


# Notice of an Application for an Amendment to a Planning Permit

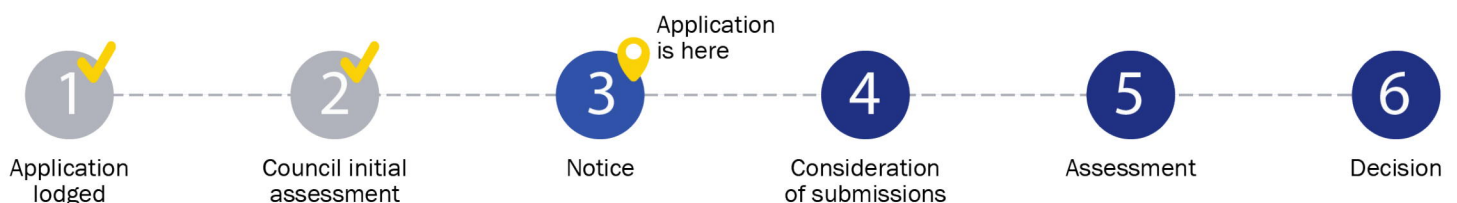
The land affected by the application is located at:	L88 LP7623 7 Upper Grieve Road, Avonsleigh VIC 3782
The application is to:	Amendment to Planning Permit T220610 for 'Buildings and works associated with the construction of a dwelling' to include a concrete water tank

## APPLICATION DETAILS

The applicant for the amendment to the permit is:	[REDACTED]
Application number:	T220610 - 1
You may look at the application and any documents that support the application at the office of the Responsible Authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.	

## HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	<b>28 January 2025</b>
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the proposed amendment to permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<b>An objection must:</b> <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



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## ePlanning

### Amendment Summary

Portal Reference	M32447SD
Reference No	T220610

### Basic Information

Proposal Type	Single Dwelling, Advertising Has Occurred
Proposed Use	Buildings and works associated with the construction of a dwelling
Current Use	residential property with one dwelling and a shed
Cost of Works	\$500,000
Amended Cost of Works	\$40,000
Amendments	What the permit Allows Changed
Proposed Changes	Would like to install a underground concrete water tank in backyard
Site Address	7 Upper Grieve Road Avonsleigh VIC 3782

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	No such encumbrances are breached
<input type="checkbox"/> Note: During the application process you may be required to provide more information in relation to any encumbrances.	

### Contacts

Type	Name	Address	Contact Details
[Redacted Contact Information]			

### Fees

Regulation Fee Condition	Amount	Modifier	Payable
11 - Class 4 Amendment to a class 2, 3, 4, 5 or 6 permit (change in cost of more than \$10,000 but not more than \$100,000)	\$694.00	100%	\$694.00
<b>Total</b>			<b>\$694.00</b>



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VC, 3810

**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

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## Documents Uploaded

Date	Type	Filename
11-08-2024	Additional Document	PROPOSED UNDERGROUND WATER TANK (1).pdf
11-08-2024	Additional Document	BOE_00010813 (1).pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	[REDACTED]
Submission Date	11 August 2024 - 06:53:PM

## Declaration

---

By ticking this checkbox, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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# Application outcome

## Build Over Easement (BOE)

**Applicant:**

[REDACTED] C/O Jmb Engineering

**Application ID:**

00010813

**Date:**

01/08/2024

**Address:**

7 Upper Grieve Road  
Avonsleigh Vic 3782

**SLID:**

1383311

**Lot/Plan number:**

88/LP7623

Hello,

Thank you for your application. Your Build Over Easement (BOE) Application has been **approved**. You can go ahead with the plans you submitted with this application.

Below are the conditions that you need to meet as part of this approval. Send this document to your builder, plumber and other interested parties to make them aware of these conditions.

### Conditions

The below conditions must be read in conjunction with our Standard Terms and Conditions and the Build over easement guidelines which are available on our website at [www.yvw.com.au/boe](http://www.yvw.com.au/boe)

#### The below ground swimming pools, spa, water tanks, pool pumps and filter equipment including pipework

- must have a **minimum of one metre horizontal clearance** from the proposed works/foundation (including coping/bond beam or any below ground support of the pool or structure, including stabilising backfill) and the outside edge of the sewer main that is less than 225 millimetres in diameter and less than 3.5 metres deep.

#### The landscaping, excavation and earthworks

- must have a **minimum 600 millimetre horizontal clearance** from the outside edge of the sewer main that is less than 225 millimetres in diameter and less than 3.5 metres deep.

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## Changes to plans

You must contact us if you want to add or change a building/structure that is located in an easement or within one metre of our infrastructure.

If you change your plans without an updated approval from us:

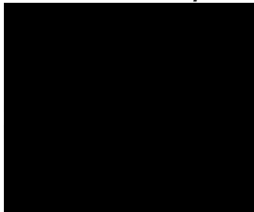
- You may need to change or remove your unapproved structure.
- If we need to access our infrastructure near the unapproved work, and as a result it is damaged or removed, we will not reinstate the structure or landscaping.
- If our asset is damaged by you or your contractors while undertaking your work, you as the property owner must pay any costs incurred due to damaging our assets.

To view our assets and easements please visit [www.yvw.com.au/gis](http://www.yvw.com.au/gis)

The information in this Application Outcome supersedes any previous written or verbal advice that we've provided.

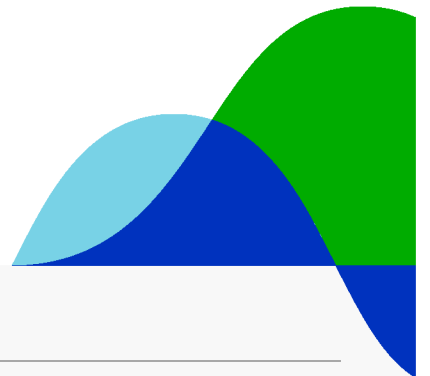
If you need more information or have questions, we're here to help. Our contact details are below.

Yours sincerely,



Divisional Manager, Development Services

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## Contact us

[www.yvw.com.au/boe](http://www.yvw.com.au/boe)

[easyaccess@yvw.com.au](mailto:easyaccess@yvw.com.au)

Development Services 1300 651 511

Faults and emergencies 13 27 62(24hr)

TTY Voice Calls 133 677

Speak and Listen 1300555727

For language assistance

العربية 1300 914 361

廣東話 1300 921 362

Ελληνικά 1300 931 364

普通话 1300 927 363

For all other languages call our translation service on 03 9046 4173

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ePlanning

## Application Summary

Portal Reference	D4244CD
Reference No	T220610 - 1

## Basic Information

Cost of Works	\$40,000
Site Address	7 Upper Grieve Road Avonsleigh VIC 3782

## Documents Uploaded

Date	Type	Filename
30-11-2024	Additional Document	Land title 1.pdf
30-11-2024	Additional Document	Land Title.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	[REDACTED]
Submission Date	30 November 2024 - 06:11:PM

## Declaration

By ticking this checkbox, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

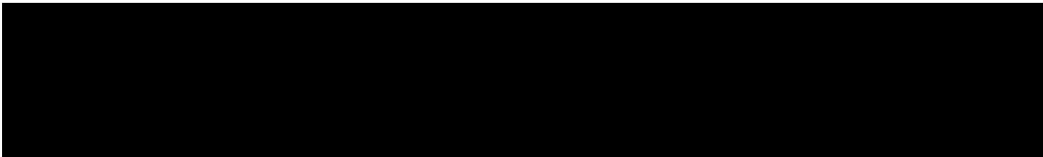
VOLUME 05154 FOLIO 760

Security no : 124120279950B  
Produced 30/11/2024 06:07 PM

**LAND DESCRIPTION**

Lot 88 on Plan of Subdivision 007623.  
PARENT TITLE Volume 04410 Folio 927  
Created by instrument 1271924 22/06/1926

**REGISTERED PROPRIETOR**



**ENCUMBRANCES, CAVEATS AND NOTICES**



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP007623 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 7 UPPER GRIEVE ROAD AVONSLEIGH VIC 3782

**ADMINISTRATIVE NOTICES**

NIL



DOCUMENT END

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Document Type	<b>Plan</b>
Document Identification	<b>LP007623</b>
Number of Pages (excluding this cover sheet)	<b>7</b>
Document Assembled	<b>30/11/2024 18:07</b>

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PLAN OF SUBDIVISION OF  
 PART OF CROWN ALLOTMENT 58  
 AND PART OF FORMER GOVERNMENT ROAD  
 PARISH OF GEMBROOK  
 COUNTY OF EVELYN  
 Measurements are in Feet & Inches  
 Conversion Factor  
 FEET X 0.3048 = METRES  
 VOL.3313 FOL.592

LP 7623  
 EDITION 4  
 PLAN MAY BE LODGED 11/8/19

COLOUR CODE  
 E-4 & E-1 = BLUE  
 E-2 = BROWN  
 E-3 = PURPLE  
 ROADS COLOURED BROWN

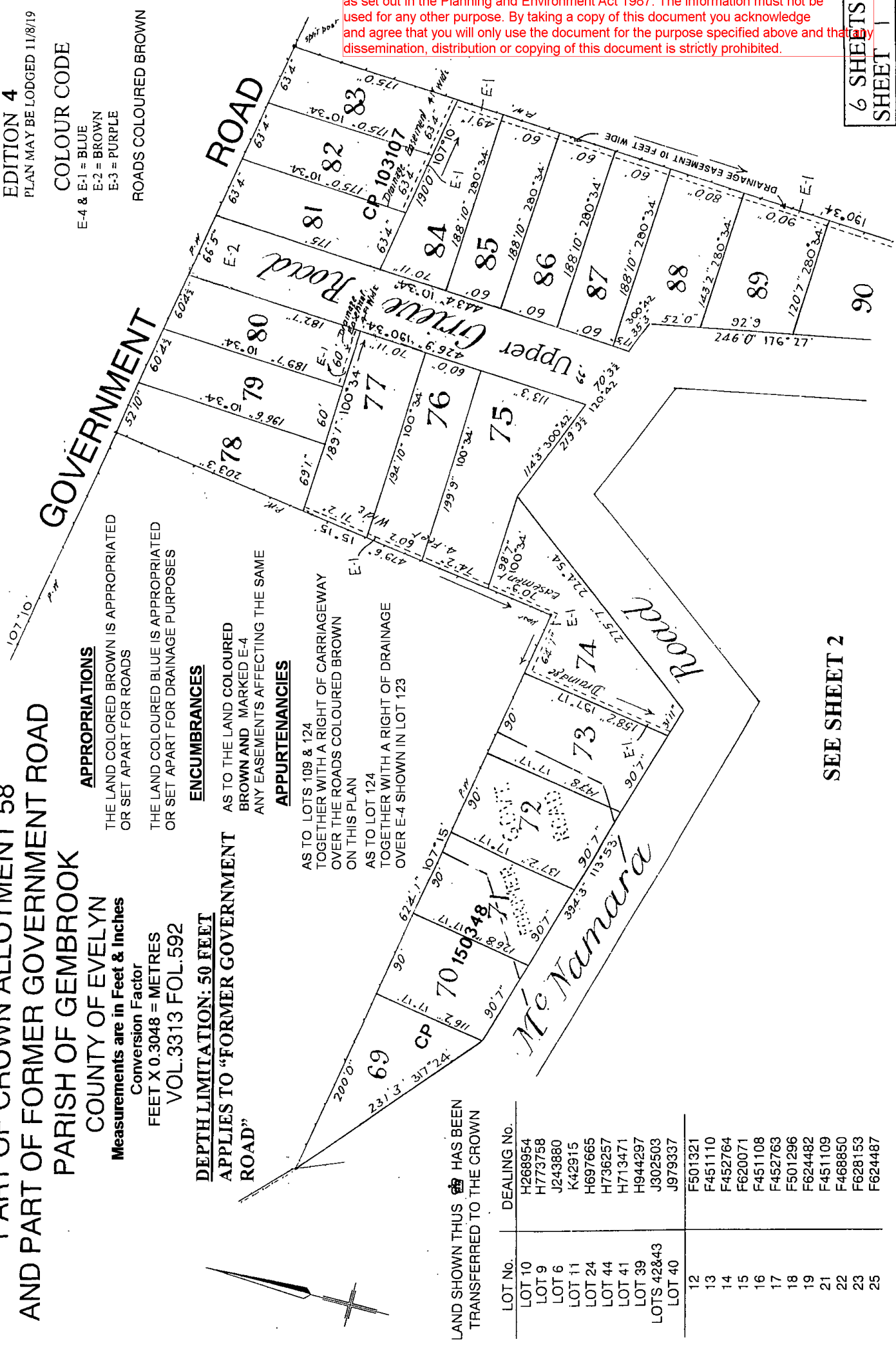
**APPROPRIATIONS**  
 THE LAND COLOURED BROWN IS APPROPRIATED  
 OR SET APART FOR ROADS  
 THE LAND COLOURED BLUE IS APPROPRIATED  
 OR SET APART FOR DRAINAGE PURPOSES

**ENCUMBRANCES**  
 AS TO THE LAND COLOURED  
 BROWN AND MARKED E-4  
 ANY EASEMENTS AFFECTING THE SAME  
**APPURTENANCIES**  
 AS TO LOTS 109 & 124  
 TOGETHER WITH A RIGHT OF CARRIAGEWAY  
 OVER THE ROADS COLOURED BROWN  
 ON THIS PLAN  
 AS TO LOT 124  
 TOGETHER WITH A RIGHT OF DRAINAGE  
 OVER E-4 SHOWN IN LOT 123

**DEPTH LIMITATION: 50 FEET  
 APPLIES TO "FORMER GOVERNMENT  
 ROAD"**

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6 SHEETS  
 SHEET 1



LAND SHOWN THIS HAS BEEN  
 TRANSFERRED TO THE CROWN

LOT No.	DEALING No.
LOT 10	H268954
LOT 9	H773758
LOT 6	J243880
LOT 11	K42915
LOT 24	H697665
LOT 44	H736257
LOT 41	H713471
LOT 39	H944297
LOTS 42&43	J302503
LOT 40	J979337
12	F501321
13	F451110
14	F452764
15	F620071
16	F451108
17	F452763
18	F501296
19	F624482
21	F451109
22	F468850
23	F628153
25	F624487

SEE SHEET 2

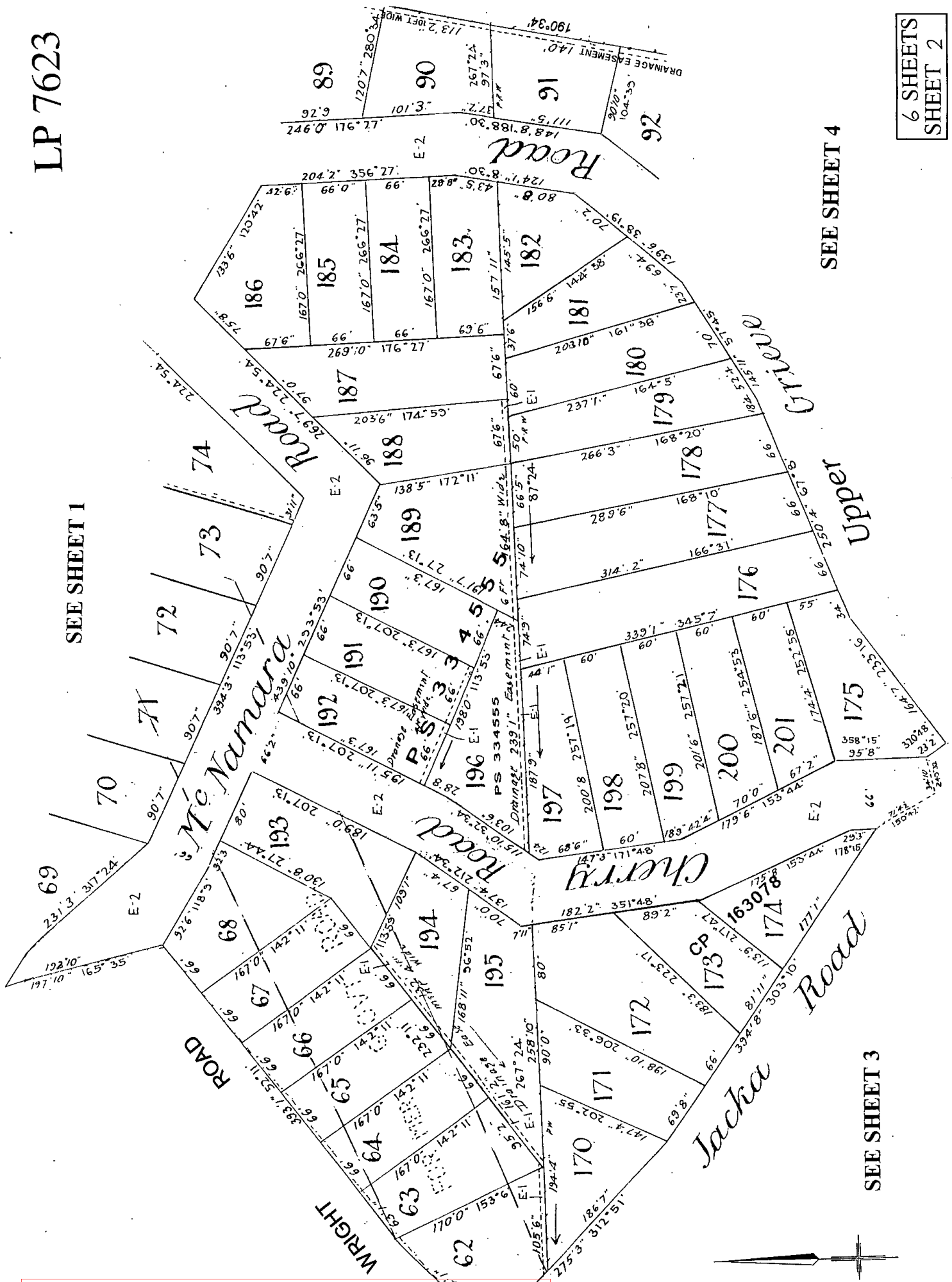
LP 7623

6 SHEETS  
SHEET 2

SEE SHEET 1

SEE SHEET 4

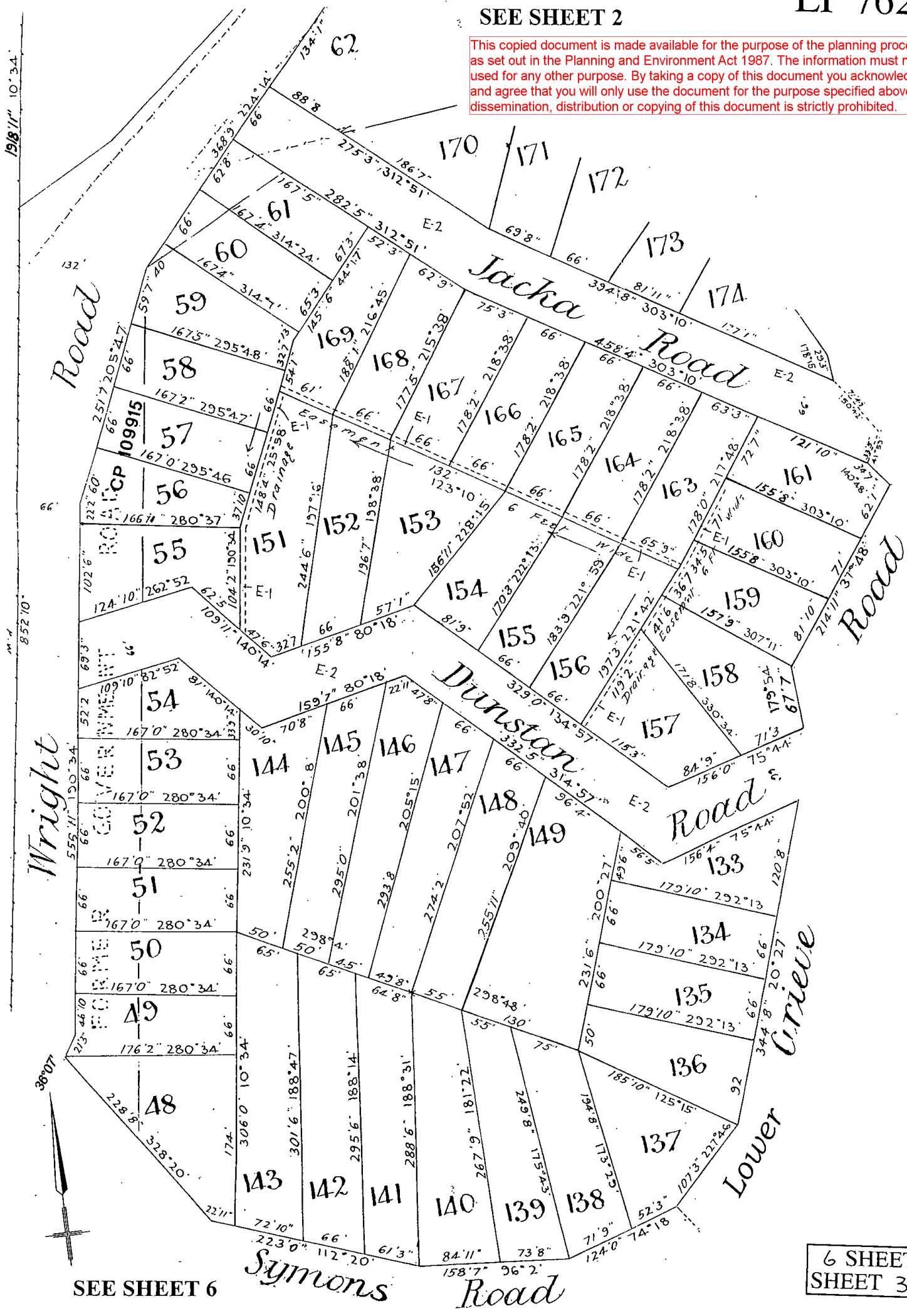
SEE SHEET 3



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SEE SHEET 2

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SEE SHEET 4

6 SHEETS  
SHEET 3

SEE SHEET 6

LP 7623

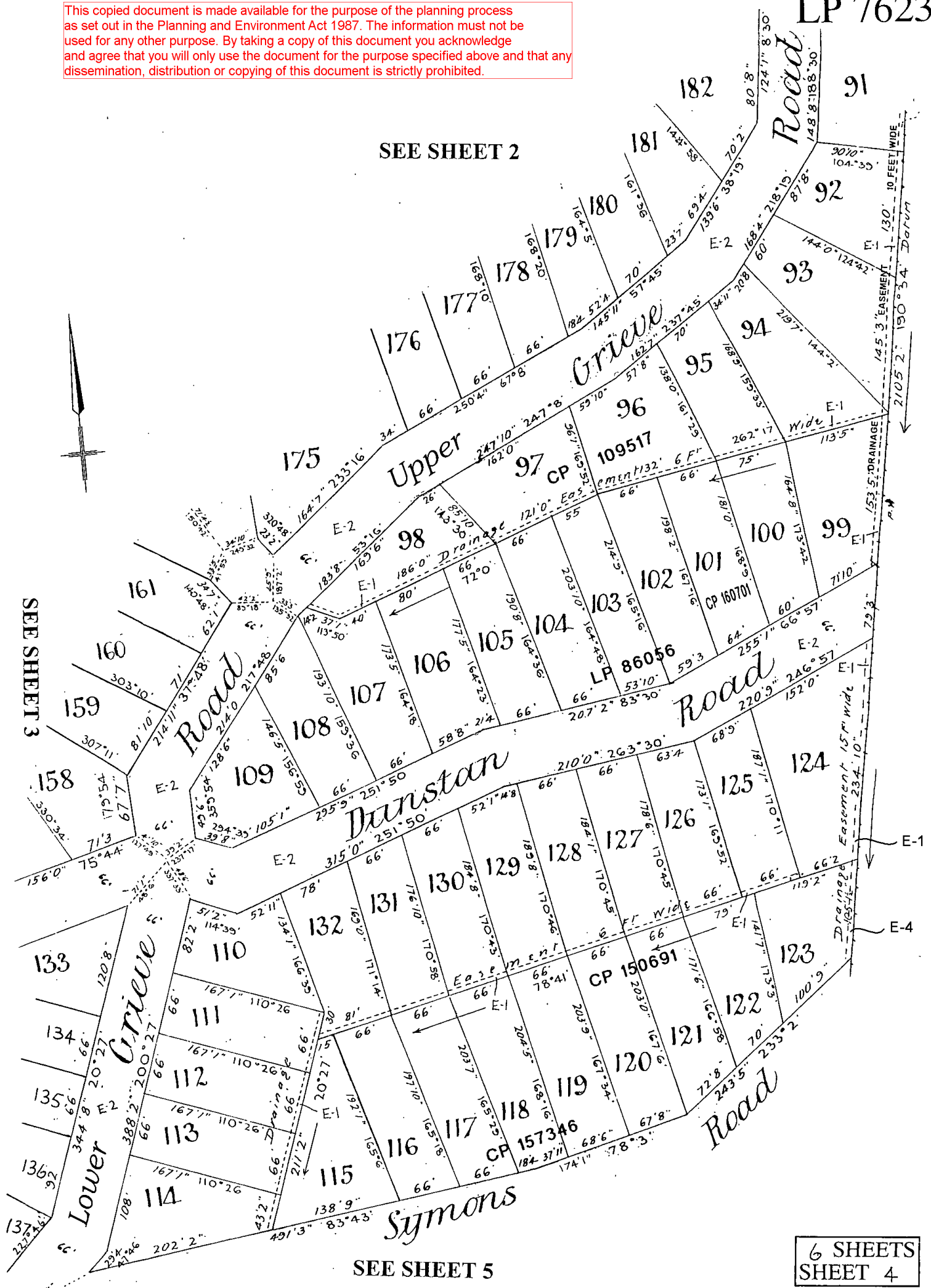
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SEE SHEET 2

SEE SHEET 3

SEE SHEET 5

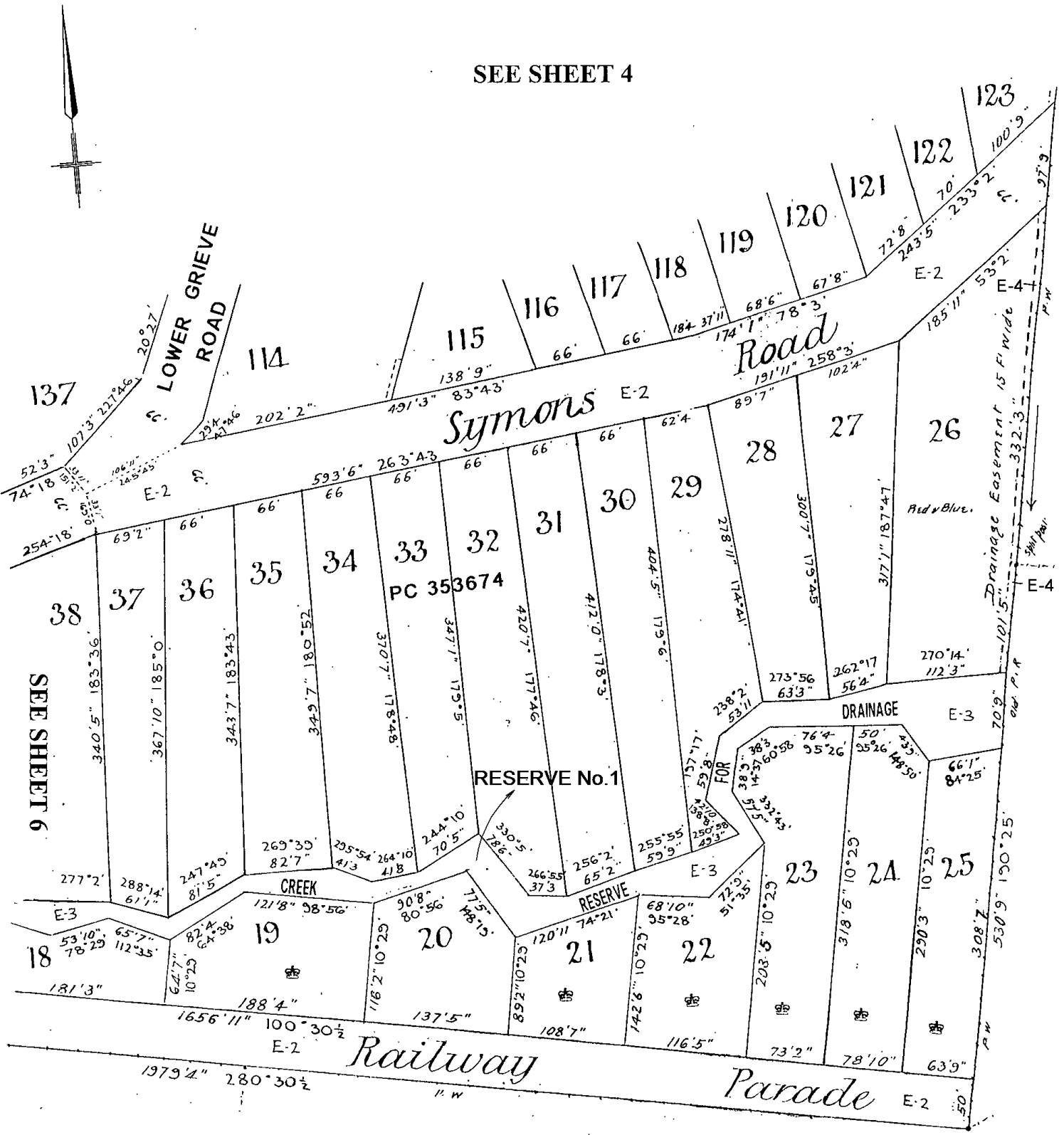
6 SHEETS  
SHEET 4



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SEE SHEET 4



6 SHEETS  
SHEET 5

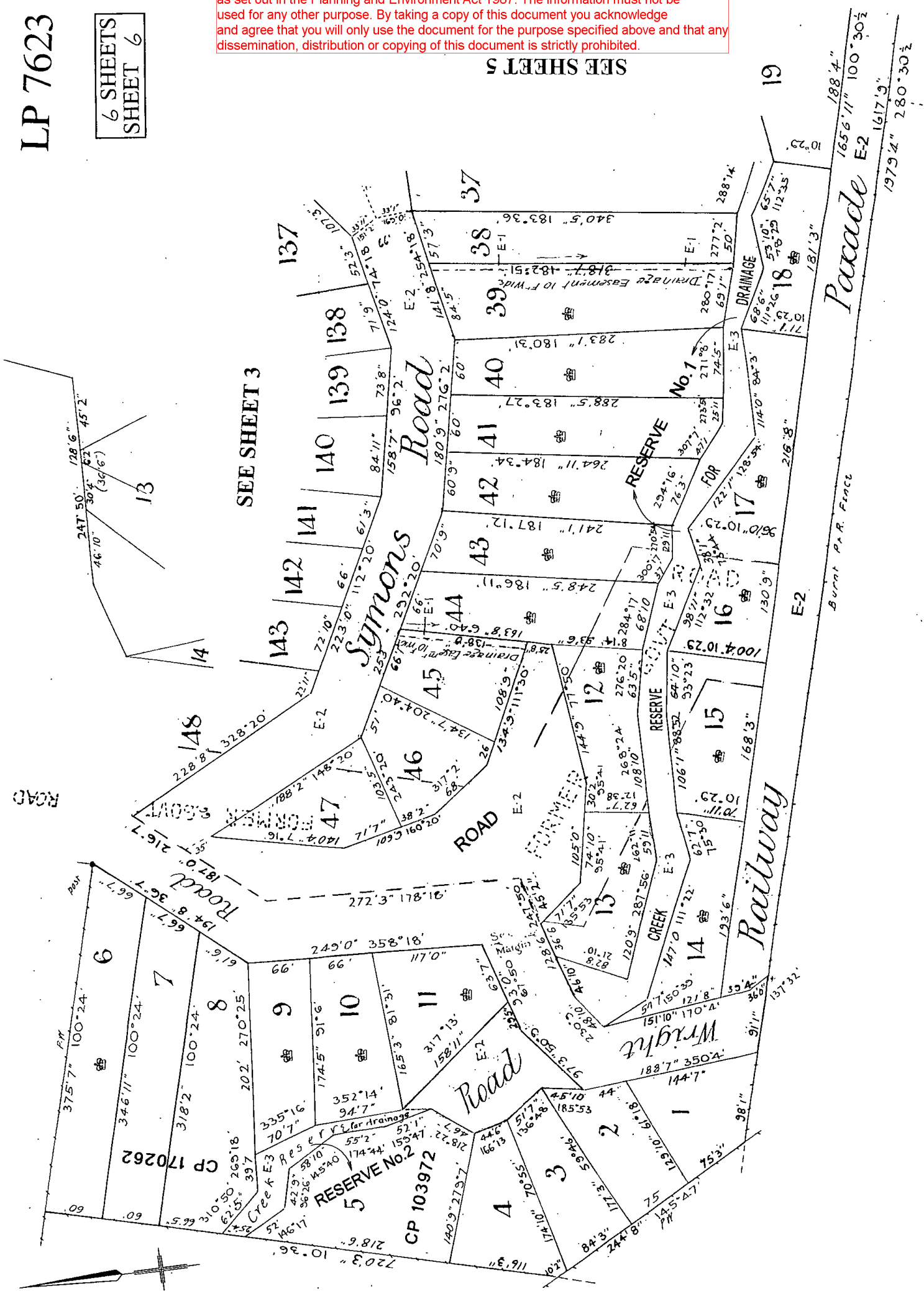


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LP 7623

6 SHEETS  
SHEET 6

SEE SHEETS 5



188'4"  
165'6" 11" 100' 30"  
E-2  
1617'9"  
1979'4" 280' 30"

Parade

19

DRAINAGE

RESERVE No. 1

RESERVE

RESERVE

Wright

Wright Road

CP 103972

CP 170262

SEE SHEET 3

Symons Road

ROAD



# MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

# PLAN NUMBER LP 7623

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
		STREET NAME AMENDED FROM GRIEVE RD TO UPPER GRIEVE RD	GAZ.85 P.3775			1	
		STREET NAME AMENDED FROM GRIEVE RD TO LOWER GRIEVE RD	GAZ.85 P.3775			1	
		<b>WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED. NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.</b>					
LOT 26 & 123	E-4	EASEMENT ENHANCED				2	AD
THIS PLAN		APPURTENANCY NOTATION ADDED				2	AD
LOT 124	E-4	APPURTENANCY NOTATION ADDED				3	AD
ROADS		EASEMENTS ENHANCED				4	AD

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ePlanning

## Application Summary

Portal Reference	D424803E
Reference No	T220610 - 1

## Basic Information

Cost of Works	\$40,000
Site Address	7 Upper Grieve Road Avonsleigh VIC 3782

## Documents Uploaded

Date	Type	Filename
30-11-2024	Additional Document	Bouma Plans (28.11.24) (7).pdf
30-11-2024	Additional Document	Bushfire Management Plan Upper Grieve Road Avonsleigh Nov 24 (2).pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	[REDACTED]
Submission Date	30 November 2024 - 05:54:PM

## Declaration

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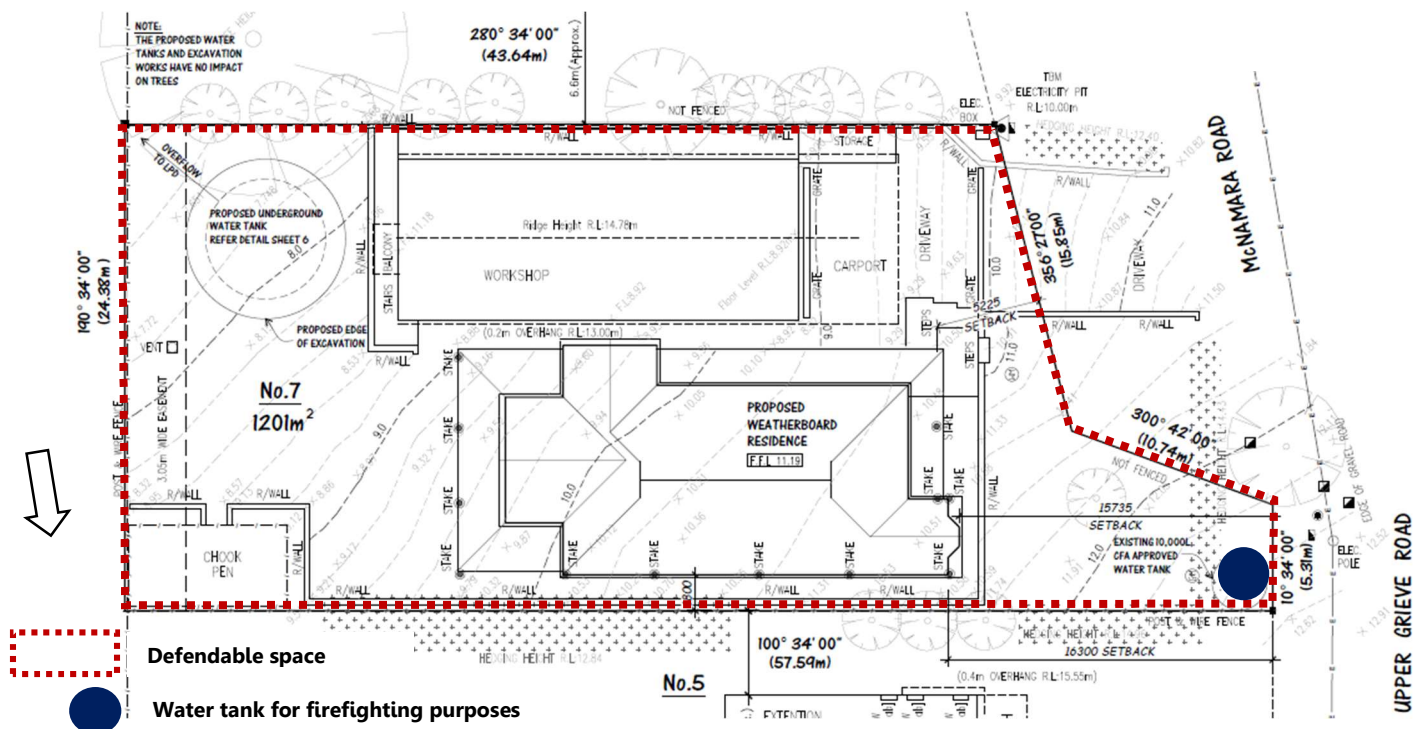


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### Defendable Space

Defendable space shall be provided from the outer face of the dwelling to the property boundary as shown on the plan.

The defendable space must be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of the building, flammable objects must not be located close to the vulnerable parts of the building such as windows.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

### Construction Standard

The dwelling must be designed and constructed to a Bushfire Attack Level (BAL) of BAL19.

The wall of the existing shed facing the dwelling must be upgraded and must extend to the underside of a non-combustible roof covering and:

- Have a FRL of not less than 60/60/60 for loadbearing walls and -/60/60 for non-load bearing walls when tested from the attached structure side, or
- Be of masonry, earth wall or masonry-veneer construction with the masonry leaf of not less than 90 millimetres in thickness.

Any openings in the wall shall be protected in accordance with the following:

- Doorways – by FLR -/60/30 self-closing fire doors
- Windows – by FRL -/60/- fire windows permanently fixed in the closed position
- Other openings – by construction with a FRL of not less than -/60/-

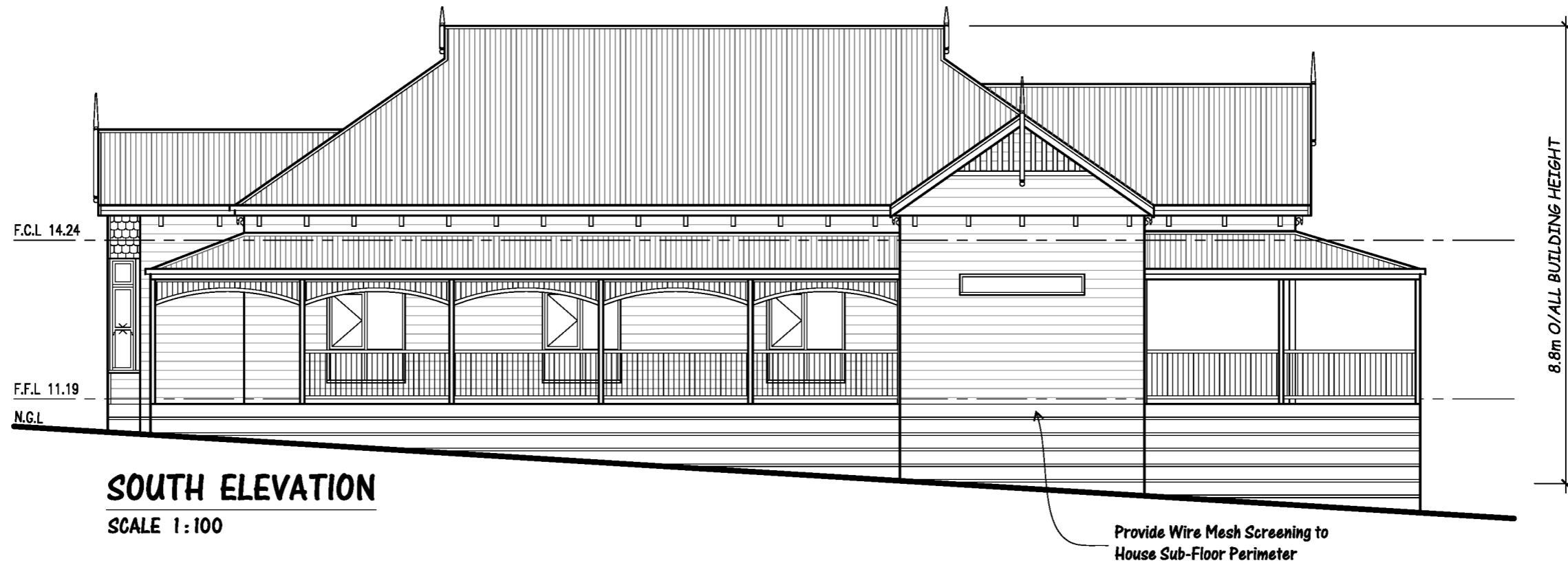
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### Water Supply

The existing water tank for firefighting purposes must be maintained so as to meet the following requirements:

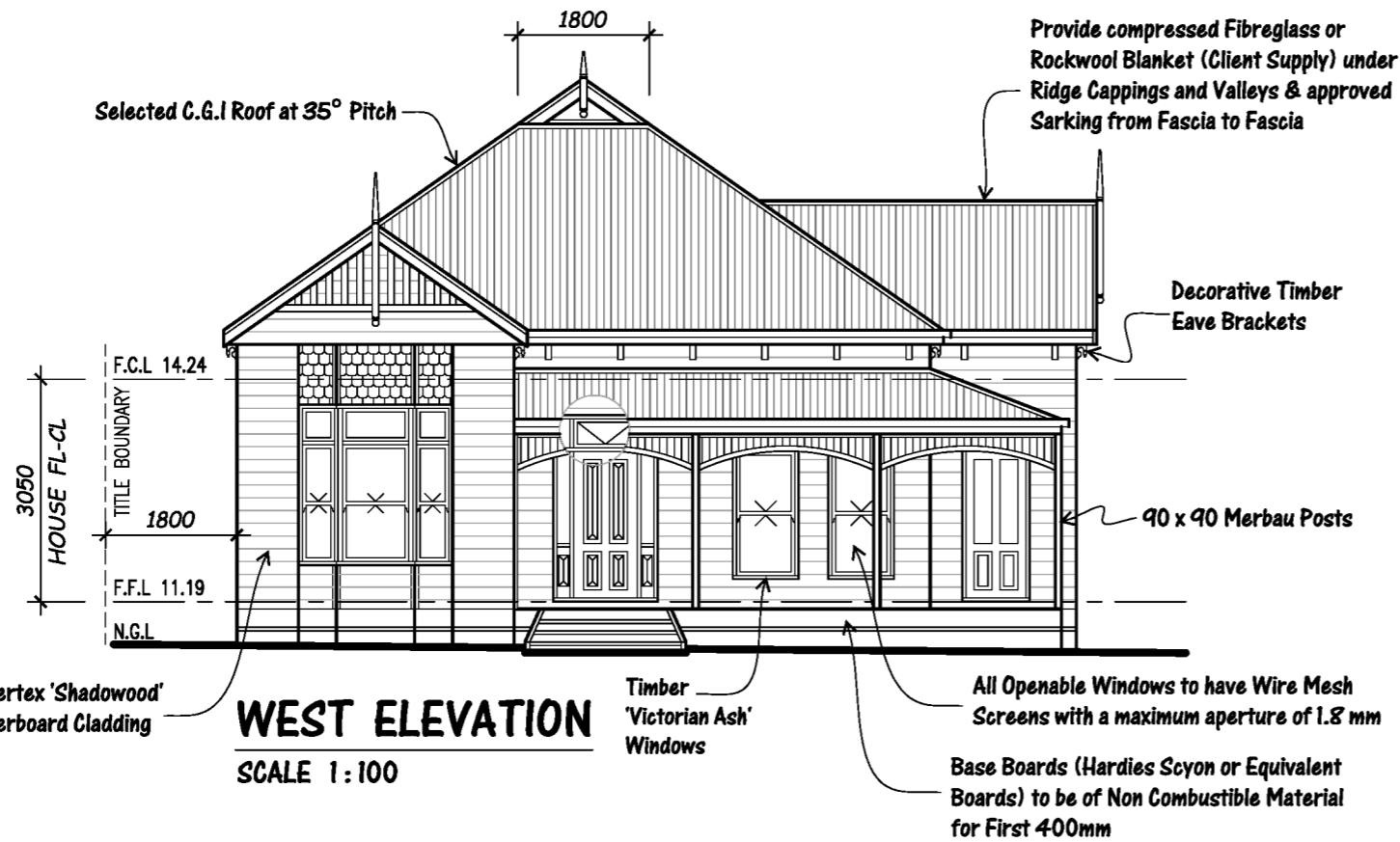
- The tank must have a minimum capacity of 10,000 litres and be an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the dwelling or appropriate identification signs to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the dwelling.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP) 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

IT IS THE RESPONSIBILITY OF THE CLIENT TO CONFIRM ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCING ANY WORK.



**SOUTH ELEVATION**

SCALE 1:100



**WEST ELEVATION**

SCALE 1:100

**NOTE:**  
All Construction Methods to be in accordance with BAL - 19 A.S. 3959 - 2018 Construction of Buildings in Bushfire Prone Areas, Local Council and CFA requirements.

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**Harkaway Homes Pty Ltd**  
Registration: CDB-U 49296  
ABN 88 128 943 251  
ACN 128 943 251  
57 National Avenue  
Pakenham Victoria 3810  
Telephone (03) 5943 2388

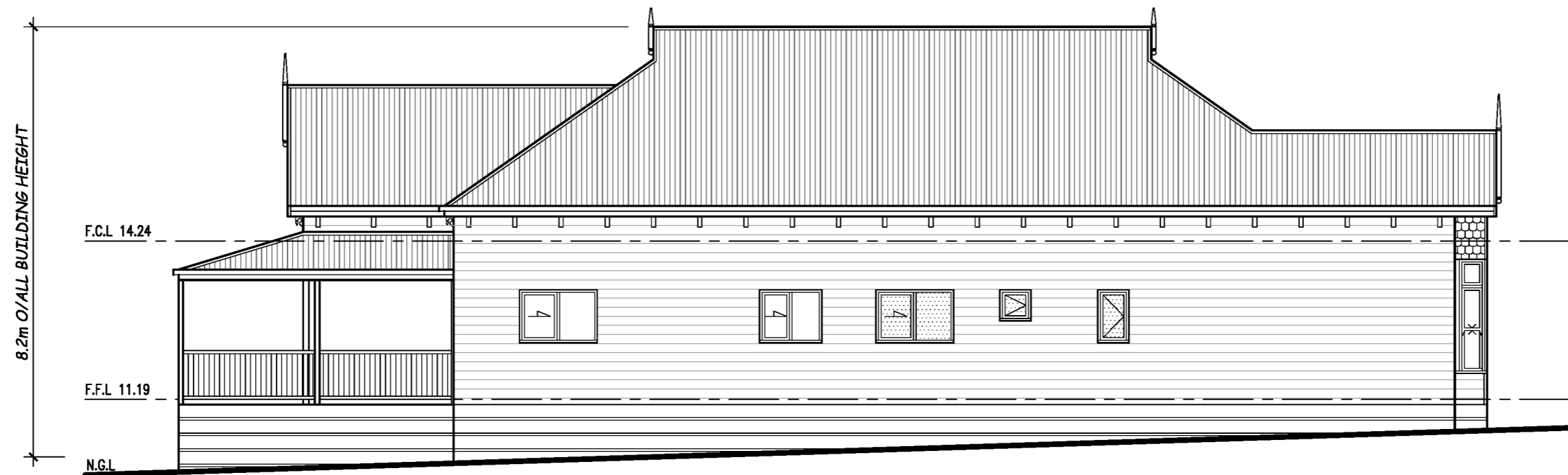
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**PROPOSED WEATHERBOARD RESIDENCE**

**AT No.7, UPPER GRIEVE ROAD, AVONSLEIGH, VIC**

DRAWN BY: J. UNG | JOB No 634 | DWELLING 181.35m<sup>2</sup> | PLOT DATE :28 Nov 2024 | SHEET : 1 of 6

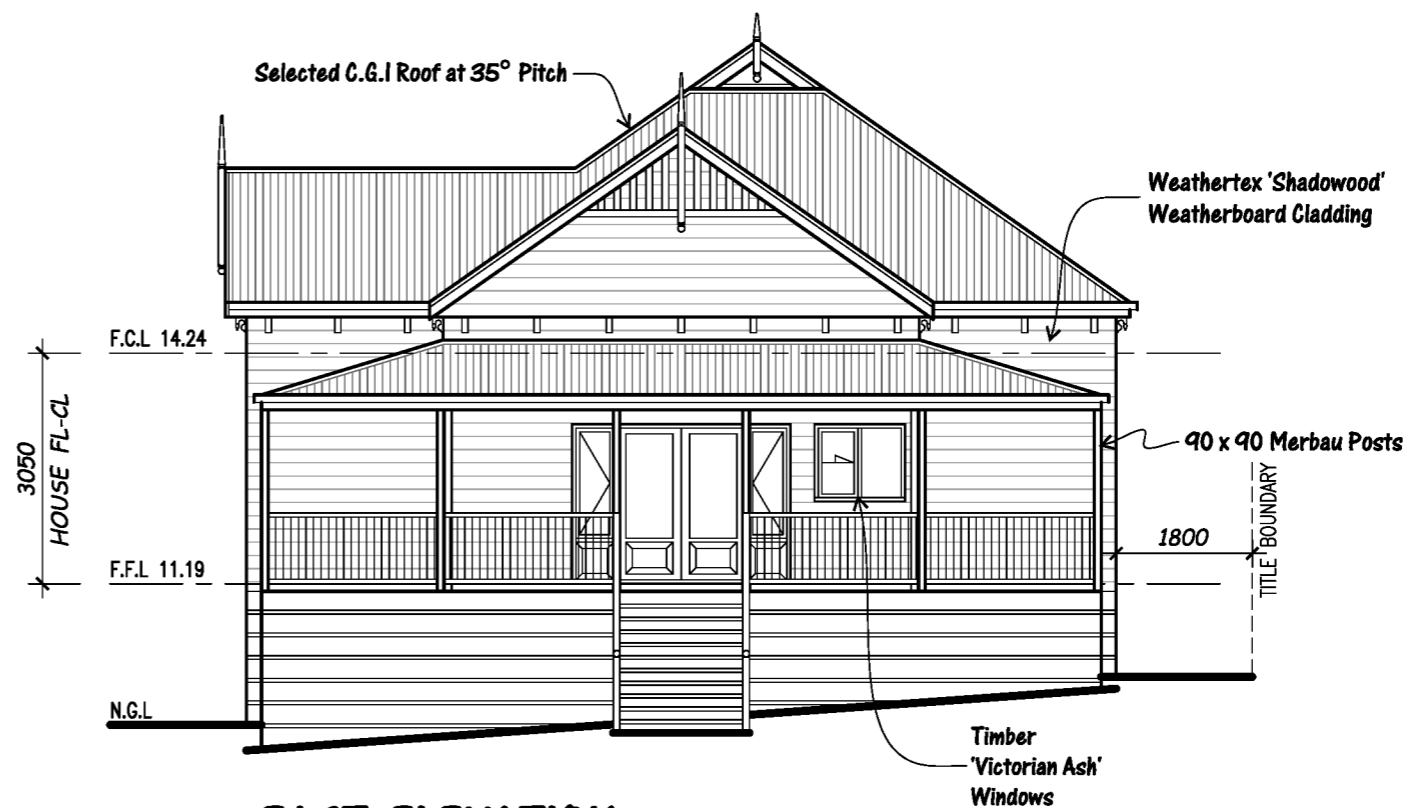


**NORTH ELEVATION**

SCALE 1:100

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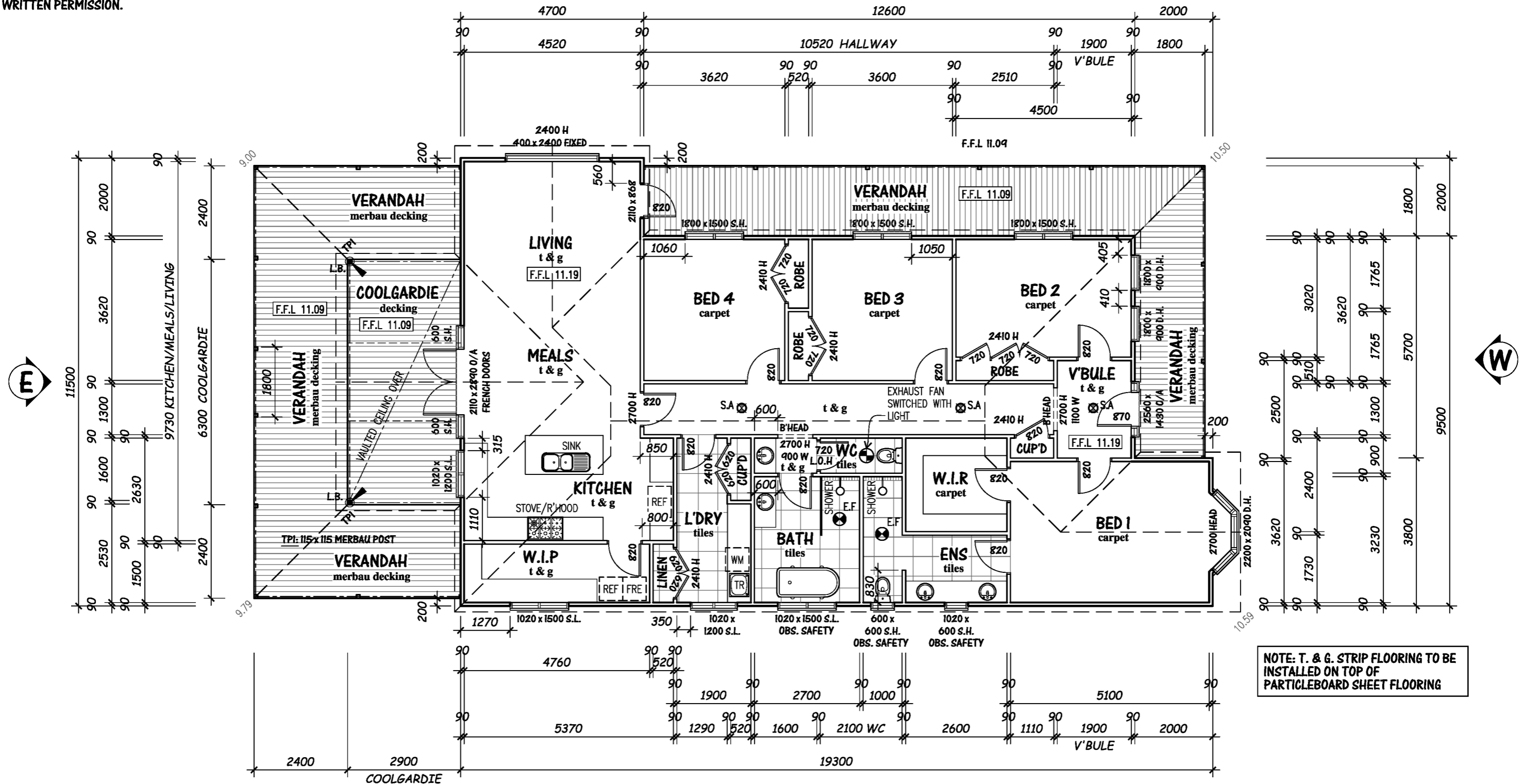
**EAST ELEVATION**

SCALE 1:100

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NOTE: T. & G. STRIP FLOORING TO BE INSTALLED ON TOP OF PARTICLEBOARD SHEET FLOORING

### FLOOR PLAN

SCALE 1:100@A3

- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED
- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE
- SA ⊗ - DENOTES SMOKE ALARM (INTERCONNECTED)
- ⊕ - DENOTES MECHANICAL VENTILATION (EXHAUST FAN) SWITCHED WITH LIGHT
- L.O.H - DENOTES LIFT OFF HINGES

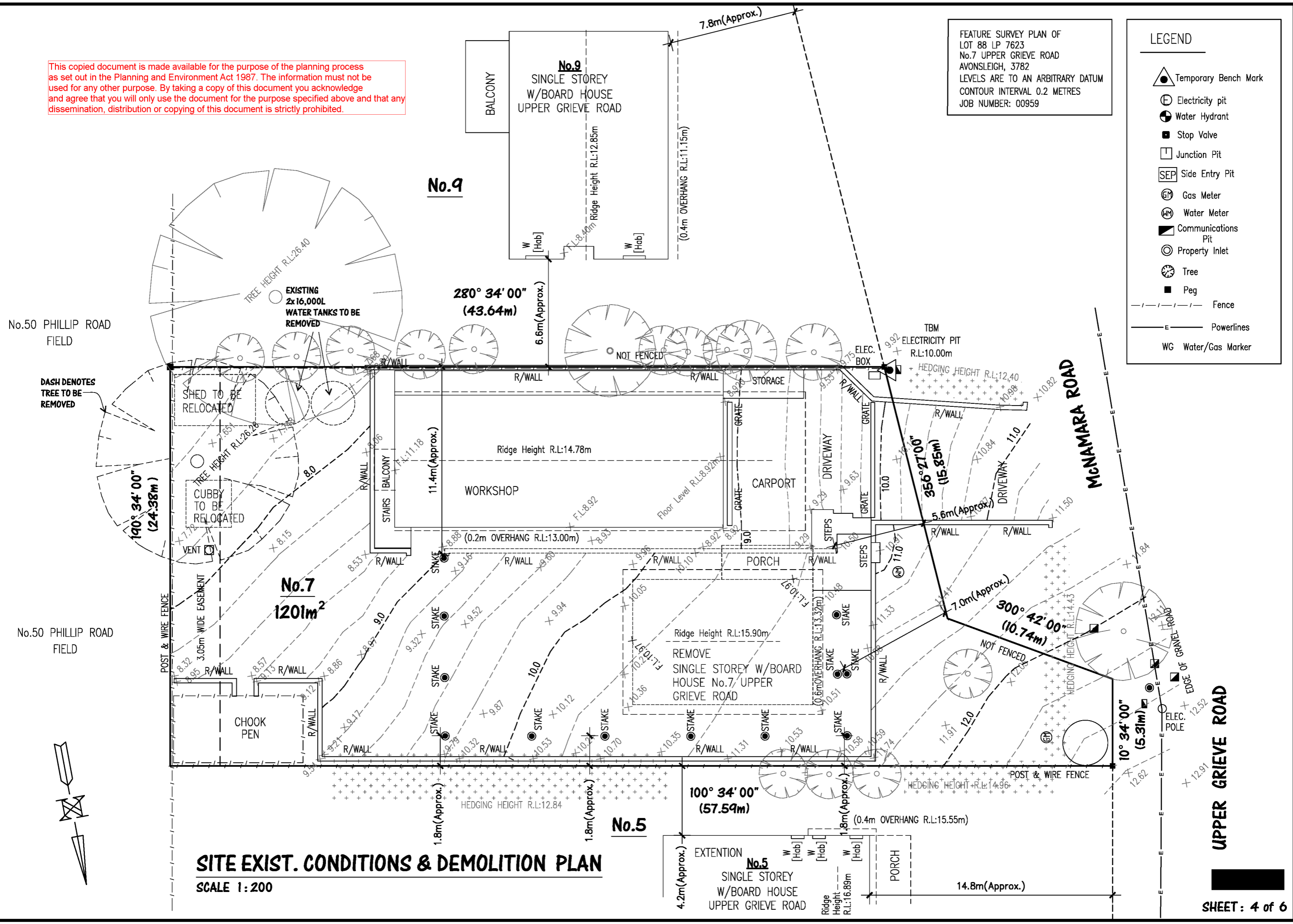
EF ⊕ EXHAUST FAN



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FEATURE SURVEY PLAN OF  
 LOT 88 LP 7623  
 No.7 UPPER GRIEVE ROAD  
 AVONSLIGH, 3782  
 LEVELS ARE TO AN ARBITRARY DATUM  
 CONTOUR INTERVAL 0.2 METRES  
 JOB NUMBER: 00959

LEGEND	
	Temporary Bench Mark
	Electricity pit
	Water Hydrant
	Stop Valve
	Junction Pit
	Side Entry Pit
	Gas Meter
	Water Meter
	Communications Pit
	Property Inlet
	Tree
	Peg
	Fence
	Powerlines
	WG Water/Gas Marker



**SITE EXIST. CONDITIONS & DEMOLITION PLAN**  
 SCALE 1:200

UPPER GRIEVE ROAD

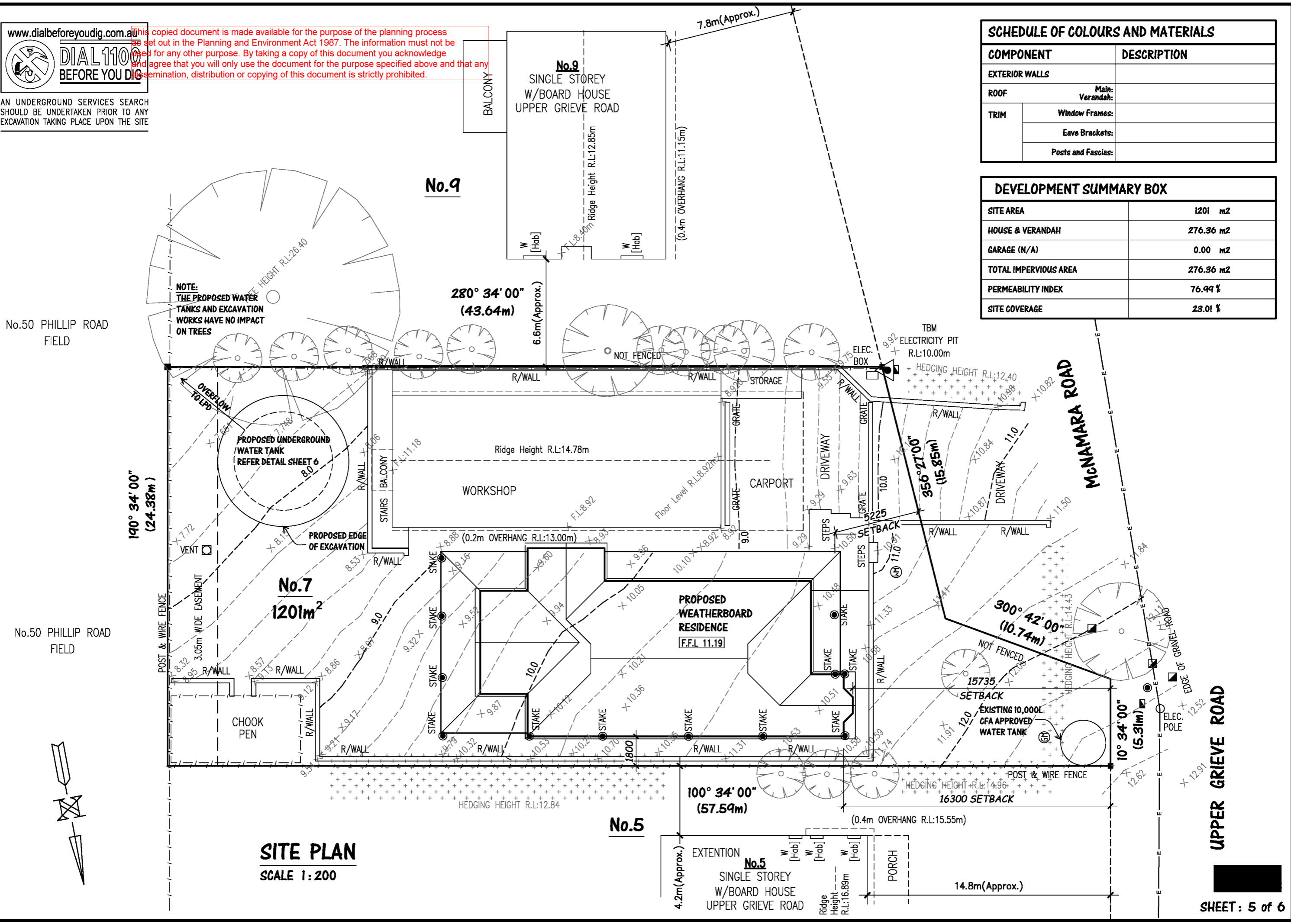


AN UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE

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SCHEDULE OF COLOURS AND MATERIALS	
COMPONENT	DESCRIPTION
EXTERIOR WALLS	
ROOF	Main: Verandah:
TRIM	Window Frames:
	Eave Brackets:
	Posts and Fascias:

DEVELOPMENT SUMMARY BOX	
SITE AREA	1201 m <sup>2</sup>
HOUSE & VERANDAH	276.36 m <sup>2</sup>
GARAGE (N/A)	0.00 m <sup>2</sup>
TOTAL IMPERVIOUS AREA	276.36 m <sup>2</sup>
PERMEABILITY INDEX	76.99 %
SITE COVERAGE	23.01 %

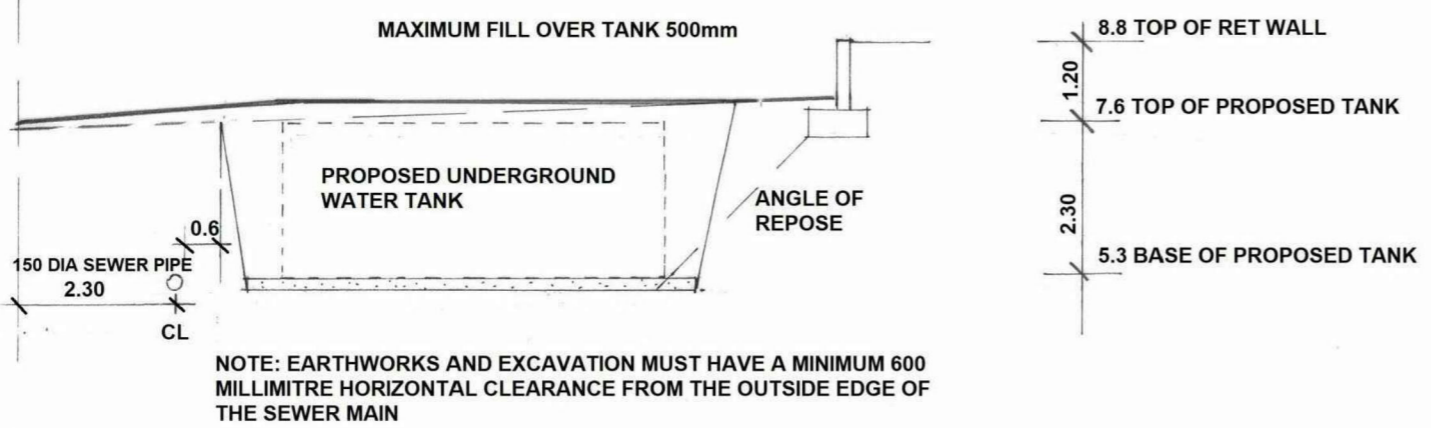
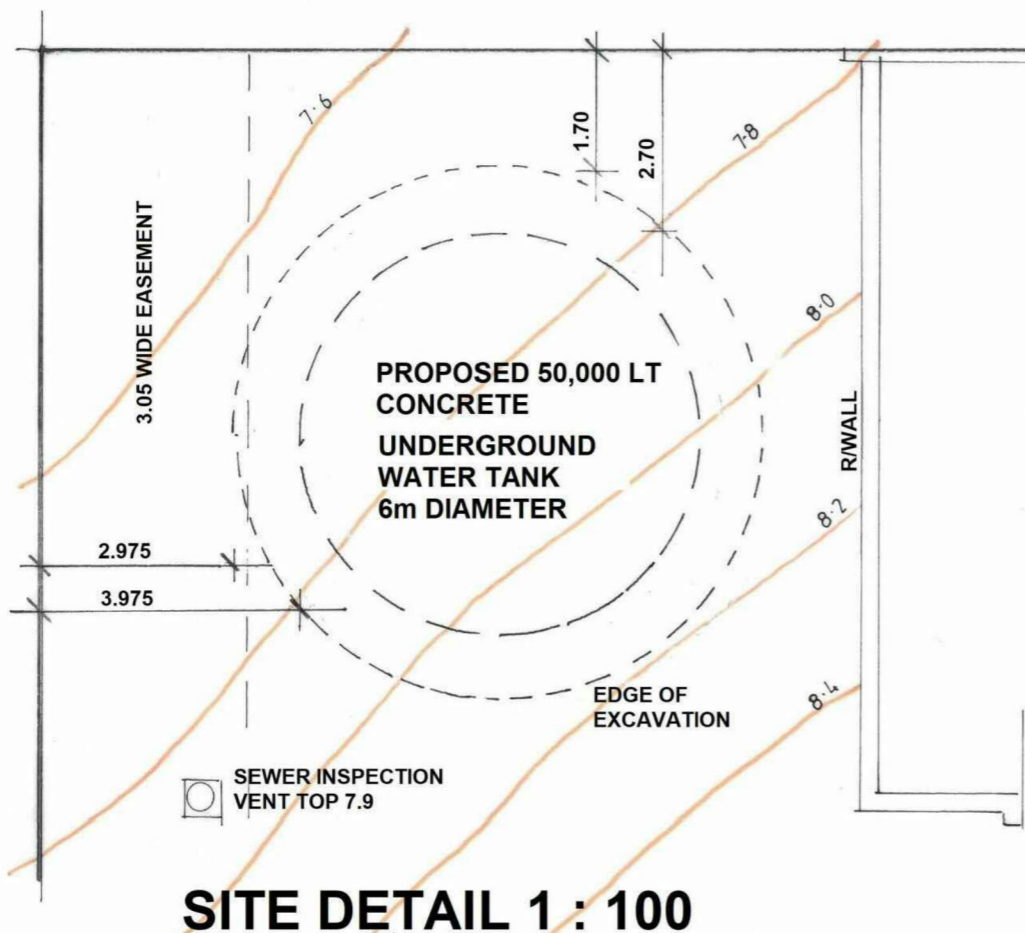


**SITE PLAN**  
SCALE 1:200

UPPER GRIEVE ROAD



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PROJECT: PROPOSED UNDERGROUND WATER TANK  
 ADDRESS: 7 UPPER GRIEVE ROAD AVONSLEIGH  
 CLIENT: [REDACTED]



**BUILDING PERSPECTIVES**  
 DESIGN & DRAFTING SERVICES  
 [REDACTED]  
 REGISTRATION NUMBER DP - AD 18606  
 PH: 0407358890

DATE	JULY 2024
SCALE	1:100 UNO
ORIGINAL	A3
PLAN NO	24 - 15