
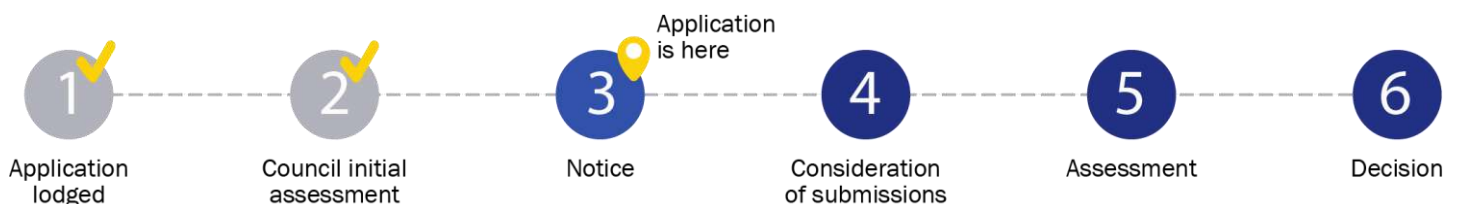


Notice of Application for a Planning Permit

The land affected by the application is located at:	L231 PS902144 V12580 F649 10 Kookaburra Rise, Pakenham VIC 3810	
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works,	
42.01-2	Construct a fence	
APPLICATION DETAILS		
The applicant for the permit is:	Frenken Homes Pty Ltd	
Application number:	T240614	
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		21 March 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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ePlanning

Application Summary

Portal Reference A424937P

Basic Information

Proposed Use	CONSTRUCTION OF NEW SINGLE STOREY DWELLING WITH DOUBLE GARAGE ON LAND SUBJECT TO ENVIRONMENTAL SIGNIFICANCE OVERLAY
Current Use	VACANT
Cost of Works	\$275,167
Site Address	10 Kookaburra Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	LEASHELLE FAIRBAIRN FRENKEN HOMES PTY LTD	10 KOOKABURRA RISE, PAKENHAM VIC 3810	[REDACTED]
Preferred Contact	LEASHELLE FAIRBAIRN FRENKEN HOMES PTY LTD	10 KOOKABURRA RISE, PAKENHAM VIC 3810	[REDACTED]

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,420.70	100%	\$1,420.70
Total			\$1,420.70



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

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Documents Uploaded

Date	Type	Filename
21-11-2024	A Copy of Title	TITLE.pdf
21-11-2024	Site plans	SITE PLAN.pdf
21-11-2024	A proposed floor plan	FLOOR PLAN.pdf
21-11-2024	Proposed elevation plan	ELEVATIONS.pdf
21-11-2024	Overlay Requirements	ESO 42.01-s4.pdf
21-11-2024	Additional Document	POS CURRENT NOV 2024.pdf
21-11-2024	Encumbrance	AX385769J.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Declaration



20 Siding Avenue, Officer, Victoria

**Council's Operations Centre
(Depot)**
Purton Road, Pakenham, Victoria

Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810

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ePlanning

Application Summary

Portal Reference	D125979M
Reference No	T240614

Basic Information

Cost of Works	\$275,167
Site Address	10 Kookaburra Rise Pakenham VIC 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Documents Uploaded

Date	Type	Filename
10-01-2025	Additional Document	SECTION 50 FORM.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit



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After Hours: 1300 787 624
Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T240614 PA
Address of the Land:	LOT 231 NO 10 KOOKABURRA RISE, PAKENHAM

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	FRENKEN HOMES PTY LTD
Address:	194 SLADEN STREET, CRANBOURNE 3977
Phone:	5995 1655
Email:	assist@frenkenhomes.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input checked="" type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
PROPOSAL TO INCLUDE CLAUSE 42.01-2 A PERMIT IS REQUIRED TO		
CONSTRUCT A FENCE		

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Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12580 FOLIO 649

Security no : 124120022140F
Produced 21/11/2024 10:38 AM

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LAND DESCRIPTION

Lot 231 on Plan of Subdivision 902144W.
PARENT TITLES :
Volume 12330 Folio 800 Volume 12580 Folio 422
Created by instrument PS902144W 01/11/2024

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY600385B 15/11/2024
AUSTRALIAN MILITARY BANK LTD

COVENANT PS902144W 01/11/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS902144W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
PS902144W (B)	PLAN OF SUBDIVISION	Registered	01/11/2024
AY600383F (E)	DISCHARGE OF MORTGAGE	Registered	15/11/2024
AY600384D (E)	TRANSFER	Registered	15/11/2024
AY600385B (E)	MORTGAGE	Registered	15/11/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: PAKENHAM ROAD PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 17675U LEGALSTREAM PTY LIMITED
Effective from 15/11/2024

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

DOCUMENT END

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Document Type	Plan
Document Identification	PS902144W
Number of Pages (excluding this cover sheet)	5
Document Assembled	20/11/2024 12:03

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The document is invalid if this cover sheet is removed or altered.

PLAN OF SUBDIVISION	EDITION 1	PS902144W
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<p>LOCATION OF LAND</p> <p>PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: —</p> <p>CROWN ALLOTMENT: 32(PT), 33(PT) & 34(PT)</p> <p>TITLE REFERENCE: VOL. 12580 FOL. 422 VOL. 12330 FOL. 800</p> <p>LAST PLAN REFERENCE: PS848743W (LOT A) LP86652 (LOT 2)</p> <p>POSTAL ADDRESS: 14 SUNNY VISTA (at time of subdivision) PAKENHAM ROAD PAKENHAM 3810</p> <p>MGA CO-ORDINATES: E: 366 200 ZONE: 55 (of approx centre of land in plan) N: 5 786 450 GDA 2020</p>	<p>Council Name: Cardinia Shire Council</p> <p>Council Reference Number: 117 Planning Permit No: T160690 SPEAR Reference Number: S182118A Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 16/08/2023</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification</p> <p>Digitally signed by: Sonia Higgins for Cardinia Shire Council on 27/06/2024</p> <p>Statement of Compliance issued: 28/10/2024</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance</p>
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VESTING OF ROADS AND/OR RESERVES	NOTATIONS
----------------------------------	-----------

IDENTIFIER	COUNCIL/BODY/PERSON	
ROAD R1	CARDINIA SHIRE COUNCIL	
NOTATIONS		
<p>DEPTH LIMITATION: DOES NOT APPLY</p> <p>This is a SPEAR plan.</p> <p>STAGING: This is not a staged subdivision. Planning Permit No. T160690</p> <p>SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675</p>		<p>LOTS 1 TO 200 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.</p> <p>LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 5</p> <p>OTHER PURPOSE OF PLAN: TO REMOVE THAT PART OF THE SEWERAGE EASEMENT CREATED AS E-3 ON PS848743W CONTAINED WITHIN MONTEREY WAY ON THIS PLAN.</p> <p>GROUND'S FOR REMOVAL OF EASEMENT: AGREEMENT FROM ALL INTERESTED PARTIES (SECTION 6(1)K SUBDIVISION ACT 1988)</p> <p style="text-align: center;">WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958</p>

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

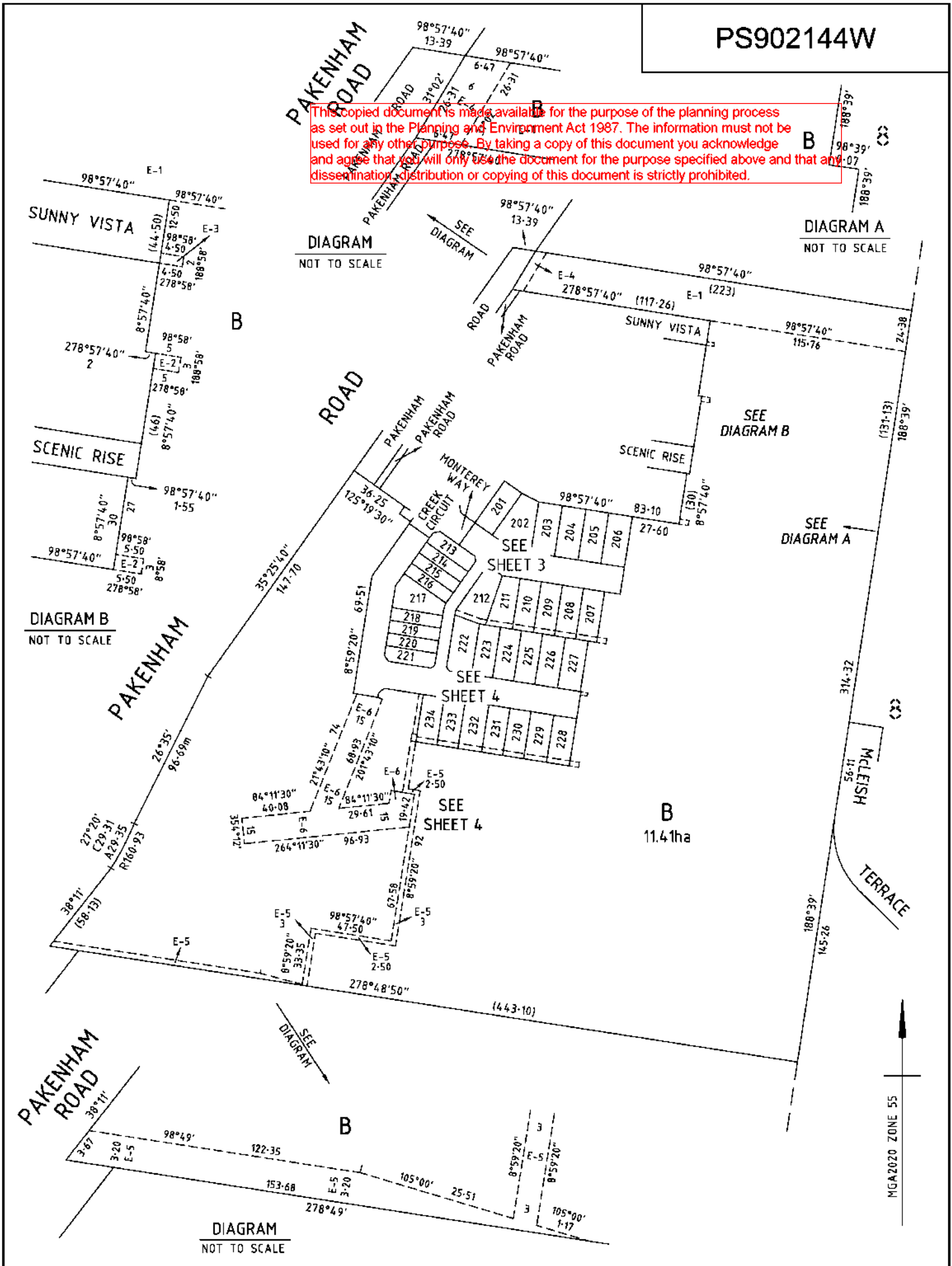
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO LOTS 213 TO 216 (BOTH INCLUSIVE) AND 218 TO 221 (BOTH INCLUSIVE) IN THIS PLAN.

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4	PIPELINE	24.38	INST, D613929	VICTORIA PIPELINES COMMISSION
E-2	DRAINAGE	SEE DIAG	PS848743W	CARDINIA SHIRE COUNCIL
E-2, E-3	SEWERAGE	SEE DIAG	PS848743W	SOUTH EAST WATER CORPORATION
E-7, E-5	SEWERAGE	SEE DIAG	THIS PLAN	SOUTH EAST WATER CORPORATION
E-7, E-6	DRAINAGE	SEE DIAG	THIS PLAN	CARDINIA SHIRE COUNCIL
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	PS848743W	SOUTH EAST WATER CORPORATION

<p>Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au</p>	<p>SURVEYORS FILE REF: 2000490/02 2000490-02-PS-V6.DWG</p>	<p>ORIGINAL SHEET SIZE: A3</p>	<p>SHEET 1 OF 5</p>
	<p>Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (6), 03/06/2024, SPEAR Ref: S182118A</p>		<p>Land Use Victoria Plan Registered 10:25 AM 01/11/2024 Assistant Registrar of Titles</p>

PS902144W

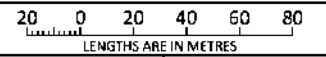
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BW Beveridge Williams
 development & environment consultants
 Melbourne ph : 03 9524 8888
 www.beveridgewilliams.com.au

SURVEYORS REF
2000490/02

SCALE
1 : 2000



ORIGINAL SHEET
SIZE: A3

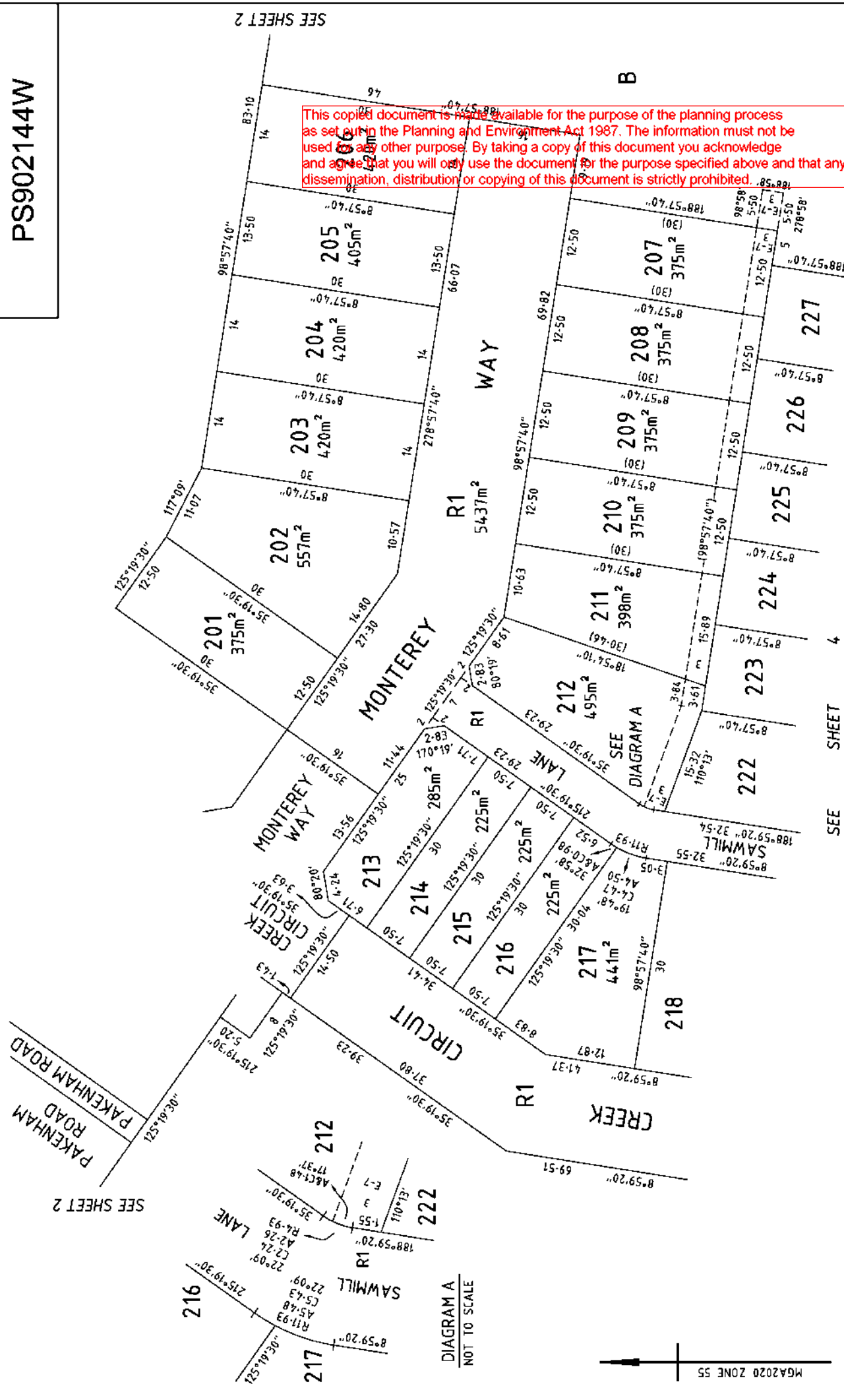
SHEET 2


Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
 Surveyor's Plan Version (6),
 03/06/2024, SPEAR Ref: S182118A

Digitally signed by:
 Cardinia Shire Council,
 27/06/2024,
 SPEAR Ref: S182118A

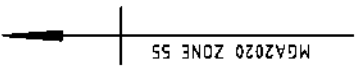
PS902144W

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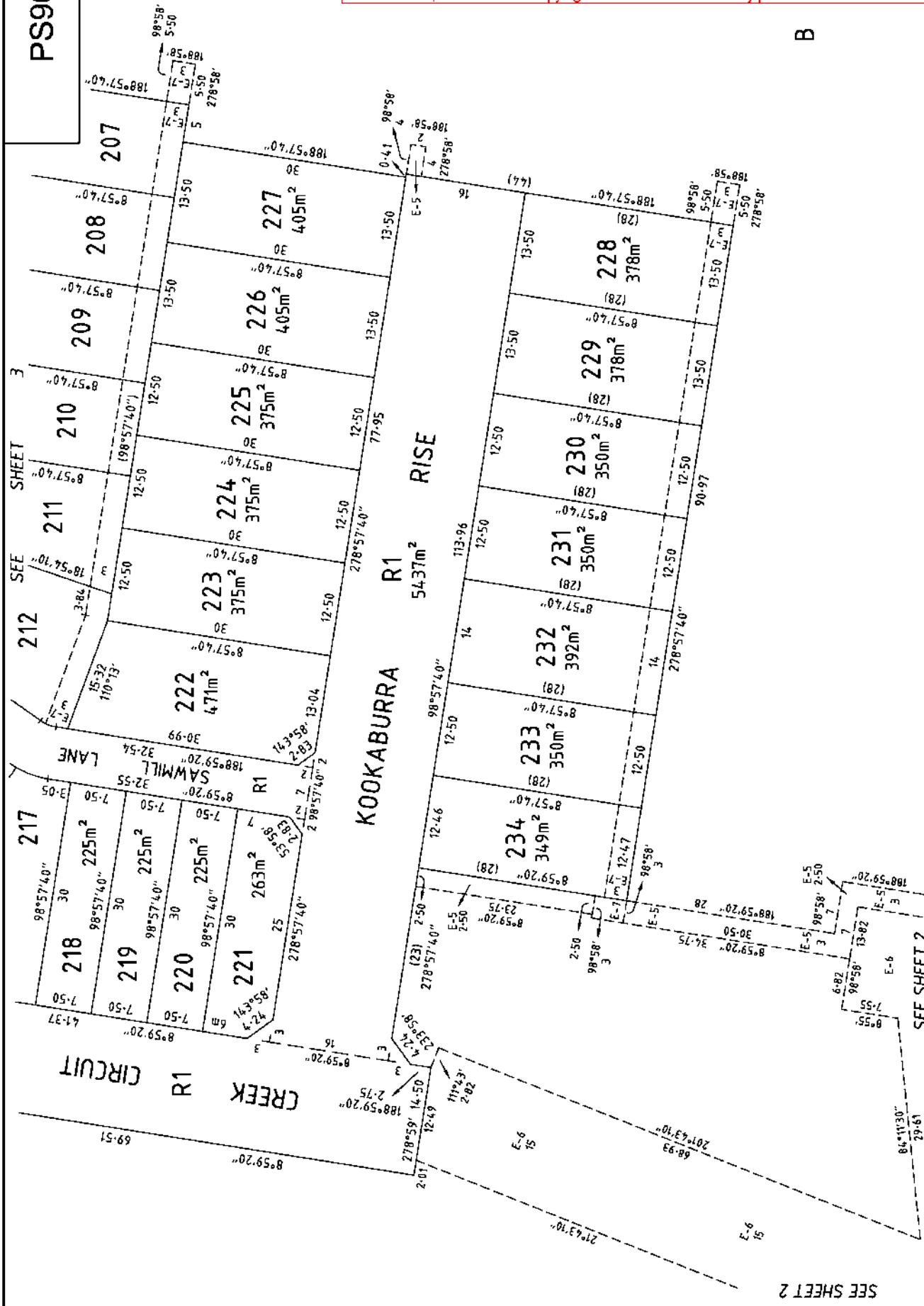
 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /02	SCALE 1 : 500 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 3
	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Cardinia Shire Council, 27/06/2024, SPEAR Ref: S182118A			

PS902144W




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B



SEE SHEET 2

SEE SHEET 2

 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /02	SCALE 1 : 500 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 4
	Digitally signed by: Cardinia Shire Council, 27/06/2024, SPEAR Ref: S182116A	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (6), 03/06/2024, SPEAR Ref: S182116A	5 0 5 10 15 20	

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS902144W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

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LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:
 - (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
 - (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 201 TO 234 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.



Department of Environment, Land, Water & Planning

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Electronic Instrument Statement

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Produced 20/11/2024 12:03:49 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	[REDACTED]
Address	[REDACTED]
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC



Department of Environment, Land, Water & Planning

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Electronic Instrument Statement

Postcode 3809

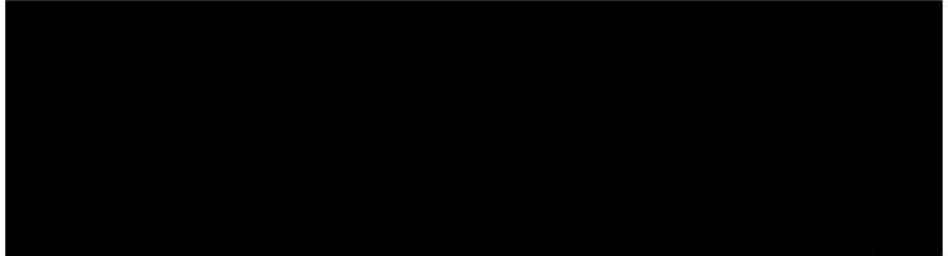
Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.



File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council



Ref: DV:NB:1050250

Doc ID 1115801193/v1

Level 8, 447 Collins Street, Melbourne VIC 3000 Australia
PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

Table of contents

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1. Definitions and interpretation clauses	2
2. Owner's obligations	5
3. Further obligations	5
4. Agreement under Section 173 of the Act	6
5. Owner's warranties	7
6. Successors in title	7
7. Notices	7
8. Miscellaneous	8
Schedule	10
Executed as a deed	11
Schedule 1	12
Schedule 2	13

Deed of Agreement

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Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) *A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) *A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

- F. The Parties have agreed to enter into this Agreement:
- (a) to give effect to the requirements of the Amended Planning Permit;
 - (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
 - (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

- Act** means the *Planning and Environment Act 1987* (Vic).
- Agreement** means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.
- Building Design Guidelines** means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

- Planning Scheme** means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
- Plantation Reserve** means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
- Subject Land** means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
- VCAT** means the Victorian Civil and Administrative Tribunal.
- Vegetation Plan** means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

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8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

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8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

Schedule

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Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

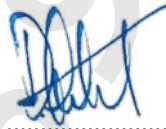
Executed by Daiwa Capital Markets Australia Ltd ()
ACN 006 461 356 in accordance with s 127(1) of the ()
Corporations Act 2001:



.....
Signature of Director
~~Secretary~~

Susumu Handa

.....
Print full name



.....
Signature of Director/Company Secretary

Dean Stanford

.....
Print full name


Executed as a deed

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Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by **Luke Connell**,)

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation)
in the presence of:)

DocuSigned by:

1C182BECBC4B4AD...
Signature of Luke Connell


DocuSigned by:

9C70D1D8D20943A...

Signature of witness
The execution of this document has been witnessed by me in accordance with the requirements for witnessing by audio-visual link under section 12 of the Electronic Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

Vanessa Neep
.....
Name of witness
(BLOCK LETTERS)

Executed by **BNG (PAKENHAM) PTY LTD**
(ACN 640125686) in accordance with
section 127 of the *Corporations Act 2001* (Cth)
by:


Signature of Director and Company Secretary

Xiaoxia Zhang
Full name (print)


Signature of Director

Richard W D Han
Full name (print)

Schedule 1

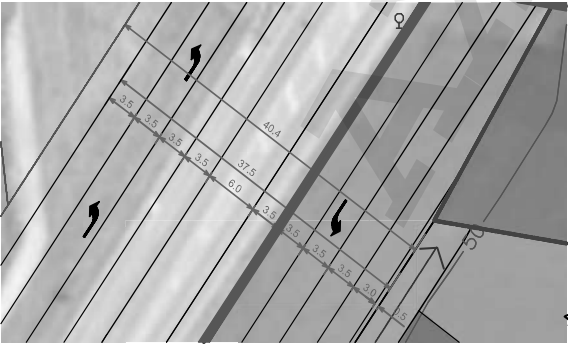
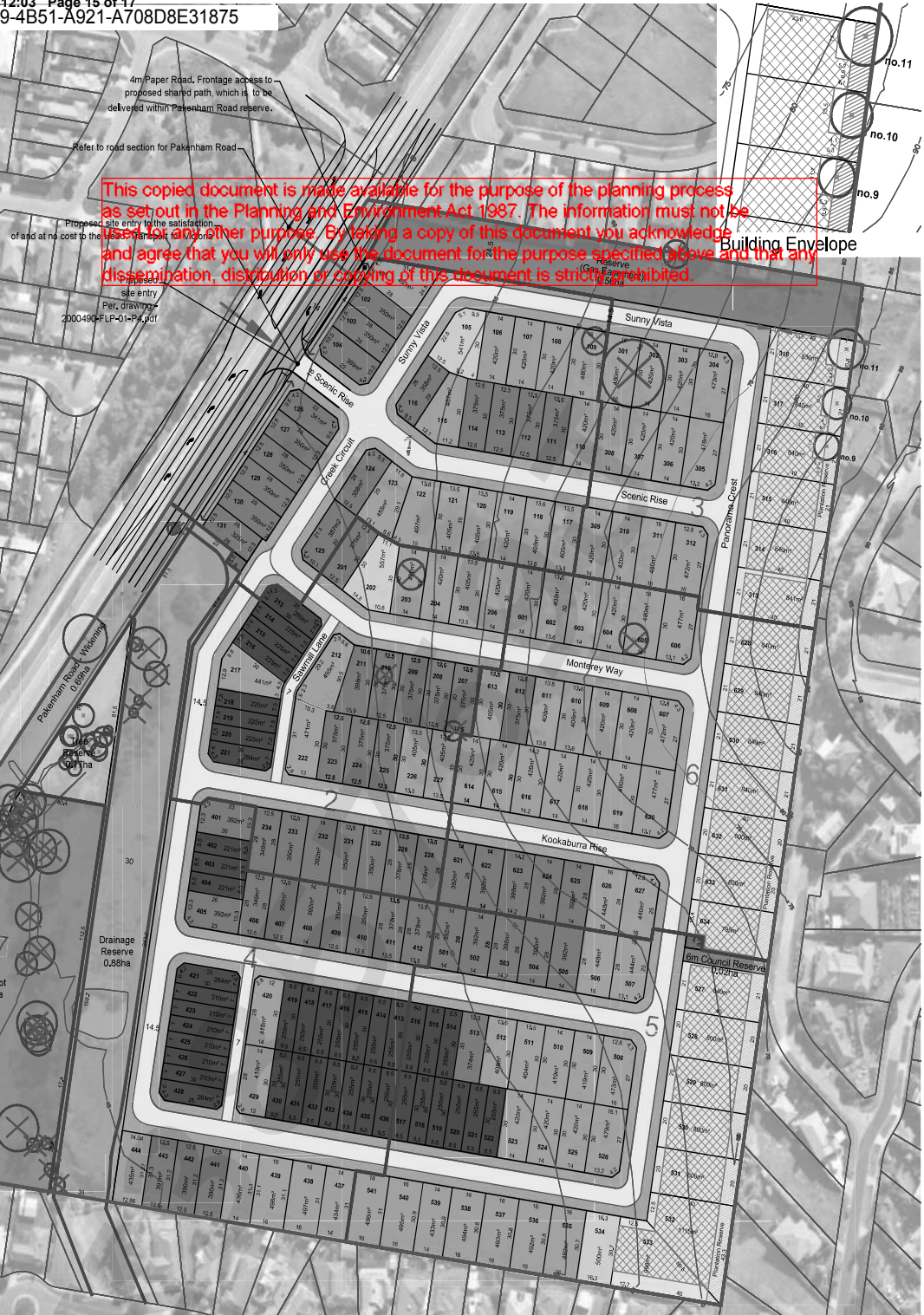
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Building Envelope Plan

AX385769J

LEGEND

- Title boundary (approx.)
- Pedestrian path
- Shared path
- Stage boundary
- Stage numbers
- Entry point
- Existing contours (5m interval)
- Lots
- Substation kiosk
- Superlot
- Pakenham road widening
- Naturestrip (indicative)
- Road pavement (indicative)
- Reserve (Council easement)
- Tree reserve
- Drainage reserve
- Plantation Reserve (back of lot) = 7m
- Turning direction
- Trees & TPZ - via Ecdlink
- Trees to be removed
- 4m Paper Road
- Building Envelope



Pakenham Road - Cross Section

- Notes:**
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment and detention of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
 - All roads are 16m local access level 1 unless noted otherwise
 - Road pavement is indicative only and subject to detailed engineering design.
 - Arc dimensions shown are length of arc (not chord)

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

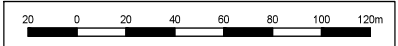
* Stage includes 1 Superlot

Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

* Table does not include superlot

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 Lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA



Beveridge Williams

Subdivision Plan
 110 Pakenham Road, Pakenham
 BNG Group

APPROVED AMENDED PLAN
 PLANNING AND ENVIRONMENT ACT 1987
 CARDINIA PLANNING SCHEME
 PERMIT No. T160990-2
 SHEET 1 OF 1
 APPROVED BY: Dean Haeussler
 CARDINIA SHIRE COUNCIL
 DATE: Monday, 10 October 2022

12	مخطط	Pakenham road layout	KT	KT	Date: 01.09.2022
13	مخطط	Added building envelopes	KT	KT	Version No: 16
14	مخطط	Updated road and staging boundary	KT	KT	Job No: 2000490
15	مخطط	Updated staging boundary	KT	KT	Scale (A1): 1:1000
16	مخطط	Updated lot numbers, building envelope and naturestrips	OX	KT	(A3): 1:2000
Version	Date	Description	Drafted	Approved	

K:\JOBS DATA\2000490-110 PAKENHAM ROAD\JOBCAD\2000490_L10_BASE\12\2022

Schedule 2

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Vegetation Plan

AX385769J

LEGEND

- EXTENT OF WORK
- POSTHOLE 300 DIA
- EXISTING TREES TO BE RETAINED REFER TO MAIN ENVIRONMENT PREPARED BY
- PROPOSED TREES (ALL) 10
- HIGHGROWN MEDIUM & SMALL SHRUBS (80-90)
- WIDE OR SMALL AN MATERIAL
- FENCE 1.80M

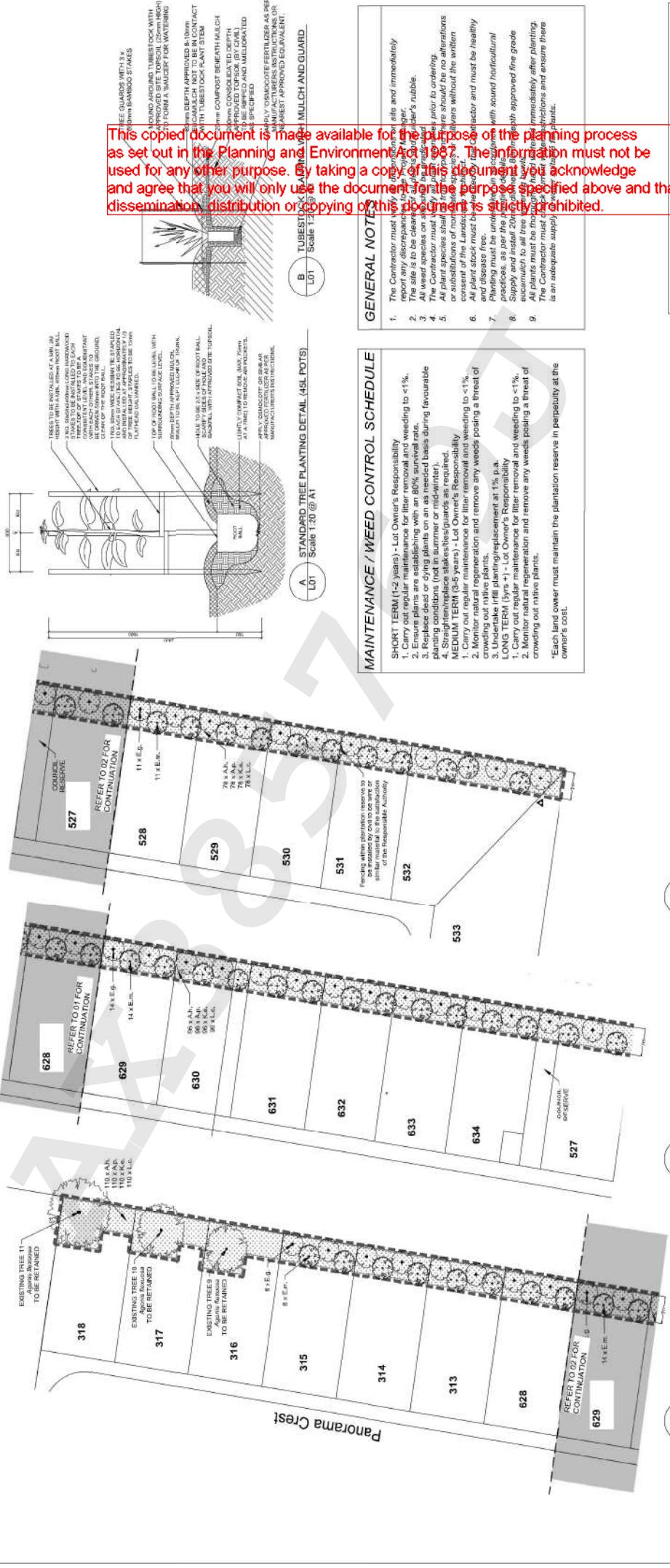
EXISTING VEGETATION

TREES	COMMON NAME	DBH (mm)	HT (m)
01	Large Macaranga	100	10.0
02	Small Macaranga	50	5.0
03	Small Macaranga	50	5.0
04	Small Macaranga	50	5.0
05	Small Macaranga	50	5.0
06	Small Macaranga	50	5.0
07	Small Macaranga	50	5.0
08	Small Macaranga	50	5.0
09	Small Macaranga	50	5.0
10	Small Macaranga	50	5.0
11	Small Macaranga	50	5.0

TREES	BOTANICAL NAME	COMMON NAME	HULL OR HEIGHT (M)	INITIALISED POST HEIGHT (M)	QTY
1	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
2	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
3	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
4	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
5	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
6	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
7	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
8	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
9	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1
10	<i>Macaranga grandis</i>	Large Macaranga	120 x 60 x 45	120 x 60 x 45	1

NOTES

- Grass seed mix and shrub planting is indigenous as per EVC Number 126, Grassy Forest (Highlands - Southern Fall Bioregion)
- Plant densities for trees, medium shrubs and small shrubs have been calculated in accordance with the DSE Native Revegetation Planning Standards



GENERAL NOTES

- The Contractor must verify the planting site and immediately report any discrepancies to the Project Manager.
- The site is to be cleared to the outer edge of the tubestock's rubble.
- All weed species on site must be removed prior to ordering.
- All plant species shall be ordered from a reputable supplier.
- All plant species shall be ordered from a reputable supplier.
- All plants must be healthy and free of any pests or diseases.
- All plant stock must be checked by the Contractor and must be healthy and disease free.
- Planting must be undertaken in accordance with sound horticultural practices.
- Supply and install 200mm diameter black plastic mulch with approved fine grade excavator to all trees planted.
- All plants must be thoroughly watered immediately after planting.
- The Contractor must ensure that all planting instructions and ensure there is an adequate supply of water available to the plants.

MAINTENANCE / WEED CONTROL SCHEDULE

SHORT TERM (1-2 years) - Lot Owner's Responsibility

- Carry out regular maintenance for litter removal and weeding to <1%.
- Ensure plants are established with an 80% survival rate.
- Replace dead or dying plants on an as needed basis during favourable planting conditions (not in summer or mid-winter).

MEDIUM TERM (3-5 years) - Lot Owner's Responsibility

- Carry out regular maintenance for litter removal and weeding to <1%.
- Monitor natural regeneration and remove any weeds posing a threat of crowding out native plants.
- Undertake (if) planting/placement at 1%, p.a.

LONG TERM (5yrs +) - Lot Owner's Responsibility

- Carry out regular maintenance for litter removal and weeding to <1%.
- Carry out regular maintenance for litter removal and weeding to <1%.
- Carry out regular maintenance for litter removal and weeding to <1%.

*Each land owner must maintain the plantation reserve in perpetuity at the owner's cost.

FOR APPROVAL

01 NORTHERN PLAN (01)
Scale 1:500 @ A1

02 MIDDLE PLAN (02)
Scale 1:500 @ A1

03 SOUTHERN PLAN (03)
Scale 1:500 @ A1

The Rise - Pakenham
Plantation Reserve Landscape Plan

BNG Group

Project Name: The Rise - Pakenham
Drawing No.: 2000490-01 L01 B
Scale: 1:500 @ A1

Author: [Name]
Checked: [Name]
Date: 17/05/2024

Project Address: 1 Gilbertus Road, Pakenham, VIC 3114
Phone: 03 9528 8888
Website: www.beveridgewilliams.com.au

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LOT 231 NO 10 KOOKABURRA RISE, PAKENHAM

FURTHER INFORMATION REQUIRED.....

1,2 & 4 – Plans uploaded 03/02/2025

3 – Landscape plan uploaded 03/02/2025

5.1

Design Guidelines have been complied with as design approval has been obtained. We have satisfied their requirements including casual surveillance, building setbacks, water saving options and design including variety, articulation, colours, materials, textures, roof design, car accommodation, height restrictions and site coverage.

5.2

DAP approval and stamped plans uploaded 03/02/2025

5.3

Covenant PS902144W

Restriction A – Approval has been obtained from the Design Assessment Panel.

Restriction B – No party walls exist.

Section 173 Agreement AX385769J

There is no vegetation on the land apart from grass / weeds which the owner will maintain along with any future installed landscaping. Developer design approval has been obtained.

The owner is obliged to comply with all things necessary as per the agreement.

PRELIMINARY ASSESSMENT COMMENT RESPONSES.....

1 – SEW build over approval obtained and uploaded 03/02/2025.

Application currently with Katie Slivarich for Council build over consent

2 – Client is happy with design as is.

3 – No outbuildings to note.

4 – Adjoining property owners will only view a small section of dwelling over the fence which will be brickwork broken up with windows and painted infills. Front façade which has varied materials and colours has been approved by the DAP. No further changes are required.

5 – Master bedroom has no window to the east side therefore reduction of eave or master is not required

6 – Landscape plan uploaded 03/02/2025

7 – Noted

8 – Noted

20 DECEMBER 2024

Frenken Homes Pty Ltd
E-mail: assist@frenkenhomes.com.au

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Dear Customer,

APPROVAL FOR PROPOSED STRUCTURES/WORK ADJACENT TO CRITICAL ASSETS

Property Address: Lot 231 10 KOOKABURRA RISE PAKENHAM 3810

Development Type: Residential

Structure Type: Excavation and landscaping

Our Reference: Case: 48283005

PSP: 40205976

I am pleased to advise you that South East Water consents to the above proposal subject to the attached terms and conditions. This permit is valid for the plan submitted for assessment as referenced above.

Should there be any amendments to the approved plan, this consent may be withdrawn or additional conditions imposed.

The location of all assets should be proven by hand on site prior to the commencement of any works and you should make your own independent inquiries as to the location of all assets, property boundaries and dimensions. All liability at law (including under statute), and all conditions and warranties implied by law (including under statute), are expressly excluded except that liability and those conditions and warranties, which cannot be excluded. In respect of liability and conditions and warranties, which cannot be excluded, South East Water's liability to you is limited, as far as law (including statute) permits.

All works must be in accordance with the requirements of South East Water's Customer Buildover Guide which may be obtained at <https://southeastwater.com.au> and is enforceable under Sections 145 and 148 of the Water Act 1989. Please note, works must also comply with the Occupational Health and Safety Regulations 2017 (OHS Regulations 2017).

If you have any enquiries please contact Property Development on 9552 3770.

Yours sincerely



Serena Barbarich
MANAGER PROPERTY DEVELOPMENT

TERMS AND CONDITIONS RELATING TO PROPOSED STRUCTURES/WORK ADJACENT TO CRITICAL ASSETS

PROPERTY ADDRESS Lot 231 10 KOOKABURRA RISE PAKENHAM 3810

APPROVAL DATE 20 December 2024

Our Reference: 48283005

PSP: 40205976

The owner shall make themselves aware of the terms and conditions of this consent.

These standard conditions form part of the approval for the construction of the approved building or structure over South East Waters asset and / or easements or within 1.0m of South East Waters assets and shall be read in conjunction with the approved plan showing Excavation and landscaping Cut/Fill and South East Waters endorsement.

Footings / foundations must extend to a minimum depth to the angle of repose to the invert level of the sewer main, where required to ensure that no additional load will be placed on the sewer by the structure/works. The exact location of assets should be confirmed out on site prior to the commencement of any work/construction to ensure minimum clearances are met.

The owner permits South East Water and its employees, authorised agents and contractors to enter into and upon the land and / or the building and structures contained on the land, for the purpose of inspecting, constructing, maintaining or repairing any sewer, pipe or other structure of South East Water, and if necessary for that purpose to excavate through any part of the building or structure for which approval has been granted.

The owner accepts sole responsibility for and releases South East Water, its employees, authorised agents and contractors in respect of all injury, loss or damage which may be sustained by the approved building and structures or any other property including the property of any person, and any illness, death or injury of any person as a result of works carried out by South East Water and its employees, authorised agents and contractors for the purpose of inspecting, constructing, maintaining or repairing any sewer, pipe or other structure of South East Water, beneath or in the vicinity of the building or structure except to the extent caused by the negligence of South East Water, its employees, authorised agents and contractors.

The owner accepts sole responsibility for and releases South East Water, its employees, authorised agents and contractors in respect of all injury, loss or damage which may be sustained by the South East Water sewer, pipe or other structure, or any other property, including the property of any person, and any illness, death or injury of any person, as a result of the approved building or structure having been constructed over or within 1.0m of the South East Water sewer, pipe or other structure and / or easement.

The owner indemnifies and shall keep indemnified South East Water against all actions, claims, suits and demands losses, damages, costs and expenses of any kind, arising out of or incidental to the construction of and / or retaining the approved building or structure over or within 1.0m of the South East Water sewer, pipe or other structure and / or easement; and any works carried out by South East Water referred to in clause 4 except to the extent caused by the negligence of South East Water, its employees, authorised agents and contractors.

The owner accepts full responsibility for the structural sufficiency of the approved building or structure and its footings, having regard for the presence of the South East Water sewer, pipe, other structure and / or easement.

Where a building control authority requires that a pier and beam type footing system is constructed to support the building or structure, such pier and beam footings shall not involve the use of impact driven piles and / or structures cantilevered over the South East Water sewer, pipe or other structure.

Any deviation from the approved plans will require a further application to be submitted for consideration. Such amended proposals will be considered on the merits of the application and may or may not be approved by South East Water.

The owner agrees to disclose the existence of and conditions of this consent to intending purchasers or mortgagees of the land and/ or the building and structures contained on the land.

This agreement shall be binding on all subsequent owners of the land and/or the approved building or structure contained on the land.

It is the owner's responsibility to comply with all conditions of this consent. Failure to comply will invalidate the consent and may render the owner liable for prosecution as provided for in the Water Act 1989.

This consent does not constitute a building permit or a planning permit, as may be required by the Building Code of Australia, and the various building ordinances and by-laws of the State of Victoria and the Municipal authority in which the land is situated.

The existence and conditions of this agreement will be disclosed to any person making an 'Application for an Information Statement' as part of advice pursuant to section 158 of the Water Act 1989.

EXCAVATE SITE TO R.L.: 98.65
 BACKFILL SITE TO R.L.: 98.85

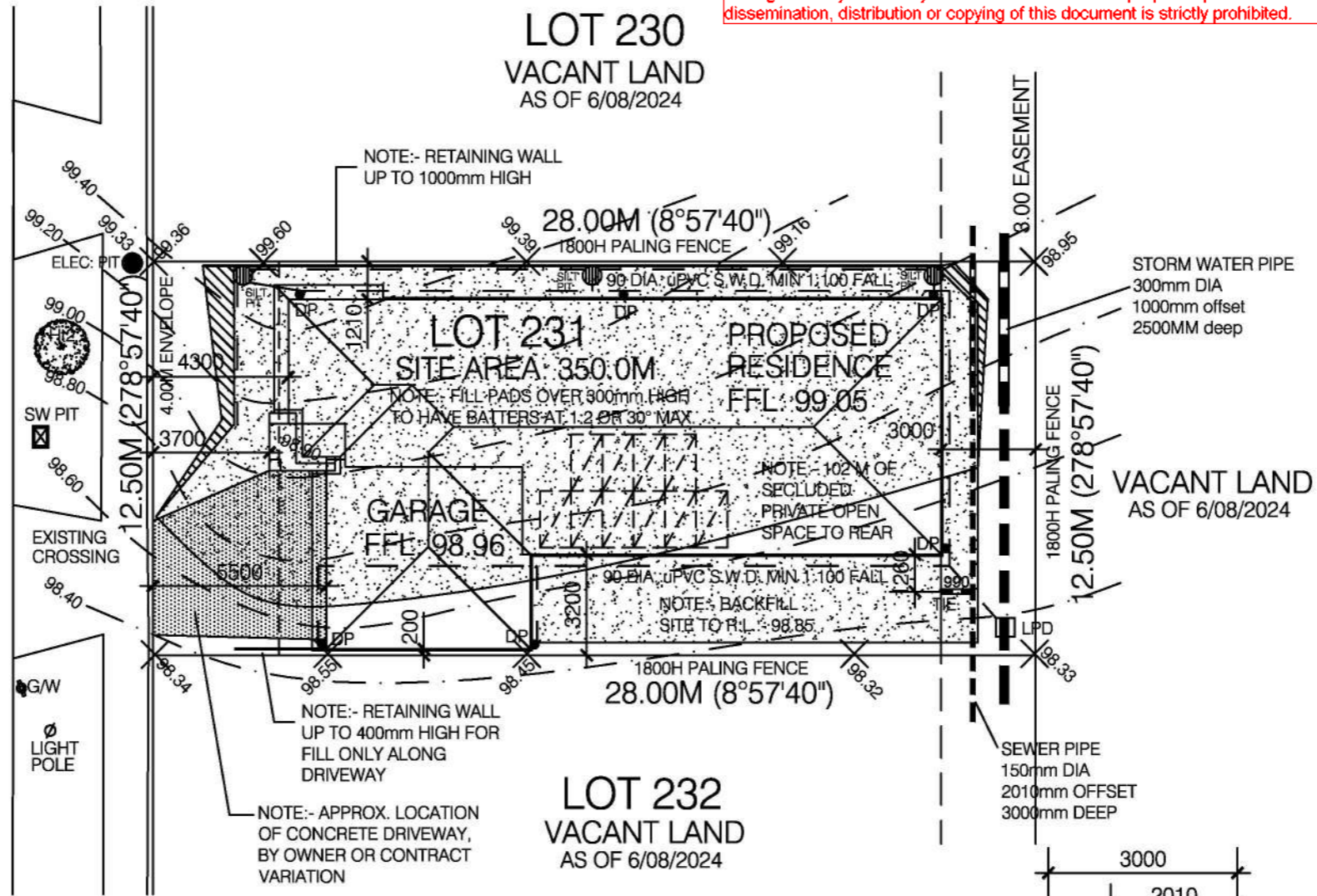
SLEEPER RETAINING WALL 1000mm MAX. HIGH TO BE
 CONSTRUCTED IMMEDIATELY AFTER EXCAVATION
 ALLOW 5 kPa SURCHARGE ON BOUNDARY
 BY OWNER OR CONTRACT VARIATION

BATTERS ARE AT 45° U.N.O.
 CUT OFF DRAIN AT BASE OF EXCAVATION
 TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT
 BY OWNER OR CONTRACT VARIATION

TBM:
 ELECTRICITY PIT
 R.L. 99.33



KOOKABURRA RISE



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**A5. RESCODE
 SITE COVERAGE STATISTICS**

SITE AREA	350.0 M
RESIDENCE	144.4 M
GARAGE	36.8 M
PORCH	3.6 M
<hr/>	
TOTAL SITE COVER	184.8 M
SITE COVER RATIO	53% (0.528)
<hr/>	
DRIVE WAY	25.0 M
OTHER PAVED AREAS	0.0 M
<hr/>	
TOTAL HARD COVER	209.8 M
HARD COVER RATIO	60% (0.599)
<hr/>	
NOTE: 20 % TO BE PERMEABLE ie NOT COVERED	

DRAINAGE REQUIREMENTS

- A/ ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF AS2870.2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:
 - SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION
 - THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING
 - WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER
- B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1.0M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.
- C/ SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.
- D/ SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE SOILS.

NOTES

- LEVELS ARE TO AN ARBITRARY DATUM AND CONTOURS ARE SHOWN ARE 200mm INTERVALS
- CONNECT ALL DOWN PIPES TO 90mm DIA. UPVC S.W.DRAINAGE SYSTEM OR TO STORM WATER SYSTEM AS DESIGNED BY ENGINEER AND DISCHARGE TO LEGAL POINT IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
- INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION AND FOR LENGTHS GREATER THAN 20M
- RESIDENCE FINISHED FLOOR LEVEL TO BE NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL: REFER TO SITE PLAN
- PROVIDE AGGY DRAINS CONNECTED TO SILT PITS AT BASE OF BATTERS. AGGY DRAINS CONNECTED TO STORM WATER SYSTEM VIA SILT PITS

SITE PLAN

SCALE :- 1:200

LEVELS ARE ARBITRARY DATUM
 DIMENSIONS & LEVELS TO BE VERIFIED
 BY CERTIFIED COPY OF TITLE
 OR RELOCATION SURVEY
 OR APPROVED PLAN OF SUB-DIVISION

SOUTH EAST WATER CORPORATION

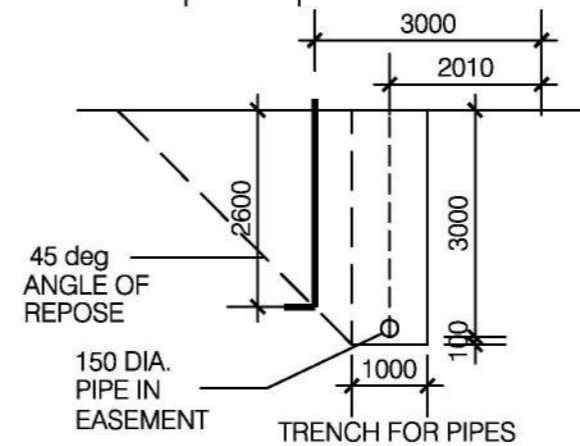
APPROVED

Case Number: 48283005

PSP: 40205976

Signed: *MP* Date: 20/12/2024

Total Approved Pages [3]



EASEMENT SECTION
 SCALE :- 1:100

SHERWOOD 144 MOD

DATE :- / /
 SIGNED BUILDER
 SIGNED OWNER

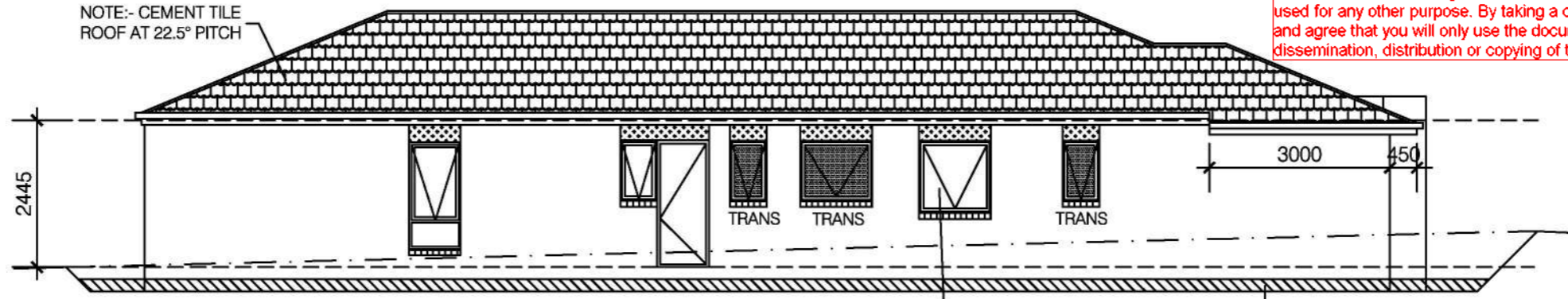


WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
 CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT
 COPYWRITE:-THIS DRAWING BELONGS THE PROPERTY OF FRENKEN HOMES

LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 3	DRG. No.:- AC24-348	E

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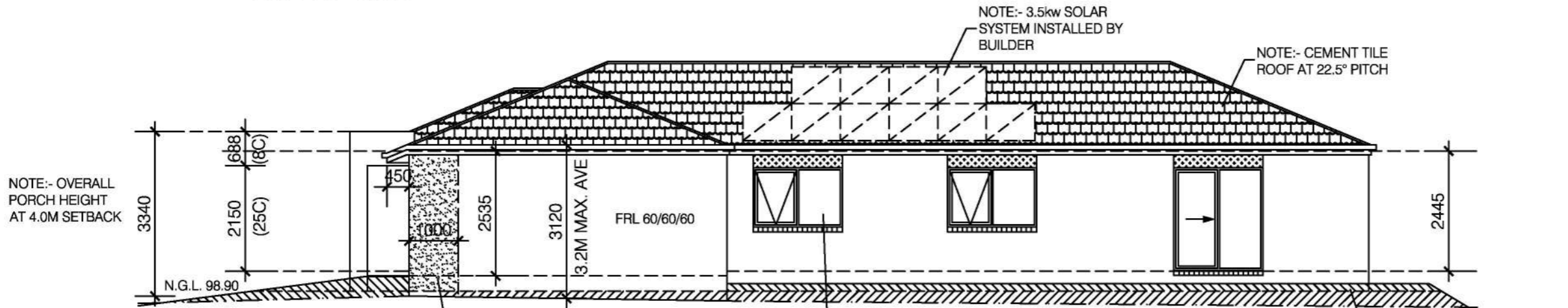


ELEVATION C
SCALE :- 1:100

820DF SAFETY GLAZING TO A.S.1288 REFER TO GENERAL NOTES

NOTE:- ALUMINIUM AWNING WINDOWS TO SIDE AND REAR ELEVATIONS AS SHOWN

EXCAVATE SITE TO R.L.: 98.65
BACKFILL SITE TO R.L.: 98.85



ELEVATION A
SCALE :- 1:100

NOTE:- SELECTED RENDER TO GARAGE WITH RETURN TO SIDE

NOTE:- ALUMINIUM AWNING WINDOWS TO SIDE AND REAR ELEVATIONS AS SHOWN

SAFETY GLAZING TO A.S.1288 REFER TO GENERAL NOTES

EXCAVATE SITE TO R.L.: 98.65
BACKFILL SITE TO R.L.: 98.85

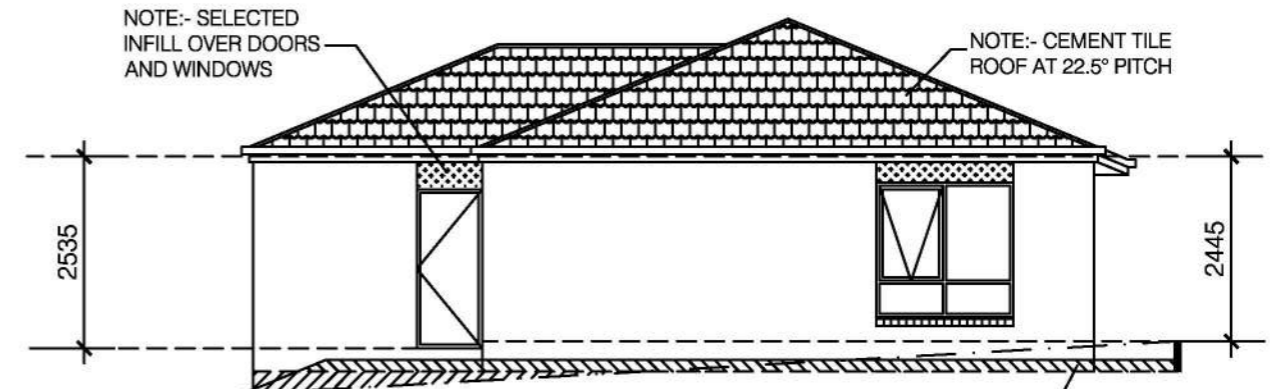
SOUTH EAST WATER CORPORATION
APPROVED
Case Number: 48283005
PSP: 40205976
Signed: *MP* Date: 20/12/2024
Total Approved Pages [3]



ELEVATION B
SCALE :- 1:100

NOTE: ALUMINIUM ARMADALE AWNING WINDOWS TO FRONT ELEVATION ONLY

820DF 2100 X 4800 PANEL LIFT DOOR REFER TO PROJECT SPEC.



ELEVATION D
SCALE :- 1:100

EXCAVATE SITE TO R.L.: 98.65
BACKFILL SITE TO R.L.: 98.85

SHERWOOD 144 MOD

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT
COPYWRITE:-THIS DRAWING BELONGS THE PROPERTY OF FRENKEN HOMES

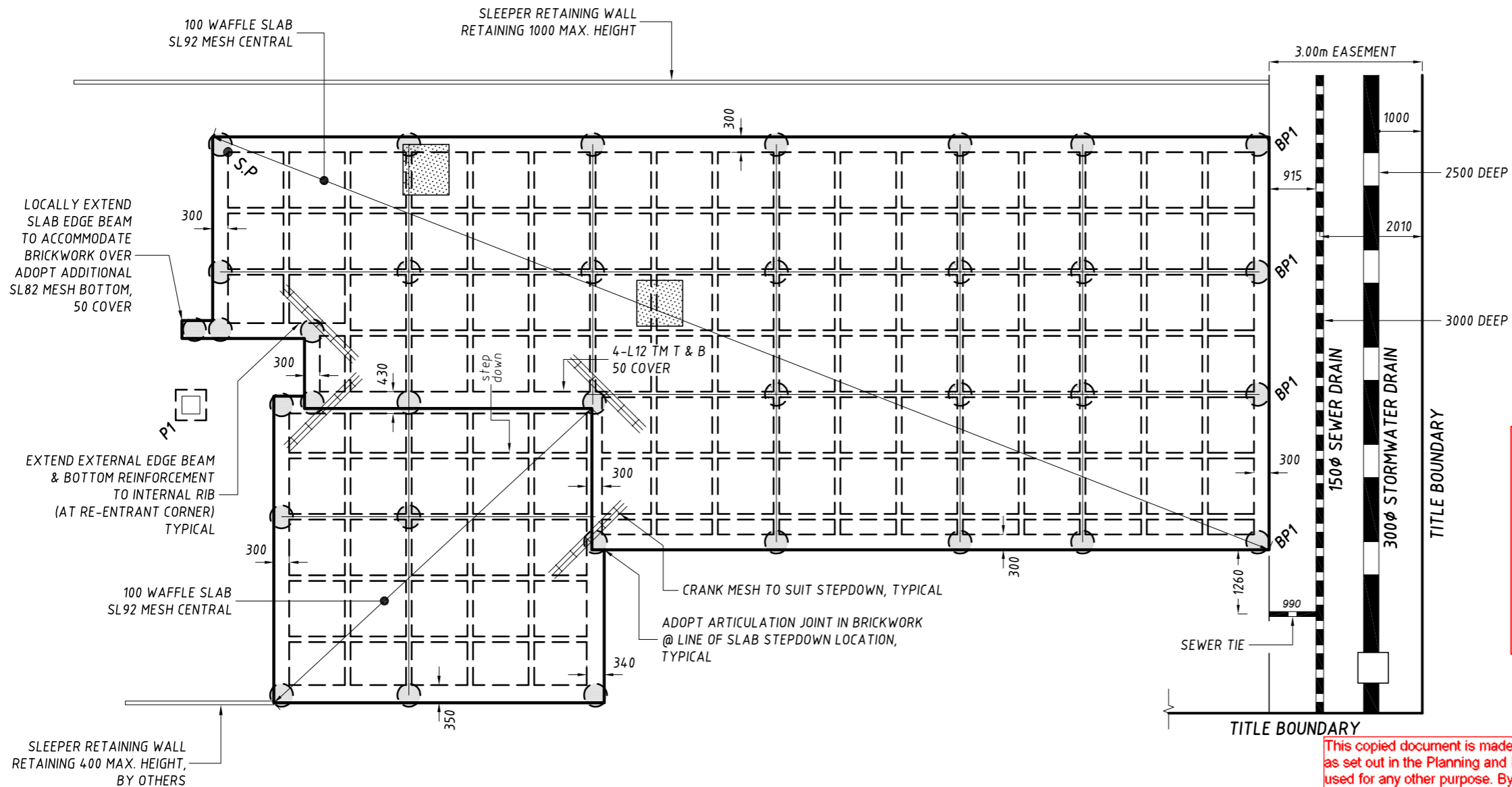
LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 6	DRG. No.:- AC24-348	E

ALL EXPOSED STEEL TO BE HOT DIPPED GALVANISED
 ALL EXPOSED TIMBER TO BE TREATED OR DURABLE SPECIES
 REFER TO SOIL REPORT #240802 HARDCORE GEOTECH
 FOR FOUNDING DEPTHS & FOUNDING MATERIALS
 SOIL CLASSIFICATION CLASS 'P'

CONCRETE MIN. STRENGTH 25 MPa FOR SLABS & FOOTINGS
 3-L11 TM, 2.0m LONG TO BE PLACED AT RE-ENTRANT CORNERS
 FOR POTENTIAL CRACKING, TYPICAL

● TYPICAL WAFFLE POD LAYOUT START POINT
 DENOTES 50mm SLAB RECESS TO ACCOMMODATE
 TILED / WET AREA, SET DOWN WAFFLE PODS
 & BEND SLAB MESH TO SUIT




SOUTH EAST WATER CORPORATION
APPROVED
 Case Number: 48283005
 PSP: 40205976
 Signed: *MP* Date: 20/12/2024
Total Approved Pages [3]

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SLAB & FOOTING PLAN
 SCALE 1:100

FOOTING RESTRICTIONS ON ADJACENT TREES & SHRUBS
 THE OWNER IS TO BE ADVISED THAT THERE ARE SMALL TREES ON THE ADJACENT NATURE STRIP THAT MAY POSE FUTURE RISKS. NATURE STRIP TREES ARE TO BE KEPT PRUNED TO MAX 7.5m HEIGHT. ALTERNATIVELY A ROOT BARRIER MAY BE INSTALLED BY CLIENT. AS2870 REQUIRES STRUCTURES TO BE LOCATED AT A MIN. DISTANCE FROM TREES OF 0.75 x MATURE HEIGHT OF TREE FOR SOIL CLASS 'M' SITES. REFER TO SOIL REPORT & AS2870-1996 APPENDIX B, B2 FOUNDATIONS MAINTENANCE 2.3(C) FOR FURTHER RECOMMENDATIONS

FOOTING SCHEDULE	
MARK	DESCRIPTION & REMARKS
P1	600 x 600 x 500 MIN DEEP CONCRETE PAD FOOTING ADOPT SL82 MESH TOP & BOTTOM, 50 COVER USE 15 MPa BLINDING CONCRETE TO EXTEND FOUNDING DEPTH MIN. 100 INTO NAT. STIFF CLAY AS PER SOIL REPORT RECOMMENDATIONS
BP1	450φ CONCRETE BORED PIERS @ 3000 MAX CRS (15 MPa) TO BE FOUNDING MIN. 600 BELOW 45° ANGLE OF REPOSE OF ADJACENT SEWER DRAIN & MIN. 1000 INTO NATURAL STIFF CLAY 3200 MIN. FOUNDING DEPTH
○	450φ CONCRETE BORED PIER @ 3600 MAX CRS TO BE FOUNDING MIN. 1300 INTO NAT. STIFF CLAY AS PER SOIL REPORT RECOMMENDATIONS
○	450φ CONCRETE BORED PIER @ 3600 MAX CRS TO BE FOUNDING MIN. 750 INTO NAT. STIFF CLAY AS PER SOIL REPORT RECOMMENDATIONS
≡	DENOTES ADDITIONAL N12φ BAR TOP, 50 COVER

A	16/12/24	FIRST ISSUE
REV	DATE	DESCRIPTION
 G C GEBERT CONSULTING ENGINEERS PTY LTD CIVIL AND STRUCTURAL ENGINEERS 1/1449 POINT NEPEAN ROAD PO BOX 560 ROSEBUD, VICTORIA 3939 P: 0359 812902 M: 0448 444 151 E; eng@gcgebort.com.au		
PROJECT PROPOSED RESIDENCE LOT 231 KOOKABURRA RISE, PAKENHAM		
CLIENT FRENKEN HOMES		
DRAWING SLAB & FOOTING PLAN		
DRAWN	CHKD	DATE
BJC		DEC'24
SCALE	PROJECT NO.	DWG NO.
1:100	G8940	S2
REV.		
A		

Our Ref: 2000490
21 November 2024

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ACN 006 197 235
ABN 38 006 197 235

Company/Builder: FRENKEN HOMES PTY LTD
Email: assist@frenkenhomes.com.au

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au

Dear Sir/Madam,

**RE: Lot 231 Kookaburra Rise, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. Please refer to any other conditions marked-up on the plans and ensure they are suitably addressed.

Please note;

- **All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.**
- **Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.**
- **Any lot under 300m² in size, requires a planning permit for being under 300m² in addition to the ESO planning permit.**
- **There is no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.**

Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

LOT 231 KOOKABURRA RISE, PAKENHAM
COLOUR SAMPLES

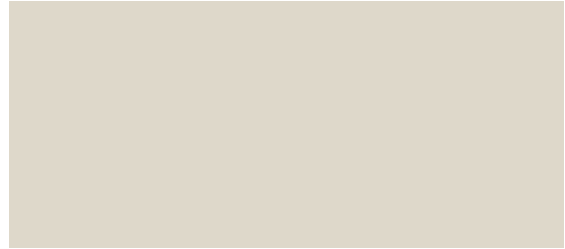
BRICKS – AUSTRAL – TRUFFLE



RENDER & LETTERBOX – WALLABY



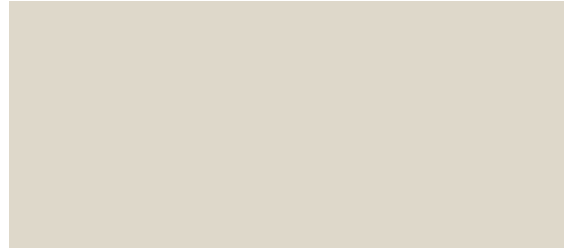
GARAGE DOOR COLOUR – SURFMIST



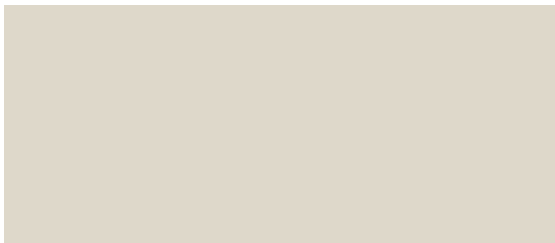
ROOF TILES – BRISTILE –
COOL SMOKE CLASSIC



FRONT DOOR COLOUR – SURFMIST



WINDOWS & METERBOX – SURFMIST



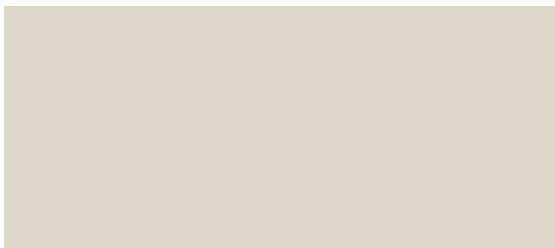
DRIVEWAY – COLOUR THROUGH CONCRETE –
CHARCOAL



GUTTER & DOWNPIPES – MONUMENT



FASCIA - SURFMIST



DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 21.11.2024

REVIEWED BY: Belinda Blythe



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EXCAVATE SITE TO R.L.: 98.65
 BACKFILL SITE TO R.L.: 98.85

SLEEPER RETAINING WALL 1000mm MAX. HIGH TO BE
 CONSTRUCTED IMMEDIATELY AFTER EXCAVATION
 ALLOW 5 KPa SURCHARGE ON BOUNDARY
 BY OWNER OR CONTRACT VARIATION

BATTERS ARE AT 45° U.N.O.
 CUT OFF DRAIN AT BASE OF EXCAVATION
 TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT
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A5. RESCODE SITE COVERAGE STATISTICS

SITE AREA	350.0 M
RESIDENCE	144.4 M
GARAGE	36.8 M
PORCH	3.6 M
TOTAL SITE COVER	184.8 M
SITE COVER RATIO	53% (0.528)
DRIVE WAY	25.0 M
OTHER PAVED AREAS	0.0 M
TOTAL HARD COVER	209.8 M
HARD COVER RATIO	60% (0.599)
NOTE: 20 % TO BE PERMEABLE ie NOT COVERED	

DRAINAGE REQUIREMENTS

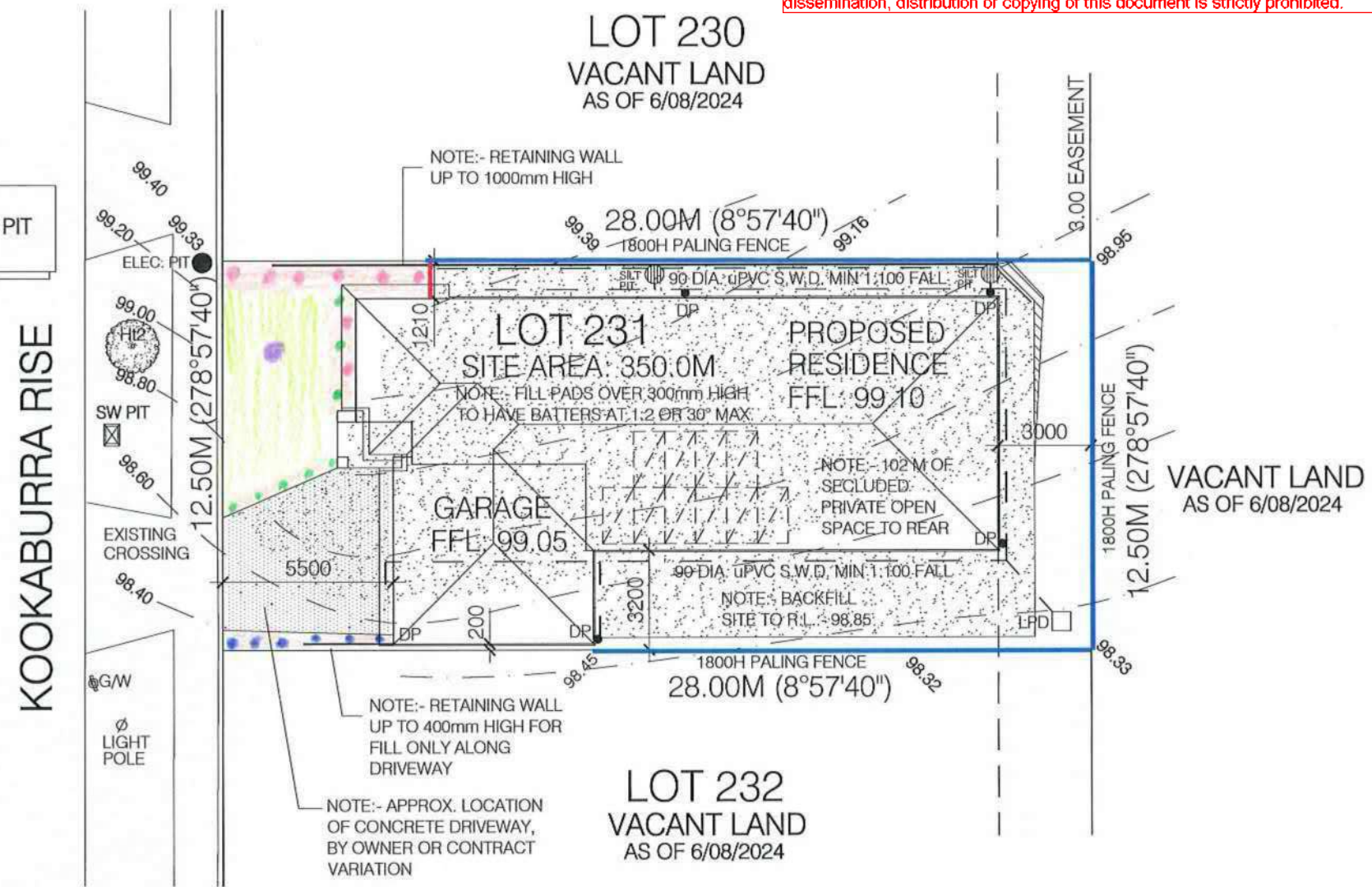
A/ ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF AS270.2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION
- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING
- WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1.0M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE SOILS.



TBM:
 ELECTRICITY PIT
 R.L. 99.33

NOTES

LEVELS ARE TO AN ARBITRARY DATUM AND CONTOURS ARE SHOWN AT 200mm INTERVALS

CONNECT ALL DOWN PIPES TO 90mm DIA. UPVC S.W.DRAINAGE SYSTEM OR TO STORM WATER SYSTEM AS DESIGNED BY ENGINEER AND DISCHARGE TO LEGAL POINT IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION AND FOR LENGTHS GREATER THAN 20M

RESIDENCE FINISHED FLOOR LEVEL TO BE NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL. REFER TO SITE PLAN

PROVIDE AGGY DRAINS CONNECTED TO SILT PITS AT BASE OF BATTERS. AGGY DRAINS CONNECTED TO STORM WATER SYSTEM VIA SILT PITS

LANDSCAPE PLAN

SCALE :- 1:200

LEVELS ARE ARBITRARY DATUM
 DIMENSIONS & LEVELS TO BE VERIFIED BY CERTIFIED COPY OF TITLE OR RELOCATION SURVEY OR APPROVED PLAN OF SUB-DIVISION

- 1 x CANOPY TREE
- MEDIUM SHRUB
- SMALL SHRUB
- GRASSES
- NATURAL MULCH
- WARM SEASON TURF

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 21.11.2024

REVIEWED BY: Belinda Blythe

SHERWOOD 144 MOD

DATE :- / /

SIGNED BUILDER

SIGNED OWNER



WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT

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LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 3	DRG. No.:- AC24-348	C

EXCAVATE SITE TO R.L.: 98.65
 BACKFILL SITE TO R.L.: 98.85

SLEEPER RETAINING WALL 1000mm MAX. HIGH TO BE
 CONSTRUCTED IMMEDIATELY AFTER EXCAVATION
 ALLOW 5 KPa SURCHARGE ON BOUNDARY
 BY OWNER OR CONTRACT VARIATION

BATTERS ARE AT 45° U.N.O.
 CUT OFF DRAIN AT BASE OF EXCAVATION
 TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT
 BY OWNER OR CONTRACT VARIATION

DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 21.11.2024
 REVIEWED BY: Belinda Blythe



Recycled Water is not available in this
 estate, remove references to recycled
 water and provide other water saving
 initiatives as per the current building
 regulations

**DEVELOPER CONDITION: PLEASE NOTE THAT
 A PLANNING PERMIT IS REQUIRED UNDER THE
 ESO FOR ALL LOTS. AN APPLICATION MUST
 BE APPROVED BY COUNCIL BEFORE
 CONSTRUCTION COMMENCES.**

**A5. RESCODE
 SITE COVERAGE STATISTICS**

SITE AREA	350.0 M
RESIDENCE	144.4 M
GARAGE	36.8 M
PORCH	3.6 M

TOTAL SITE COVER	184.8 M
SITE COVER RATIO	53% (0.528)

DRIVE WAY	25.0 M
OTHER PAVED AREAS	0.0 M

TOTAL HARD COVER	209.8 M
HARD COVER RATIO	60% (0.599)

NOTE: 20 % TO BE PERMEABLE
 ie NOT COVERED

DRAINAGE REQUIREMENTS

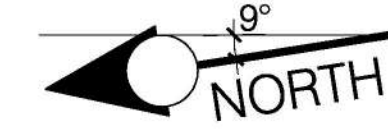
A/ ALL SURFACE DRAINAGE WORKS SHALL BE
 INSTALLED IN ACCORDANCE WITH THE ENGINEERS
 DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM
 AND SOIL CLASSIFICATION AND IN ACCORDANCE
 WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF
 AS2870.2011, WHEREIN FOR BUILDINGS ON
 MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED
 THROUGHOUT CONSTRUCTION AND BE COMPLETED
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- WHERE PIPES PASS UNDER THE FOOTING
 SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT
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B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES.
 THE DRAINER SHALL PROVIDE DRAINAGE
 ARTICULATION TO ALL STORMWATER, SANITARY
 PLUMBING AND DISCHARGE PIPES IN ACCORDANCE
 WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS,
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 THE BUILDING PERIMETER ARE REQUIRED TO
 ACCOMMODATE THE REQUIRED DIFFERENTIAL
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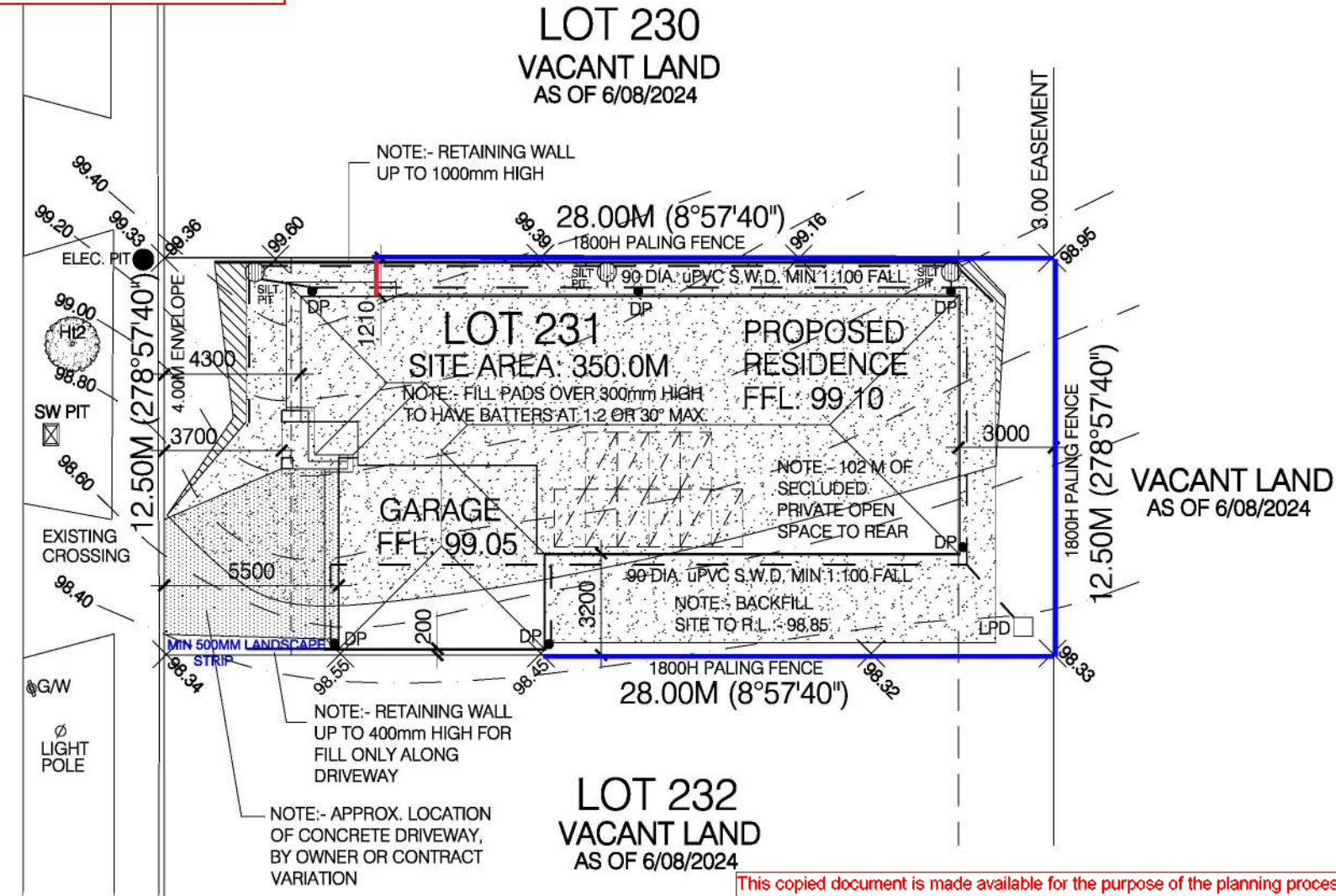


TBM:
 ELECTRICITY PIT
 R.L. 99.33

DENOTES: INTERLOT FENCING TO BE CONSTRUCTED OF
 1.8M HIGH TIMBER PALINGS, LAPPED & CAPPED WITH
 EXPOSED TIMBER POSTS TERMINATING 1.5M FROM FRONT
 BUILDING LINE

DENOTES: RETURN FENCE RETURN FENCE & ANY GATES
 MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATS
 MIN 1.5M BEHIND FRONT OF DWELLING

KOOKABURRA RISE



**SITE PLAN
 SCALE :- 1:200**

LEVELS ARE ARBITRARY DATUM
 DIMENSIONS & LEVELS TO BE VERIFIED
 BY CERTIFIED COPY OF TITLE
 OR RELOCATION SURVEY
 OR APPROVED PLAN OF SUB-DIVISION

NOTE: FIBRE OPTIC CABLING WILL BE MADE AVAILABLE TO THE
 DWELLING TO COMPLY WITH THE OPTICOMM GUIDELINES

THE LETTERBOX MUST COMPLEMENT THE HOUSE DESIGN
 AND EXTERNAL COLOUR SCHEME, MUST BE LOCATED
 ACCORDING TO AUSTRALIA POST STANDARDS AND
 MUST CLEARLY DISPLAY THE STRET NUMBER OF THE HOUSE
 SINGLE POST SUPPORTED LETTERBOXES ARE NOT PERMITTED

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NOTES

LEVELS ARE TO AN ARBITRARY DATUM
 AND CONTOURS ARE SHOWN ARE
 200mm INTERVALS

CONNECT ALL DOWN PIPES TO 90mm
 DIA. UPVC S.W.DRAINAGE SYSTEM OR
 TO STORM WATER SYSTEM AS
 DESIGNED BY ENGINEER AND
 DISCHARGE TO LEGAL POINT IN
 ACCORDANCE WITH LOCAL COUNCIL
 REQUIREMENTS

INSPECTION OPENINGS TO BE
 PROVIDED AT CHANGES IN DIRECTION
 AND FOR LENGTHS GREATER THAN 20M

RESIDENCE FINISHED FLOOR LEVEL TO
 BE NOT LESS THAN 150mm ABOVE
 FINISHED GROUND LEVEL: REFER TO
 SITE PLAN

PROVIDE AGGY DRAINS CONNECTED
 TO SILT PIT AT BASE OF BATTERS.
 AGGY DRAINS CONNECTED TO STORM
 WATER SYSTEM VIA SILT PIT

SHERWOOD 144 MOD

DATE :- / /
 SIGNED BUILDER
 SIGNED OWNER



WRITTEN DIMENSIONS TAKE
 PRECEDENCE OVER SCALE
 CONTRACTORS ARE TO CHECK
 ALL DIMENSIONS & LEVELS
 PRIOR TO COMMENCEMENT

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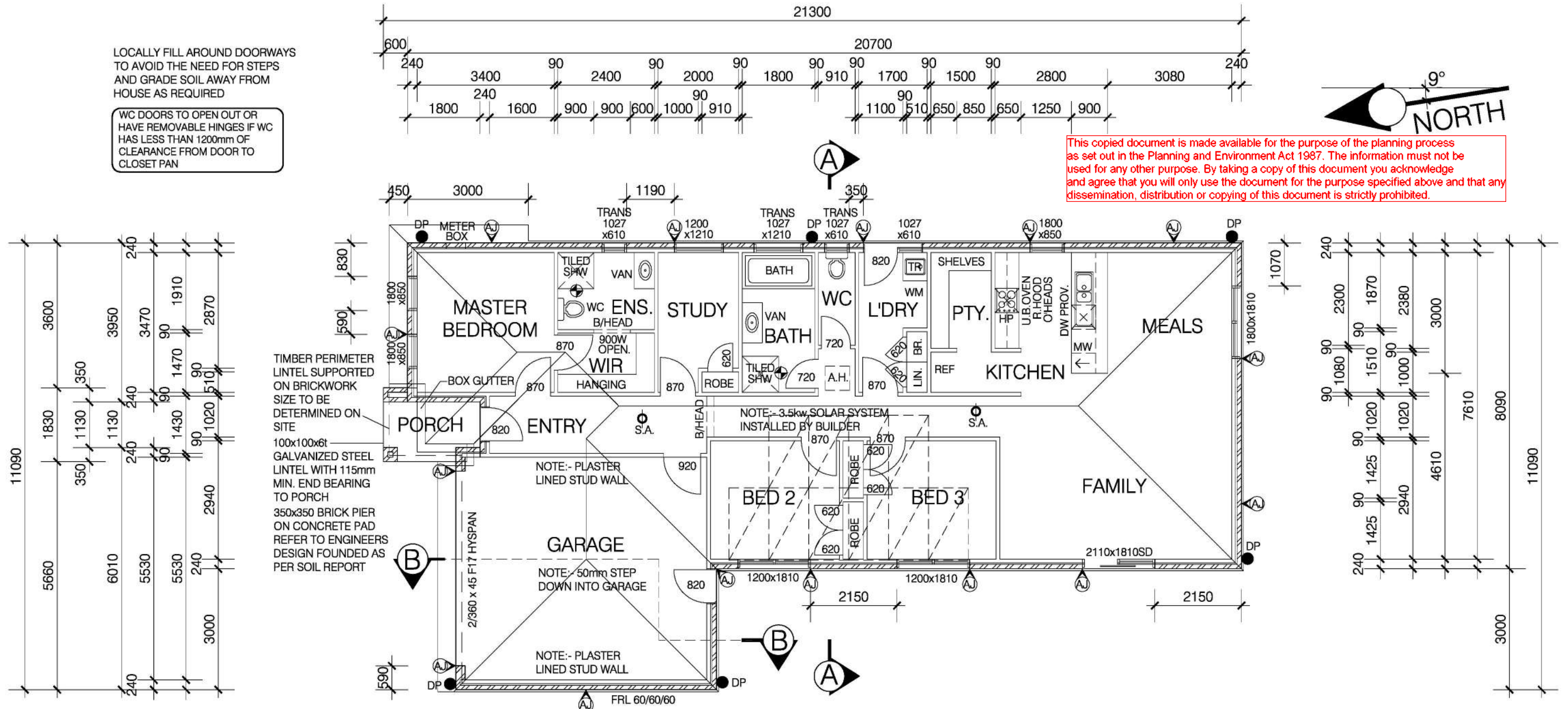
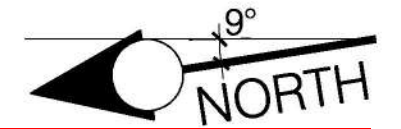
LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
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LOCALLY FILL AROUND DOORWAYS TO AVOID THE NEED FOR STEPS AND GRADE SOIL AWAY FROM HOUSE AS REQUIRED

WC DOORS TO OPEN OUT OR HAVE REMOVABLE HINGES IF WC HAS LESS THAN 1200mm OF CLEARANCE FROM DOOR TO CLOSET PAN

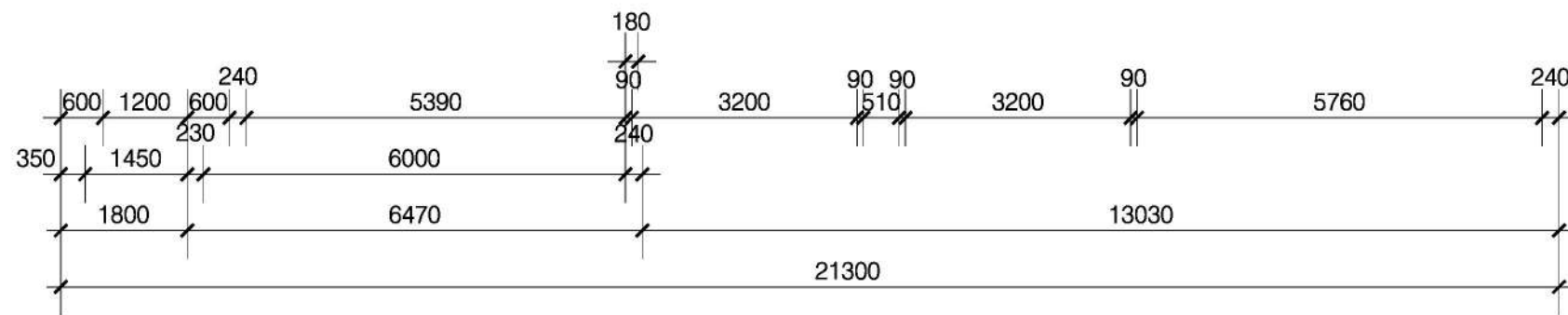
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FLOOR PLAN
SCALE :- 1:100

AREA STATISTICS

FLOOR PLAN	144.4 M
GARAGE	36.8 M
PORCH	3.6 M



SHERWOOD 144 MOD

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



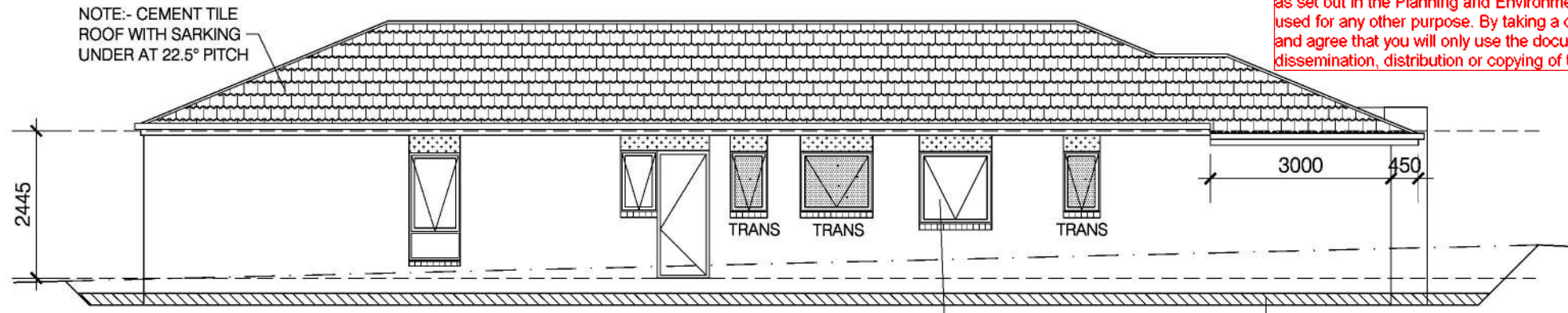
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DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 21.11.2024
REVIEWED BY: Belinda Blythe



LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM		
DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
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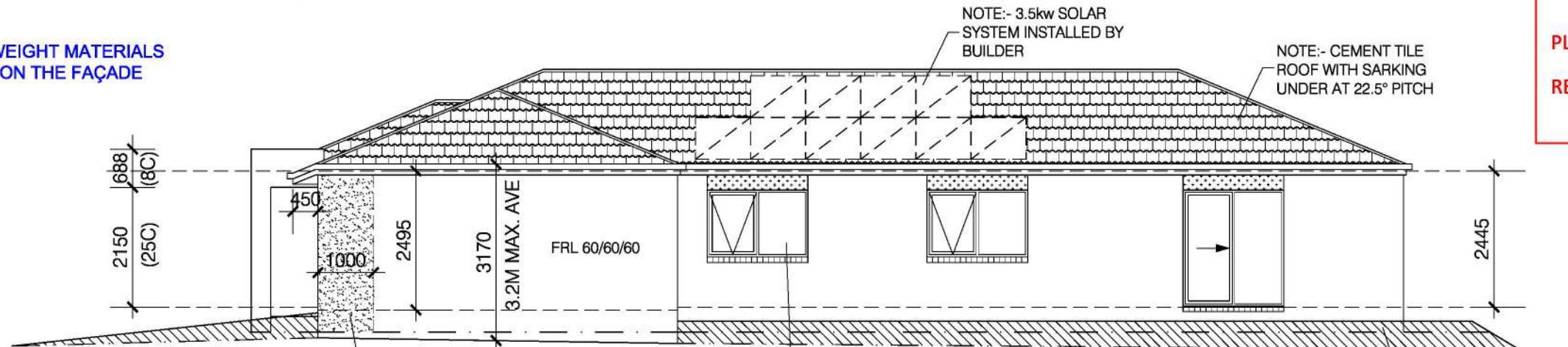
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ELEVATION C
SCALE :- 1:100

820DF SAFETY GLAZING TO A.S.1288 REFER TO GENERAL NOTES
NOTE:- ALUMINIUM AWNING WINDOWS TO SIDE AND REAR ELEVATIONS AS SHOWN
NOTE:- BACKFILL SITE TO R.L.:- 98.85

NOTE: NO LIGHTWEIGHT MATERIALS ARE TO BE USED ON THE FAÇADE



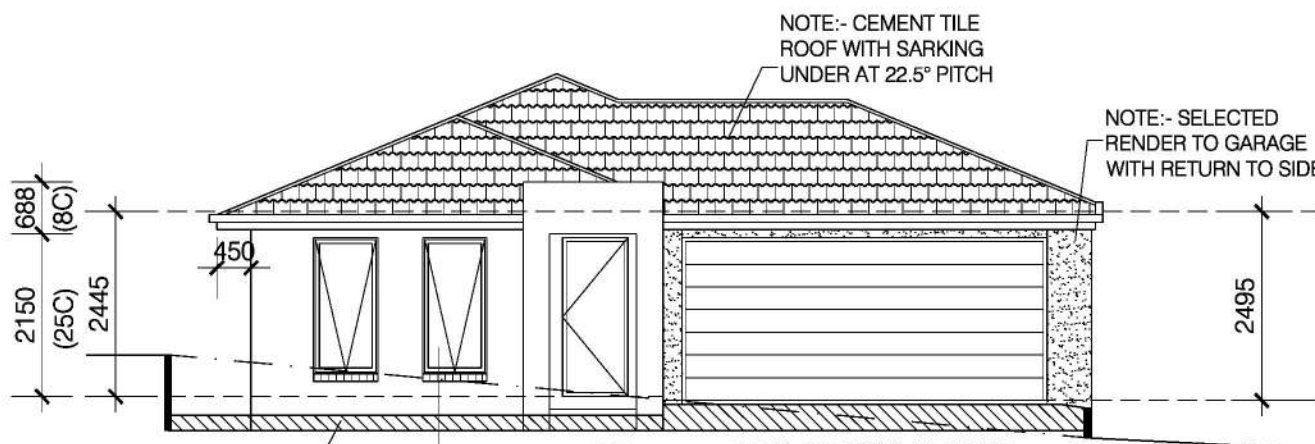
ELEVATION A
SCALE :- 1:100

NOTE:- 3.5kw SOLAR SYSTEM INSTALLED BY BUILDER
NOTE:- CEMENT TILE ROOF WITH SARKING UNDER AT 22.5° PITCH
NOTE:- SELECTED RENDER TO GARAGE WITH RETURN TO SIDE
NOTE:- ALUMINIUM AWNING WINDOWS TO SIDE AND REAR ELEVATIONS AS SHOWN
SAFETY GLAZING TO A.S.1288 REFER TO GENERAL NOTES
NOTE:- BACKFILL SITE TO R.L.:- 98.85

DESIGN ASSESSMENT PANEL

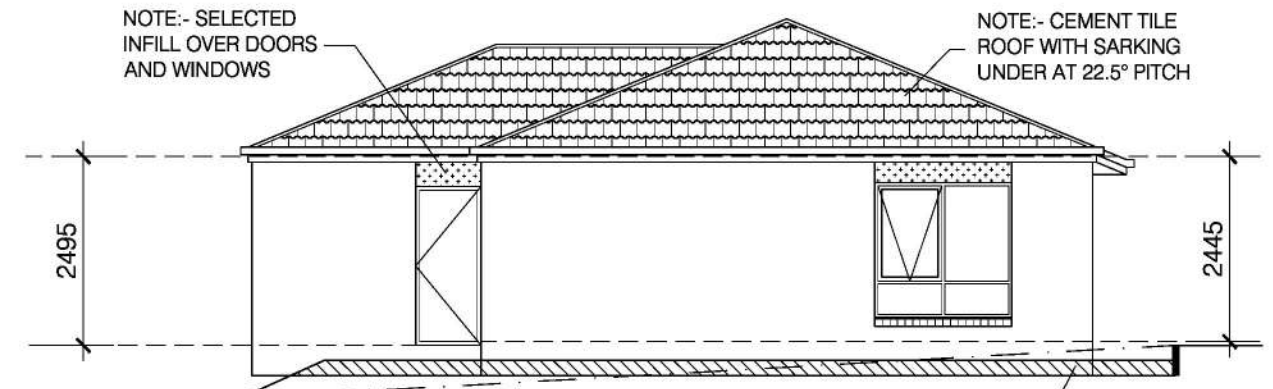
PLAN APPROVAL DATE: 21.11.2024

REVIEWED BY: Belinda Blythe



ELEVATION B
SCALE :- 1:100

NOTE:- CEMENT TILE ROOF WITH SARKING UNDER AT 22.5° PITCH
NOTE:- SELECTED RENDER TO GARAGE WITH RETURN TO SIDE
NOTE:- BACKFILL SITE TO R.L.:- 98.85
820DF 2100 X 4800 PANEL LIFT DOOR REFER TO PROJECT SPEC.
NOTE: ALUMINIUM ARMADALE AWNING WINDOWS TO FRONT ELEVATION ONLY



ELEVATION D
SCALE :- 1:100

NOTE:- CEMENT TILE ROOF WITH SARKING UNDER AT 22.5° PITCH
NOTE:- SELECTED INFILL OVER DOORS AND WINDOWS
820DF
NOTE:- BACKFILL SITE TO R.L.:- 98.85

SHERWOOD 144 MOD

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT
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LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 6	DRG. No.:- AC24-348	C

GENERAL NOTES

INTELLECTUAL PROPERTY AND USE OF THIS DOCUMENT

THIS DOCUMENT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF AC DESIGN & DRAFTING (THE DESIGNER), FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNERS WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.

THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS AND INFORMATION PROVIDED BY THE CONSULTANTS NAMED HEREIN, AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THIS DOCUMENT IS CONDITIONAL ON THE CLIENT OBTAINING THE REQUIRED BUILDING PERMIT.

MATERIALS AND TRADE PRACTICES

ALL MATERIALS, CONSTRUCTION AND WORK PRACTICES SHALL COMPLY WITH BUT NOT BE LIMITED TO THE CURRENT ISSUE OF NATIONAL CONSTRUCTION CODE 2022 BUILDING CODE OF AUSTRALIA VOL. 2 (HEREAFTER REFERRED TO AS BCA), AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS REFERRED TO THEREIN.

WORK AND SITE MANAGEMENT PRACTICES SHALL COMPLY WITH ALL RELEVANT LAWS AND BY-LAWS.

IF ANY PERFORMANCE SOLUTION IS PROPOSED, IT SHALL BE ASSESSED AND APPROVED BY THE [RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER] AS MEETING BCA PERFORMANCE REQUIREMENTS PRIOR TO IMPLEMENTATION OR INSTALLATION.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY'S REQUIREMENTS.

VARIATIONS

SHOULD ANY CONFLICT ARISE BETWEEN THESE PLANS AND BCA, AUSTRALIAN STANDARDS OR A MANUFACTURER'S INSTRUCTIONS, THIS DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER, BEFORE ANY OTHER ACTION IS TAKEN.

THE CLIENT AND/OR THE CLIENTS BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE DESIGNER, EXCEPT WHERE THE [RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER] MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION

THE APPROVAL BY THE DESIGNER OF A SUBSTITUTE MATERIAL, WORK PRACTICE OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS AND/OR SUBSTITUTIONS TO MATERIALS OR WORK PRACTICES SHALL BE ACCEPTED BY ALL PARTIES TO THE BUILDING CONTRACT AND, WHERE APPLICABLE, THE [RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER], PRIOR TO IMPLEMENTATION.

MEASUREMENTS

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

SITE PLAN MEASUREMENTS ARE IN METRES. ALL OTHER MEASUREMENTS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.

UNLESS NOTED OTHERWISE, DIMENSIONS ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBERS, NOT FINISHED LININGS/CLADDING.

WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.

SUPPLEMENTARY NOTES

SITE PROTECTION DURING THE CONSTRUCTION PERIOD

PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE SHALL BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR AND/OR COUNCIL.

WHERE REQUIRED BY COUNCIL, THE BUILDER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH.

ALL PRACTICABLE MEASURES SHALL BE IMPLEMENTED TO MINIMISE WASTE TO LANDFILL. THE BUILDER MAY USE A CONSTRUCTION WASTE RECOVERY SERVICE, OR SORT AND TRANSPORT RECYCLABLE MATERIALS TO THE APPROPRIATE REGISTERED RECYCLER. MATERIALS SHALL NOT BE BURNED ON SITE.

A SITE MANAGEMENT PLAN SHALL BE IMPLEMENTED FROM THE COMMENCEMENT OF WORKS, TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH [INSERT RELEVANT STATE/COUNCIL GUIDELINES OR REGULATION]. SILT FENCES SHALL BE PROVIDED TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND #39;SILT STOP#39; FILTER BAGS OR EQUIVALENT SHALL BE PLACED OVER ALL STORM WATER ENTRY PITS. EROSION CONTROL FABRIC SHALL BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION.

DUST-CREATING MATERIAL SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST.

WASTE MATERIALS SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY.

EARTHWORKS (UNRETAINED) SHALL NOT EXCEED 2M.

CUT AND FILL BATTERS SHALL COMPLY WITH BCA TABLE 3.2.1.

PROTECTION OF THE BUILDING FABRIC

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

WINDOWS, DOORS AND SERVICE PENETRATIONS SHALL BE FLASHED ALL AROUND.

ALL PLIABLE MEMBRANES SHALL BE INSTALLED TO COMPLY AND BE IN ACCORDANCE WITH BCA 10.8.1

GUTTERS AND DRAINAGE SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3.

ANTI-PONDING DEVICES/BOARDS SHALL BE INSTALLED ACCORDING TO BCA 7.3.5.

DAMPCOURSES WITH WEEPHOLES AND CAVITY FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH AS4773.2.

SURFACES AROUND THE PERIMETER OF A RESIDENTIAL SLAB SHALL FALL AWAY FROM THAT SLAB BY NOT LESS THAN 50MM OVER THE FIRST 1M. WHERE NOT STIPULATED IN THE GEOTECHNICAL REPORT, FREEBOARD SHALL BE NOT LESS THAN 50MM FROM AN IMPERMEABLE SURFACE OR 150MM FROM A PERMEABLE SURFACE.

SUBFLOOR VENTS SHALL BE LOCATED >600MM FROM CORNERS AND BE INSTALLED BELOW BEARERS. SUCH VENTS SHALL PROVIDE A RATE PER 1000MM RUN OF EXTERNAL OR INTERNAL CROSS WALLS OF:

7,500MM 2 CLEAR VENTILATION WHERE PARTICLE BOARD FLOORING IS USED; OR

6,000MM 2 FOR OTHER SUBFLOOR TYPES.

[WHERE A BUILDING OTHER THAN DETACHED CLASS 10 IS LOCATED IN A TERMITE-PRONE AREA] THE BUILDING SHALL BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM COMPLIANT WITH AS3660.1 OR AS3660.2.

IN SALINE OR INDUSTRIAL ENVIRONMENTS, MASONRY UNITS, MORTAR, AND ALL BUILT-IN COMPONENTS SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1, PART 1: DESIGN.

BUSHFIRE ATTACK LEVEL

B.A.L.-LOW

NO SPECIAL CONSTRUCTION REQUIREMENTS

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29 SEVEN STAR ENERGY NOTES

* CEILING INSULATION - R

* EXTERNAL WALL INSULATION - R

* GARAGE INTERNAL WALLS INSULATION - R

- * DOOR SEALS TO ALL EXTERNAL HINGED DOORS AND GARAGE INTERNAL DOOR
* TAPING OF WALL WRAP JOINTS AND JUNCTIONS WITH WINDOWS AND DOORS
* SELF SEALING EXHAUST FANS
* WEATHER STRIP TO EXTERNAL DOORS AND GARAGE INTERNAL DOOR
* SEALED DOWNLIGHTS

WIND SPEED :- N 1

BUSHFIRE ATTACK LEVEL:- B.A.L. N/A

SOIL CLASSIFICATION "P"

REFER TO HARDCORE GEOTECH. P/L

REPORT NO. :- 240802 (6/8/2024)

BRICKWORK CONTROL JOINTS

CONTROL JOINTS TO BE SPACED AT A MAX OF 5.0M

AS PER CN9 AND CEMENT AND CONCRETE ASSOC. NOTE TN61

MELWAY REF:-

AMENDMENTS

Table with 3 columns: ISSUE, DATE, DESCRIPTION. Rows include B (7/10/24) 2000lt WATER TANK ADDED, C (14/10/24) AMENDMENTS, D (2/12/24) AMENDMENTS, E (15/12/24) FINAL PLANS, F (19/12/24) SLAB OVERLAY ADDED, G (31/1/25) EASEMENT SECTION AMENDED, H (3/2/25) AHD UPDATE & PLANNING/FENCING DETAILS, I (13/2/25) AMENDMENTS.

SHERWOOD 144 MOD

DATE :- / /

SIGNED BUILDER

SIGNED OWNER



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LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024

B.P. No.:- DBU-46723

ISSUE

SHEET No.:- 1

DRG. No.:- AC24-348

1

EXCAVATE SITE TO R.L.: 47.75
 BACKFILL SITE TO R.L.: 47.90

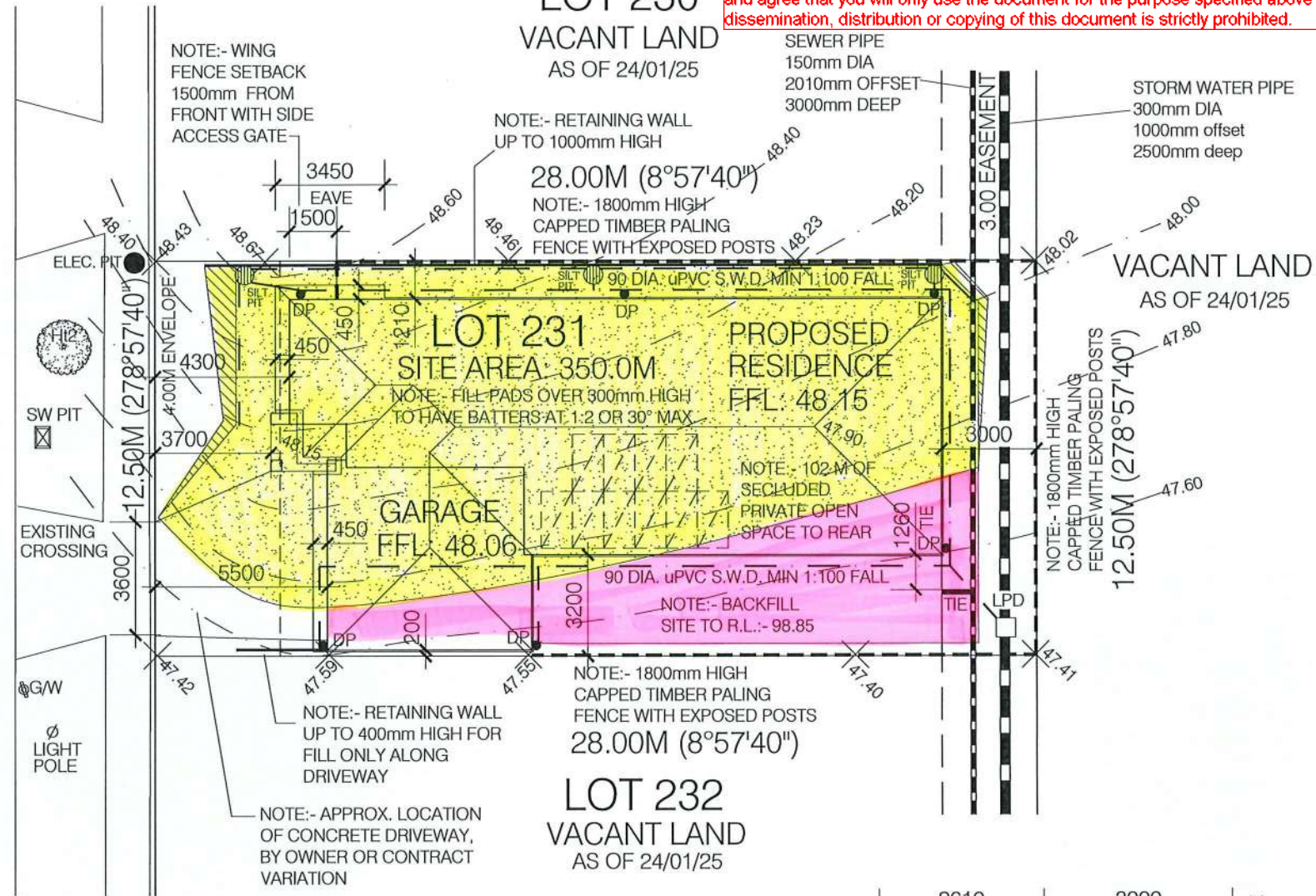
SLEEPER RETAINING WALL 1000mm MAX. HIGH TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION ALLOW 5 KPa SURCHARGE ON BOUNDARY BY OWNER OR CONTRACT VARIATION

BATTERS ARE AT 45° U.N.O.
 CUT OFF DRAIN AT BASE OF EXCAVATION TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT BY OWNER OR CONTRACT VARIATION

TBM:
 ELECTRICITY PIT
 R.L. 48.40



KOOKABURRA RISE



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A5. RESCODE

SITE COVERAGE STATISTICS

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RESIDENCE	144.4 M
GARAGE	36.8 M
PORCH	3.6 M
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DRAINAGE REQUIREMENTS

A/ ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF AS2870.2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES:

- SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION
- THE BASE OF TRENCHES SHALL SLOPE AWAY FROM THE BUILDING
- WHERE PIPES PASS UNDER THE FOOTING SYSTEMS, CLAY PLUGS ARE ADOPTED TO PREVENT THE INGRESS OF WATER

B/ FOR BUILDINGS ON HIGHLY AND REACTIVE SITES, THE DRAINER SHALL PROVIDE DRAINAGE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITHIN 1.0M OF THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.

C/ SURFACE WATER MUST BE DIVERTED AWAY FROM THE DWELLING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.

D/ SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH 5.3.3. SHALL BE INSTALLED FOR THE GROUNDWATER OR AGGRESSIVE SOILS.

NOTES

LEVELS ARE TO AN ARBITRARY DATUM AND CONTOURS ARE SHOWN ARE 200mm INTERVALS

CONNECT ALL DOWN PIPES TO 90mm DIA. UPVC S.W.DRAINAGE SYSTEM OR TO STORM WATER SYSTEM AS DESIGNED BY ENGINEER AND DISCHARGE TO LEGAL POINT IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

INSPECTION OPENINGS TO BE PROVIDED AT CHANGES IN DIRECTION AND FOR LENGTHS GREATER THAN 20M

RESIDENCE FINISHED FLOOR LEVEL TO BE NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL: REFER TO SITE PLAN

PROVIDE AGGY DRAINS CONNECTED TO SILT PITS AT BASE OF BATTERS. AGGY DRAINS CONNECTED TO STORM WATER SYSTEM VIA SILT PITS

SITE PLAN

SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO THE AUSTRALIAN HEIGHT DATUM BASED ON NAR NAR GOON PM 199 (R.L.43.901)

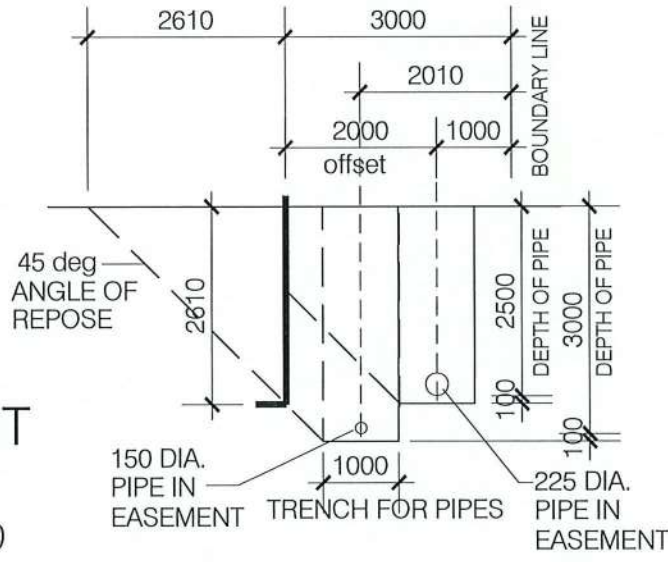
DIMENSIONS & LEVELS TO BE VERIFIED BY CERTIFIED COPY OF TITLE OR RELOCATION SURVEY OR APPROVED PLAN OF SUB-DIVISION

CUT

FILL

EASEMENT SECTION

SCALE :- 1:100



SHERWOOD 144 MOD

DATE :- / /

SIGNED BUILDER

SIGNED OWNER



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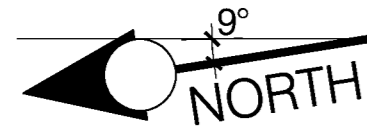
DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 3	DRG. No.:- AC24-348	H

EXCAVATE SITE TO R.L.: 47.75
 BACKFILL SITE TO R.L.: 47.90

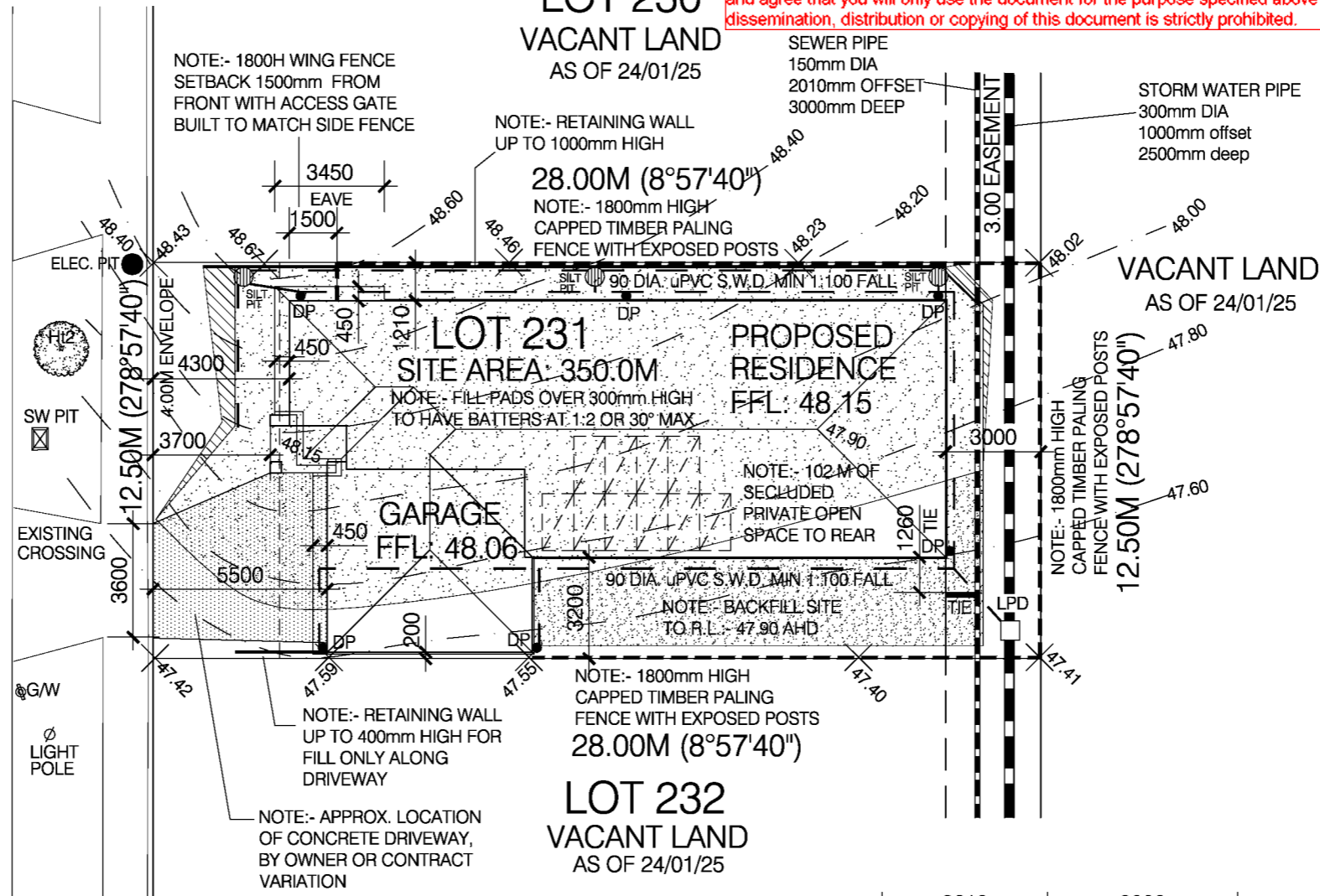
SLEEPER RETAINING WALL 1000mm MAX. HIGH TO BE CONSTRUCTED IMMEDIATELY AFTER EXCAVATION ALLOW 5 KPa SURCHARGE ON BOUNDARY BY OWNER OR CONTRACT VARIATION

BATTERS ARE AT 45° U.N.O.
 CUT OFF DRAIN AT BASE OF EXCAVATION TO CONNECT TO S.W.D. SYSTEM VIA SILT PIT BY OWNER OR CONTRACT VARIATION

TBM:
 ELECTRICITY PIT
 R.L. 48.40



KOOKABURRA RISE



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A5. RESCODE SITE COVERAGE STATISTICS	
SITE AREA	350.0 M
RESIDENCE	144.4 M
GARAGE	36.8 M
PORCH	3.6 M
TOTAL SITE COVER	184.8 M
SITE COVER RATIO	53% (0.528)
DRIVE WAY	25.0 M
OTHER PAVED AREAS	0.0 M
TOTAL HARD COVER	209.8 M
HARD COVER RATIO	60% (0.599)
NOTE: 20 % TO BE PERMEABLE ie NOT COVERED	

DRAINAGE REQUIREMENTS

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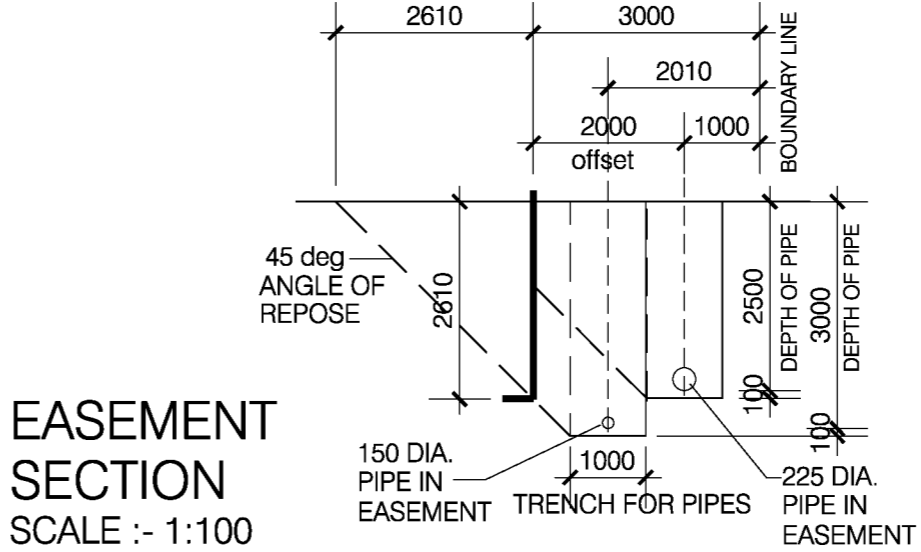
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PROVIDE AGGY DRAINS CONNECTED TO SILT PITS AT BASE OF BATTERS. AGGY DRAINS CONNECTED TO STORM WATER SYSTEM VIA SILT PITS

SITE PLAN
 SCALE :- 1:200

LEVELS SHOWN ON THIS PLAN ARE TO THE AUSTRALIAN HEIGHT DATUM BASED ON NAR NAR GOON PM 199 (R.L.43.901)

DIMENSIONS & LEVELS TO BE VERIFIED BY CERTIFIED COPY OF TITLE OR RELOCATION SURVEY OR APPROVED PLAN OF SUB-DIVISION



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DATE :- / /

SIGNED BUILDER

SIGNED OWNER



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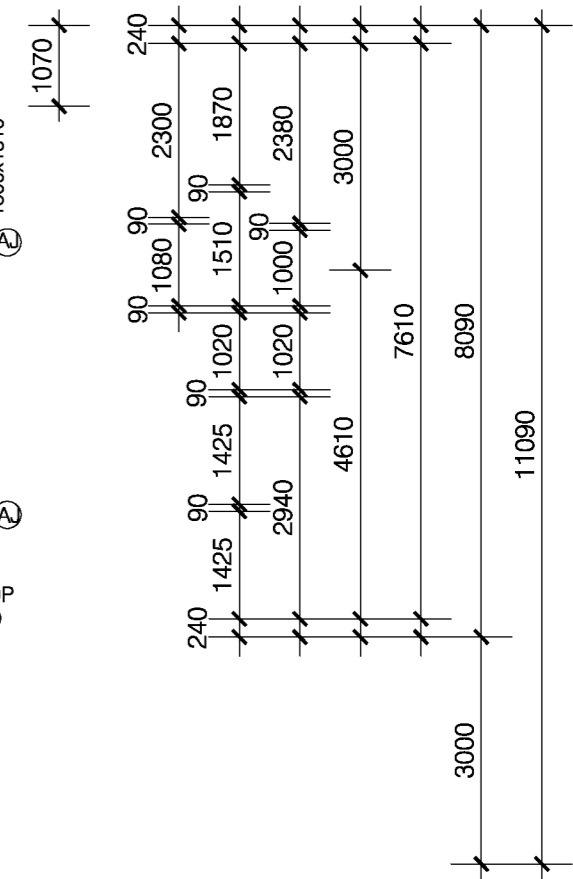
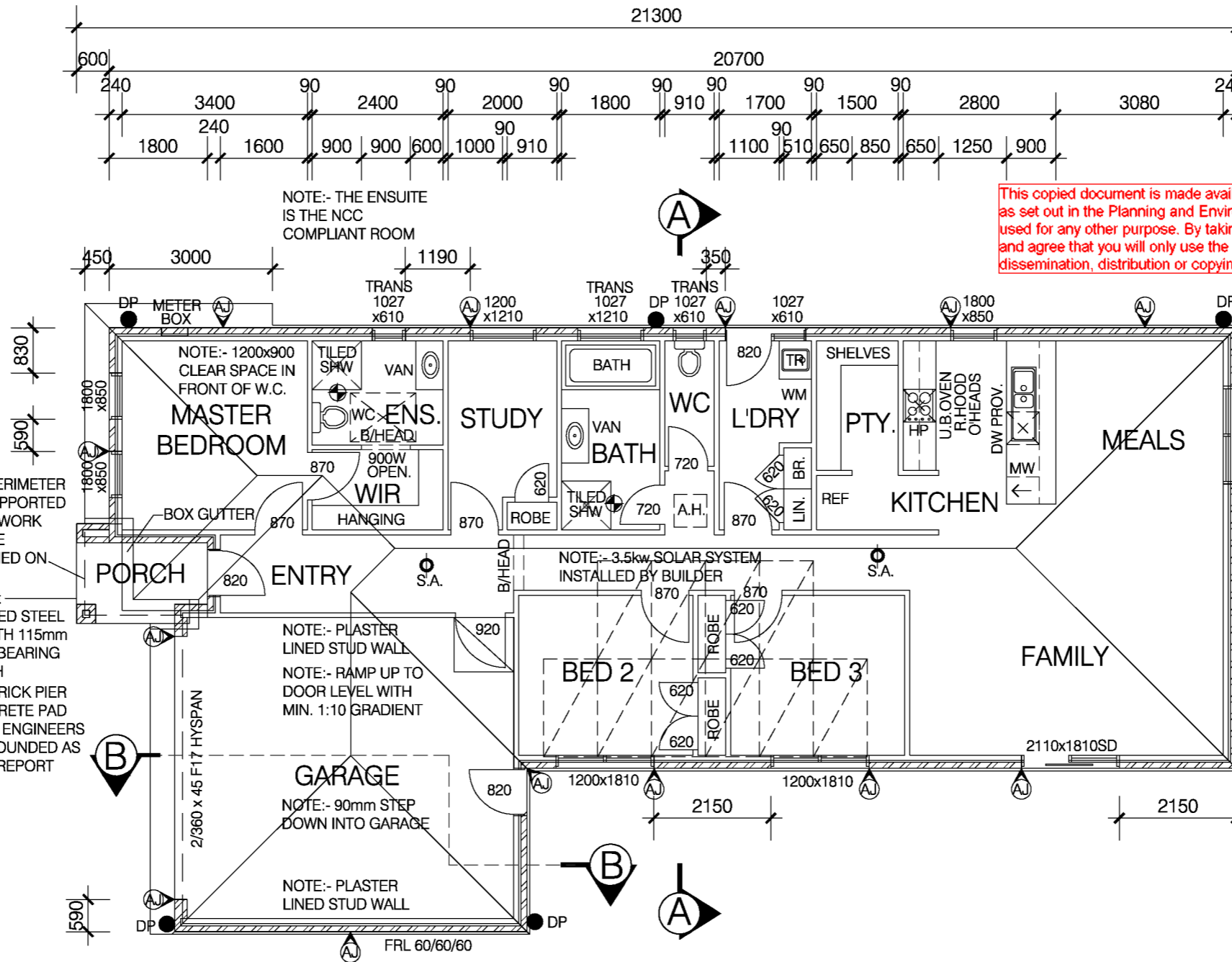
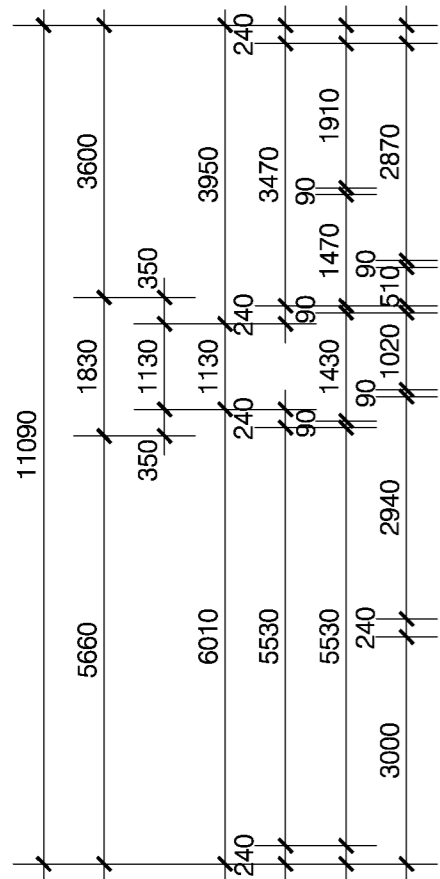
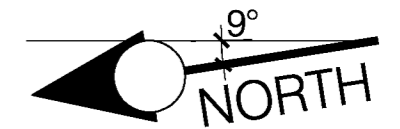
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LOCALLY FILL AROUND DOORWAYS TO AVOID THE NEED FOR STEPS AND GRADE SOIL AWAY FROM HOUSE AS REQUIRED

WC DOORS TO OPEN OUT OR HAVE REMOVABLE HINGES IF WC HAS LESS THAN 1200mm OF CLEARANCE FROM DOOR TO CLOSET PAN

NOTE:- THE ENSUITE IS THE NCC COMPLIANT ROOM

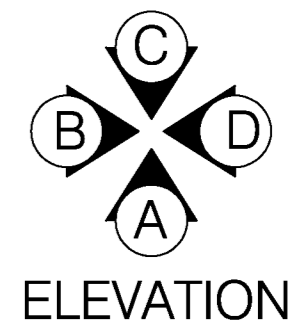
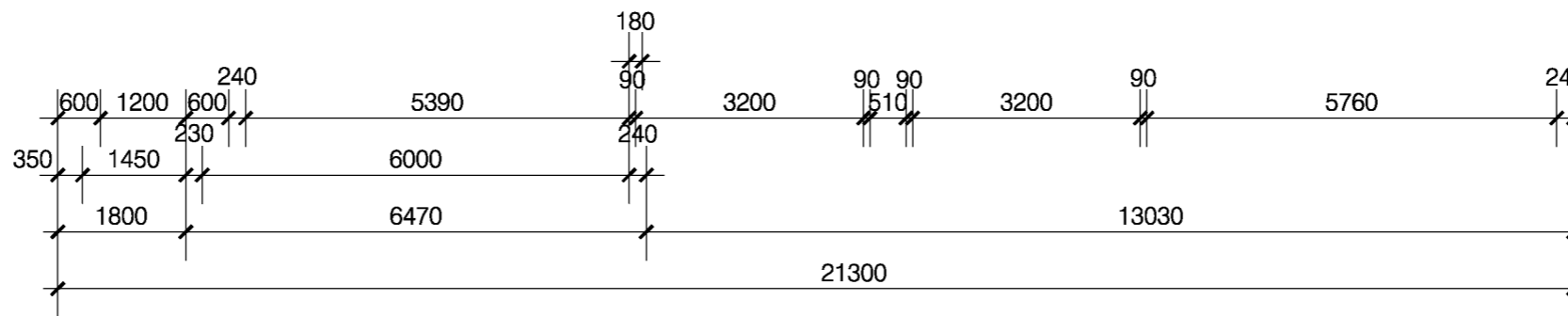
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FLOOR PLAN
SCALE :- 1:100

AREA STATISTICS

FLOOR PLAN	144.4 M
GARAGE	36.8 M
PORCH	3.6 M



SHERWOOD 144 MOD

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



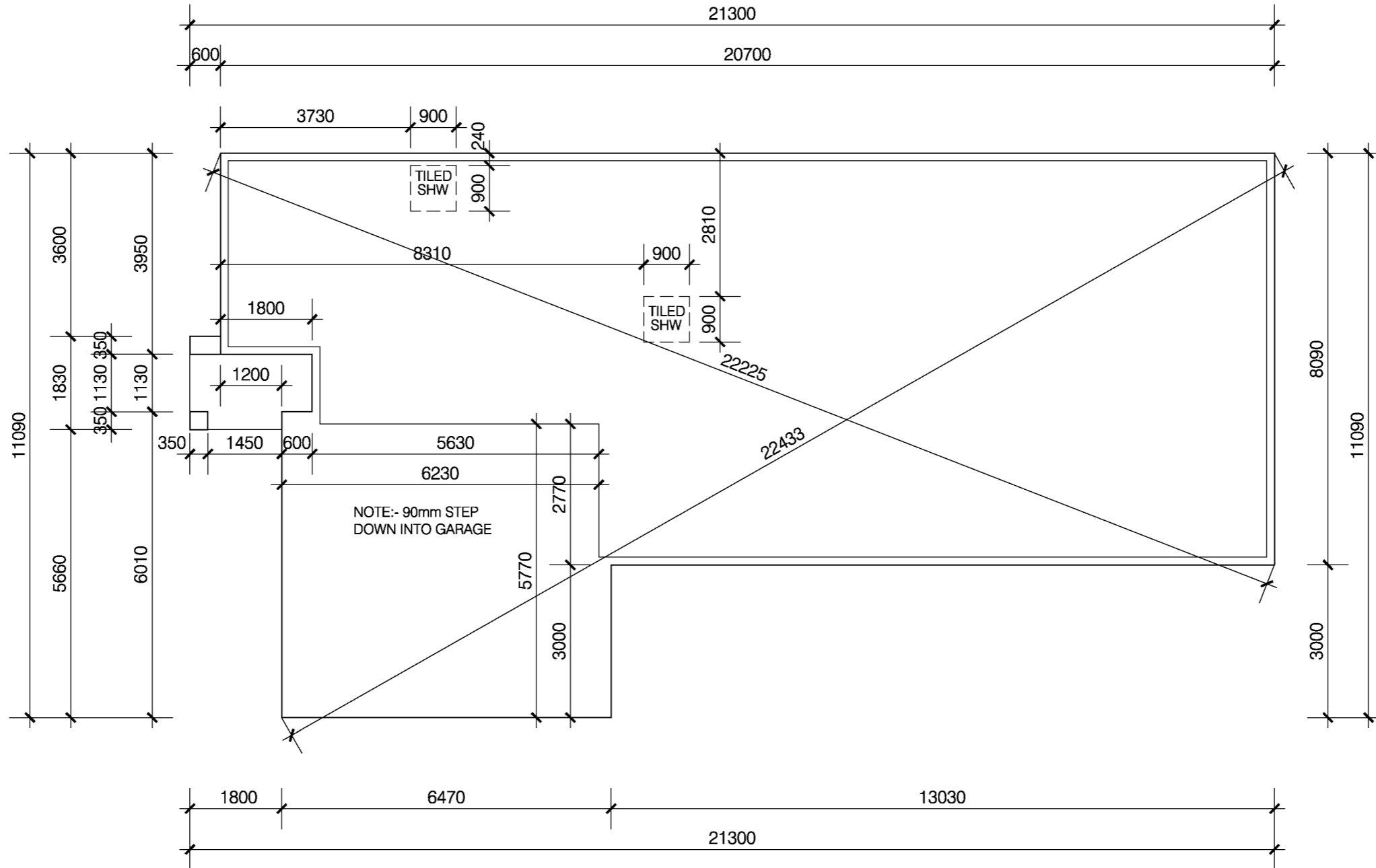
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SETOUT PLAN TO BE READ IN CONJUNCTION WITH FLOOR PLAN. BUILDER TO VERIFY DIMENSIONS ARE CORRECT PRIOR TO COMMENCEMENT OF WORKS

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SETOUT PLAN
SCALE :- 1:100

SHERWOOD 144 MOD

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



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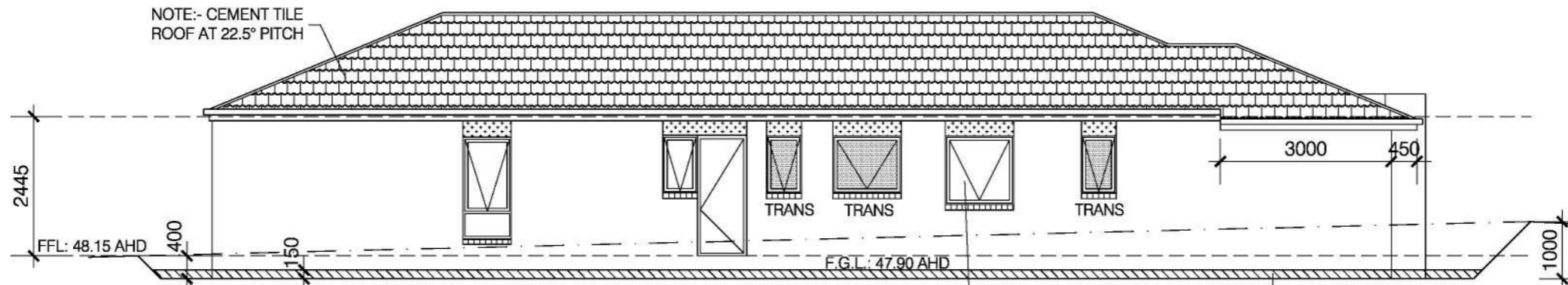
[REDACTED]		
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RENDER & LETTERBOX - WALLABY

GARAGE DOOR COLOUR - SURFMIST

FRONT DOOR COLOUR - SURFMIST

DRIVEWAY - COLOUR THROUGH CONCRETE - CHARCOAL



ELEVATION C
SCALE :- 1:100
EAST ELEVATION

BRICKS - AUSTRAL - TRUFFLE



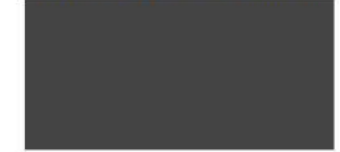
ROOF TILES - BRISTILE - COOL SMOKE CLASSIC



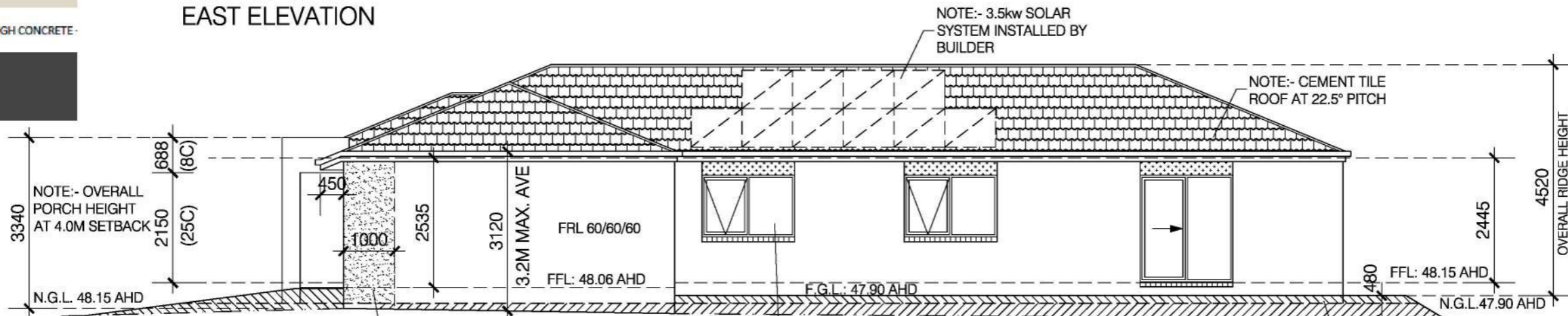
WINDOWS & METERBOX - SURFMIST



GUTTER & DOWNPIPES - MONUMENT



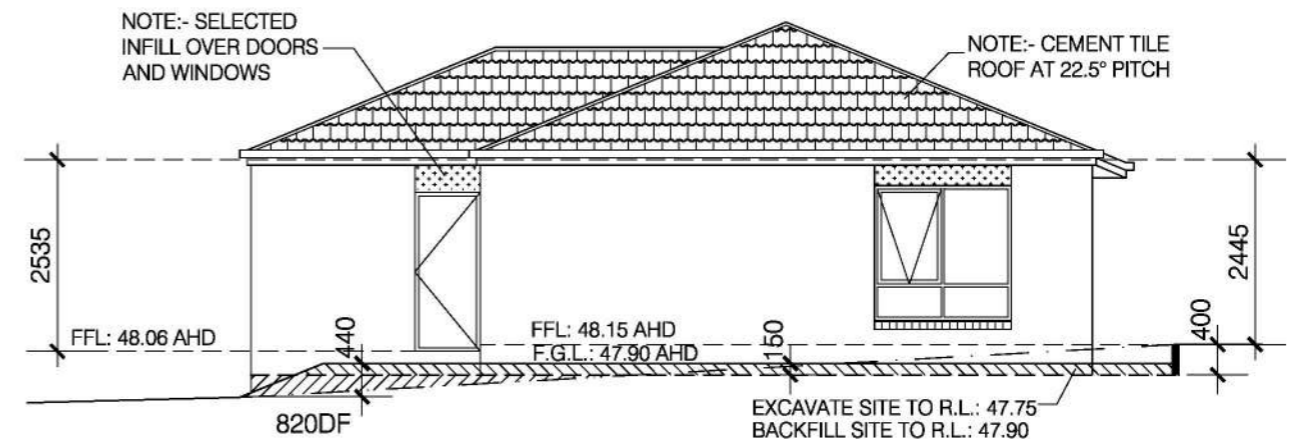
FASCIA - SURFMIST



ELEVATION A
SCALE :- 1:100
WEST ELEVATION



ELEVATION B
SCALE :- 1:100
NORTH ELEVATION



ELEVATION D
SCALE :- 1:100
SOUTH ELEVATION

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DATE :- / /
SIGNED BUILDER
SIGNED OWNER



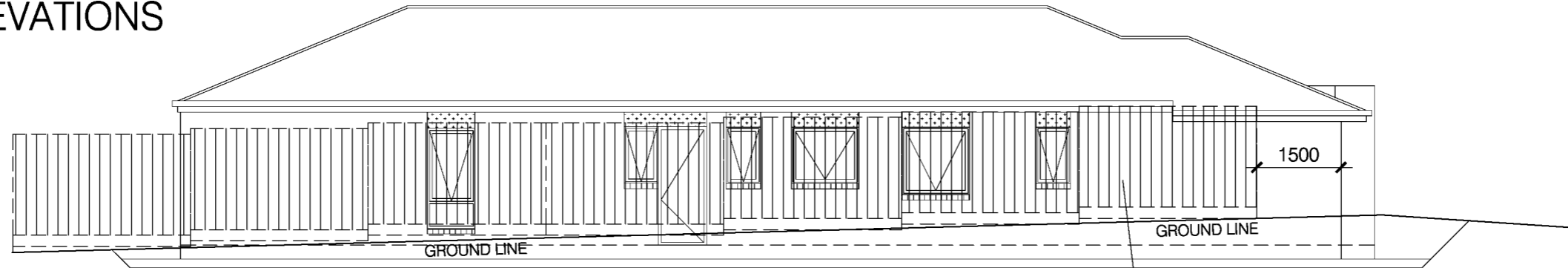
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FENCING ELEVATIONS

SCALE :- 1:100



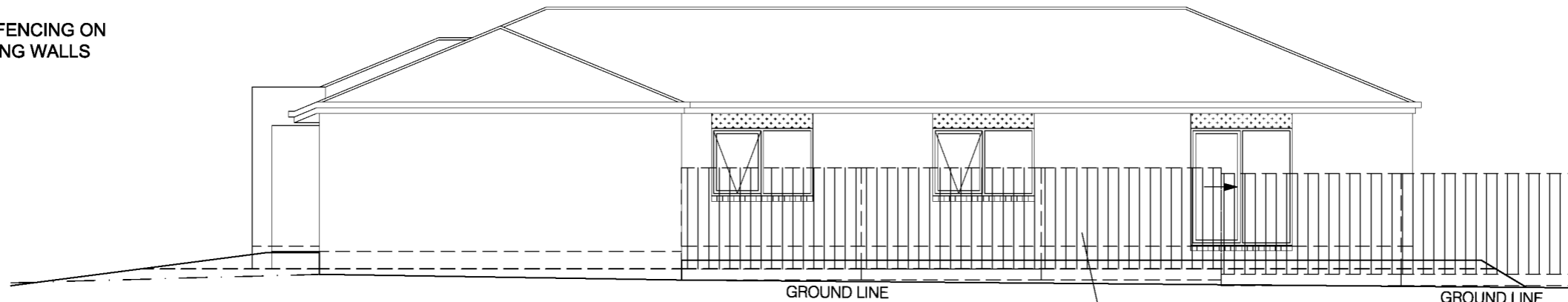
ELEVATION C

SCALE :- 1:100
EAST ELEVATION

NOTE:- 1800mm HIGH CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS STEPPED WITH GROUNDLINE

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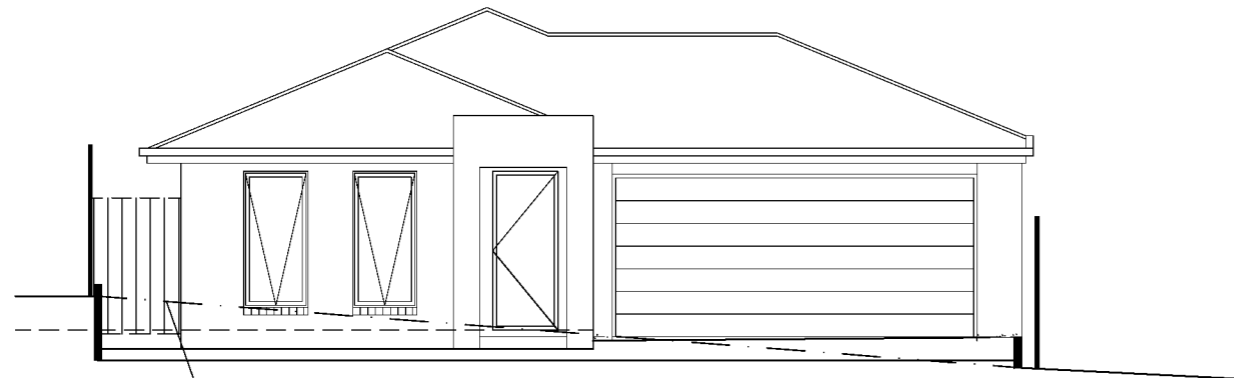
NO BOUNDARY FENCING ON TOP OF RETAINING WALLS



ELEVATION A

SCALE :- 1:100
WEST ELEVATION

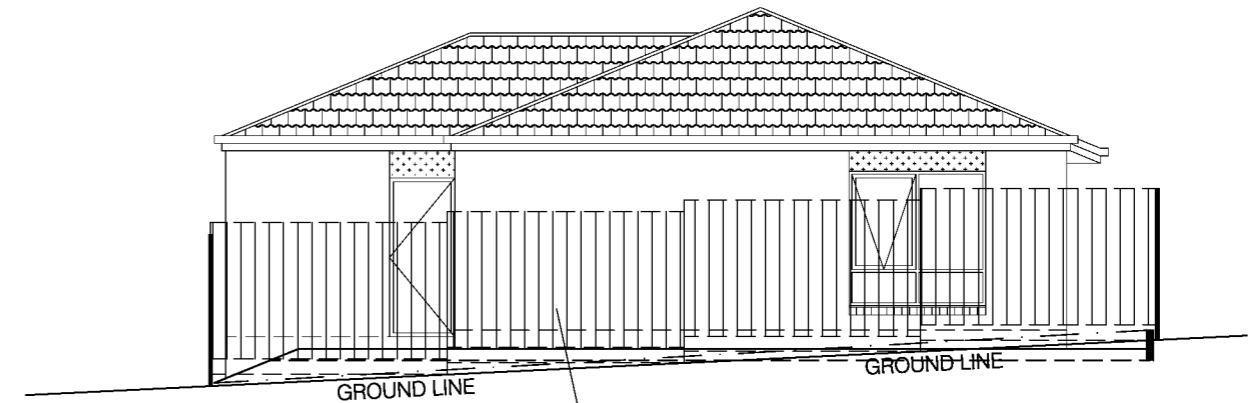
NOTE:- 1800mm HIGH CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS STEPPED WITH GROUNDLINE



ELEVATION B

SCALE :- 1:100
NORTH ELEVATION

NOTE:- 1800H WING FENCE SETBACK 1500mm FROM FRONT WITH ACCESS GATE BUILT TO MATCH SIDE FENCE



ELEVATION D

SCALE :- 1:100
SOUTH ELEVATION

NOTE:- 1800mm HIGH CAPPED TIMBER PALING FENCE WITH EXPOSED POSTS STEPPED WITH GROUNDLINE

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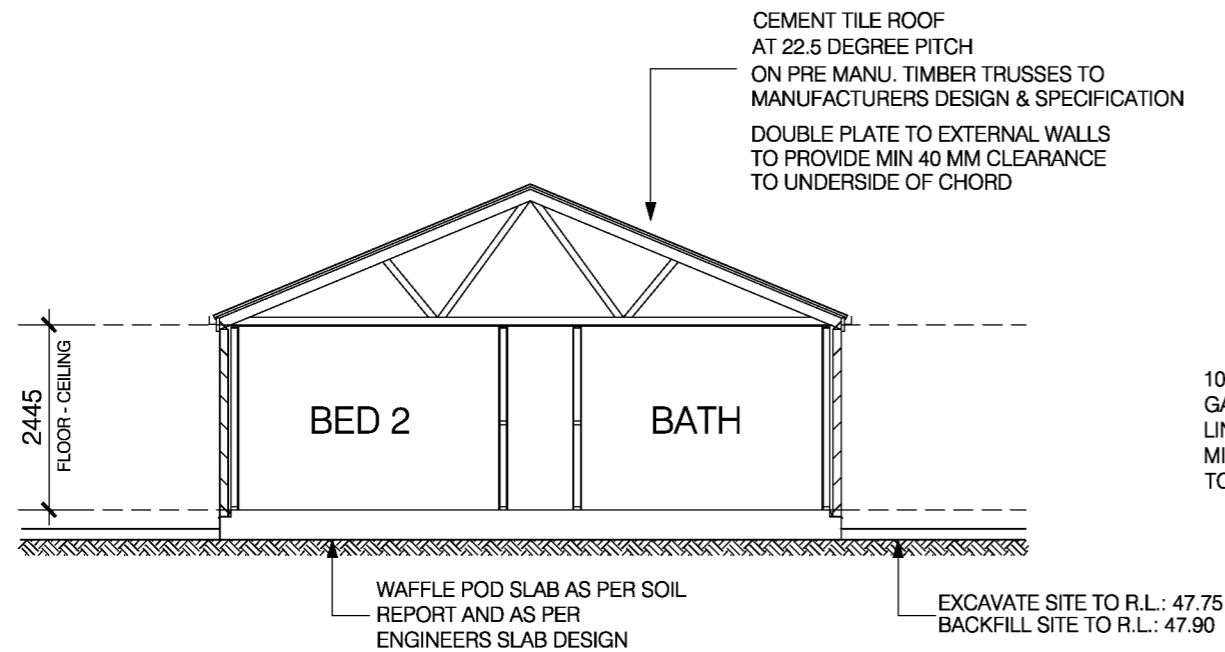


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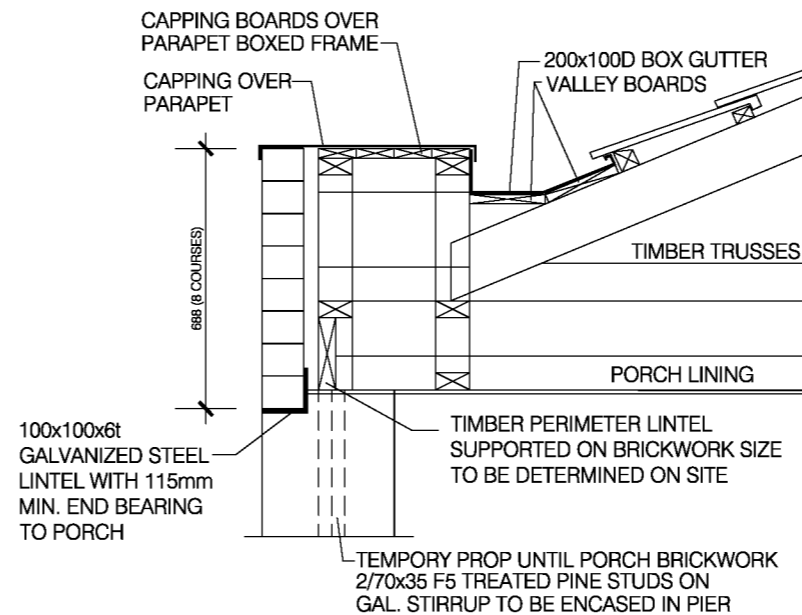
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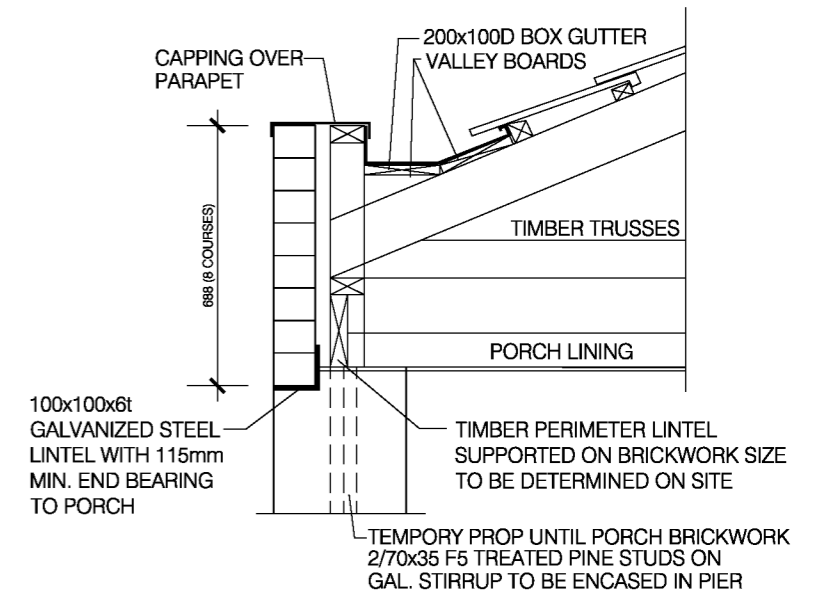
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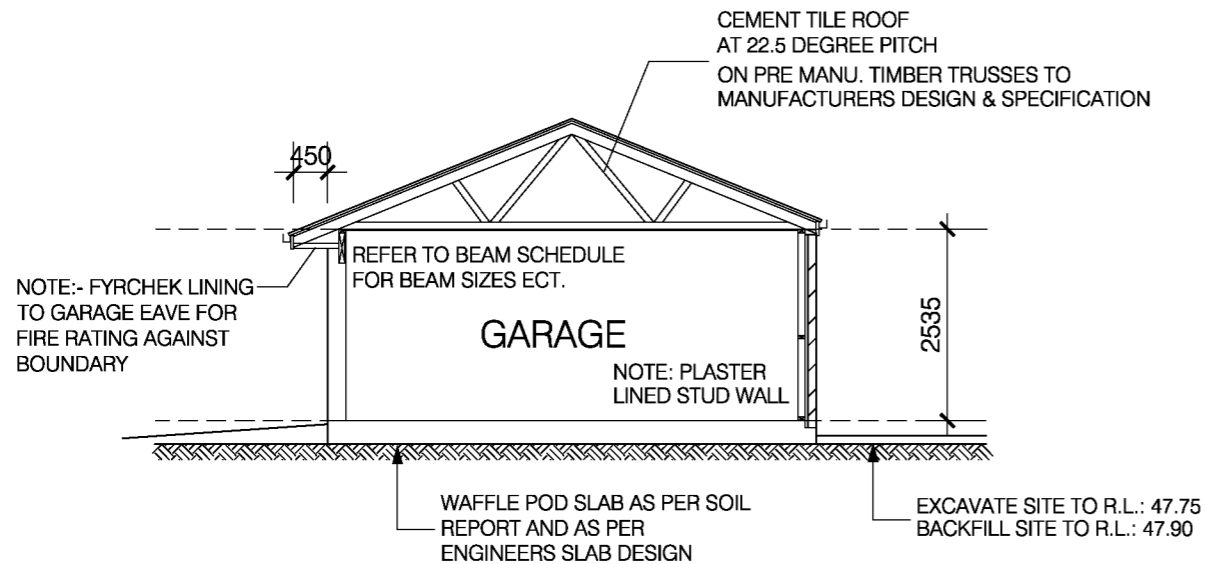
SECTION A-A
SCALE :- 1:100



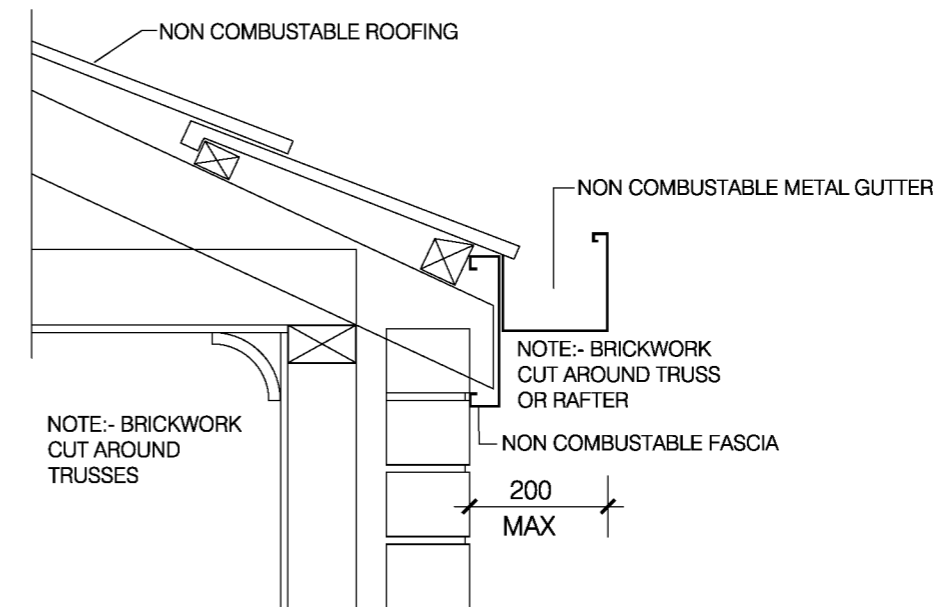
PORCH PARAPET & BOX GUTTER THROUGH FRONT
DETAIL B
SCALE :- 1:20



PORCH PARAPET & BOX GUTTER THROUGH SIDE
DETAIL C
SCALE :- 1:20



SECTION B-B
SCALE :- 1:100



GARAGE OVERHANGING GUTTER
DETAIL A
SCALE :- 1:10

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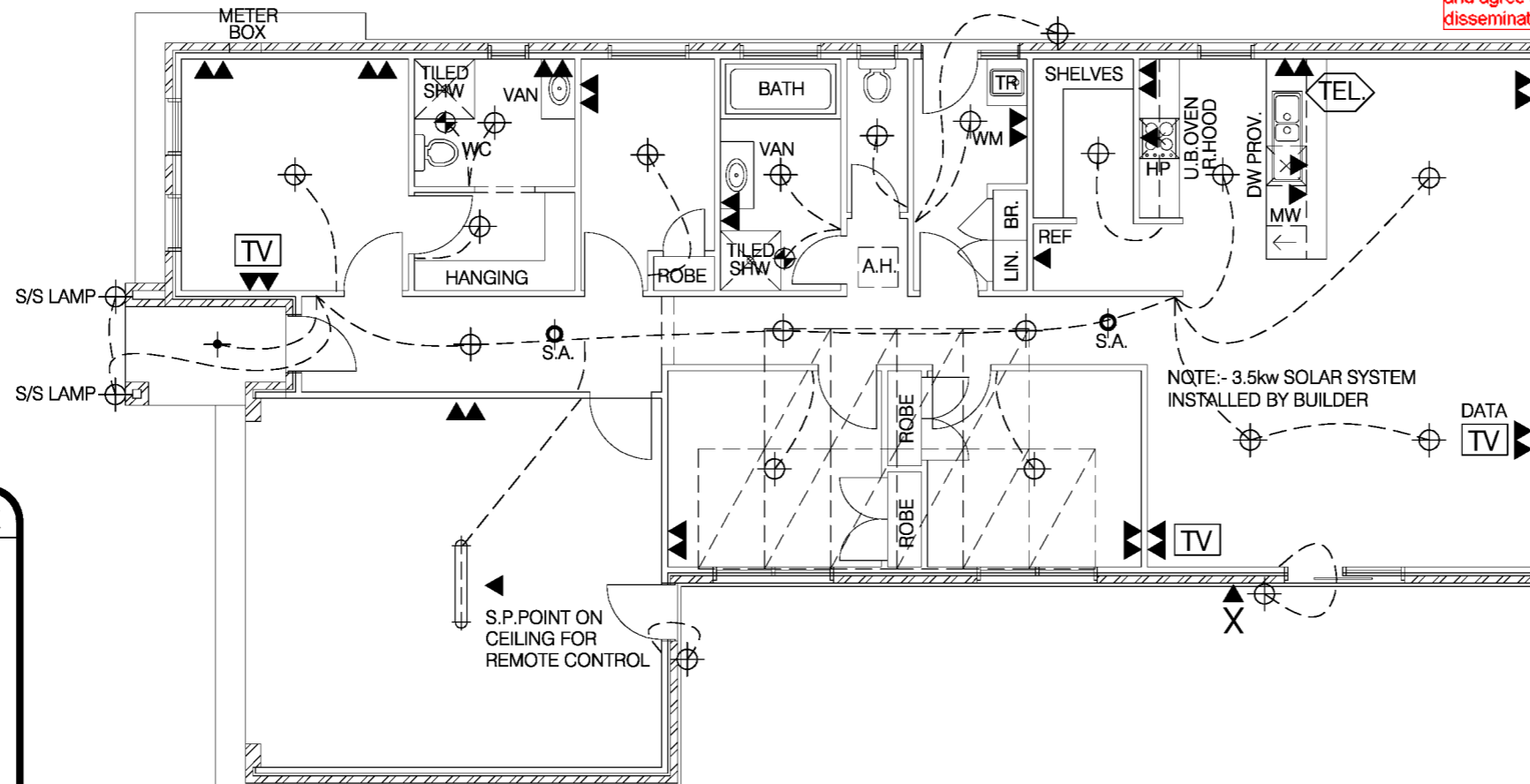
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ELECTRICAL FLOOR PLAN
SCALE :- 1:100

HEATING AND COOLING DUCTWORK

A/ HEATING AND COOLING DUCTWORK AND FITTINGS MUST-

- (i) ACHIEVE THE MATERIAL R-VALUE IN TABLE 3.12.5.2: AND
- (ii) BE SEALED AGAINST AIR LOSS- (A) BY CLOSING ALL OPENINGS IN THE SURFACE, JOINTS AND SEAMS OF DUCTWORK WITH ADHESIVE, MASTICS, SEALANT OR GASKETS IN ACCORDANCE WITH AS4254 FOR A CLASS C SEAL OR (B) FOR FLEXIBLE DUCTWORK, WITH A DRAW BAND IN CONJUNCTION WITH A SEALANT OR ADHESIVE TAPE.

B/ DUCT INSULATION MUST-

- (i) ABOUT ADJOINING DUCT INSULATION TO FORM A CONTINUOUS BARRIER AND
- (ii) BE INSTALLED SO THAT IT MAINTAINS ITS POSITION AND THICKNESS, OTHER THAN AT FLANGES AND SUPPORTS, AND
- (iii) WHERE LOCATED OUTSIDE THE BUILDING, UNDER A SUSPENDED FLOOR, IN AN ATTACHED CLASS 10a BUILDING OR IN A ROOF SPACE- (A) BE PROTECTED BY AN OUTER SLEEVE OF PROTECTIVE SHEETING TO PREVENT THE INSULATION BECOMING DAMP, AND (B) HAVE THE OUTER PROTECTIVE SLEEVE SEALED WITH ADHESIVE TAPE NOT LESS THAN 48mm WIDE CREATING AN AIRTIGHT AND WATERPROOF SEAL.

C/ THE REQUIREMENTS OF (A) DO NOT APPLY TO HEATING AND COOLING DUCTWORK AND FITTINGS LOCATED WITHIN THE INSULATED BUILDING ENVELOPE INCLUDING SERVICE RISER WITHIN THE CONDITIONED SPACE, INTERNAL FLOORS BETWEEN STORIES AND THE LIKE

HEATING AND COOLING DUCTWORK AND FITTINGS
MINIMUM MATERIAL R-VALUE

DUCTWORK ELEMENT	MINIMUM MATERIAL R-VALUE FOR DUCTWORK AND FITTINGS IN EACH CLIMATE ZONE				
	HEATING ONLY SYSTEM OR COOLING ONLY SYSTEM INCLUDING AN EVAPORATIVE COOLING SYSTEM		COMBINED HEATING AND REFRIGERATED COOLING SYSTEM		
	CLIMATE ZONES 1, 2, 3, 4, 5, 6 & 7	CLIMATE ZONE 8	CLIMATE ZONES 1, 3, 4, 6 & 7	CLIMATE ZONES 2 & 5	CLIMATE ZONE 8
DUCTWORK	R 1.0	R 1.5	R 1.5 (SEE NOTE)	R 1.0	R 1.5
FITTINGS	R 0.4				

NOTE:- THE MINIMUM MATERIAL R-VALUE REQUIRED FOR DUCTWORK MAY BE REDUCED BY R 0.5 FOR COMBINED HEATING AND REFRIGERATED COOLING SYSTEMS IN CLIMATE ZONE 1, 3, 4, 5 AND 7 IF THE DUCT ARE -

- (a) UNDER A SUSPENDED FLOOR WITH AN ENCLOSED PERIMETER, OR
- (b) IN A ROOF SPACE THAT HAS INSULATION OF NOT LESS THAN R 0.5 DIRECTLY BENEATH ROOFING

WATTAGE ALLOWANCE

	Area	Watts M ²	Allowed
Residence	144.4 M	5 Watts M ²	722.0 W
Garage	36.8 M	3 Watts M ²	110.4 W
Outdoor	3.6 M	4 Watts M ²	14.4 W
TOTAL ALLOWANCE			846.8 W
TOTAL SUPPLIED			416.0 W

ELECTRICAL SCHEDULE

⊕	LIGHT POINTS WITH 22watt LOW ENERGY GLOBE
⊕	DOWN LIGHT POINT WITH 22watt GLOBE
+	LED DOWN LIGHTS WITH 10watt GLOBE
◀	DOUBLE POWER POINTS
◀	SINGLE POWER POINTS
◀X	EXTERNAL POWER POINTS
⊕	DUCTED EXHAUST FAN/S
⊕ S.A.	SMOKE ALARMS
EV	EVAP. COOLING DUCT POINT
⊕	HEATING DUCT POINT
⊕	ROUND FLOURESCENT LIGHT
⊕	SINGLE FLOURESCENT LIGHT 1/32watt FLOURESCENT TUBE
⊕	DOUBLE FLOURESCENT LIGHT 2/32watt FLOURESCENT TUBES
TV	TELEVISION POINT
TEL	TELEPHONE POINT BY OTHERS
⊕	SINGLE PARAFLOOD LIGHT
⊕	DOUBLE PARAFLOOD LIGHT
⊕	IXL TASTIC HEAT/LIGHT/FAN

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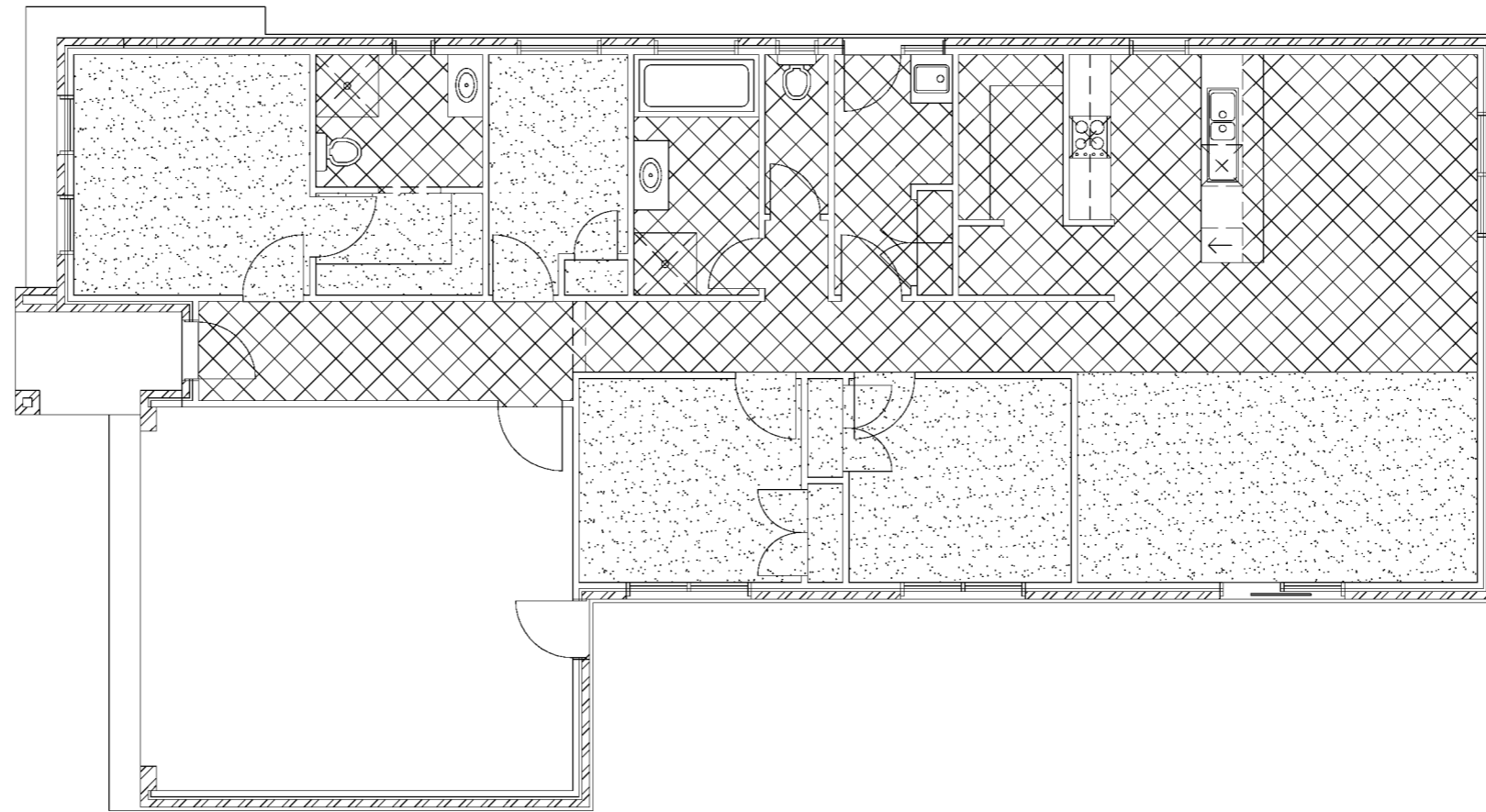




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 REPRESENTS EXTENT OF CARPET
 REPRESENTS EXTENT OF FLOOR TILING FOR ILLUSTRATION PURPOSES ONLY

FLOOR COVERING LAYOUT
SCALE :- 1:100

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DATE :- / /
SIGNED BUILDER
SIGNED OWNER



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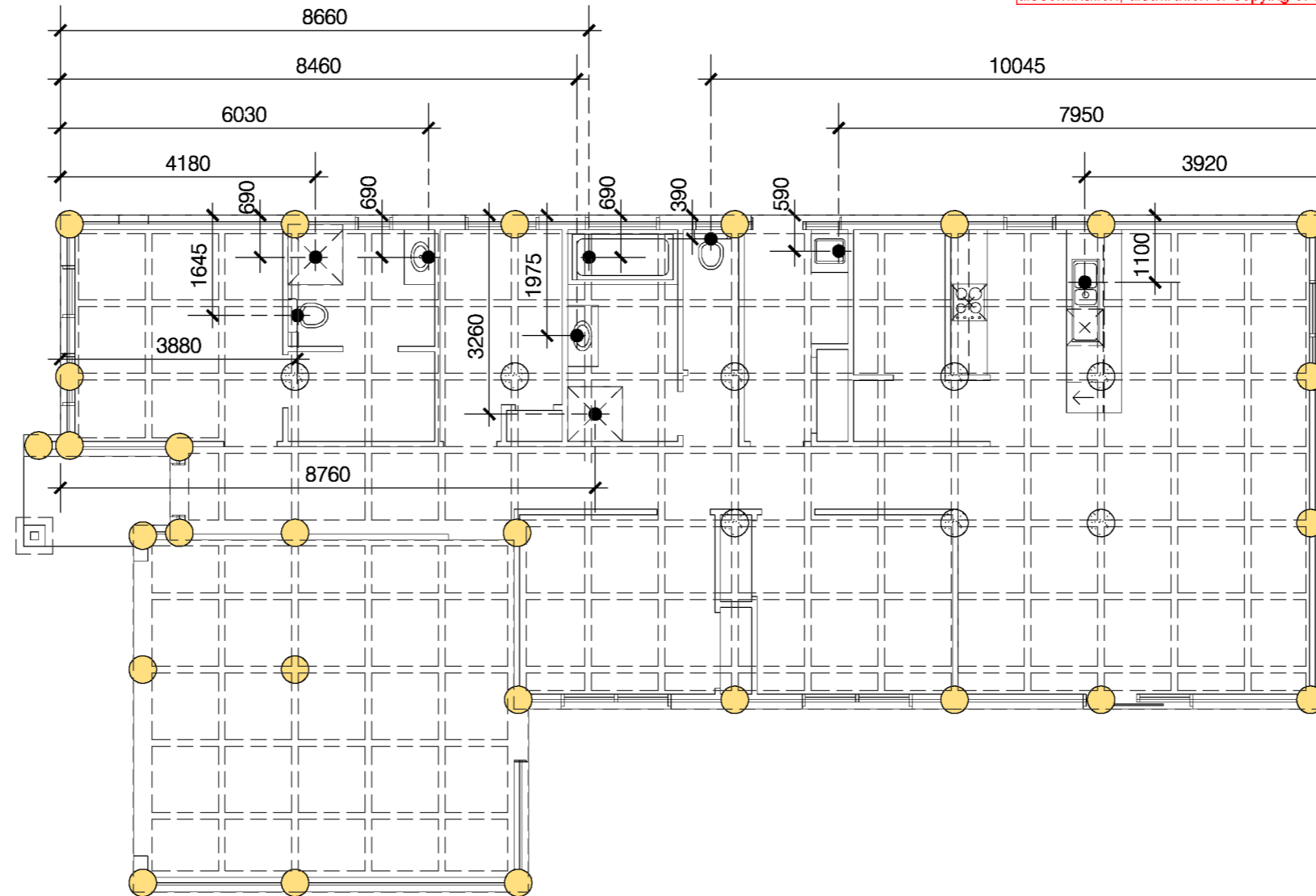
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LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 9	DRG. No.:- AC24-348	1

SLAB PENETRATION PLAN TO BE READ IN CONJUNCTION WITH FLOOR PLAN. BUILDER TO VERIFY DIMENSIONS ARE CORRECT PRIOR TO COMMENCEMENT OF WORKS

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SLAB PENETRATION PLAN
SCALE :- 1:100

SHERWOOD 144 MOD

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



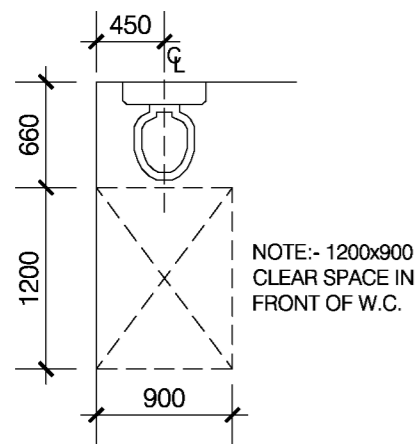
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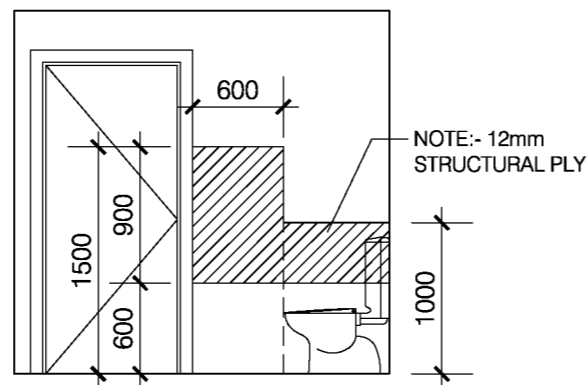
LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
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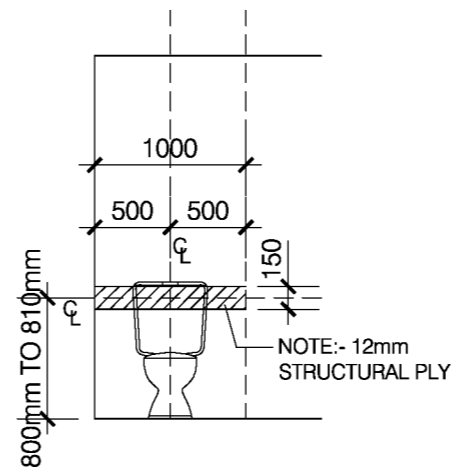
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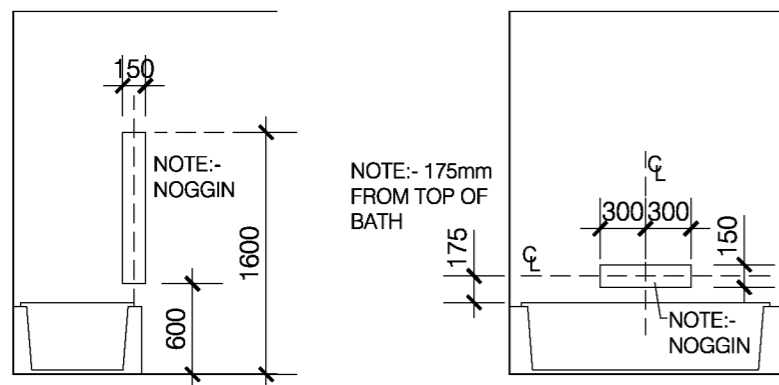
CIRCULATION SPACE FOR W.C.



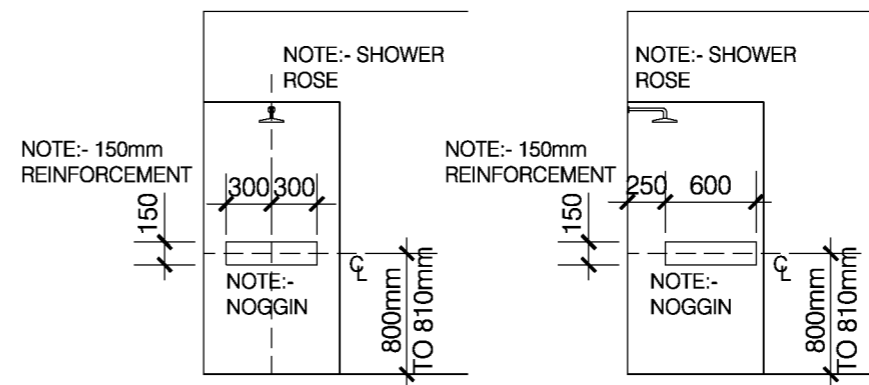
MIN. EXTENT OF SHEETING FOR WALL ADJACENT TO W.C.



LOCATION OF NOGGINS FOR A WALL BEHIND W.C.



LOCATION OF NOGGINS FOR WALLS SURROUNDING A BATH



LOCATION OF NOGGINS FOR SHOWER WALLS

NCC NOGGINS & CLEARANCES

SHERWOOD 144 MOD

DATE :- / /
SIGNED BUILDER
SIGNED OWNER



WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE CONTRACTORS ARE TO CHECK ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT

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LOCATION:- LOT 231 KOOKABURRA RISE PAKENHAM

DATE:- 10/9/2024	B.P. No.:- DBU-46723	ISSUE
SHEET No.:- 12	DRG. No.:- AC24-348	1

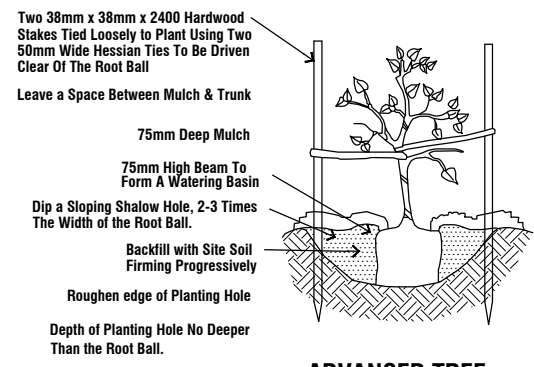
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PLANT SCHEDULE

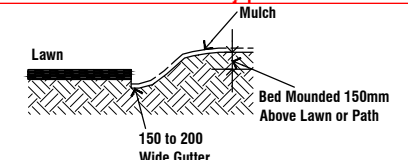
TYPE	BOTANICAL NAME	COMMON NAME	HT.	WIDTH	FLOWER COLOR	SEASON	SIZE	Qty.
Tree	Betula Alba	Silver Birch	10m	3m	-	-	2.1m	1
Small Tree	Callistemon Sieberi	River Bottlebrush	6m	4m	-	-	1.8m	1
Small Tree Evergreen	Michelia Species	Michelia Scented Pearl Port Wine Magnolia	3/5m	3/5m	Cream	Spring	1.5m	1
Small Tree	Abelia X grandiflora	Glossy abelia	2m	2m	white mauve	Summer Autumn	200 tub	4
Small Tree	Crowea Exalata	Glossy abelia	0.75m	0.75m			150 tub	14
Plant	Cordylone	Red Sensation		0.6m			200 tub	0
Plant	Acacia cognata timelight		1m	1m	Cream	Spring	150 tub	12
Plant	Rosa Species	Standard Rose	1.4m	1.0m	Selected		1.2m	45
Plant	Erigeron mucronatus	Easter daisy	0.3m	0.6m	white/pink	all year	100 tub	21
Tussock Plant	Dietes bicolor	Butterfly plant	1m	1m	yellow		150 tub	16
Tussock Plant	Liriope muscari	Butterfly plant	1m	0.5m	purple	late spring	150 tub	68

MULCHED GARDEN BED
 Min. 125mm Top Soil &
 Min. 75mm Fine Shredded
 Fine Wood Mulch

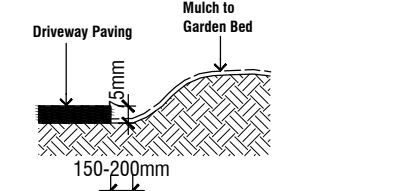
- PLANTING NOTES:**
- PLANTS ARE TO BE PLACED IN THE CENTRE OF THE HOLE
 - PLANTS MUST BE SET AT A LEVEL SUCH THAT THE CROWN OF THE PLANTS ESTABLISH A NORMAL & NATURAL RELATIONSHIP WITH THE SURROUNDING LEVELS
 - AFTER REMOVAL FROM CONTAINER THE HANDLING OF THE ROOT SYSTEM MUST BE DONE WITH MINIMUM ROOT DISTURBANCE PARTICULARLY AUSTRALIAN NATIVES
 - PLANTS MUST BE HEALTHY & PLANT ROOT SYSTEM MUST BE MOIST AT THE TIME OF PLANTING. PLANTS MUST BE WATERED WITH APPROX. -10 LITRES OF WATER AT TIME OF PLANTING.
 - PLANTS EXCEEDING 200MM POT SIZE SHALL BE STAKED AGAINST PREVAILING WINDS.
 - ALL PLANTS SHALL RECEIVE SLOW RELEASE FERTILIZER AT A QUANTITY RELATIVE TO THE POT SIZE.



ADVANCED TREE PLANTING DETAIL

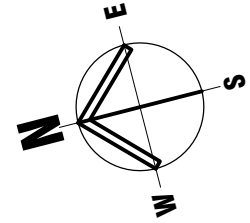
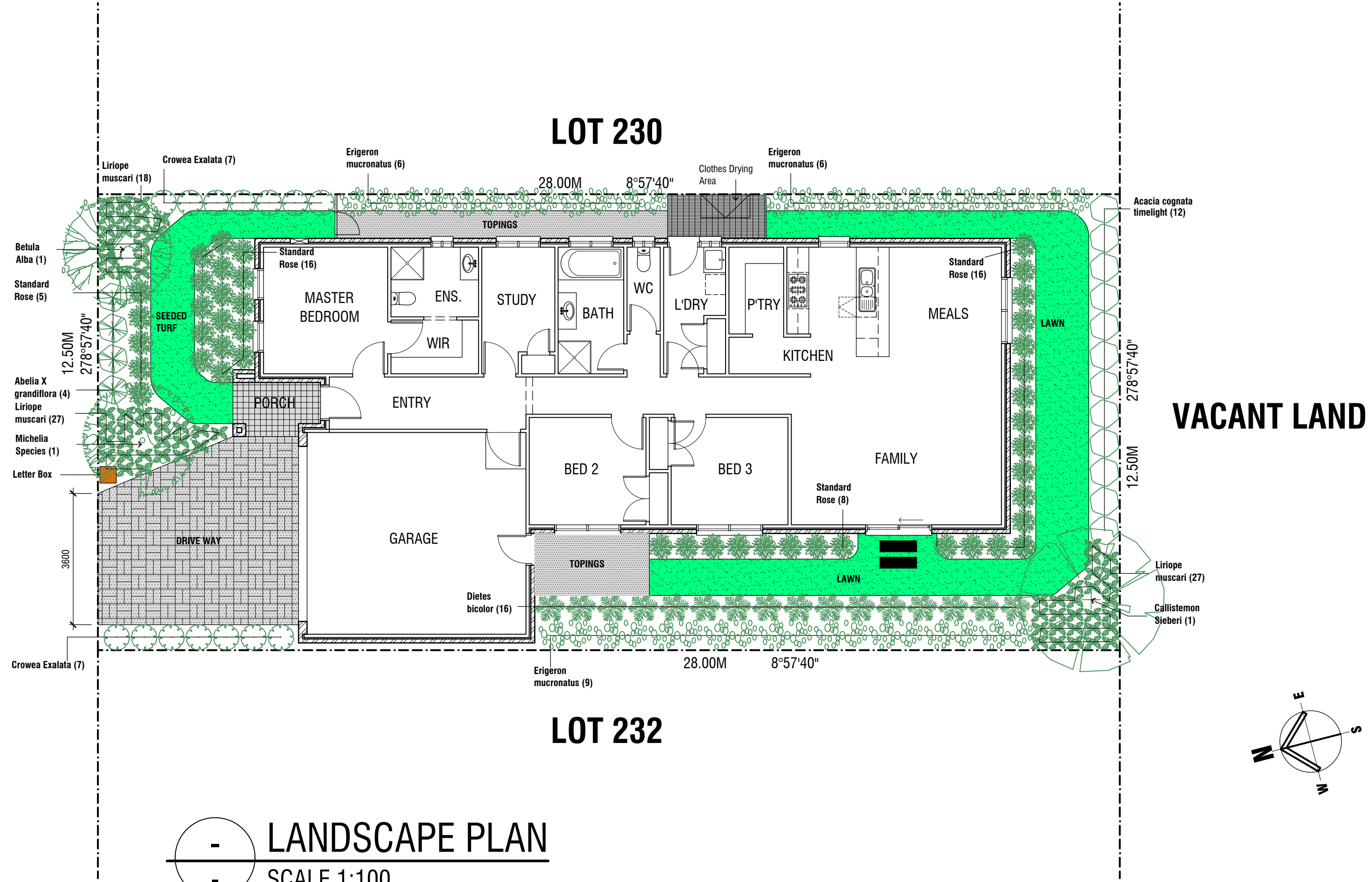


LAWN TO GERDEN BED DETAIL



PAVING TO GERDEN BED DETAIL

KOOKABURRA RISE



LANDSCAPE PLAN
 SCALE 1:100



SCALE 1:100 A3 SIZE

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				Client XXX	Drawing No. A07
				Drawing XXX	Drawn XXX Amendment / Issue XXX