
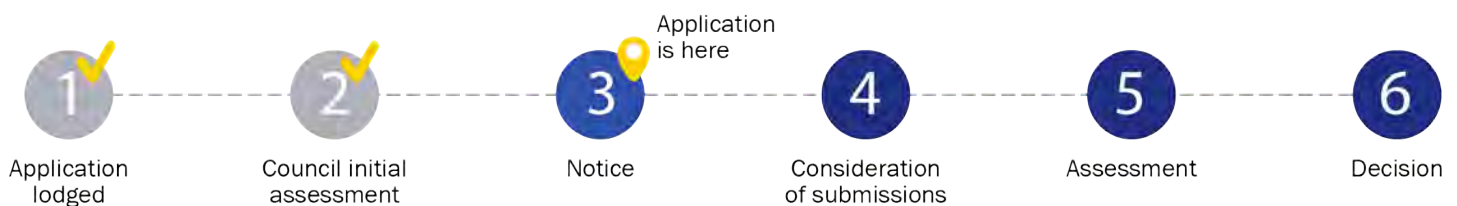


Notice of Application for a Planning Permit

The land affected by the application is located at:	L2 LP93984 550 Pakenham Road, Pakenham Upper VIC 3810	
The application is for a permit to:	Buildings and works (extension to an existing dwelling)	
A permit is required under the following clauses of the planning scheme:		
35.06-5	Construct a building or construct or carry out work	
35.06-5	Construct a building within nominated setbacks	
APPLICATION DETAILS		
The applicant for the permit is:	Smart Town Planning Pty Ltd	
Application number:	T240197	
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		28 January 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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ePlanning

Application Summary

Portal Reference A22433NP

Basic Information

Proposed Use Additions to an existing dwelling in a land located in the Rural Conservation Zone
Current Use Three bedroom dwelling
Cost of Works \$540,000
Site Address 550 Pakenham Road Pakenham Upper 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	SMART TOWN PLANNING PTY LTD	75 Ormond Road, Hampton Park VIC 3976	W: +61-410-348-448 M: 0410-348-448 E: info@smarttownplanning.com.au
Owner			
Preferred Contact	SMART TOWN PLANNING PTY LTD	75 Ormond Road, Hampton Park VIC 3976	W: +61-410-348-448 M: 0410-348-448 E: info@smarttownplanning.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 5 More than \$500,000 but not more than \$1,000,000	\$1,494.60	100%	\$1,494.60
Total			\$1,494.60

Documents Uploaded

Date	Type	Filename
02-05-2024	A Copy of Title	Title.pdf
02-05-2024	Alteration statement	20240502_Town Planning Report.pdf
02-05-2024	A proposed floor plan	240419_TP SET_550 PAKENHAM ROAD EXTENSION.pdf



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm


Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	 SMART TOWN PLANNING PTY LTD	75 Ormond Road, Hampton Park VIC 3976	W: +61-410-348-448 M: 0410-348-448 E: info@smarttownplanning.com.au
Submission Date	02 May 2024 - 03:43:PM		

Declaration

By ticking this checkbox, I,  declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T240197 PA
Address of the Land:	550 Pakenham Road, Pakenham Upper

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	SMART TOWN PLANNING PTY LTD
Address:	75 Ormond Road, Hampton Park, VIC 3976
Phone:	041048448
Email:	info@smarttownplanning.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Floor area details were updated.		
The plans include a swimming pool positioned in the north-east direction of the property, and Tree No. 9 is proposed for removal. Under Clause 52.12, a permit is not required to remove the tree as it is located within 10 metres of an existing dwelling.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$585000

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	[REDACTED]
Signature:	[REDACTED]
Date:	28/11/2024

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 08918 FOLIO 934

Security no : 124114283166V
Produced 18/04/2024 02:00 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 093984.
PARENT TITLE Volume 08183 Folio 381
Created by instrument LP093984 24/03/1972

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP093984 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 550 PAKENHAM ROAD PAKENHAM UPPER VIC 3810

ADMINISTRATIVE NOTICES

NIL



DOCUMENT END

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SEE LP093984 FOR FURTHER DETAILS AND BOUNDARIES

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Additional information: (not part of the Register Search Statement)

Street Address: 550 PAKENHAM ROAD PAKENHAM UPPER VIC 3810

ADMINISTRATIVE NOTICES

NIL



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Document Type	Plan
Document Identification	LP093984
Number of Pages (excluding this cover sheet)	1
Document Assembled	18/04/2024 14:00

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LP93984

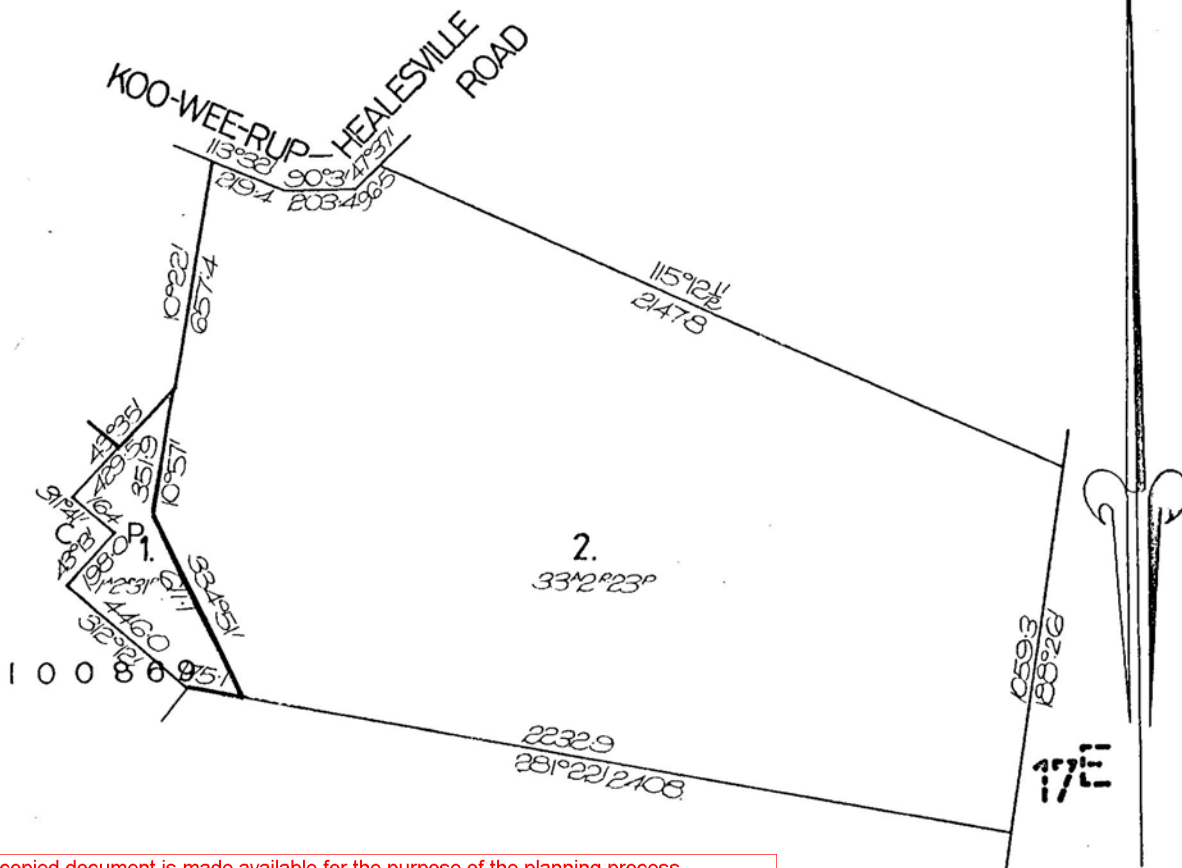
EDITION 1

APPROVED 18/12/72

PLAN OF SUBDIVISION OF
PART OF CROWN ALLOTMENT 5G
PARISH OF NAR-NAR-GOON
COUNTY OF MORNINGTON



V. 8183 F. 381

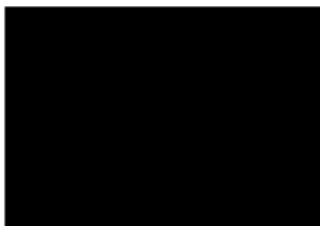


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A

CONSENT OF COUNCIL

This proposed subdivision is exempted from Subdivision (3) Division 9 of Part XIX of the Local Government Act 1958.



November 71

SURVEYORS CERTIFICATION

I, Bryan Geoffrey Hill, certify that this plan accords with Title and is mathematically correct by *B. Hill* 12.10.71

HILL & DAWSON
LICENSED SURVEYORS
254 LONSDALE ST,
DANDENONG.
TEL. 792 1131. REF. 2099/1

93984

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SMART
TOWN PLANNING
WE do SMART Plans



2nd May 2024

Statutory Planning Division

Cardinia Shire Council

20 Siding Avenue, Officer VIC 3818

To Whom It May Concern,

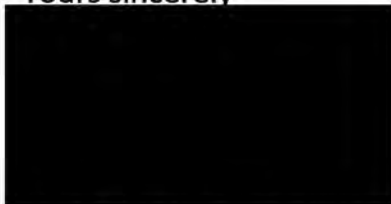
RE: Planning Permit Application– Additions to an existing dwelling in a land located in the Rural Conservation Zone - at 550 Pakenham Road, Pakenham Upper, VIC 3810

Please find the attached documents for the above purpose:

- A full copy of the Certificate of Title
- Copy of Sub-Division Plan
- Town Planning Report
- Town Planning Drawings

For more information or any queries regarding this application, contact us at 0410 348 448 or by email at info@SmartTownPlanning.com.au.


Yours sincerely




SMART TOWN PLANNING PTY LTD

Smart Town Planning Pty Ltd.

75 Ormond Road
Hampton Park, VIC 3976

0410 348 448 

info@SmartTownPlanning.com.au 

www.facebook.com/SmartTownPlanning 

www.SmartTownPlanning.com.au

Town Planning Report

Additions to an existing dwelling in a land
located in the Rural Conservation Zone

550 Pakenham Road,
Pakenham Upper, VIC 3810

April 2024

Prepared By:

SMART TOWN PLANNING PTY LTD

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DISCLAIMER

All information supplied to SMART Town Planning Pty Ltd to conduct this research has been treated in the strictest confidence. It shall only be used in this context and shall not be made available to third parties without client authorisation.

Confidential information has been stored securely. Data provided by respondents and their identity have been treated in the strictest confidence, and all assurance given to respondents have been and shall be fulfilled. Furthermore, SMART Town Planning may be hiring independent contractors to perform certain aspects of the project, and some of these contractors may be required to be licensed by the State of Victoria.

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WWW.SMARTTOWNPLANNING.COM.AU

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1.0 INTRODUCTION

This planning submission report has been prepared to seek a planning permit for extending a single-story dwelling and associated garage at 550, Pakenham Road, Pakenham Upper, Vic 3810.

THE PROPOSED SITE

The subject site is known as 2 on Plan of Subdivision 093984, 550, Pakenham Road, Pakenham Upper, Vic 3810.



Figure 1: Aerial View (Image Source: <https://mapshare.vic.gov.au/MapshareVic/>)

The subject site is located on the south side of Pakenham Road, accessible via a gravel driveway. The existing dwelling is more than 100 m away from Pakenham Road, which is also connected via a gravel driveway. The house is surrounded by native vegetation, and the neighbouring properties share the same characteristics. Pakenham Road connects the site to Princes Highway and the Pakenham area, which is 5.5 km away.

The site is irregular, with a total area of 13.7 ha.

The subject site has a slope towards the west side of the property, but the existing dwelling and proposed extension are relatively flat. There will not be much excavation or filling involved in the proposed development.

The extension area is vacant, and no trees or any features are located.

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Figure 2: Gravel Path Access to the proposed site



Figure 3: View of the house from the driveway



Figure 4: Side view of the existing dwelling



Figure 5: Side view of the existing dwelling



Figure 6: Side view of the existing dwelling



Figure 7: Rear view of the existing building (Extension starts here)

NEIGHBOURHOOD CHARACTER

The area surrounding the proposed site comprises single-storey dwellings spaced far apart due to larger land parcels. These dwellings are adorned with an established tree canopy, although the quality and density of vegetation on the site vary. The street layout, characterised by substantial front setbacks, street tree planting, and lower front fences or the absence thereof, imbues the streets with an open and expansive atmosphere.

The proposed extension's build form aligns with the neighbourhood's character, maintaining the spacious front setback. Situated well behind Pakenham Road at the end of an existing gravel path, the extension does not disrupt the active street frontage of Pakenham Road. The proposed extension will seamlessly blend into the area's natural surroundings by utilising a compatible external finish that matches the existing building and neighbouring properties.

ACCESS TO TRANSPORT, SHOPPING, PARKS ETC

Details of nearby schools.

Pakenham Hills Primary School	Primary	Government	3.69 km
Pakenham Primary School	Primary	Government	4.01km
Beaconhills College	Combined	Independent	4.66 km
St Patrick's Primary School	Primary	Catholic	5.09 km
Pakenham Secondary College	Secondary	Government	5.39 km

2.0 PROPOSAL

The Planning application seeks approval to extend the existing dwelling by adding two bedrooms a laundry and erecting a pergola with a deck and roof.

Details of the application are as follows:

EXISTING & DEMOLITION

The existing timber deck and terrace will be demolished.

EASEMENT

There is no easement at the proposed site.

CROSSOVER & DRIVEWAY

The existing gravel driveway will provide access.

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FRONTAGE AND SETBACKS

The proposed development does not directly face any streets but is connected to Pakenham Road via a permeable driveway. It has sufficiently set back from all the boundaries of the property.

HEIGHT

The proposed extension will have a maximum height of 3.6 m from the existing natural ground level. Refer to the proposed elevations. It aligns with the existing part of the dwelling.

ARCHITECTURE

The proposed extension's built form and architectural style will respect the existing dwellings' characteristics in a contemporary way. The form and massing will appear appropriate within the nature of the area.

The proposed dwelling will have a metal roof.

GARAGE

The proposed single-story dwelling will have a detached double carport.

P.O.S

The proposed dwelling has sufficient north-facing private open spaces, which will receive adequate sunlight throughout the day.

FENCE

1 m post and wire fence along all the property boundaries, and the front will have a steel gate with a stone fence on both sides.

ENERGY RATING

A qualified assessor will assess the development with First Rate to achieve minimum 7 stars Energy Rating in due course.

DEVELOPMENT SUMMARY

Total of Site Coverage, which is the total of the ground floor, porch, water tanks, decking and garage, is less than 5%.

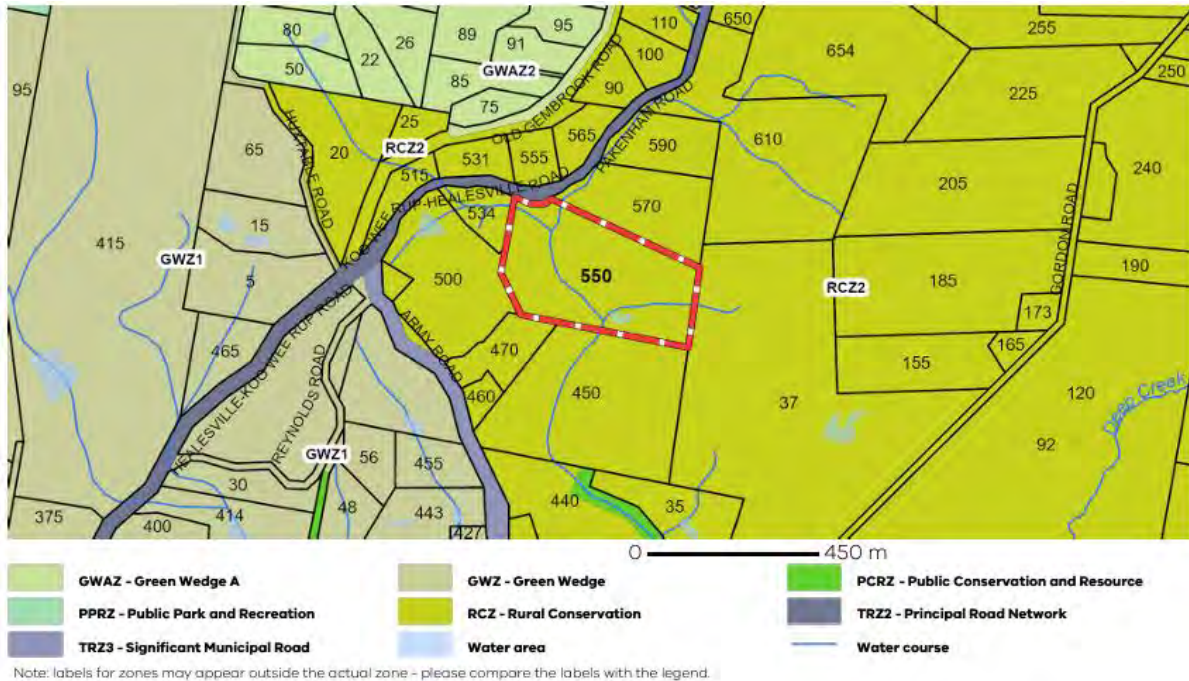
The proposed permeability area, which is areas other than site coverage, paving & driveway, is greater than 90 %.

Garden area provision is more than 90% which satisfies the required standard.

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3.0 PLANNING CONTROLS

The site is located within a Rural Conservation Zone in accordance with Cardinia Planning Scheme.



The purpose of the zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To conserve the values specified in a schedule to this zone.
- To protect and enhance the natural environment and natural processes for their historic, archaeological and scientific interest, landscape, faunal habitat and cultural values.
- To protect and enhance natural resources and the biodiversity of the area.
- To encourage development and use of land which is consistent with sustainable land management and land capability practices, and which takes into account the conservation values and environmental sensitivity of the locality.
- To provide for agricultural use consistent with the conservation of environmental and landscape values of the area.
- To conserve and enhance the cultural significance and character of open rural and scenic non urban landscapes.

According to the regulations of the Rural Conservation Zone, a planning permit is necessary for the planned extension because, when combined with the outbuilding, the total floor area exceeds 100 square meters.

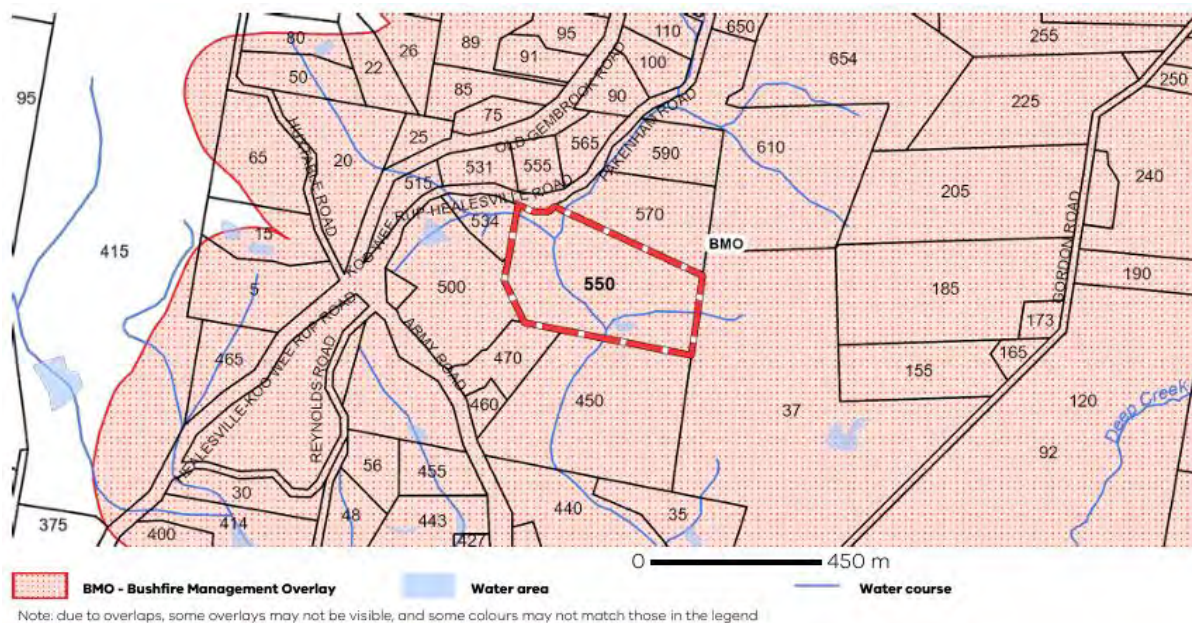
PLANNING OVERLAY

There are three overlays affecting this land.

1. Bushfire Management Overlay (BMO)
2. Environmental Significant Overlay (ESO1)
3. Designated Bushfire Prone Areas

Clause 45.06 Bushfire Management Overlay – (BMO)

The subject site falls under Bushfire Management Overlay, which relates to the Cardinia Planning scheme.



Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

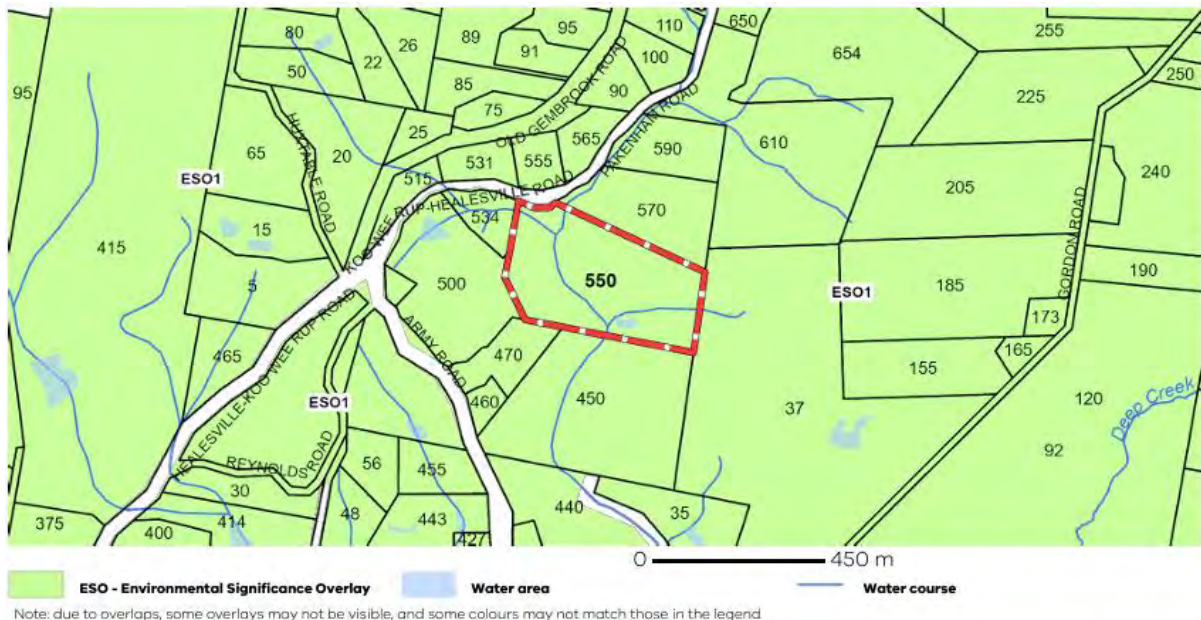
COMMENT:

A modification or expansion to a current dwelling, which constitutes less than 50 percent of the total floor area of the existing building, does not necessitate a planning permit.

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Clause 44.01 Environmental Significant Overlay (ESO 1)

The subject site falls under Environmental Significant Overlay – schedule 1, which relates to the Cardinia Planning scheme.



purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

Buildings and Works

Permit requirement

A permit is not required to construct a building or construct or carry out works provided all of the following requirements are met:

- Building materials must be non-reflective or subdued colours which complement the environment to the satisfaction of the responsible authority.
- The height of any dwelling must not exceed 7 metres above natural ground level and the height of all other buildings must not exceed 4 metres above natural ground level.
- The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion.
- The slope of the land on which the buildings or works are undertaken must not exceed 20%.
- The buildings and works must not result in the removal or destruction of native vegetation (including trees, shrubs, herbs, sedges and grasses) within an area of botanical or zoological

significance as shown on the mapped information provided by the Department of Sustainability and Environment, with the exception of Sweet Pittosporum (*Pittosporum undulatum*).

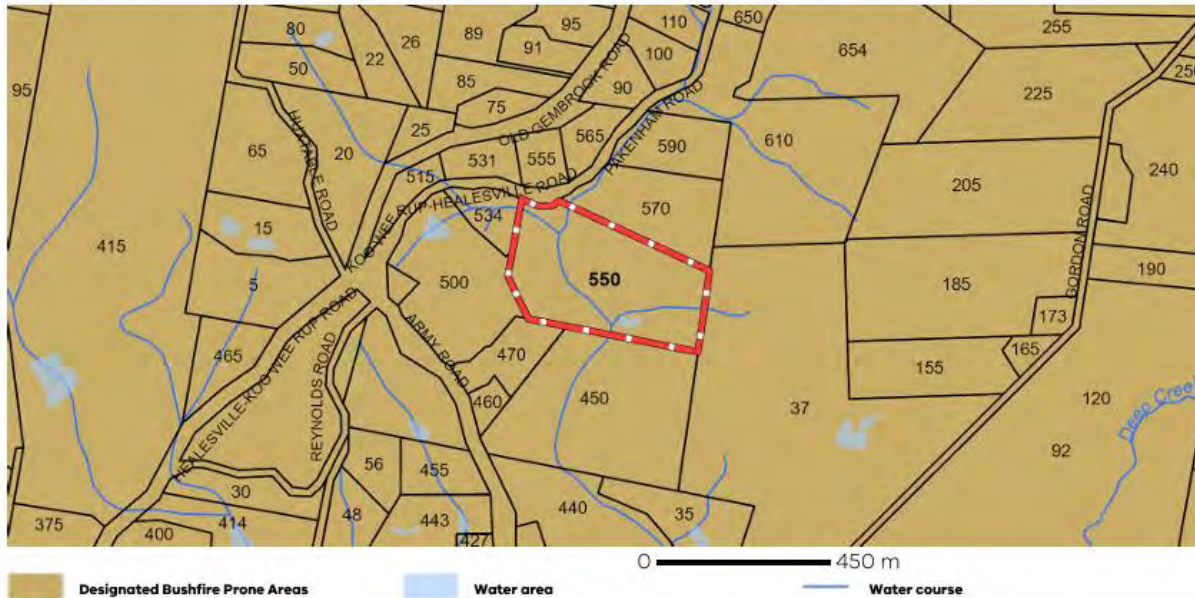
- If the building is an extension to an existing dwelling that is less than 50 percent of the floor area of the existing building.
- If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 120 square metres.
- If the building is in a Green Wedge or Rural Conservation Zone and is associated with the existing use of the land for the purposes of agriculture, the gross floor area of the building must not exceed 160 square metres.
- If a building envelope is registered on the plan of subdivision, any building must be located within the building envelope.

COMMENT: A modification or expansion to a current dwelling, which constitutes less than 50 percent of the total floor area of the existing building, does not necessitate a planning permit.

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Designated Bushfire Prone Area

The subject area is fully covered by a designated bushfire prone area and a Bushfire Management Overlay.



4.0 STATE PLANNING POLICY FRAMEWORK

Clause 16 Housing

16.01 Residential Development

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Clause 16.01-1S Housing Supply

Objective

To facilitate well-located, integrated and diverse housing that meets community needs.

Strategies

Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.

Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.

Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.

Identify opportunities for increased residential densities to help consolidate urban areas.

Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.

Encourage the development of well-designed housing that:

- Provides a high level of internal and external amenity.
- Incorporates universal design and adaptable internal dwelling design.

Support opportunities for a range of income groups to choose housing in well-serviced locations.

Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.

COMMENT: The proposed development adds a dwelling in a rural farming area.

Clause 16.02 -3S Rural residential development

Objective

To identify land suitable for rural residential development.

Strategies

Manage development in rural areas to protect agriculture and avoid inappropriate rural residential development.

Encourage the consolidation of new housing in existing settlements where investment in physical and community infrastructure and services has already been made.

Demonstrate need and identify locations for rural residential development through a housing and settlement strategy.

Ensure planning for rural residential development avoids or significantly reduces adverse economic, social and environmental impacts by:

- Maintaining the long-term sustainable use and management of existing natural resource attributes in activities including agricultural production, water, mineral and energy resources.
- Protecting existing landscape values and environmental qualities such as water quality, native vegetation, biodiversity and habitat.
- Minimising or avoiding property servicing costs carried by local and state governments.
- Maintaining an adequate buffer distance between rural residential development and animal production.

Ensure land is not zoned for rural residential development if it will encroach on high quality productive agricultural land or adversely impact on waterways or other natural resources.

Discourage development of small lots in rural zones for residential use or other incompatible uses.

Encourage consolidation of existing isolated small lots in rural zones.

Ensure land is only zoned for rural residential development where it:

- Is located close to existing towns and urban centres, but not in areas that will be required for fully serviced urban development.
- Can be supplied with electricity, water and good quality road access..

COMMENT: The proposed site is located within the Rural Conservation zone, where limited residential development is permitted without affecting the nearby rural land. At the current stage, the proposed extension is totally for residential purposes.

5.0 LOCAL PLANNING POLICY FRAMEWORK

21.01-1 Cardinia Population's Growth

The majority of the Cardinia Shire's population is located within the urban areas of Beaconsfield, Officer and Pakenham. These areas are within the Casey-Cardinia South-east Growth Corridor, and will accommodate the majority of future residential and commercial growth. The remainder of the population is located within Cardinia's townships and rural residential areas.

The population within the Cardinia growth area is expected to grow 82% from a current population of around 109,000 people (2018) to approximately 198,000 people in 2041.

21.01-3 Key issues in Settlement and housing

- The management of urban growth including urban pressures on the rural hinterland and the Western Port Green Wedge.
- The sustainable development of the Urban Established Areas, Urban Growth Area, and rural townships.
- The provision of appropriate rural residential and rural living development.
- The integration of health into planning communities to allow people to choose to be active in an environment that is convenient, safe and pleasant.

21.01-5 Strategic Framework Plan

The Cardinia Shire Strategic Framework Plan sets out the general pattern for land use and development to respond to the key influences and issues to achieve the strategic vision for the municipality.

The purpose of the framework plan is to provide an overview of land use in the Cardinia Shire and to identify locations where specific land use outcomes will be supported and promoted.

The major strategic directions identified in the Cardinia Shire Strategic Framework Plan include:

Identification of major landscape features within the Cardinia Shire, including:

- Western Port.
- Cardinia Reservoir.
- Bunyip State Park.
- Dandenong Ranges Foothills.

Locations of areas primarily used for general agriculture.

Locations of areas identified as having high quality soils for agriculture and horticulture.

Locations of areas identified as having environmental and landscape significance.

Locations of rural townships and the urban growth area.

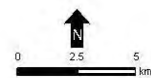
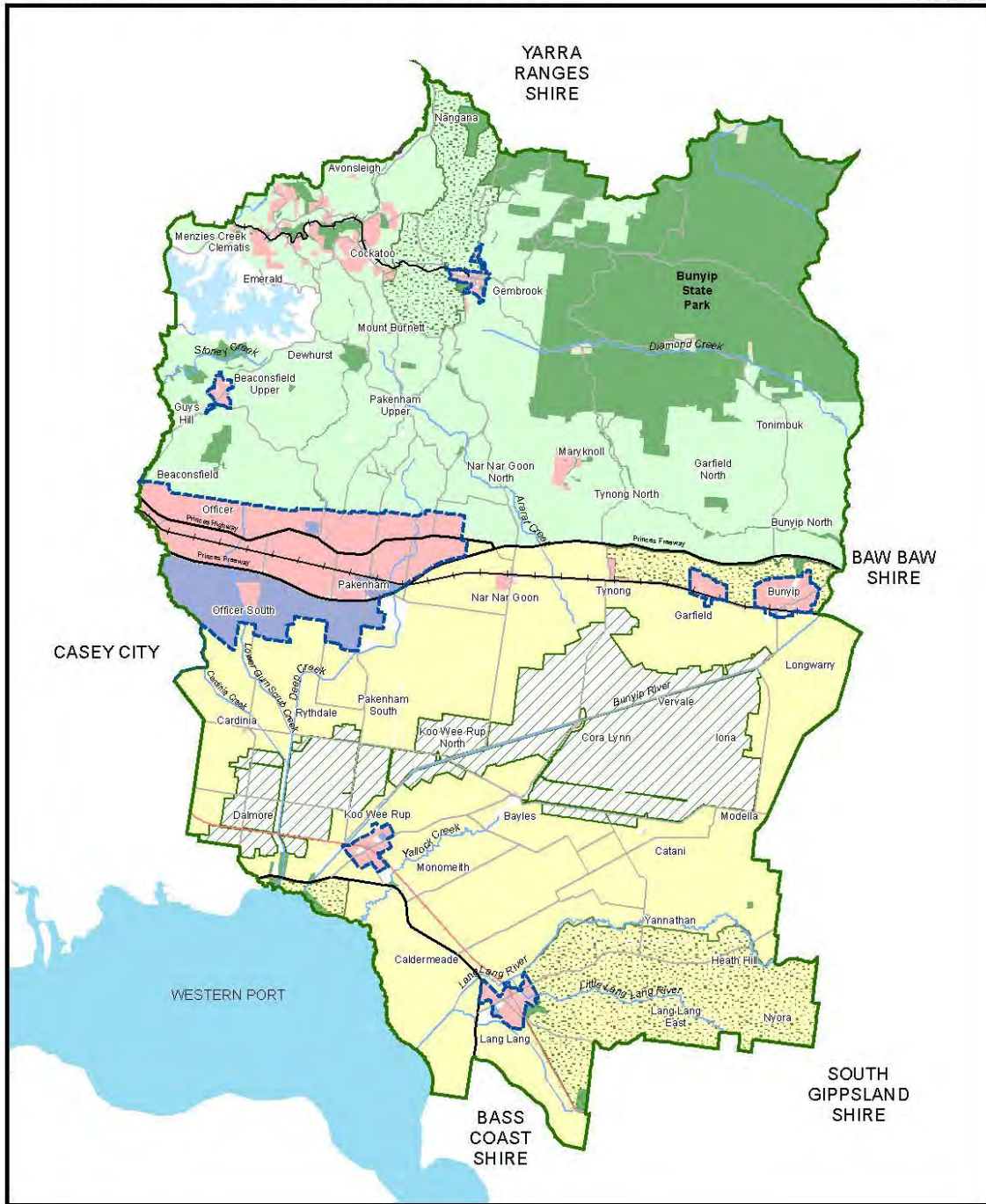
Existing major transport links.

Natural and man-made drainage.

The subject site is located within an environmental and landscape area and 5.5km away from Pakenham City Centre with reasonable access to shopping and all other facilities.

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Cardinia Shire Strategic Framework Plan



Printed: 24-Oct-18 Data Source: State & Local Government. © CARDINIA SHIRE COUNCIL

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22.03 Settlement and Housing

Overview

Housing within the Cardinia Shire is currently dominated by detached dwellings in both urban and rural areas. The urban area includes the Urban Established Area and the Urban Growth Area, while the rural area comprises Townships and rural-residential development..

The urban area in the Cardinia Shire will continue to attract predominantly young families into the foreseeable future. However, as the housing market progressively matures and the needs of households change there will be increasing demand for more diverse forms of housing.

Key issues

- Providing for a diversity of housing types and densities, including increased housing density around activity centres.
- Balancing diversity of housing choices in rural townships while ensuring consistency with the character of the township.
- Recognising the need for affordability and availability of housing choice for different income levels in both the rental and purchaser markets.
- Recognising the demand for specialist design housing including housing for the aged, people with a disability or mobility issues.
- Identifying the demand for social and community housing.
- Providing opportunity for development of 'Affordable Housing'.

COMMENT: The proposed expansion offers additional space for comfortable family living.

6.0 CLAUSE 50 – PARTICULAR PROVISIONS

For the purpose of this application, the relevant sections of the Particular Provisions are:

52.17 Native Vegetation

Purpose

To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) (the Guidelines):

1. Avoid the removal, destruction or lopping of native vegetation.
2. Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.

3. Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.

To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.

COMMENT: The proposed dwelling is carefully designed without native vegetation removal.

Clause 52.06 – Car Parking

Objectives

- To ensure that car parking is provided in accordance with the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

COMMENT: Under the provision of this clause, one car space is required for each 2-bedroom dwelling, two car spaces are required for each three or more bedroom dwelling and one visitor car space per 5 or more dwellings. This results in the need for the following:

1. **As the proposed dwelling has three bedrooms, two car spaces are already provided in a car port located at the front.**
2. **No visitor car space is provided for this development as only a single dwelling is proposed.**

Clause 52.06-9 – Design Standards for Car Parking

Accessways must:

- Be at least 3 metres wide.
- Have an internal radius of at least 4 metres at changes of direction or intersection or be at least 4.2 metres wide.
- Allow vehicles parked in the last space of a dead-end accessway in public car parks to exit in a forward direction with one manoeuvre.
- Provide at least 2.1 metres headroom beneath overhead obstructions, calculated for a vehicle with a wheel base of 2.8 metres.
- If the accessway serves four or more car spaces or connects to a road in a Road Zone, the accessway must be designed so that cars can exit the site in a forward direction.

- Provide a passing area at the entrance at least 5 metres wide and 7 metres long if the accessway serves ten or more car parking spaces and is either more than 50 metres long or connects to a road in a Road Zone.
- Have a corner splay or area at least 50 per cent clear of visual obstructions extending at least 2 metres along the frontage road from the edge of an exit lane and 2.5 metres along the exit lane from the frontage, to provide a clear view of pedestrians on the footpath of the frontage road. The area clear of visual obstructions may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.
- For Car Parking spaces refer to design standard 2.

7.0 CLAUSE 54 – ONE DWELLING ON A LOT

Objectives

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that is responsive to the site and the neighbourhood.

Clause 55.01 – Neighbourhood and site description and design response

An application must be accompanied by:

- A neighbourhood and site description.
- A design response.

COMMENT: Please see attached architectural drawings and streetscape photos for details on the neighbourhood and site description and design response.

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Clause 55.02 – Neighbourhood Character and Infrastructure

Standard and Objective	Design Response
<p>STANDARD A1 Neighbourhood Character Design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</p> <p>Development responds to the features of the site and the surrounding area.</p>	<p>Complies</p> <p>Overall layout and massing of the proposal are consistent with the surrounding development. The whole proposed dwelling extension is well sitting in the front of the property with wider setbacks.</p> <p>The architectural expression of the proposed dwelling will be respectful of the existing character of the local area.</p> <p>Construction materials, the appearance of windows and roof type will contribute to the existing nature of the area.</p>
<p>STANDARD A2 Residential Policy Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Dwellings should be designed to promote the observation of abutting streets and any abutting public open spaces.</p>	<p>Complies</p> <p>The proposed extension is oriented to the proposed driveway, which originates from Pakenham Road.</p> <p>The front facade of the dwelling is fully visible to the proposed driveway.</p>

Clause – 54.03 Site layout and building massing

Standard and Objective	Design Response
<p>STANDARD A3 Street Setback The setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</p>	<p>Complies</p> <p>The minimum front setback is more than 100 from the Pakenham Road.</p>
<p>STANDARD A4 Building Height Height of buildings respects the existing or preferred neighbourhood character.</p>	<p>Complies</p> <p>Proposed extension height: 3.6 metres</p>
<p>STANDARD A5 Site Coverage</p>	<p>Complies</p>

<p>Site coverage should respect the existing or preferred neighbourhood character and responds to the features of the site.</p>	<p>The proposed site coverage is less than 5% which complies with the maximum site coverage requirements of the zone.</p>
<p>STANDARD A6 Permeability Reduce the impact of increased stormwater run-off on the drainage system and facilitate on-site stormwater infiltration.</p>	<p>Complies Total permeable site coverage exceeds the minimum 30% requirement of this standard.</p>
<p>STANDARD A7 Energy efficiency Achieve and protect energy efficient dwellings and residential buildings. Ensure the orientation and layout of development reduces fossil fuel energy use and makes appropriate use of daylight and solar energy.</p>	<p>Complies The proposed development is designed and oriented to maximise daylight and solar energy use.</p>
<p>STANDARD A8 Landscaping Encourage development which respects the landscape character of the neighbourhood - Maintains enhances habitat for plants and animals in locations of habitat importance. Provide appropriate landscaping. Encourage the retention of nature vegetation on the site.</p>	<p>Complies Many trees and canopy trees are at the front and side of the proposed site. But no trees will be removed through the proposed extension. The proposal encourages more future planting, including garden trees, shrubs and small-scale canopy trees.</p>

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Clause 55.04 Amenity Impacts

Standard and Objective	Design Response
<p>STANDARD A10 <i>Side and Rear Setbacks</i> Ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing buildings.</p>	<p>Complies The proposed development is in compliance with the side and rear setbacks specified in the zone schedule.</p>
<p>STANDARD A11 <i>Walls on boundaries</i> Ensure that the location, length and height of a wall on a boundary respect the existing or preferred neighbourhood character and limits the impact on the amenity of existing buildings.</p>	<p>Complies No walls were proposed along the boundary.</p>
<p>STANDARD A12 <i>Daylight to existing Windows</i> Allow adequate daylight into existing habitable room windows.</p>	<p>Complies All existing neighbouring properties are located far away from the proposed site.</p>
<p>STANDARD A13 <i>North Facing Windows</i> Allow adequate solar access to existing north-facing habitable room windows.</p>	<p>Complies No existing north-face windows would be affected.</p>
<p>STANDARD A14 <i>Open Space</i> Ensure buildings do not significantly overshadow existing secluded private open space.</p>	<p>Complies Due to the proposed development's scale, no impact exists on existing secluded private open spaces.</p>
<p>STANDARD A15 <i>Overlooking</i> Limit views into existing secluded private open space and habitable room windows.</p>	<p>Complies All abutting properties do not have dwellings located in close proximity to the proposed site; there is no overlooking issue in this proposal.</p>

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Clauses 55.05 On-site amenity and facilities

Standard and Objective	Design Response
STANDARD A16 <i>Daylight to New Windows</i> Allow adequate daylight into new habitable room windows.	Complies All the window placement was designed to ensure adequate daylight in new habitable rooms and living areas.
STANDARD A17 <i>Private Open Space</i> Provide adequate private open space for the reasonable recreation and service needs of residents.	Complies Proposed houses consist of plenty of secluded private open spaces with convenient access from a living room.
STANDARD A18 <i>Solar Access to Open Space</i> Allow solar access to into the secluded private open space of new dwellings and residential buildings.	Complies The proposed dwelling's private open space has a northern aspect allowing sunlight to reach them without being unreasonably overshadowed at particular times of the day.

Clauses 55.06 Detailed Design

Standard and Objective	Design Response
STANDARD A19 <i>Neighbourhood character</i> Encourage design detail that respects the existing or preferred neighbourhood character.	Complies The architectural expression of the proposed double-storey dwelling will be respectful of the existing character in the local area. The metal roof and proposed changes will not change the neighbourhood's character. The proposed garage is located at the front of the dwelling and does not change the area's visual character.
STANDARD A20 <i>Fence</i> The design of front fences should complement the design of the dwelling and any front fences on adjoining properties.	Complies No fence was proposed in this development.

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8.0 CONCLUSION

The proposed development complies with all relevant planning policies and provisions of the Cardinia Planning Scheme.

Considered planning policies and provisions are:

1. State Policy Planning Framework
2. Local Policy Planning Framework
3. Housing (Clause 16)
4. Residential Zones (Clause 32)
5. Overlays (Clause 40)
6. Particular Provisions (Clause 50)
7. Two or more dwellings on a lot and residential buildings (Clause 55)

Therefore, **Smart Town Planning Private Limited** is seeking council approval to extend a single-story dwelling and landscape on the land of 550, Pakenham Road, Pakenham Upper, VIC 3810.

SMART TOWN PLANNING

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GHTrees

Arboricultural Consultants
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[Redacted]

Arborist
Diploma Arboriculture AQF Level 5
Adv. Cert. Arboriculture

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1 October 2024



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550 Pakenham Road, Pakenham Upper

Tree Survey & Development Impact Report.

Planning Application No: T240197



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Tree Survey & Development Impact Report

550 Pakenham Road, Pakenham Upper

Overview

The rural site contains a single dwelling and some outbuildings. The site has a high native vegetation cover and the site of the dwelling and associated outbuildings is level and clear of any native vegetation.

This report is in response to the Cardinia Shire Council, Planning Department, Request for Further Information that requests, in part:

Item 4.

f. Location and detail of any vegetation within fifteen (15) metres of the proposed development (inclusive of neighbouring properties), including:

I. Species;

II. Distance from development;

III. Tree Protection Zones; &

IV. Whether the tree/vegetation is proposed to be removed, lopped, destroyed or retained.

The site is subject to Cardinia Shire Council, Environmental Significance Overlay, schedule 1, ESO1.

ESO1 states, in part:

A permit is not required to construct a building or construct or carry out works provided all of the following requirements are met:

- The buildings and works must not result in the removal or destruction of native vegetation (including trees, shrubs, herbs, sedges and grasses) within an area of botanical or zoological significance as shown on the mapped information provided by the Department of Sustainability and Environment, with the exception of Sweet Pittosporum (*Pittosporum undulatum*).*

In addition to the exemptions under Clause 52.12 (Bushfire protection exemptions), a permit is not required to remove, destroy or lop any vegetation if:

- The vegetation is seedlings or regrowth less than 5 years old, the land has previously been lawfully cleared and the land is being maintained for cultivation or pasture.*

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The site is also subject to permit requirements for the removal of native vegetation via the Victorian Planning Scheme, Clause 52.17, Native Vegetation, that requires a permit to remove native vegetation due to the land size exceeding 0.4 hectare or 4000m².

52.17-1

Permit requirement

A permit is required to remove, destroy or lop native vegetation, including dead native vegetation.

(Exemptions apply to “planted” vegetation & dead vegetation <400mm DBH.)

73.01

Native vegetation as defined in the Victorian Planning Provisions, clause 73.01, as vegetation native to Victoria.

The trees are assessed for suitability for retention and the tolerance of any impact from the proposed development.

The trees are identified on the site plan.

Tree Protection Zones have been applied to the assessed tree as per;

AS4970-2009, Protection of trees on development sites.

Method

The trees were inspected from the ground on 27 August, by myself.

The trees were assessed for the following;

- **Species identification**
- approximate **age** of the tree
- **stem diameter** at 1.2 metres above ground level
- **origin** of the species
- an estimation of the **height** and **width** of the tree canopy
- the **structure** of the tree
- the **health** of the tree
- the **retention value** of the tree to the site
- the **Tree Protection Zones** for the retained trees (AS 4970 – 2009)

Note: Tree descriptors are provided for tree age, health, structure, retention value and tree protection.

Observations

The site plan identified **ten trees** on site to be assessed. Some of the native trees above the embankment, west of the site cut, have been subject to recent wind damage resulting in some broken trees and tree parts.

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Retention Value

Retention value should be considered in the context of whether the tree is worthy of being a material constraint on development on this site.

A tree assessed as low retention value should not be a material constraint.

The survey identified **five trees on site** to be of **medium retention value**.

Indigenous trees that are attached to the associated woodland/forest.

The survey identified **five trees on site** to be of **low retention value**.

A variety of small and medium sized ornamental fruit trees that are not worthy of retention to the extent that they would be a constraint on any development proposal.

Understorey at the edge of the forest and on the west side site cut batter consists of regrowth of *Leptospermum continentale*, Prickly Tea Tree, *Kunzea ericoides*, Burgan and *Pittosporum undulatum*, Sweet Pittosporum.

Tree Data

Tree No.	Botanical Name	Common Name	Age	Height X Width (m)	Health	Structure	Origin	DBH (cm)	TPZ (mR)	SRZ (mR)	Retention Value
1	<i>Eucalyptus cypellocarpa</i>	Mountain Grey Gum	Mature	20x10	Fair	Poor	Native	60	7.2	2.7	Medium On site
2	<i>Eucalyptus radiata</i>	Narrow-leafed Peppermint	Mature	14x9	Fair	Poor	Native	35	4.2	2.2	Medium On site
3	<i>Eucalyptus cypellocarpa</i>	Mountain Grey Gum	Mature	16x8	Fair	Poor	Native	50	6.0	2.4	Medium On site
4	<i>Eucalyptus cypellocarpa</i>	Mountain Grey Gum	Semi Mature	12x4	Fair	Fair	Native	20	2.4	1.6	Medium On site
5	<i>Eucalyptus cypellocarpa</i>	Mountain Grey Gum	Semi Mature	12x8	Fair	Fair	Native	20	2.4	1.6	Medium On site
6	<i>Citrus limon</i>	Lemon Tree	Mature	2x2	Fair	Fair	Exotic	12	2.0	1.5	Low On site
7	<i>Pyrus</i>	Pear Tree	Mature	3x4	Fair	Fair	Exotic	10	2.0	1.5	Low On site
8	<i>Malus</i>	Apple Tree	Mature	4x5	Fair	Fair	Exotic	25 @GL	2.4	1.8	Low On site
9	<i>Morus nigra</i>	Mulberry	Mature	4x5	Fair	Fair	Exotic	15	2.0	1.5	Low On site
10	<i>Olea</i>	Olive	Mature	2x1	Fair	Fair	Exotic	6	2.0	1.5	Low On site

Tree Protection

Tree protection information is provided in accordance with **AS 4970-2009, Protection of trees on development sites**.

Tree protection zones (**T.P.Z.**) provide for a zone of protection for the root zone and the canopy of the tree to maintain tree health. The T.P.Z. often extends to near canopy dripline of a typical tree, **AS 4970-2009, Protection of trees on development sites** allows for a 10% encroachment into the T.P.Z. area provided the area lost to the encroachment is compensated for elsewhere. If the encroachment is to be greater than 10% there must be a demonstration that the tree will remain viable.

The structural root zone (**S.R.Z.**) is the area occupied by roots that are associated with tree stability.

T.P.Z. & S.R.Z. data has been provided for the assessed trees.

Development Proposal

The development proposal is to apply alterations and additions to the existing dwelling. All assessed trees on site will be retained.

Development Impact & Recommendations

Trees 1 - 10.

All assessed trees on site are in locations where there will be no encroachment into the allocated Tree Protection Zones. The site provides ample space for access and storage of materials during construction without encroaching into the TPZ of any trees.

Nine of the ten trees are all located on the original site cut batters, either ascending to the west or descending to the east, and this sloping ground of the batters will provide a natural barrier to any TPZ encroachment.

The assessed trees will be tolerant of the development as proposed.

No specific tree protection measures are required on the subject site.

Distance of trees to the development.

Tree 1. >15m.

Tree 6. 12.3m.

Tree 2. 12.5m.

Tree 7. 9.3m.

Tree 3. 9.2m.

Tree 8. 6.4m.

Tree 4. 12.3m

Tree 9. >15m.

Tree 5. >15m.

Tree 10. 3.7m.

Canopy Pruning

Tree canopies can be pruned where they intrude into the construction area or where they present as a constraint on construction. All and any tree pruning is to be undertaken by a qualified arborist (AQF Level 3) in accordance with:

AS 4373 The pruning of amenity trees.

- No tree pruning requirement has been identified.

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Tree Pictures



Above. Understorey regrowth.
West side site cut batter



Above. Trees 1 & 2 located above the west side
site cut batter.



Above. Trees 3, 4 & 5 located above the west side
site cut batter.



Above. Trees 7 & 6 located within the east side
site cut batter.



Above. Tree 8 located within the east side site cut
batter.



Above. Tree 9 located within the east side site cut
batter.

Tree Descriptors

- **DBH** The diameter of the trunk measured at 1.4m above ground.
- **AGE**
- Young** Juvenile or recently planted approximately 1-7 years.
- Semi Mature** Tree actively growing.
- Mature** Tree has reached expected size in situation.
- Over Mature** Tree is over mature and has started to decline. (Senescent)
- **HEALTH**
- Good** Foliage of tree is entire, with good colour, very little sign of pathogens and of good density. Growth indicators are good i.e. Extension growth of twigs and wound wood development. Minimal or no canopy die back (deadwood).
- Fair** Tree is showing one or more of the following symptoms;
< 25% dead wood, minor canopy die back, foliage generally with good colour though some imperfections may be present. Minor pathogen damage present, with growth indicators such as leaf size, canopy density and twig extension growth typical for the species in this location.
- Poor** Tree is showing one or more of the following symptoms of tree decline; > 25% deadwood, canopy die back is observable, discoloured or distorted leaves. Pathogens present, stress symptoms are observable as reduced leaf size, extension growth and canopy density.
- Dead or dying**
Tree is in severe decline; > 55% deadwood, very little foliage, epicormic shoots, minimal extension growth.
- **STRUCTURE**
- Good** Trunk and scaffold branches show good taper and attachment with minor or no structural defects. Tree is a good example of the species with a well-developed form showing no obvious root problems or pests and diseases.
- Fair** Tree shows some minor structural defects or minor damage to trunk e.g. bark missing, there could be cavities present. Minimal damage to structural roots. Tree could be seen as typical for this species.
- Poor** There are major structural defects, damage to trunk or bark missing. Co-dominant stems could be present or poor structure with likely points of failure. Girdling or damaged roots obvious. Tree is structurally problematic.
- Hazardous** Tree is an immediate hazard with potential to fail, this should be rectified as soon as possible.
- **HAZARD** Hazard is rated into three levels; **LOW**, **MEDIUM**, and **HIGH**.
- LOW;** Tree appears to be structurally sound, healthy with no signs of pests or disease, good vigour and is clear of any hazards.
- MEDIUM;** Tree displays signs of structural problems, evidence of pests or disease, signs of low vigour, deadwood, decay, may be growing into an area that could create a hazard.
- HIGH;** Tree is an immediate hazard with the potential to fail, this should be rectified as soon as possible.
- **RETENTION VALUE** **Retention Value** is rated into three levels; **LOW**, **MEDIUM** and **HIGH**.
- LOW;** Trees that offer little in terms of contributing to the future landscape. Should not be a constraint on development proposals and may be considered for removal.
- MEDIUM;** Trees with some beneficial attributes that may benefit the site. Could be considered for retention if possible.
- HIGH;** Trees with the potential to positively contribute to the site. Should be considered for retention if possible.
- **TREE PROTECTION ZONES**
The T.P.Z. applied is AS 4970-2009 'Protection of trees on development site'. AS 4970-2009 uses a multiplication method to determine the T.P.Z. based on T.P.Z. radius being 12 times stem diameter measured 1.4 metres above ground.
i.e. T.P.Z. radius = DBH x 12
- **STRUCTURAL ROOT ZONE**
The S.R.Z. applied is AS 4970-2009 'Protection of trees on development site'.
The SRZ is the area required for tree stability. A larger area is required to maintain a viable tree.
SRZ radius = $(D \times 50)^{0.42} \times 0.64$

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Tree Descriptor

USEFUL LIFE EXPECTANCY – ULE.

Barrelltreecare.com

LONG ULE; Trees that appears to be retainable with an acceptable level of risk for more than 40 years.

1. Structurally sound trees located in positions that can accommodate future growth.
2. Storm damaged or defective trees that could be made suitable for retention in the long term by remedial tree surgery.
3. Trees of special significance for historical, commemorative or rarity reasons that would warrant extraordinary efforts to secure their long-term retention.

MEDIUM ULE; Trees that appear to be retainable with an acceptable level of risk for 15 to 40 years.

1. Trees that may only live between 15 and 40 years.
2. Trees that may live for more than 40 years but would be removed to allow the safe development of more suitable individuals.
3. Trees that may live for more than 40 years but would be removed during the course of normal management for safety and nuisance reasons.
4. Storm damage or defective trees that can be made suitable for retention in the medium term by remedial work.

SHORT ULE; Trees that appear to be retainable with an acceptable level of risk for 5 to 15 years.

1. Trees that may live for 5 to 15 years.
2. Trees that may live for more than 15 years but would be removed to allow the safe development of more suitable individuals.
3. Trees that may live for more than 15 years but would be removed during the course of normal management for safety and nuisance reasons.
4. Storm damaged or defective trees that require substantial remedial work to make safe and are only suitable for retention in the short term.

REMOVE; Trees with a high level of risk that would need removal within the next 5 years.

1. Dead trees.
2. Dying or suppressed and declining trees through disease or inhospitable conditions.
3. Dangerous trees through instability or recent loss of adjacent trees.
4. Dangerous trees through structural defects including cavities, decay, included bark, wounds or poor form.
5. Damaged trees that are considered unsafe to retain.
6. Trees that will become dangerous after removal of other trees for the above reasons.

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Southern Septics & Drainage
t/a Gippsland Wastewater Solutions

Authorised Distributer of Taylex tanks
12 Cusack Rd, Leongatha, Vic 3953
Ph: 5631 4011
Southernseptics.com.au

Taylex ABS
(Advanced Blower System)

550 Pakenham Road

450m2 Sub Surface
Irrigation

**SOUTHERN
SEPTICS**

SITE ADDRESS:

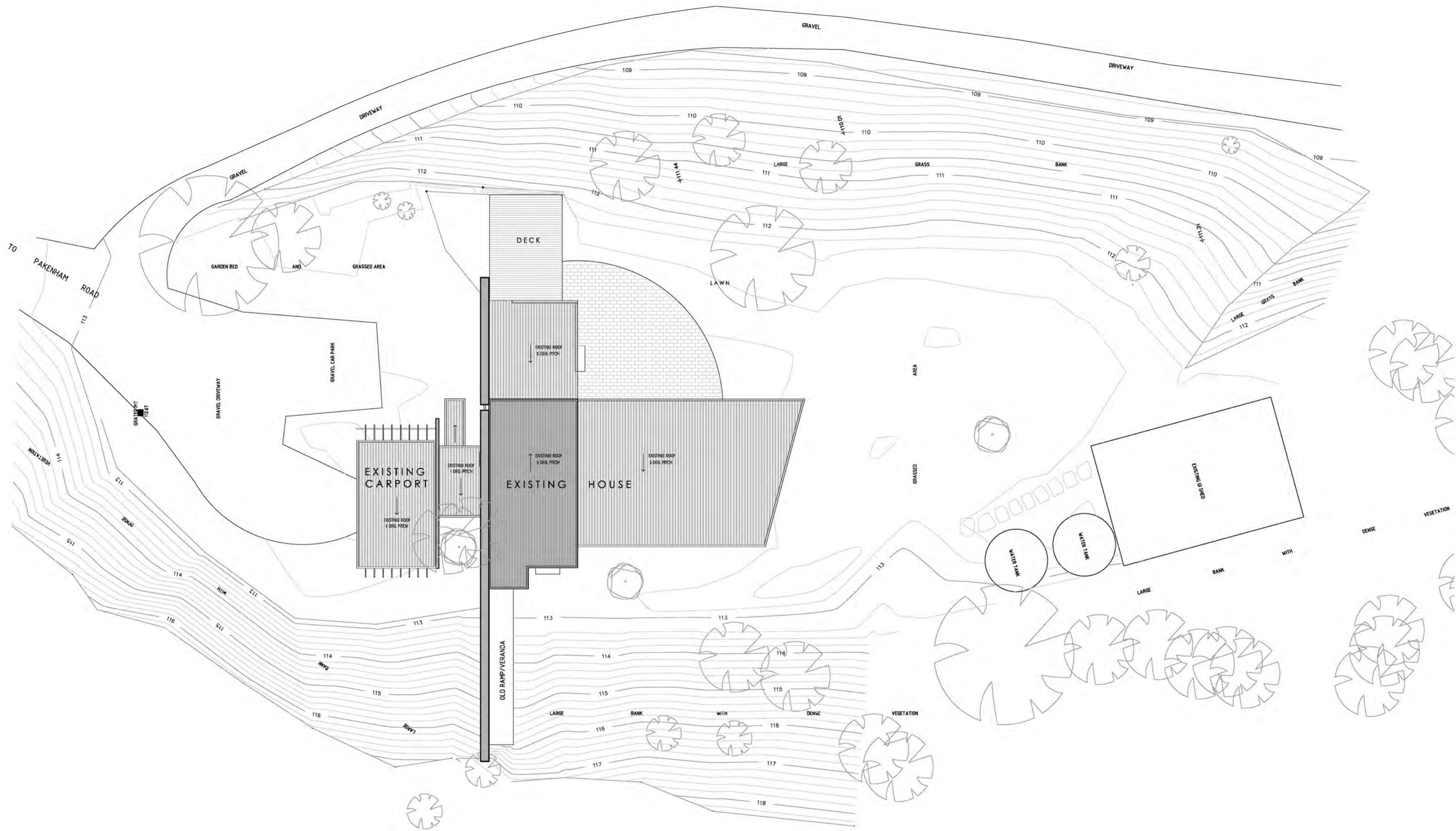
550 Pakenham Rd, Pakenham South

FIGURE 1

Proposed Site Plan

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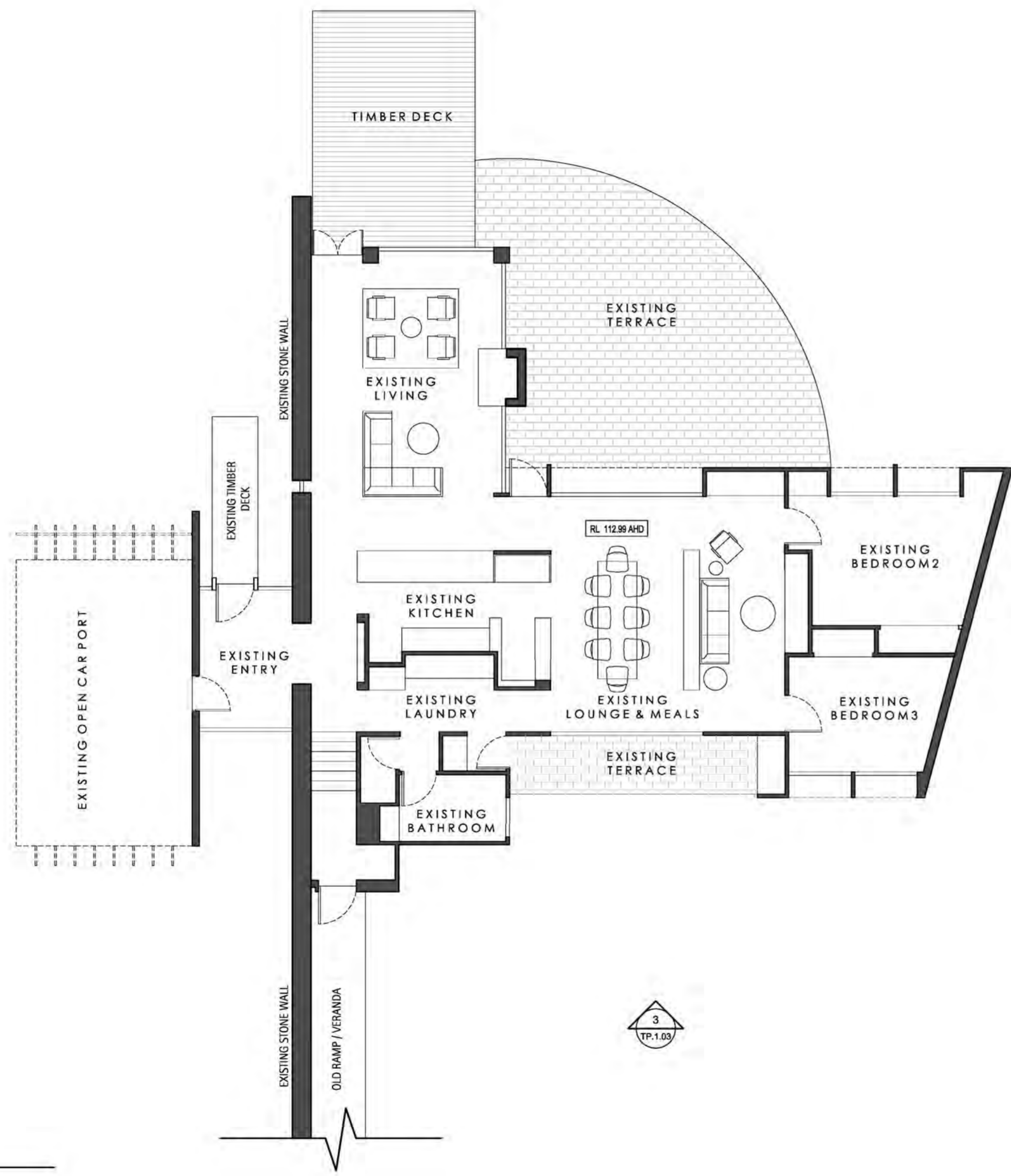
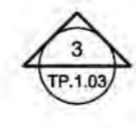
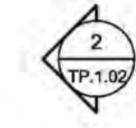
1 EXISTING SITE PLAN
1:150

REVISION	ISSUE	NOTES	CLIENT	SCALE	PROJECT	DRAWING TITLE	DRAWING NO.	REVISION NO.
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	28.08.2024 TOWN PLANNING ISSUE							

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1 EXISTING FLOOR PLAN
1:100

REVISION

1	EXISTING FLOOR PLAN	1:100
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ISSUE	DATE	BY
TOWN PLANNING ISSUE	15.04.2024	0
TOWN PLANNING ISSUE	28.06.2024	1

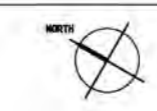
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DRAWN	CHECKED	JOB NO.	PROJECT
AL	NR	03-2019	PROPOSED ALTERATIONS & ADDITIONS 550 PAKENHAM RD, PAKENHAM UPPER

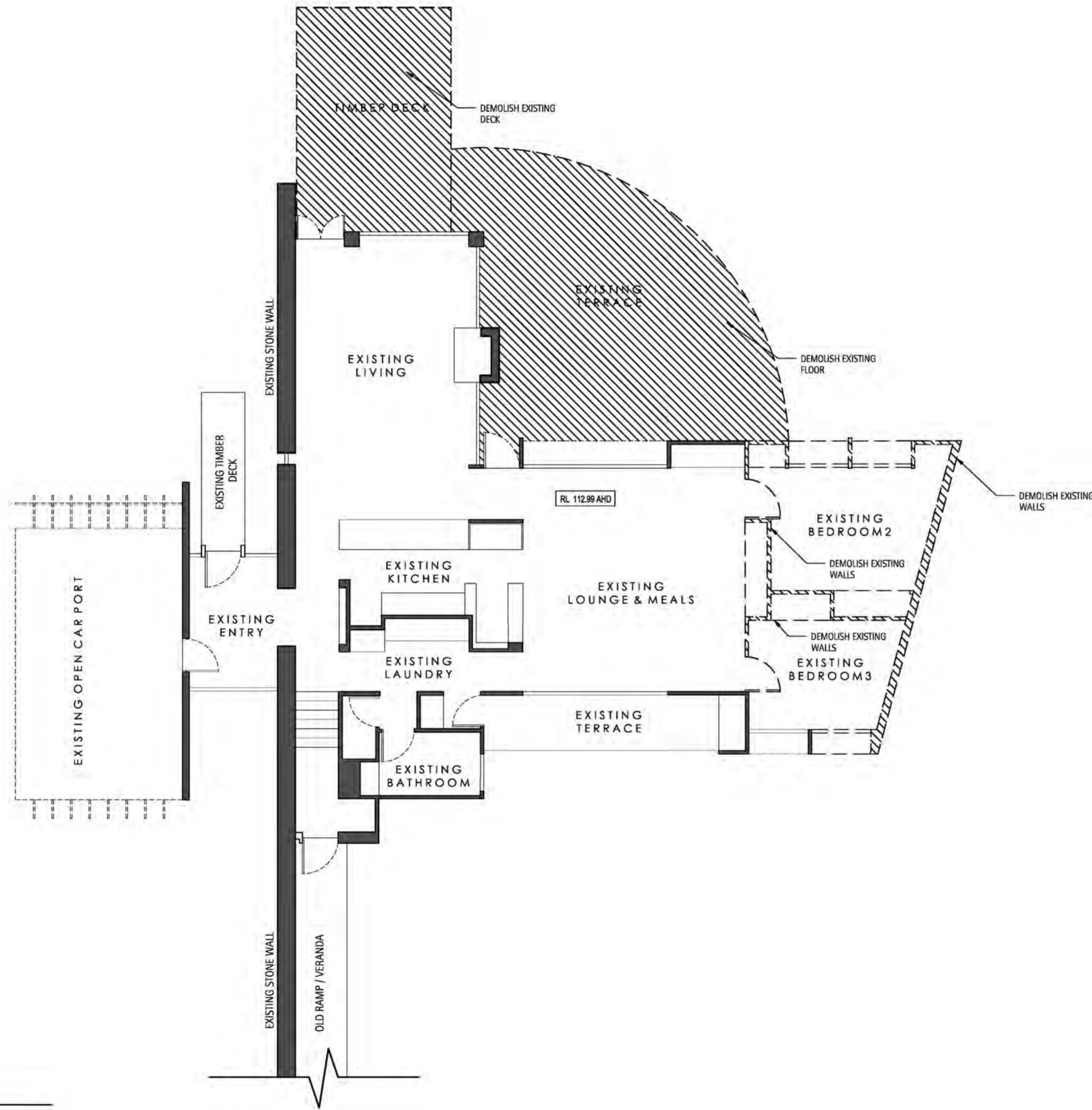
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DRAWING TITLE	DRAWING NO.	REVISION NO.
EXISTING CONDITIONS FLOOR PLAN	TP 1.01	1



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1 DEMOLITION FLOOR PLAN
1:100

REVISION

ISSUE	DATE	BY
TOWN PLANNING ISSUE	15.04.2024	

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CLIENT

DRAWN AL
CHECKED NR
JOB NO. 03-2019

SCALE 1:100 @ A2

PROJECT PROPOSED ALTERATIONS & ADDITIONS
550 PAKENHAM RD, PAKENHAM UPPER

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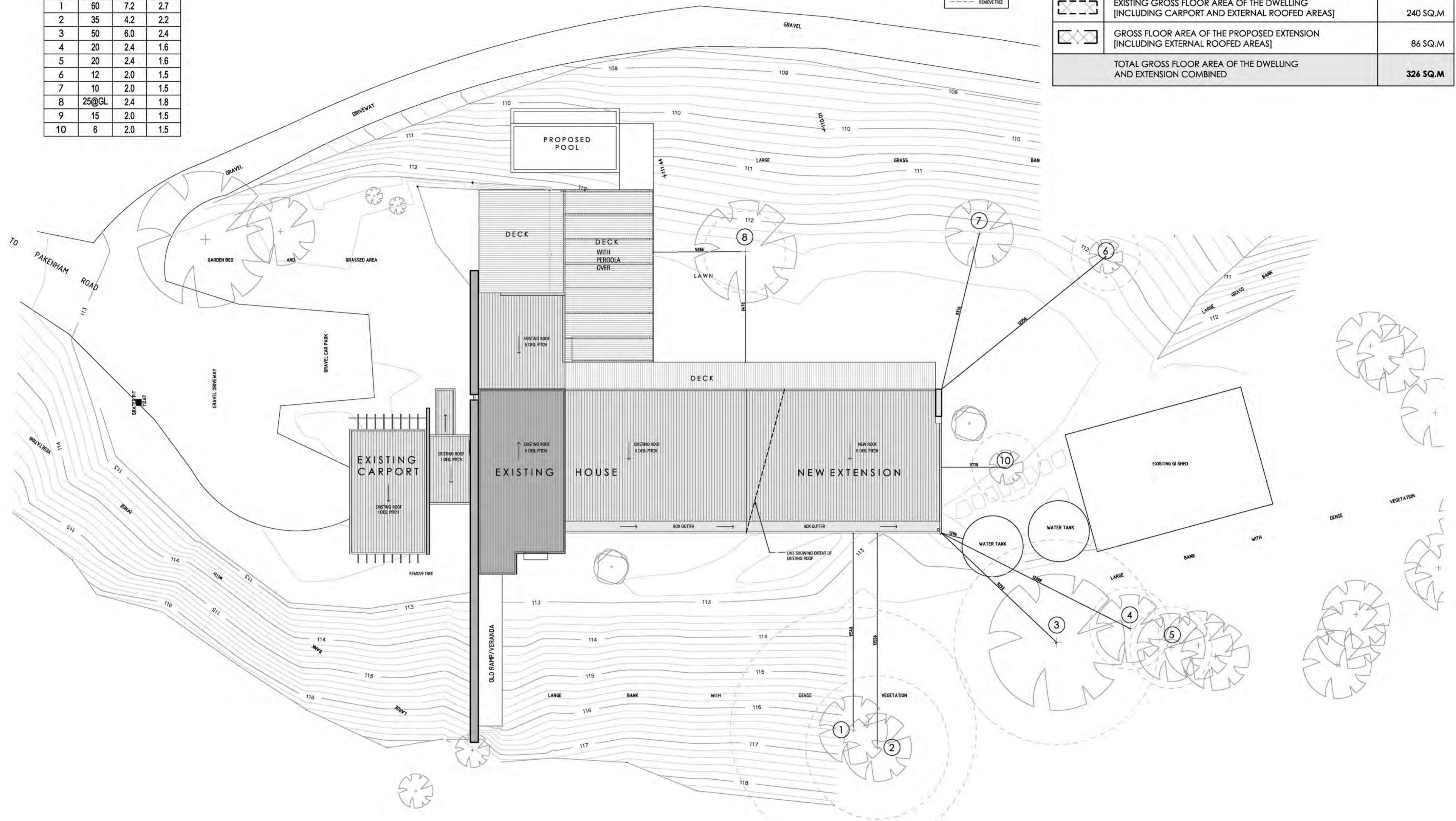
DRAWING TITLE DEMOLITION PLAN
DRAWING NO. TP 1.04
REVISION NO. 0

TOWN PLANNING ISSUE

TREE	DBH (cm)	TPZ (mR)	SRZ (mR)
1	60	7.2	2.7
2	35	4.2	2.2
3	50	6.0	2.4
4	20	2.4	1.6
5	20	2.4	1.6
6	12	2.0	1.5
7	10	2.0	1.5
8	25@GL	2.4	1.8
9	15	2.0	1.5
10	6	2.0	1.5

LEGEND
- - - REMOVE TREE

LEGEND	SCHEDULE OF AREAS	AREAS (SQ.M)
	EXISTING GROSS FLOOR AREA OF THE DWELLING [INCLUDING CARPORT AND EXTERNAL ROOFED AREAS]	240 SQ.M
	GROSS FLOOR AREA OF THE PROPOSED EXTENSION [INCLUDING EXTERNAL ROOFED AREAS]	86 SQ.M
TOTAL GROSS FLOOR AREA OF THE DWELLING AND EXTENSION COMBINED		326 SQ.M

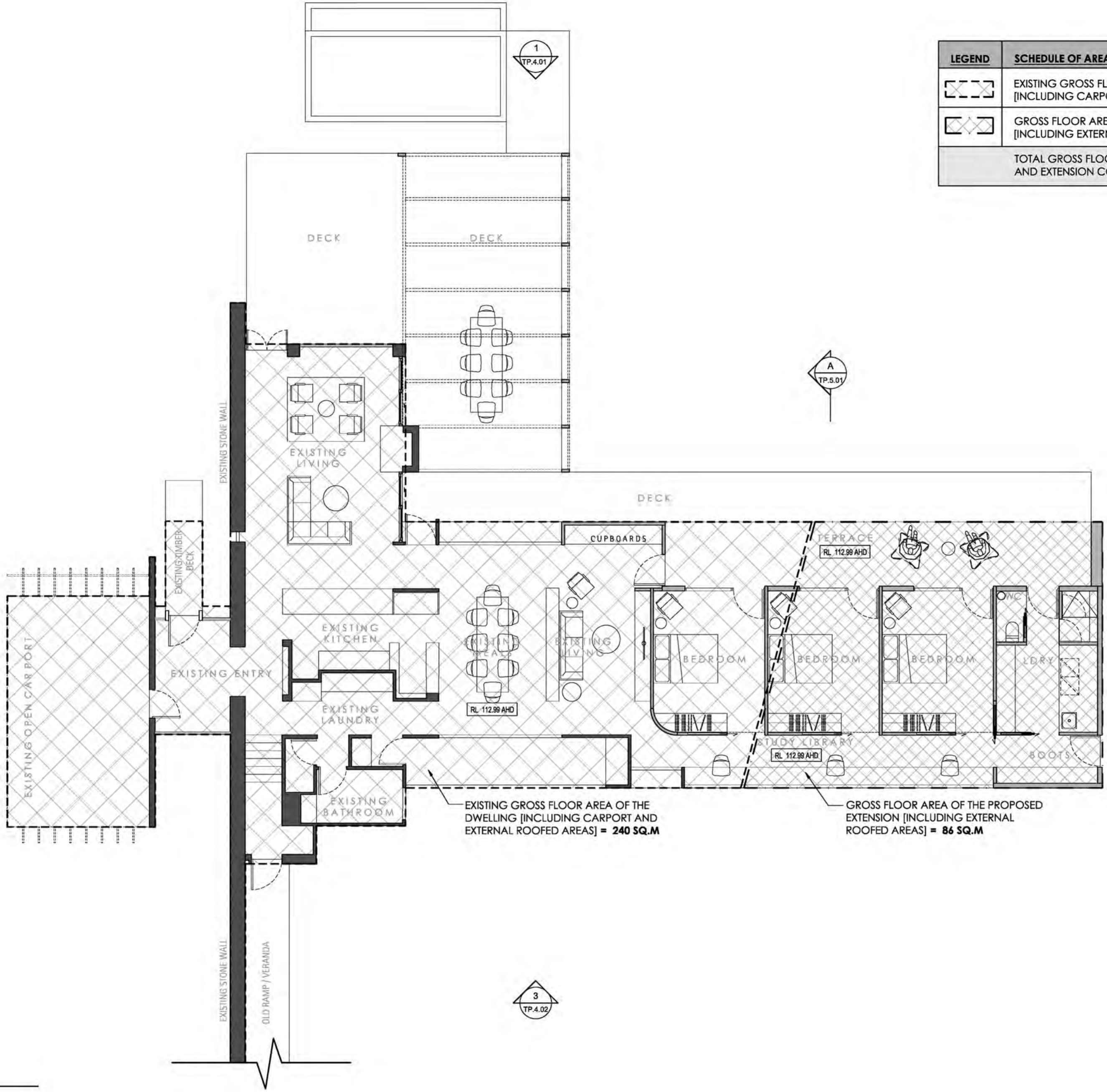


1 PROPOSED SITE PLAN
1:150

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TOWN PLANNING ISSUE	REVISION <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>19.04.2024</td><td>TOWN PLANNING ISSUE</td></tr> <tr><td>2</td><td>29.08.2024</td><td>TOWN PLANNING ISSUE</td></tr> <tr><td>3</td><td>17.09.2024</td><td>TOWN PLANNING ISSUE</td></tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	19.04.2024	TOWN PLANNING ISSUE	2	29.08.2024	TOWN PLANNING ISSUE	3	17.09.2024	TOWN PLANNING ISSUE	ISSUE <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td>1</td><td>19.04.2024</td><td>TOWN PLANNING ISSUE</td></tr> <tr><td>2</td><td>29.08.2024</td><td>TOWN PLANNING ISSUE</td></tr> <tr><td>3</td><td>17.09.2024</td><td>TOWN PLANNING ISSUE</td></tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	19.04.2024	TOWN PLANNING ISSUE	2	29.08.2024	TOWN PLANNING ISSUE	3	17.09.2024	TOWN PLANNING ISSUE	NOTES <p>This drawing & all information thereon is the property of BRANCH STUDIO ARCHITECTS, and shall be returned on demand. It is issued on the condition that, except with our written permission, it must not be reproduced, copied or communicated in any other party nor be used for any purpose other than that stated in the particular enquiry, order or contract with which it is issued.</p> <p>Contractors shall verify job dimensions before any work commences. Work shall conform to the specifications, other drawings and all job dimensions. All shop drawings shall be submitted to the Architect/Consultant for approval and manufacture is not to commence prior to the return of the inspected drawings signed by the Architect/Consultant.</p>	CLIENT [Redacted]	SCALE 1:150 @ A2	PROJECT PROPOSED ALTERATIONS & ADDITIONS 550 PAKENHAM RD, PAKENHAM UPPER	DRAWING TITLE PROPOSED SITE PLAN	DRAWING NO. TP 0.02	REVISION NO. 2
	NO.	DATE	DESCRIPTION																														
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2	29.08.2024	TOWN PLANNING ISSUE																															
3	17.09.2024	TOWN PLANNING ISSUE																															
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LEGEND	SCHEDULE OF AREAS	AREAS (SQ.M)
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	GROSS FLOOR AREA OF THE PROPOSED EXTENSION [INCLUDING EXTERNAL ROOFED AREAS]	86 SQ.M
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GROSS FLOOR AREA OF THE PROPOSED EXTENSION [INCLUDING EXTERNAL ROOFED AREAS] = 86 SQ.M

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1 PROPOSED AREA PLAN
1:100

REVISION	ISSUE	NOTES
1	TOWN PLANNING ISSUE	15.04.2024
2	TOWN PLANNING ISSUE	29.06.2024
3	TOWN PLANNING ISSUE	02.11.2024

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SCALE 1:100 @ A2

PROJECT PROPOSED ALTERATIONS & ADDITIONS 550 PAKENHAM RD, PAKENHAM UPPER

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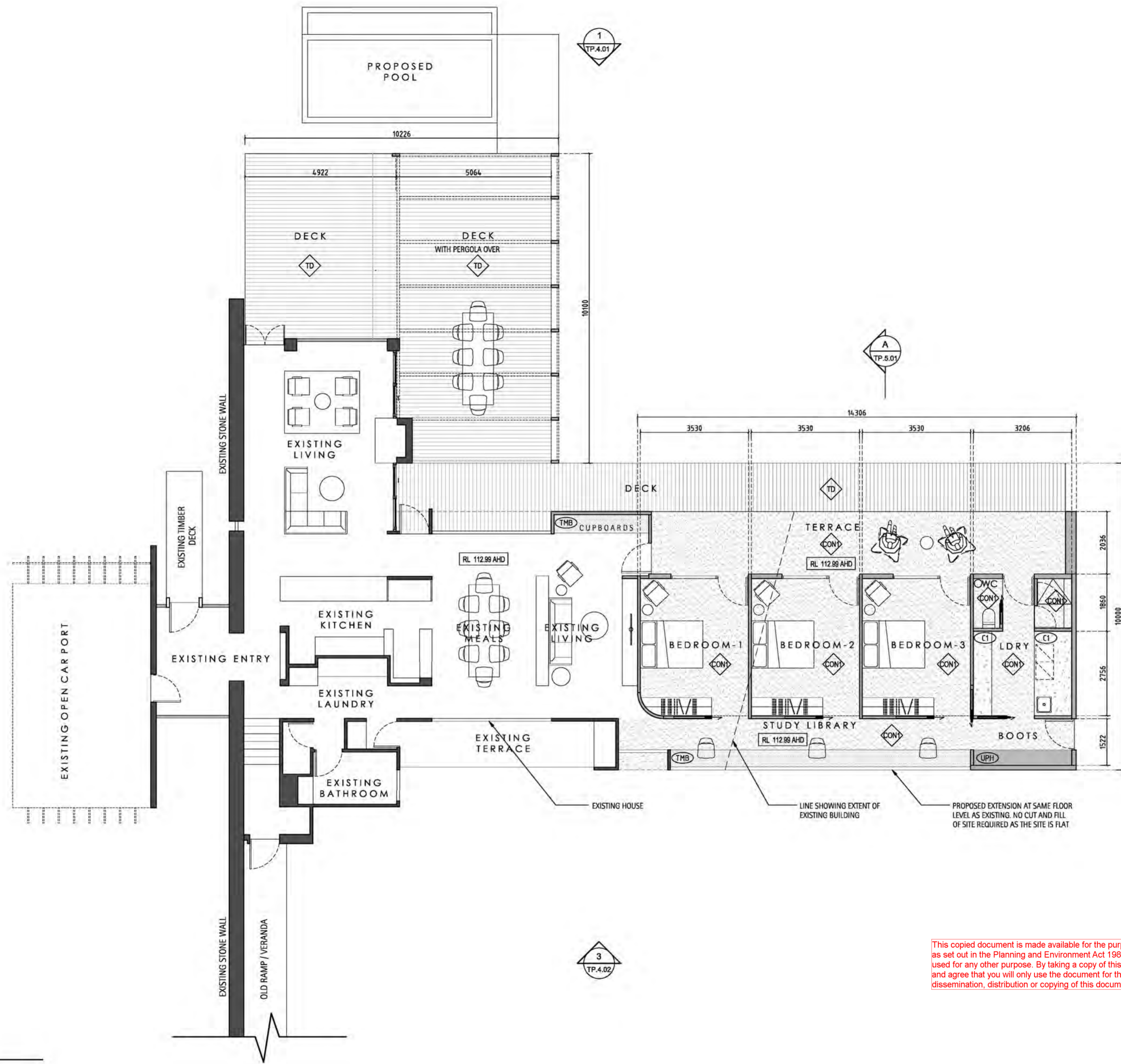
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DRAWING TITLE PROPOSED AREA PLAN

DRAWING NO. TP 2.02

REVISION NO. 2

TOWN PLANNING ISSUE



FINISHES LEGEND

- (TMB) TIMBER FINISH AS SPECIFIED.
- (CM) CEMINTEL BARESTONE 'GRAPHITE' FINISH AS SPECIFIED.
- (STON) STONE WALL TO MATCH EXISTING FINISH.
- (C1) CONCRETE FINISH AS SPECIFIED.
- (GL) CLEAR GLAZING AS SPECIFIED.
- (UPH) UPHOLSTERY AS SPECIFIED.

FLOOR FINISHES LEGEND

- (TD) TIMBER DECKING AS SPECIFIED
- (CON) CONCRETE FLOORING AS SPECIFIED

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1 PROPOSED FLOOR PLAN
1:100

TOWN PLANNING ISSUE

REVISION	ISSUE	NOTES
1	15.04.2024 TOWN PLANNING ISSUE	
2	28.08.2024 TOWN PLANNING ISSUE	

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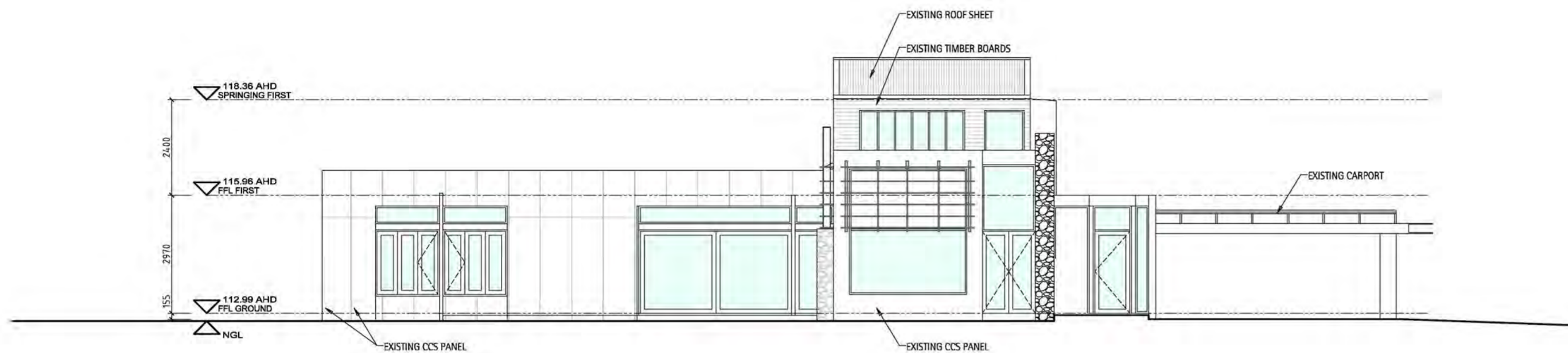
PROJECT: PROPOSED ALTERATIONS & ADDITIONS
550 PAKENHAM RD, PAKENHAM UPPER

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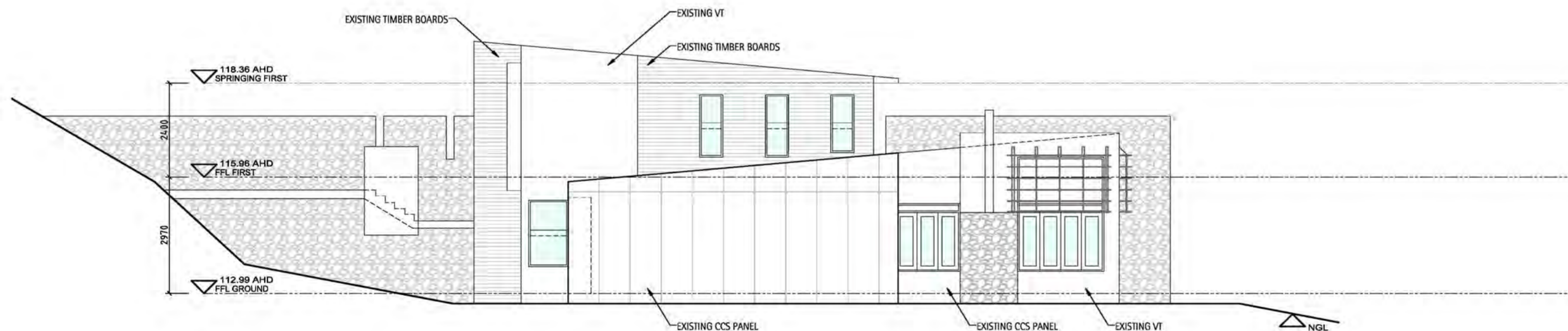
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DRAWING NO: TP 2.01, REVISION NO: 1



1 EXISTING CONDITIONS - NORTH EAST ELEVATION

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2 EXISTING CONDITIONS - SOUTH EAST ELEVATION

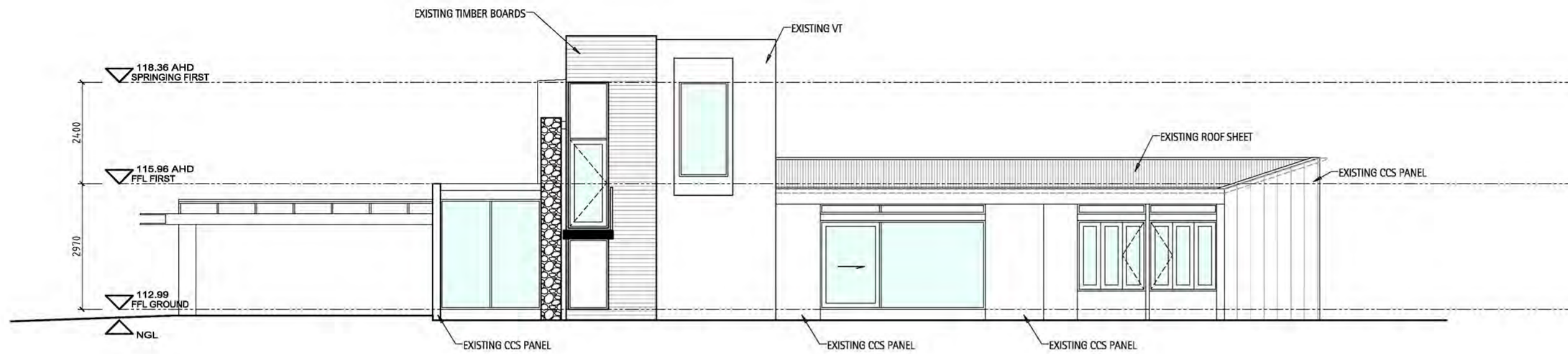
REVISION	ISSUE	NOTES
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	28.06.2024 TOWN PLANNING ISSUE	1

TOWN PLANNING ISSUE

SCALE	PROJECT	DRAWING TITLE	DRAWING NO.	REVISION NO.
1:100 @ A2	PROPOSED ALTERATIONS & ADDITIONS 550 PAKENHAM RD, PAKENHAM UPPER	EXISTING CONDITIONS ELEVATIONS (SHEET 1 OF 2)	TP 1.02	1

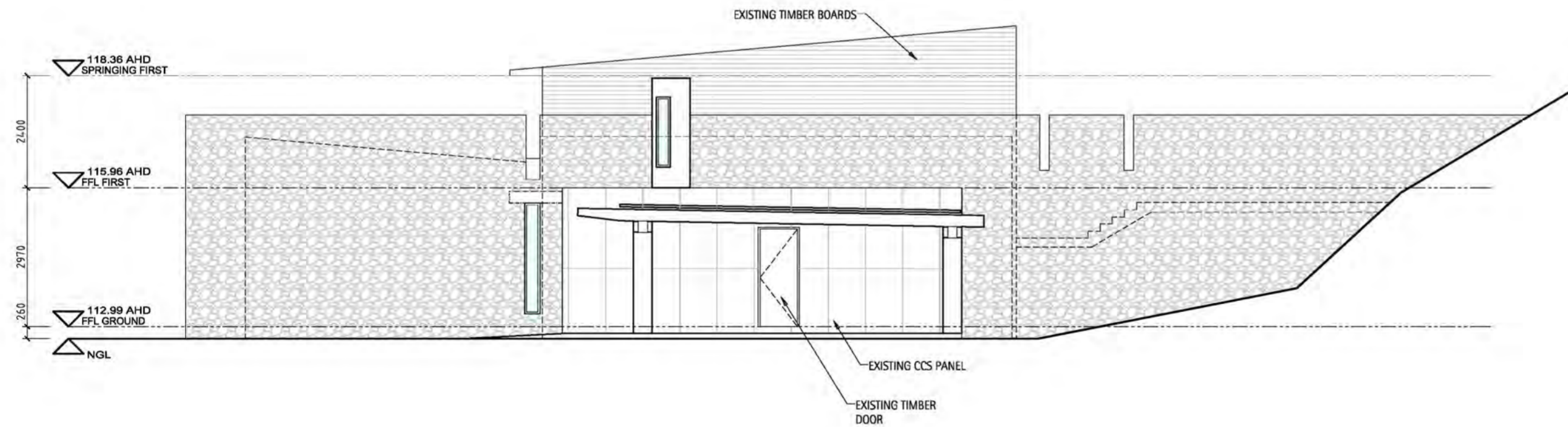
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3 EXISTING CONDITIONS - SOUTH WEST ELEVATION

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4 EXISTING CONDITIONS - NORTH WEST ELEVATION

REVISION	ISSUE	NOTES
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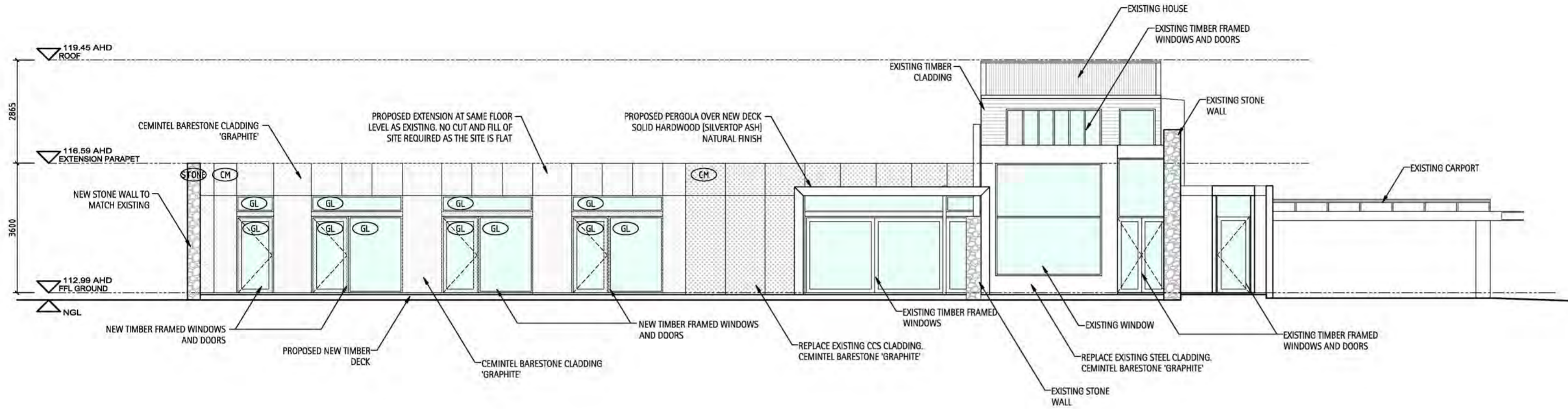
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PROJECT
 PROPOSED ALTERATIONS & ADDITIONS
 550 PAKENHAM RD, PAKENHAM UPPER

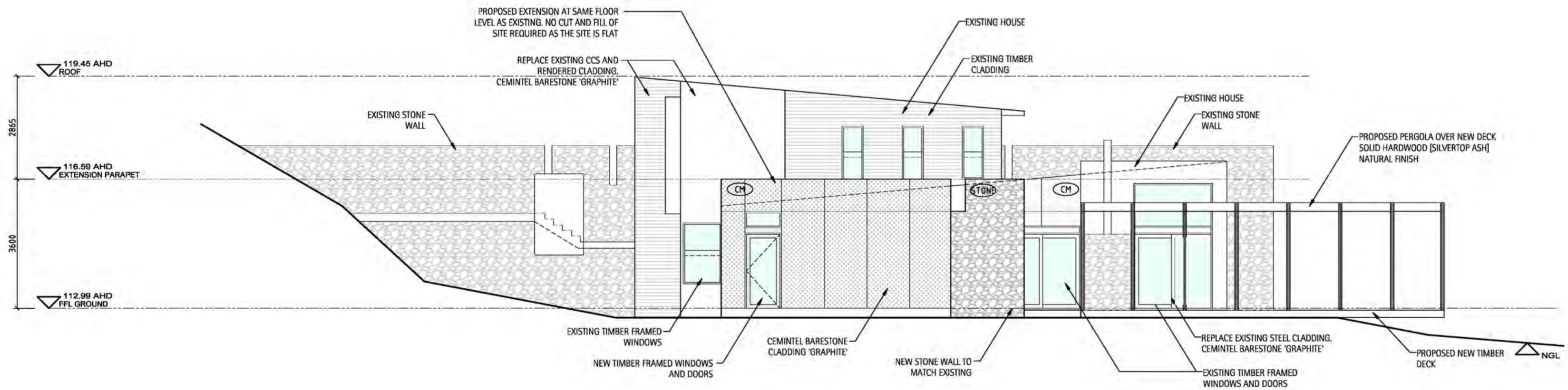
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DRAWING TITLE
 EXISTING CONDITIONS
 ELEVATIONS (SHEET 2 OF 2)
 DRAWING NO.
 TP
 1.03
 REVISION NO.
 1



1 PROPOSED NORTH EAST ELEVATION



2 PROPOSED SOUTH EAST ELEVATION

FINISHES LEGEND

- (TMB) TIMBER FINISH AS SPECIFIED.
- (CM) CEMINTEL BARESTONE 'GRAPHITE' FINISH AS SPECIFIED.
- (STON) STONE WALL TO MATCH EXISTING FINISH.
- (C1) CONCRETE FINISH AS SPECIFIED.
- (GL) CLEAR GLAZING AS SPECIFIED.
- (UPH) UPHOLSTERY AS SPECIFIED

FLOOR FINISHES LEGEND

- (TD) TIMBER DECKING AS SPECIFIED
- (CON) CONCRETE FLOORING AS SPECIFIED

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REVISION	ISSUE	NOTES
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DRAWN	CHECKED	JOB NO.	SCALE
AL	NR	03-2019	1:100 @ A2

PROJECT
 PROPOSED ALTERATIONS & ADDITIONS
 550 PAKENHAM RD, PAKENHAM UPPER

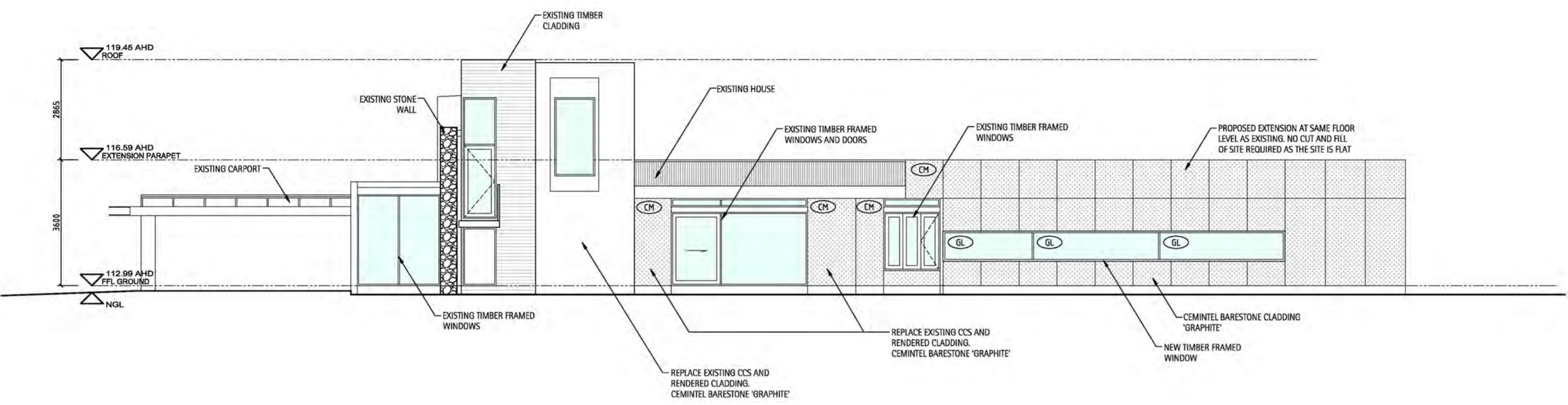
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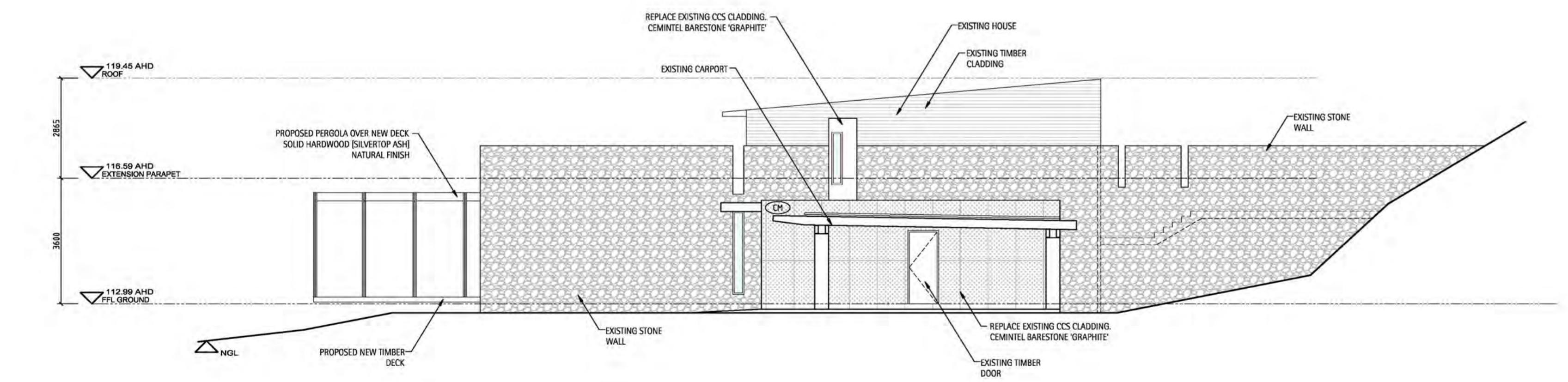
DRAWING TITLE PROPOSED ELEVATIONS (SHEET 1 OF 2)	DRAWING NO. TP 4.01	REVISION NO. 1
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FINISHES LEGEND	
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(STONB)	STONE WALL TO MATCH EXISTING FINISH.
(C1)	CONCRETE FINISH AS SPECIFIED.
(GL)	CLEAR GLAZING AS SPECIFIED.
(UPH)	UPHOLSTERY AS SPECIFIED

FLOOR FINISHES LEGEND	
(TD)	TIMBER DECKING AS SPECIFIED
(CON)	CONCRETE FLOORING AS SPECIFIED



3 PROPOSED SOUTH WEST ELEVATION



4 PROPOSED NORTH WEST ELEVATION

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TOWN PLANNING ISSUE

REVISION	ISSUE	NOTES
15.04.2024	TOWN PLANNING ISSUE	0
28.08.2024	TOWN PLANNING ISSUE	1

NOTES
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 Contractors shall verify job dimensions before any work commences. Work shall conform to the specifications, other drawings and all job dimensions. All shop drawings shall be submitted to the Architect/Consultant for approval and manufacture is not to commence prior to the return of the inspected drawings signed by the Architect/Consultant.

DRAWN	CHECKED	JOB NO.	SCALE
AL	NR	03-2019	1:100 @ A2

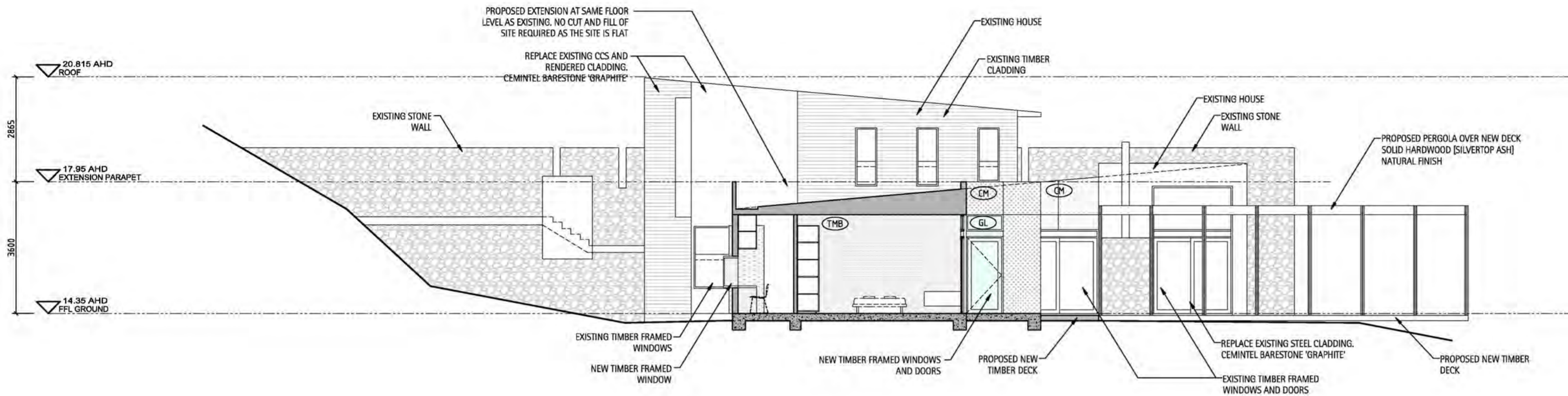
PROJECT
 PROPOSED ALTERATIONS & ADDITIONS
 550 PAKENHAM RD, PAKENHAM UPPER

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 168 Lygon Street, Brunswick East
 Victoria, Australia, 3057
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Branch.

DRAWING TITLE
 PROPOSED ELEVATIONS
 (SHEET 2 OF 2)

DRAWING NO.	REVISION NO.
TP 4.02	1



FINISHES LEGEND

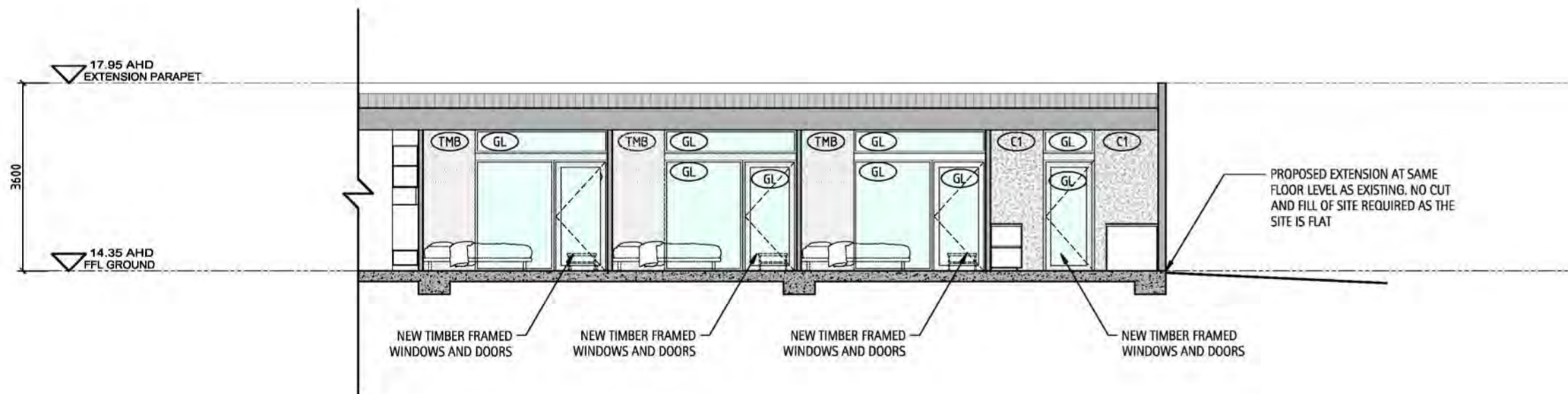
- (TMB) TIMBER FINISH AS SPECIFIED.
- (CM) CEMINTEL BARESTONE 'GRAPHITE' FINISH AS SPECIFIED.
- (STON) STONE WALL TO MATCH EXISTING FINISH.
- (C1) CONCRETE FINISH AS SPECIFIED.
- (GL) CLEAR GLAZING AS SPECIFIED.
- (UPH) UPHOLSTERY AS SPECIFIED

FLOOR FINISHES LEGEND

- (TD) TIMBER DECKING AS SPECIFIED
- (CON) CONCRETE FLOORING AS SPECIFIED

A PROPOSED SECTION

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B PROPOSED SECTION

REVISION	ISSUE	NOTES
	15.04.2024 TOWN PLANNING ISSUE	0
	28.08.2024 TOWN PLANNING ISSUE	1

NOTES

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DRAWN AL	CHECKED NR	JOB NO. 03-2019	PROJECT PROPOSED ALTERATIONS & ADDITIONS 550 PAKENHAM RD, PAKENHAM UPPER	SCALE 1:100 @ A2
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DRAWING TITLE PROPOSED SECTIONS	DRAWING NO. TP 5.01	REVISION NO. 1
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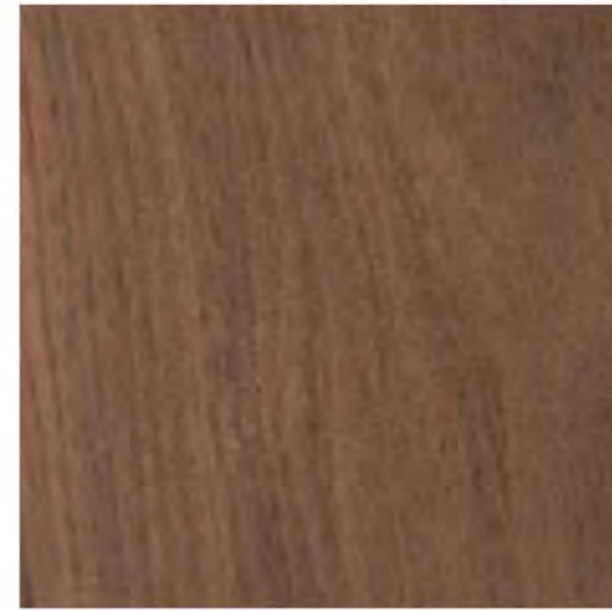
TOWN PLANNING ISSUE



CM_CEMINTEL BARESTONE 'GRAPHITE' WALLS



STONE_ STONE WALL TO MATCH EXISTING WALLS



TMB_ TIMBER FINISH WALLS, DOORS & WINDOWS



GL_CLEAR GLAZING DOORS & WINDOWS

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C1_CONCRETE FINISH WALLS



TD_ TIMBER FINISH DECK



CON1_CONCRETE FINISH FLOOR

REVISION	ISSUE	NOTES
	19.04.2024 TOWN PLANNING ISSUE	

TOWN PLANNING ISSUE

CLIENT [REDACTED]
SCALE
DRAWN AL
CHECKED NR
JOB NO. 03-2019
PROJECT PROPOSED ALTERATIONS & ADDITIONS 550 PAKENHAM RD, PAKENHAM UPPER

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Branch.

DRAWING TITLE MATERIALS & FINISHES	DRAWING NO. TP 6.01	REVISION NO. 0
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