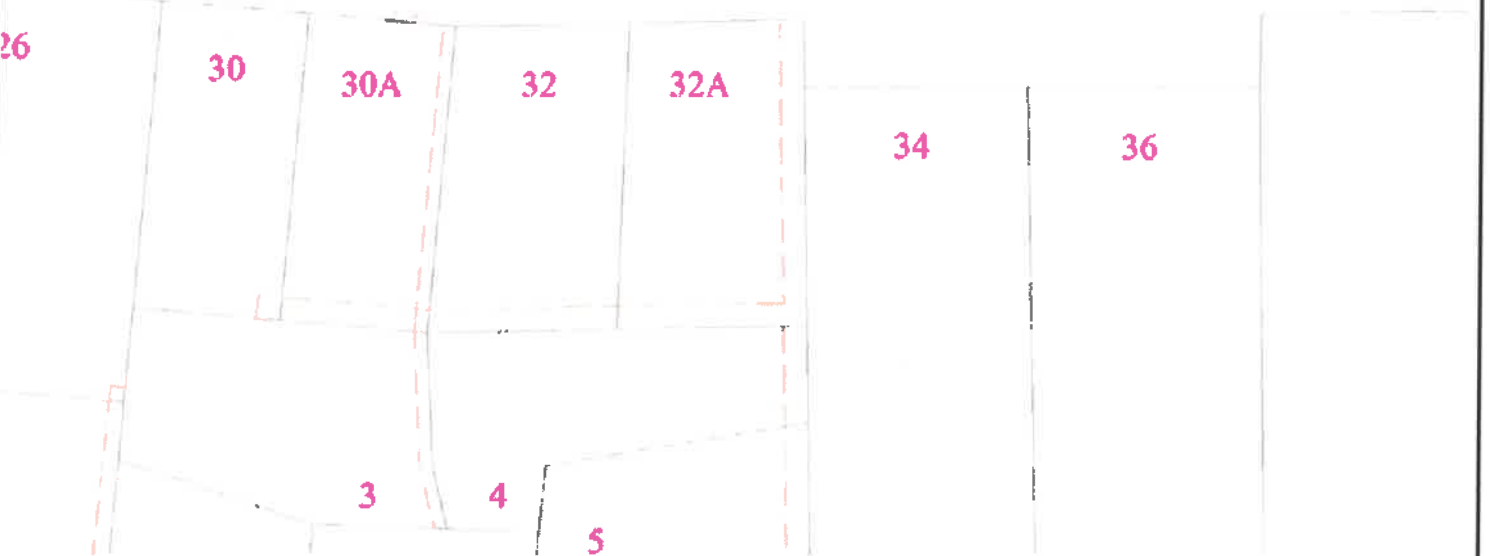
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Date: 20JANUARY2023



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LEGEND	
	Title/Road Boundary
	Proposed Title/Road
	Easement
	Subject Property
	Recycled Water Main Valve
	Recycled Water Main & Services
	Hydrant
	Fireplug/Washout
	~ 1.0 Offset from Boundary



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Electricity account number: **103720818**
Customer number: [REDACTED]

Account Details:

Supply Address
Lot 3 5 Mary Street Bunyip VIC 3815

Issue Date
01 Nov 2024
Invoice Number
[REDACTED]

National Metering Identifier (NMI)
63060961375

Need help?

For help, enquiries or complaints
alintaenergy.com.au/help or 13 37 02

Faults and emergencies **13 17 99**
(AusNet) 24 hours, 7 days

Disputes Ombudsman
1800 500 509 EWOV

Could you save money on another plan?



To change plans, visit **alintaenergy.com.au/change**.
To view all the energy offers applicable to you, visit Victorian Energy Compare at **compare.energy.vic.gov.au**.

Victorian Default Offer

The Victorian Default Offer is a reasonably priced electricity offer set by Victoria's independent regulator.
Contact us on **13 37 02** to discuss the suitability of this plan for you.

The Australian Government and your State Government are supporting customers to reduce bills. Check the understand your bill section to see if you have received a rebate or concession. More information at **energy.gov.au**



Balance brought forward [REDACTED]

New charges [REDACTED]

Total balance [REDACTED]

Tax Invoice Issued: 01 Nov 2024
Alinta Energy Retail Sales Pty Ltd ABN 22 149 658 300
Amounts include GST unless otherwise specified

How to pay this bill

MyAccount
Manage your bills and payments including direct debit at **alintaenergy.com.au/myaccount**

Credit Card
REF: [REDACTED]
Online at **alintaenergy.com.au/paymybill** or call **13 37 02**

By mail
Post this payment slip and your cheque made payable to:
Alinta Energy GPO Box 1304, Melbourne VIC 3001



Centrepay
[REDACTED]
Online at **humanservices.gov.au/centrepay**

PayPal
To pay via PayPal visit **alintaenergy.com.au/paymybill**

In person
Pay in person at any Post Office, phone **13 18 16** or go to **postbillpay.com.au**



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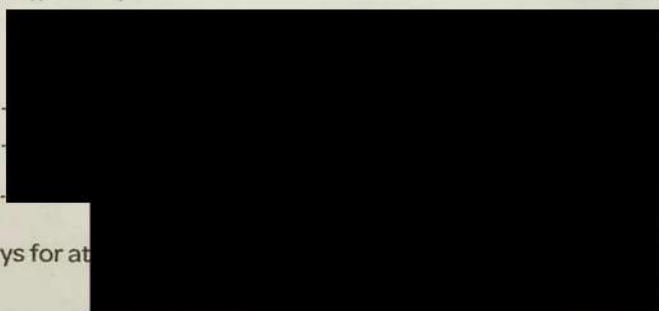
Account number: [Redacted]
Date due: **10 October 2024**

Last bill	Payments received	Balance	Current charges	Total due
[Redacted]	[Redacted]	[Redacted]	[Redacted]	[Redacted]

Your account breakdown

Issue date: 23 September 2024 ✓
Property: 5 Mary Street
BUNYIP VIC 3815
Property reference: 62E//19776/3

Last bill
Payment received
Balance brought forward
Other authorities' charges (no GST)
Total due



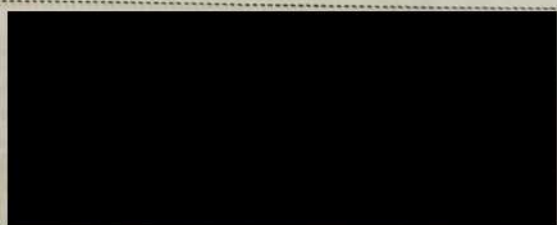
Important note:
Prices have changed as of 1 July 2024. See what your bill pays for at southeastwater.com.au/othercharges

Payment options

DD Direct debit
Set up payments at southeastwater.com.au/paymybill



Credit card
Pay by Visa or MasterCard at southeastwater.com.au/paymybill or call 1300 659 658.



Property ref: 62E//19776/3
5 MARY STREET
BUNYIP VIC 3815



*361 100390368300000

PN62E

Total due: [Redacted]
Account number: [Redacted]
Date paid: [Redacted]
Receipt number: [Redacted]

Stormwater response

To: PSI Global

Attention:

Email address: propertyInfo@psiglobal.com.au

From: Cardinia Shire Council – Infrastructure Services

Subject: Storm water drainage details and legal point of discharge

Date: 20 January 2022

Total pages: 2 (incl. this cover)

Please telephone 1300 787 624 for any enquiries in relation to this information.

Original will be sent by mail? Yes No

Property information report

Pursuant to Regulation 133 of the Building Regulations 2018, please find below, storm water discharge information for:

Property: Lot 3 No.5 Mary Street, Bunyip

Property No. 4535500200B

CSC ref:

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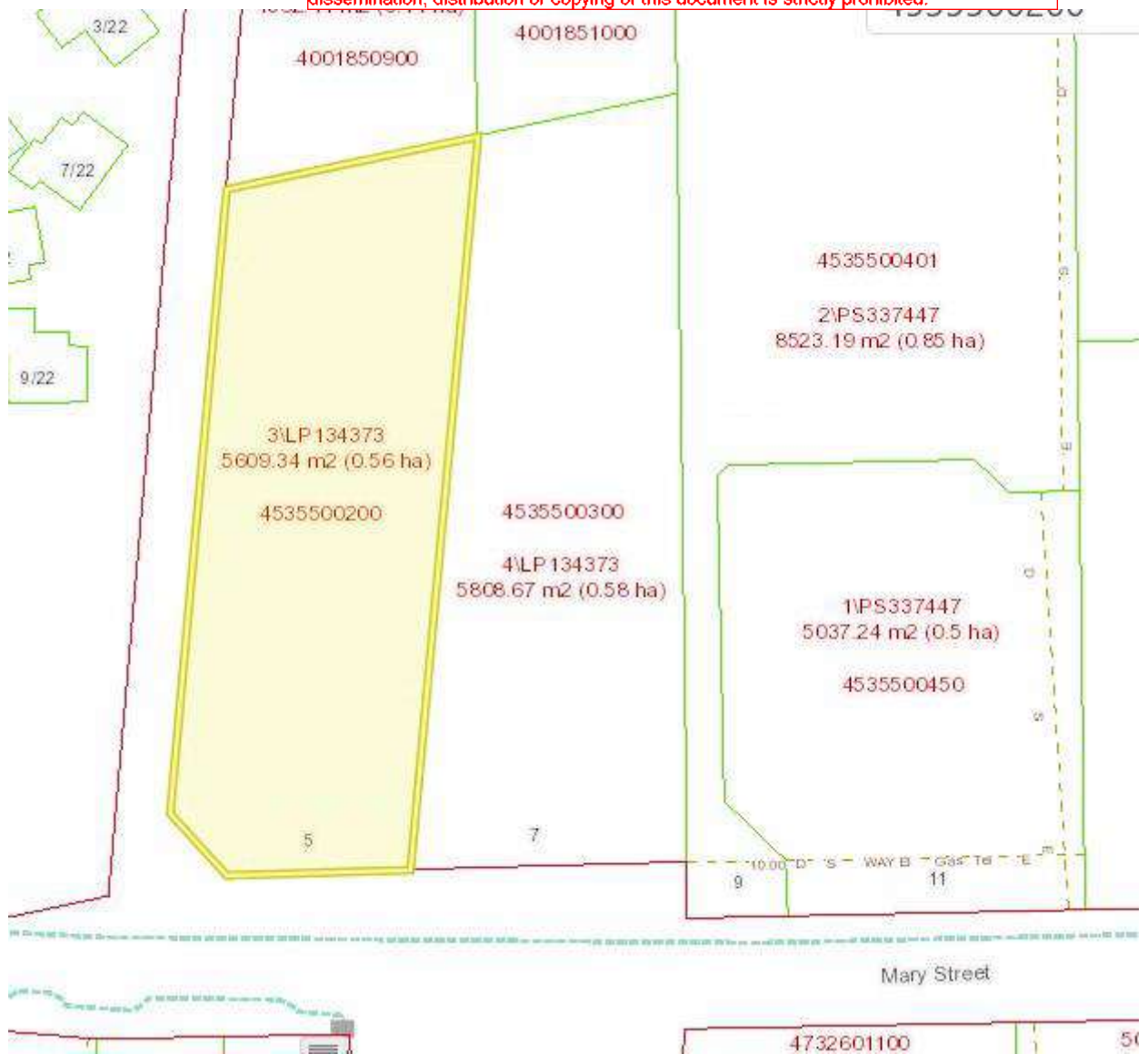
I refer to your request for the stormwater discharge point at the above property and advise that Council records indicate that there are no underground drains in this area, therefore a Legal Point of Discharge cannot be provided.

Accordingly, the property stormwater is to be directed to an easement drain or roadside drain where possible, if these are not available then please contact the Council Engineers via DevEng@cardinia.vic.gov.au, to discuss the discharge options for your proposed development.

Regards,


Development Support Officer

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--- Swales (Assets)