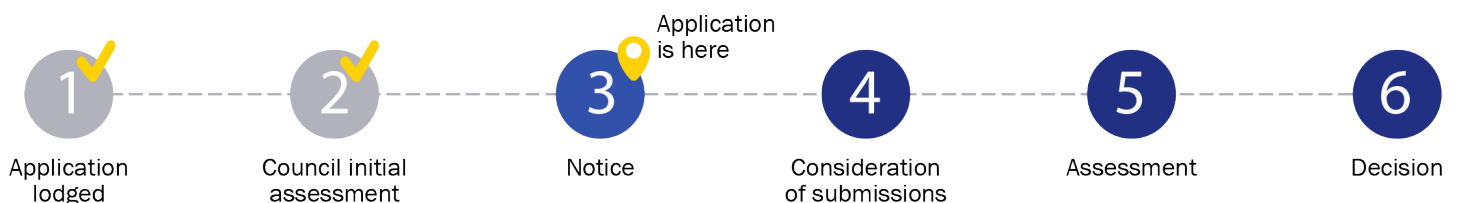


Notice of Application for a Planning Permit

The land affected by the application is located at:	L156 PS649677 V11683 F170 5 Tranquil Way, Pakenham VIC 3810	
The application is for a permit to:	Building and Works(Construction of a Dwelling)	
A permit is required under the following clauses of the planning scheme:		
	42.03-2 Construct a building or construct or carry out works	
APPLICATION DETAILS		
The applicant for the permit is:	Aliya Homes	
Application number:	T240493	
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		25 March 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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ePlanning

Application Summary

Portal Reference A32412FE

Basic Information

Proposed Use Application to construct one new single double storey dwelling with ESO4 overlay.
Current Use Vacant land
Cost of Works \$633,432
Site Address 5 Tranquil Way Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	[Redacted] Aliya Homes	1/19 Enterprise Drive, Bundoora VIC 3083	W: 03-7068-2828 M: 03-7068-2828 [Redacted]
Prepared Contact	[Redacted] Aliya Homes	1/19 Enterprise Drive, Bundoora VIC 3083	W: 03-7068-2828 M: 03-7068-2828 E: [Redacted]

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 5 More than \$500,000 but not more than \$1,000,000	\$1,535.00	100%	\$1,535.00
Total			\$1,535.00

Meetings

Meeting Type	Officer Name	Date of Meeting
Pre Application	Michael	18 Sep 2024



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

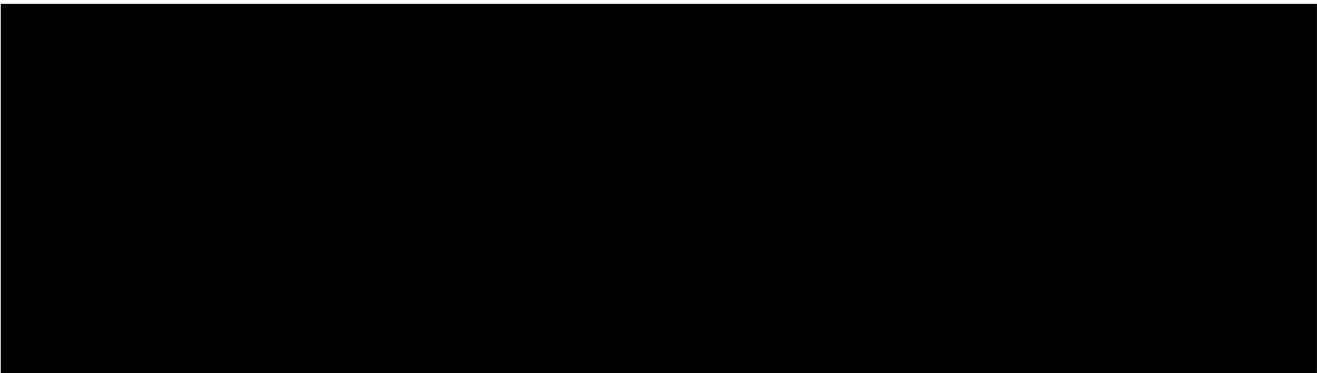
Monday to Friday 8.30am–
5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
26-09-2024	Encumbrance	Pos - Instrument AK575312M - 173 Agreement.pdf
26-09-2024	A Copy of Title	TITLE.pdf
26-09-2024	Site plans	Plans for Planning Approval.pdf
26-09-2024	A proposed floor plan	Plans for Planning Approval.pdf
26-09-2024	Proposed elevation plan	Plans for Planning Approval.pdf
26-09-2024	Overlay Requirements	ESO4 - Overlay.pdf
26-09-2024	Additional Document	Justification Letter due to ESO4.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit



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Cardinia Shire Council
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5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 11683 FOLIO 170

Security no : 124116165921X
Produced 27/06/2024 10:44 AM

LAND DESCRIPTION

Lot 156 on Plan of Subdivision PS649677S
PARENT TITLES :
Volume 08652 Folio 976 Volume 08810 Folio 340
Created by instrument AM859497W 16/06/2016

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ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AY001034X 15/05/2024
NATIONAL AUSTRALIA BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AK575312M 06/09/2013

DIAGRAM LOCATION

SEE PS649677S FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY001032C (E)	DISCHARGE OF MORTGAGE	Registered	15/05/2024
AY001034X (E)	MORTGAGE	Registered	15/05/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 5 TRANQUIL WAY PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LTD
Effective from 15/05/2024

DOCUMENT END



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FORM 18 Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE
MAKING OF A RECORDING OF AN AGREEMENT**

Planning and Environment Act 1987

Lodged by:

Name:

Phone:

Address:

Ref:

Customer Code: 01786Y

The Authority having made an agreement referred to in section 181(1) of the Planning and Environment Act 1987 requires a recording to be made in the Register for the land.

Land: Volume 8810 Folio 340 and Volume 8652 Folio 976

Authority: *Cardinia Shire Council
Henty Way, Pakenham, Victoria, 3810*

Section and Act under which agreement made:
S 173 of Planning and Environment Act 1987

A copy of the Agreement is attached to this Application

Signature for the Authority:

Name of Officer:

Date: 22/8/13

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- 5. FURTHER OBLIGATIONS OF THE OWNER**
- 6. AGREEMENT UNDER SECTION 173 OF THE ACT**
- 7. OWNER'S WARRANTY**
- 8. SUCCESSORS IN TITLE**
- 9. GENERAL MATTERS**
- 10. COMMENCEMENT OF AGREEMENT**

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AGREEMENT

THIS AGREEMENT is made the *26th* day of *August* 2013

BETWEEN:

CARDINIA SHIRE COUNCIL
of Henty Way, Pakenham, in the State of Victoria

("the Council")

- and -

Galway View Pty Ltd, 505 St Kilda Road, Melbourne in the State of Victoria

("the Owner")

INTRODUCTION

- A. Council is the Responsible Authority pursuant to the Act for the Planning Scheme.
- B. The Owner is the registered proprietor of the Land.
- C. On 18 September 2007 the Council issued Planning Permit No. T060892 permitting subdivision of the land into 110 lots, the provision of public open space and tree reserves, creation of access to a Road Zone Category 1 and the removal of native vegetation generally in accordance with the endorsed plan. Condition 3 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition.
- D. A Plan of Subdivision was not certified within two years of the date of the Planning Permit. An extension of time was approved by Council on 16 September 2009 and 10 October 2011. Endorsed Plans were approved on 22 September 2012 and this revised the lot numbers compared to the original permit application plans (Watsons Pty Ltd Revision E). The lots previously numbered 36 to 47 inclusive on Watsons Pty Ltd Revision E and obligated in Condition 3 of the Planning Permit are renumbered lots 120 to 126 inclusive and lots 223 to 227 inclusive on the Endorsed Plan.
- E. The parties enter into this Agreement:-
 - (a) to give effect to the requirements of Condition 3 of the Planning Permit; and
 - (b) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Land.

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IT IS AGREED:

1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 **"the Act"** means the *Planning and Environment Act 1987*.
- 1.2 **"this Agreement"** means this Agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 **"Amended Planning Permit Plan"** means the amended plans approved under the Planning Permit as an Endorsed Plan generally in accordance with Watsons Pty Revision E dated 4 September 2007 but modified in accordance with condition 1 of the Planning Permit.
- 1.4 **"Building"** has the same meaning as in the Act.
- 1.5 **"Building Envelope"** means the building envelope shown for a particular lot in the Plan of Subdivision and has the same meaning as in regulation 406 of the Building Regulations.
- 1.6 **"Dwelling"** has the same meaning as in the Cardinia Planning Scheme.
- 1.7 **"Eastern most allotments"** being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.8 **"Endorsed Plan"** means the plans endorsed with the stamp of the Council from time to time known as the Amended Planning Permit Plan and Landscape Masterplan which form part of the Planning Permit.
- 1.9 **"Land"** means the land situated at 120-150 Pakenham Road, Pakenham, being all of the land contained in Certificate of Title Volume Folio 8810 340 and Certificate of Title Volume Folio 8652 976 and any reference to the Land includes any lot created by the subdivision of the Land or any part of it.
- 1.10 **"Landscape Masterplan"** means the plan approved under the Planning Permit as an Endorsed Plan which shall provide for, inter alia, the revegetation of the ridgeline/ rear of lots 120 to 126 inclusive and lots 223 to 227 inclusive and trees to be retained generally in accordance with the Planning Permit.
- 1.11 **"Lot"** means a lot or allotment on the Endorsed Plan.
- 1.12 **"Planning Permit"** means Planning Permit T060892 dated 18 September 2007.

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- 1.13 **"Planning Scheme"** means the Cardinia Planning Scheme and any other planning scheme that applies to the Land.
- 1.14 **"Ridgeline"** means the Pakenham North Ridge a natural topographic feature which affects part of the Land being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.15 **"Ridgeline Elevation"** means the changing level or height of the Ridgeline.
- 1.16 **"Statement of Compliance"** means a Statement of Compliance under the Subdivision Act 1988.

2. INTERPRETATION

In this Agreement unless the context admits otherwise:



- 2.1. the singular includes the plural and vice versa.
- 2.2. a reference to a gender includes a reference to each other gender.
- 2.3. a reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4. if a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5. a word or expression used in this Agreement has its ordinary meaning unless that word or expression is defined in this Agreement. If a word or expression is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6. any reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7. the introductory clauses to this Agreement are and will be deemed to form part of this Agreement.

3. SECTION 173 AGREEMENT

3.1 Purpose

This agreement is made under section 173 of the Act. In entering into it the Parties intend to achieve or advance the objectives of planning in Victoria or the objectives of the Planning Scheme.

3.2 Burden of covenants

The Council and the Owner intend that the burden of the Owner's covenants run with the Land.

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4. SPECIFIC OBLIGATIONS OF THE OWNER

The owner acknowledges and agrees that:

4.1 Building Restrictions

No building shall be constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive outside the building envelopes shown on the Endorsed Plan except with the prior written consent of Council.

4.2 Height Controls

Any dwelling constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive must not be higher than 2.0 metres above the highest point of the ridgeline elevation on that lot.

4.3 Re-vegetation

Re-vegetation and landscaping across the ridgeline (the rear of the Eastern most allotments) must be carried out generally in accordance with the approved Landscape Masterplan prior to the issue of a Statement of Compliance.

5. FURTHER OBLIGATIONS OF THE OWNER

The Owner further agrees that:

5.1 Notice and Registration

5.1.1 the Owner will bring this Agreement to the attention of all prospective purchasers, mortgagees, transferees and assigns.

5.2 Further Actions

5.2.1 the Owner will do all things necessary to give effect to this Agreement.

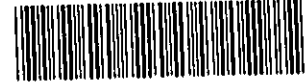
5.2.2 the Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the register on the Certificate of Title to the Land in accordance with section 181 of the Act and do all things necessary to enable Council to do so, including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable a recording to be made in the register under that section.

5.3 Council's costs to be paid

5.3.1 the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.

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6. AGREEMENT UNDER SECTION 173 OF THE ACT

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement, and insofar as they can be so treated, this Agreement is made pursuant to section 173 of the Act.

7. OWNERS WARRANTY

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land which may be affected by this Agreement.

8. SUCCESSORS IN TITLE

8.1 Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Land, successors in title shall be required to:-

- (a) give effect to and do all acts and sign all documents which require those successors to give effect to this Agreement; and
- (b) execute a Deed agreeing to be bound by the terms of this Agreement.

9. GENERAL MATTERS

9.1 Notices

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 9.1.1 by delivering it personally to that party;
- 9.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 9.1.3 sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

9.2 A notice or other communication is deemed served:

- 9.2.1 if delivered, on the next following business day;
- 9.2.2 if posted, on the expiration of two business days after the date of posting; or

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9.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested transmission before the end of that business day.

9.3 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

9.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

9.5 No Fettering of Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

10. COMMENCEMENT OF AGREEMENT

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.



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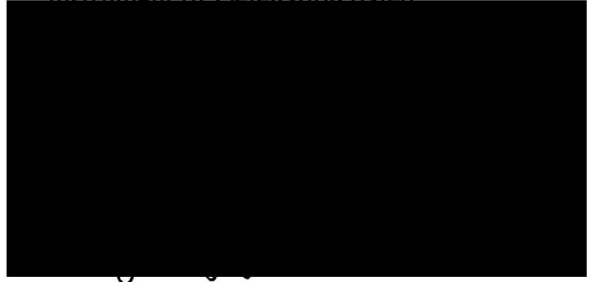
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SIGNING PAGE

EXECUTED by the parties on the date set out at the commencement of this Agreement.

**Signed by and on behalf, and with
the authority of the Cardinia Shire
Council by Brett Jackson, in the
Exercise of power conferred by an
Instrument of Delegation dated**

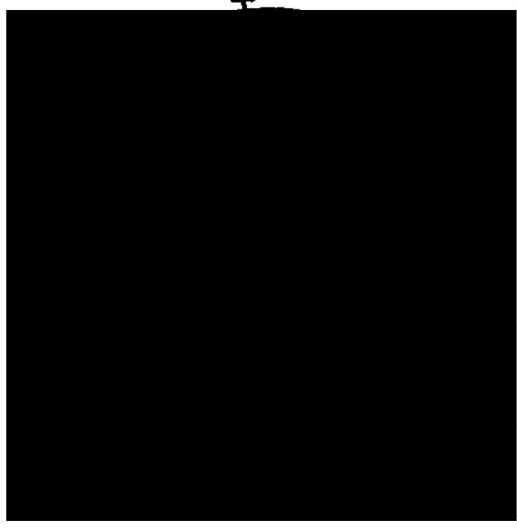


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MANAGER Development Services

Witness

**Executed by Galway View Pty Ltd
by being signed by those persons who are
authorised to sign for the company:**



)
)
)

Director

Full name

Usual address

Director (~~or company Secretary~~)

Full name

Usual address

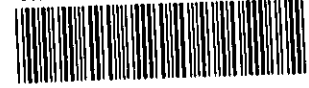
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DATED

CARDINIA SHIRE COUNCIL

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- and -

GALWAY VIEW PTY LTD
ACN 007 183 897

**AGREEMENT
UNDER SECTION 173
OF THE PLANNING
AND ENVIRONMENT
ACT 1987**

Land: Lot 1 & 2 LP8840, 120-150 Pakenham Road, Pakenham 3810



1/19 Enterprise Drive, Bundoora, Vic, 3083

Ph: (03) 7068 2828

ABN- 63 168 181 100

25th September 2024

Cardinia Council
PO Box 7
Pakenham Vic 3810

Re: Lot 156, No. 5 Tranquil Way, Pakenham Vic. 3810

Attention Planning Department,

Dear Sir/Madam,

Please see attached justification letter alongside plans for the application due to **the Schedule 4 To Clause 42.01 Environmental Significance Overlay.**

Shown on the planning scheme map as **ESO4.**

Proposed dwelling at above site address has been carefully designed and sited to ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform.

The siting and design of the proposed dwelling works and responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.

The current site has no vegetation to be removed.

We hope provided information and plans will be satisfactory for your approval.



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ALIYA HOMES

SCHEDULE 4 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

Shown on the planning scheme map as ESO4 .

PAKENHAM NORTH RIDGE**Statement of environmental significance**

The Pakenham ridge has regional significance for biodiversity. It makes a substantial contribution to biodiversity in the Gippsland Plain Bioregion as well as the Pakenham area. The area has remnants of Grassy Forest, an ecosystem that is vulnerable in the area. The Cobra Greenhood Orchid (*Pterostylis grandiflora*) which is of state significance, and the Green Scentbark (*Eucalyptus fulgens*) which is of state/national significance, are found in the area. The area is characterised by a geology of Devonian Granitic and Silurian Sediment origin, moderate to steep slopes, and areas of remnant vegetation. These characteristics contribute to environmental values including landscape quality, water quality, and habitat of botanical and zoological significance. These characteristics are also a significant factor contributing to environmental hazards such as erosion, salinity and fire risk, and susceptibility to visual intrusion from buildings and works.

Environmental objective to be achieved

To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.

To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.

To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.

To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.

To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.

Permit requirement

A permit is required to construct a fence.

A permit is not required to remove, destroy or lop any vegetation if:

- The vegetation is a tree overhanging the roof of a building used for Accommodation. This exemption only allows the removal, destruction or lopping of that part of the tree which is overhanging the building and which is necessary for fire protection.
- The vegetation is dead as a result of natural circumstances or as a result of the spread of noxious weeds and which has been assessed as being suitable for removal by an authorised officer of the responsible authority. This exemption does not apply to standing dead trees with a trunk diameter of 40 centimetres or more at a height of 1.3 metres above ground level.
- It is the minimum extent necessary to maintain utility services for the transmission of water, sewage, gas, electricity, electronic communications or the like, provided that the removal, destruction or lopping is with the written consent of the responsible authority.
- It is necessary for maintenance by the Cardinia Shire Council of works including any road, drain, essential service or public facility.
- It is the removal of any vegetation from an existing dam wall where the vegetation may impact on the structural stability of the dam wall.
- The vegetation is required to be pruned or lopped (but not removed or destroyed) as part of normal domestic or horticultural practice for the species.

CARDINIA PLANNING SCHEME

- The vegetation is an environmental weed contained in the table below; that is not listed under the Schedule to Clause 43.01 (Heritage Overlay) and there is no condition listed in the table:

Botanical name	Common name	Condition
<i>Acacia baileyana</i>	Cootamundra Wattle	
<i>Acacia decurrens</i>	Early Black Wattle	
<i>Acacia elata</i>	Cedar Wattle	
<i>Acacia floribunda</i>	White Sallow Wattle	
<i>Acacia longifolia</i>	Coast / Sallow Wattle	
<i>Acacia saligna</i>	Golden Wreath Wattle	
<i>Acacia sophorae</i>	Coastal Wattle	
<i>Acer spp.</i>	Maple	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Agapanthus praecox orientalis</i>	African Lily	
<i>Allium triquetrum</i>	Angled Onion	
<i>Alstromeria aurea</i>	Peruvian Lily	
<i>Amaryllis belladonna</i>	Belladonna Lily	
<i>Anredera cordifolia</i>	Madeira vine	
<i>Anthoxanthum odoratum</i>	Sweet Vernal Grass	
<i>Arbutus unedo</i>	Strawberry Tree	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Arctotheca calendula</i>	Cape Weed	
<i>Asparagus asparagoides</i>	Bridal Creeper	
<i>Asparagus scandens</i>	Asparagus Fern	
<i>Berberis darwinii</i>	Darwin's Berberry	
<i>Betula spp.</i>	Birch	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Briza minor</i>	Shivery Grass	

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CARDINIA PLANNING SCHEME

Botanical name	Common name	Condition
<i>Briza maxima</i>	Quaking Grass	
<i>Buddleia variabilis</i>	Butterfly Bush	
<i>Calicotome spinosa</i>	Spiny broom	
<i>Castanea spp.</i>	Chestnut	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Cestrum elegans</i>	Red Cestrum	
<i>Chamaecytisus palmensis</i>	Tree Lucerne	
<i>Chrysanthemoides monilifera</i>	Boneseed	
<i>Chrysanthemum maximum</i>	Shasta Daisy	
<i>Cirsium vulgare</i>	Spear thistle	
<i>Conium maculatum</i>	Hemlock	
<i>Convolvulus spp.</i>	Bindweeds	
<i>Conyza bonariensis</i>	Tall Fleabane	
<i>Coprosma repens</i>	Mirror Bush	
<i>Coprosma repens</i>	Tuapata	
<i>Coprosma robusta</i>	Karamu	
<i>Cornus capitata</i>	Evergreen Dogwood	
<i>Cortaderia selloana</i>	Pampas Grass	
<i>Corymbia maculata</i>	Spotted Gum	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Cotoneaster spp.</i>	Cotoneaster	
<i>Crataegus monogyna</i>	Hawthorn	
<i>Crocasmia x crocosmiifolia</i>	Montbretia	
<i>Cytisus palmensis</i>	Tree Lucerne	
<i>Cytisus scoparius</i>	English Broom	

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CARDINIA PLANNING SCHEME

Botanical name	Common name	Condition
<i>Cynodon dactylon</i>	Couch grass	
<i>Cyperus erogrostis</i>	Drain Flat Sedge	
<i>Delairea odorata</i>	Cape Ivy	
<i>Dipogon lignosus</i>	Common Dipogon (Dolichos)	
<i>Dodonea viscosa</i>	Sticky Hop Bush	
<i>Echium plantagineum</i>	Paterson's Curse	
<i>Ehrharta erecta</i>	Panic Veldt Grass	
<i>Ehrharta longiflora</i>	Annual Veldt grass	
<i>Erica baccans</i>	Berry-flower Heath	
<i>Erica lusitanica</i>	Spanish Heath	
<i>Eucalyptus botryoides</i>	Southern Mahogany Gum	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Euryops abrotanifolius</i>	Euryops	
<i>Foeniculum vulgare</i>	Fennel	
<i>Fraxinus angustifolia</i>	Narrow-leafed Ash	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Fraxinus ornus</i>	Manna Ash	
<i>Fraxinus oxycarpa</i>	Caucasian Ash	
<i>Galium aparine</i>	Cleavers	
<i>Genista linifolia</i>	Flax Leaf Broom	
<i>Genista monspessulana</i>	Cape/Montpellier Broom	
<i>Hakea salicifolia</i>	Willow Hakea	
<i>Hakea suaveolens</i>	Sweet Hakea	
<i>Hedra helix</i>	English Ivy	
<i>Holcus lanatus</i>	Yorkshire Fog	

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CARDINIA PLANNING SCHEME

Botanical name	Common name	Condition
<i>Hypericum androsaemum</i>	Tutsan	
<i>Hypericum perforatum</i>	St. John's Wort	
<i>Hypericum tetrapterum</i>	St. Peter's Wort	
<i>Ilex aquifolium</i>	Holly	
<i>Ipomoea indica</i>	Morning Glory	
<i>Lathyrus latifolius</i>	Sweet Pea	
<i>Leptospermum laevigatum</i>	Coast Tea Tree	
<i>Leycesteria formosa</i>	Himalayan Honeysuckle	
<i>Ligustrum lucidum</i>	Broad-Leaved Privet	
<i>Ligustrum vulgare</i>	Privet	
<i>Lonicera japonica</i>	Japanese Honeysuckle	
<i>Malus spp</i>	Apple	
<i>Melaleuca armillaris</i>	Giant Honey Myrtle	
<i>Melaleuca hypericifolia</i>	Honey Myrtle	
<i>Myosotis sylvatica</i>	Common Forget-me-not	
<i>Myrsiphyllum scandens</i>	Asparagus Fern	
<i>Myrsiphyllum asparagoides</i>	Bridal Creeper	
<i>Myrsiphyllum asparagoides</i>	Smilax	
<i>Oenothera stricta</i>	Common Evening Primrose	
<i>Opuntia aurantiaca</i>	Prickly Pear	
<i>Oxalis pes-caprae</i>	Soursob	
<i>Portulaca oleracea</i>	Common Purslane	
<i>Paraserianthis lapantha</i>	Cape Wattle	

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CARDINIA PLANNING SCHEME

Botanical name	Common name	Condition
<i>Passiflora sp. aff. mollissima</i>	Banana Passionfruit	
<i>Pentaglottis serpvirens</i>	Alkante	
<i>Phalaris aquatica</i>	Toowoomba Canary Grass	
<i>Pennisetum clandestinum</i>	Kikuyu	
<i>Phytolacca octandra</i>	Inkweed	
<i>Pinus radiata</i>	Monterey Pine	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Pittosporum crassifolium</i>	Karo	
<i>Pittosporum undulatum</i>	Sweet Pittosporum	
<i>Polygalia myrtifolia</i>	Myrtle Leaf Milkwort	
<i>Populus tremuloides</i>	American Aspen	
<i>Prunus cerasifera</i>	Cherry Plum	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Prunus laurocerasus</i>	Cherry Laurel	
<i>Prunus lusitanica</i>	Portugal Laurel	
<i>Prunus spp.</i>	Plum	Except <i>Prunus cerasifera</i> (Cherry Plum)
<i>Psoralea pinnata</i>	Bloukeur (Pinnate Scurf-Pea)	
<i>Pyracantha spp.</i>	Firethorns	
<i>Quercus spp.</i>	Oak	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Ranunculus repens</i>	Creeping Buttercup	
<i>Rhamnus alaternus</i>	Italian Buckthorn	
<i>Ricinus communis</i>	Castor Oil Plant	
<i>Robinia pseudacacia</i>	Black Locust	
<i>Romulea rosea var australis</i>	Onion Grass	

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CARDINIA PLANNING SCHEME

Botanical name	Common name	Condition
<i>Rosa rubiginosa</i>	Sweet Briar	
<i>Rubus fruticosus</i> spp. agg.	Blackberry	
<i>Salix babylonica</i>	Weeping willow	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Salix</i> spp.	Willow	Diameter at 1.3 metres above natural ground level must not exceed 40 centimetres
<i>Salpichroa organifolia</i>	Pampas Lily of the Valley	
<i>Senecio jacobaea</i>	Ragwort	
See Cape Wattle	False Wattle	
<i>Solanum linnaeanum</i>	Apple of Sodom	
<i>Solanum mauritianum</i>	Tree Tobacco	
<i>Solanum nigrum</i>	Black Nightshade	
<i>Solanum pseudocapsicum</i>	Madeira Winter Cherry	
<i>Sollya heterophylla</i>	Blue bell Creeper	
<i>Spartina anglica</i>	Common Cord-grass	
<i>Tradescantia fluminensis</i>	Wandering Jew/Trad	
<i>Trapaolum majus</i>	Nasturtium	
<i>Ulex europaeus</i>	Gorse	
<i>Verbascum thapsus</i>	Great Mullein	
<i>Viburnum timus</i>	Laurestinus	
<i>Vinca major</i>	Blue Periwinkle	
<i>Viola odorata</i>	Fragrant Violet	
<i>Viola riviniana</i>	Wood Violet	
<i>Watsonia borbonica</i>	Rosy Watsonia	
<i>Watsonia meriana</i> var. <i>bulbillifera</i>	Bulbil Watsonia	

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Botanical name	Common name	Condition
<i>Zantedeschia aethiopica</i>	White Arum Lily	

4.0
10/06/2021
C254card

Application requirements

The following application requirements apply to an application for a permit under 42.01, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

Buildings and works:

- The location of any existing buildings and works.
- Details of elevations, including external colours, materials and finishes.
- The location of any existing vegetation and any vegetation proposed to be removed.
- Details of the location and extent of any earthworks.

To remove, destroy or lop native vegetation:

- A photograph or site plan (drawn to scale) showing the boundaries of the site, existing vegetation and the vegetation to be removed.
- A description of the vegetation including understory to be removed, including the species, extent, number and size (diameter at 1.3 metres above natural ground level) of any trees to be removed and the Ecological Vegetation Class of native vegetation.
- Location of any hollow bearing trees.
- Topographic information, highlighting ridges, crests and hilltops, streams and waterways, slopes of more than 20 percent, drainage lines, low lying areas, saline discharge areas, and areas of existing erosion.
- A written explanation of the steps that have been taken to:
 - Avoid the removal of vegetation, where possible.
 - Minimise the removal of vegetation.
 - Appropriately replace and/or compensate the loss of vegetation, if required.
- A copy of any property vegetation plan that applies to the site.
- Where the removal, destruction or lopping of vegetation is to create defensible space, a statement explaining why removal, destruction or lopping of vegetation is required having regard to other available bushfire risk mitigation measures. This does not apply to the creation of defensible space in conjunction with an application under the Bushfire Management Overlay.

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5.0
10/06/2021
C254card

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

General

- The Land Capability Study for the Cardinia Shire (February 1997).
- The need for an environmental and landscape impact assessment report, prepared by a properly qualified person and to the satisfaction of the responsible authority, that includes:
 - An appropriate consideration of alternative subdivision layouts and alternative sites for buildings

CARDINIA PLANNING SCHEME

- Possible design responses and design guidelines
- Consideration of appropriate environmental management practices, including replanting of native vegetation and ongoing protection and management of vegetation and habitat areas.
- The protection and enhancement of environmental significance having regard to:
 - Protecting habitat areas, landscape areas and vantage points of high quality
 - Protecting and enhancing areas of native vegetation
 - Setting development back from the ridgeline to allow appreciation of the ridge landform and topography, and to maintain the natural skyline of the ridge
 - The visual prominence of land above the 60-metre contour as a defining landscape feature
 - The integration of buildings and works with environmental and landscape features
 - Appropriate environmental management practices.
- Measures to address environmental hazards or constraints including erosion, drainage and fire.

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Buildings and works

- The impact of any buildings and works on areas of remnant vegetation, and habitat of botanical and zoological significance.
- The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.
- The control of the density of buildings and subdivision necessary to meet environmental objectives.
- The establishment of appropriate building envelopes and the benefits of requiring building envelopes to be shown on plans of subdivision.
- Whether the siting, height, scale, materials, colours and form of proposed buildings and works, including roads and infrastructure service lines, have been designed to have least visual effect on the ridge environment and landscape.
- Whether approval of any proposed buildings and works is compatible with maintaining the visual, natural and cultural significance of the ridge landscape.
- The benefit of permit conditions requiring all building materials to be non-reflective and of colours that are complementary to those of the natural landscape.
- The benefit of conditions requiring the landscaping of buildings and works, while also having regard to the maintenance of existing viewlines.

Vegetation and habitat

- The retention of remnant vegetation and wildlife habitat, and the need to plant vegetation along waterways, gullies, ridgelines and property boundaries.
- The conservation and enhancement of the area's native vegetation and habitat values, including allowing for natural regeneration of native vegetation
- Providing linked open space and local habitat corridors.
- Maintaining vegetation as a key element of the landscape, and maintaining and enhancing the continuity of vegetation.
- The significance of any vegetation proposed to be removed, including its rarity and habitat value.
- The need to revegetate or landscape the site with native species and dispersing buildings to allow trees to be planted between them.

Response to slope

- The availability of other alternative sites, alternative building designs or alternative construction practices for proposed buildings and works that minimise cut and fill and would better meet the environmental objectives of this schedule, having regard to the size and topography of the land, retention of vegetation, and the form and nature of the proposed buildings and works.
- The availability of reasonable alternative routes, alternative designs or alternative forms of installation for roads, access driveways and infrastructure service lines that would avoid impact on vegetation and habitat areas, follow the contours of the land, minimise cut and fill and better meet the environmental objectives of this schedule.
- Locating buildings and works in low lying positions on a site.
- Slope stability and the need for a geotechnical report, particularly where slopes are greater than 20 percent.

Waterways

- The protection of waterways and water quality through the appropriate management of stormwater, effluent disposal, erosion, sediment pollution and the provision and protection of vegetation especially along watercourses.

Salinity

- Whether vegetation retention and revegetation is occurring and whether appropriate management techniques are being put in place to address water table and salinity issues.

6.0 Background documents

Ecological Assessment of Pakenham Ridge, Biosis Research (August 2006)

Indigenous Vegetation Survey – an inventory of sites of biodiversity significance in the Pakenham Growth Corridor and adjoining area Volume 2, Ecology Australia (January 2004)

Pakenham North Ridge Precinct Assessment of Landscape Value, Land Design Partnership (June 2007)

Land Capability Study for the Cardinia Shire (February 1997)

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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T240493 PA
Address of the Land:	5 Tranquil Way, Pakenham

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	Aliya Pty Ltd
Address:	1/19 Enterprise Drive, Bundoora Vic 3083
Phone:	03 7068 2828
Email:	[REDACTED]

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input checked="" type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Architectural Plans updated to reduce visual bulk and massing. Landscaping plan provided showing balance to dwelling coverage and minimal site cut and fill.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.		
Name:	[Redacted]	
Signature:	[Redacted]	
Date:	17/02/2025	

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
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January 30, 2025

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[REDACTED]
Permits Co-ordinator
Aliya Homes
Unit 1
19 Enterprise Drive
Bundoora VIC 3083

Dear Biljana

Application No.: T240493 PA (5 Tranquil Way, Pakenham VIC 3810)
Proposal: Development of Land for Dwelling.

Thank you for engaging us to provide a response to items 1 and 2 of Councils Further Information letter of October 24, 2024. In preparing this response we do so with the benefit of the following:

- Aliya Homes TP Drawings v.03, sheets 000-001 to 444-004 (28 sheets)
- Landscape Plan prepared by Monarch Garden Design (dated January 9, 2025)
- Site visit, December 31, 2024.

We respond as follows:

INFORMATION REQUIRED AS PART OF THE APPLICATION

1. A detailed written statement outlining how the proposal responds to the environmental objectives and decision guidelines within Schedule 4 to the Environmental Significance Overlay particularly:

- a) Locating buildings and works in low-lying positions on a site.
- b) Response to the slope as per clause 44

RESPONSE:

The subject site is affected by the Environmental Significant Overlay (**ESO**) – Schedule 4 “Pakenham North Ridge” under Clause 42.01 of the Cardinia Planning Scheme.

Schedule 4 “Pakenham North Ridge” has the following Environmental objectives:

- To protect and enhance the significant environmental and landscape values of the Pakenham North ridge.

- *To ensure that the siting and design of buildings and works does not adversely impact on environmental and landscape values including the ridge landform, the diverse and interesting landscape, the natural skyline of ridge areas, areas of remnant vegetation, and habitat of botanical and zoological significance.*
- *To ensure that the siting and design of buildings and works responds to environmental and landscape values, and addresses environmental hazards of erosion, salinity and fire.*
- *To maintain, manage and promote replanting of native vegetation as an important element of the Pakenham North ridge landscape and natural systems.*
- *To ensure long term protection of areas of high conservation value and promote the protection and enhancement of wildlife habitat and corridors.*

The proposal aligns with the Environmental objectives of Schedule 4:

- The siting of the dwelling is appropriate relative to the lack of direct environmental impacts to the subject site and the landscape design incorporation of native ground covers, shrubs and trees.
- The double storey form, built site coverage and extensive landscaping design aligns with the natural environs of the broader ridge and views across the residential estate area.
- Whilst not sited on the specific lowest point of the site, the dwelling design is sympathetic to the overall pattern of dwellings and the downward slope of the estate with the dwelling addressing the street frontage, minimising built form dispersion across the site and incorporating a balanced level of cut and fill.

The following offers an assessment of the proposal against the Decision Guidelines of Schedule 4:

General

- The proposal is considerate to the environmental objectives of Schedule 4 with the building designed to respond to the natural topography of the site as well as minimising any environmental impacts.
- The building height and building footprint balance the level of cut and fill within the slope of the site whilst maintaining the prevalence of the ridgeline to the east.
- The development is consistent with the intent of the initial residential subdivision and maintains the integrity of the natural ridgelines and views from the site and broader area via it's proximity to street frontage and street and side building setbacks that allow spacing that is reflective of the natural environs.
- The siting of the dwelling toward the street frontage in addition to the extent of cut and fill and sloping narrowing driveway contributes to directing drainage and flow to the street frontage rather than the built form being located further to the rear of the property with an extensive lengthy driveway.

Buildings and works

- The subject site is clear of any vegetation with no disturbance proposed by any hardscaping features reflective of the development.

- The double storey form of the dwelling is consistent with the prevailing residential height of the area (#2 Galway Rise, #10 Tranquil Way, Lot 237 Palm Court, #14 Galway Rise and #9 Galway Rise), as well as located toward the street frontage to the south. This contributes to protecting the broader ridgeline views further north as well as the overall views from the north down to the southern aspect of the estate area.
- The location of the dwelling and accompanying building height and scale ensures views within the area are not significantly disturbed by the proposal. The building has a site coverage of 16% with a resulting extensive permeable site area.
- All materials are of a non-reflective nature with muted earthen type tones employed across the site.

Vegetation and habitat

- The proposal generates limited scope for impacts upon habitat values and protected species of the area.
- The proposed landscaping provides for open lawn areas reflective of the ridgeline with the property boundary landscaping comprising of levels of garden beds with shrubs (*Syzygium australe* along the street frontage, *Callistermon sp* 'Eureka' along the northern boundary and *Acacia stricta* for most the eastern boundary). This partnered with the larger trees allows for a dispersing of plant and tree densities and types of native species that is conducive of enhancing the vegetation of the residential area.

Response to slope

- The design of the dwelling provides for a minimal building footprint in addition to being responsive to the location of dwellings to address the street frontage within the residential estate.
- The design accommodates parking spaces within the front form of the dwelling, minimising the need for extensive driveways across the site and into the slope of the site.
- The dwelling is set in the south-east aspect of the allotment, which is an appropriate design response reflective of the unique curved corner allotment which has extensive frontage to the street (Tranquil Way). This also facilitates greater landscaping opportunities across the 1,182sqm site that is conducive of revegetating the area of its former ecological conditions.
- The proposal aims to balance the desire of a built form accommodating the residents needs whilst providing a sympathetic approach to the slope of the site. This is evident via the minimal extent of site coverage, front address dwelling design and minimal outdoor hardscaping areas.

Waterways

- The overall site achieves a high level of permeable area via its landscaping design and limited built form footprint.
- Drainage design will be undertaken as to minimise negative impacts to vegetation and waterways as per the relevant authority requirements.

Salinity

- The proposal provides for vegetation of the land sympathetic to indigenous species with consideration provided for species in relation to soil types and the environmental features of the area. This is supported via the Landscape Plan which provides for a multilayered approach of ground cover, shrubs and trees partnered with areas of lawn.

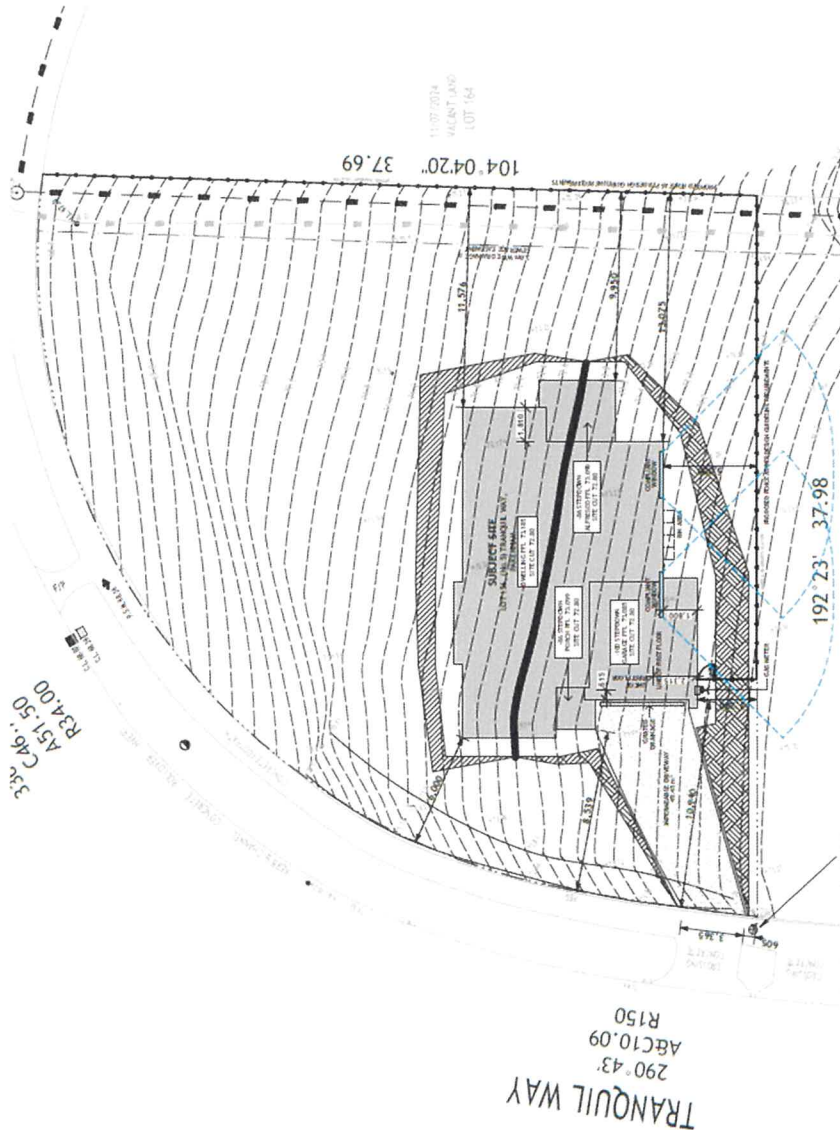


Figure 1: Site Plan (Source: Aliya Homes, Sheet No. 100-002, v.03)

PRELIMINARY ASSESSMENT COMMENTS:

A preliminary assessment of the application has been undertaken and the following comments are provided for your consideration:

1. Site responsive design

The development area is affected by significant slope that forms part of the recognised character of the Pakenham Northern Ridge and the presence of the Environmental

Significance Overlay – Schedule 4.

The current design is not sympathetic to the fall of the land and results in an unacceptable level of earthworks to facilitate the construction of the dwelling. It is encouraged that the dwelling design and/or siting is reviewed to reduce the extent of earthworks; this may be through the introduction of a split-level design or an elongated footprint that is more responsive to the topography of the land.

It is recommended that the design is reviewed to improve the likelihood of support by the Planning Department.

RESPONSE:

The extent of cut and fill to achieve the moderate site coverage (of 16%) in addition to the extensive unbuilt and landscaped area of the site provides a balanced response to support the dwelling in its location on the lot.

It is not mandatory to locate dwellings at the lowest point. Consideration of the broader site outcomes achieved by the overall built form design and landscaping need to be considered. In this instance, the extent of cut and fill and the siting of the dwelling is appropriate based on the following:

- The unique corner setting of the allotment
- The broader general slope of the whole estate area with the subject site located somewhat midpoint at the overall slope. This results in a consistent decline in the location of built form, that steps in a downward trajectory.
- Further dispersing the built form of the dwelling would protrude greater into the landscape and facilitate greater hardscaping and site coverage of which would mean greater portions of built form to landscaping. This would result in a contrary outcome relative to the Statement of Environment Significance for the area and the Environmental objectives to be achieved.

2. Visual bulk and massing

Council has concerns with the proposed dwelling design and the upper storey massing, particularly as it presents to Tranquil Way. The sheer-wall to this street exceeds 7 metres in height and the effect of the slope will enhance the perception of bulk and massing.

The introduction of upper storey articulation such as a reduced upper storey footprint and mixed materials is encouraged to reduce impacts associated with visual bulk.

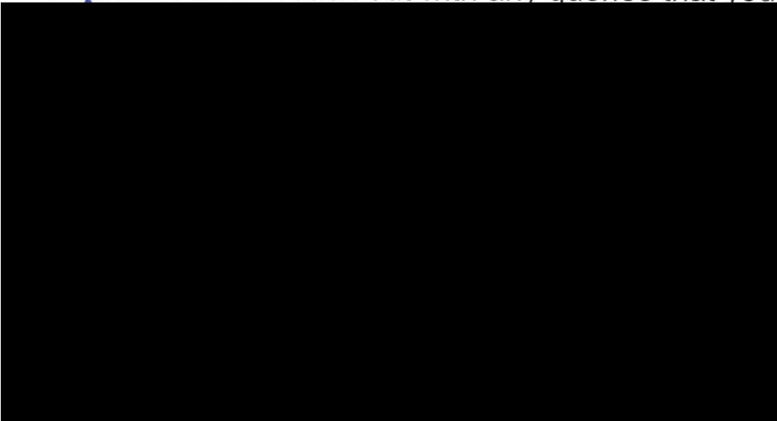
RESPONSE:

The dwelling is setback from Tranquil Way at varying points at a minimum of 6.00 metres to 10.94 metres to the south. As the street frontage curve continues to the west the greater the distance the dwelling is from the street. This alleviates the perceived massing of the

double storey dwelling design and is further softened by the landscaping of which includes levels of shrubs and trees to a potential growth height of 6 to 10 metres.

This is considered an acceptable outcome based on the floor plate areas at ground and upper level, percentage of built site coverage and the extensive site area comparative to the immediate adjoining allotments that are limited in their built for setbacks.

We trust that you have all the town planning required information to response back to Council. Please reach out with any queries that you or Council may have.



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	Telephone: 03 7068 2838 Address: 119 Enterprise Drive, Bundoora, VIC 3083 AUSTRALIA Website: www.aliyahomes.com.au	Client Name: # _____ Job Address: Lot 164, 5 Tranquil Way, Pakeham	House Name: 5 TRANQUIL WAY Facade: CUSTOM Options: CUSTOM PLAN	Signatures Client: _____	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">Rev.</th> <th style="width: 10%;">Date</th> <th style="width: 80%;">Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr> <td style="text-align: center;">03</td> <td style="text-align: center;">18/11/2024</td> <td style="text-align: center;">Contract Drawings: Design Amendments - KH</td> </tr> </tbody> </table>	Rev.	Date	Description																03	18/11/2024	Contract Drawings: Design Amendments - KH	Drawing Title: Index Revisions Wall Schedule Scale: Checked By: XX Melways Ref: TBC	Job No: 300108 Project Status: WORKING DRAWINGS	Sheet No: 000-001 Revision No: 03
	Rev.	Date	Description																										
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GENERAL NOTES - RESIDENTIAL WORKS:
(NCC Vol. 2 2022 _1st May 2023 Edition)

1.0 GENERAL

- 1.1. COPYRIGHT - THESE DRAWINGS REMAINS THE PROPERTY OF ALIYA HOMES PTY.LTD. AND THEY CANNOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN CONSENT OF THE PRINCIPAL.
- 1.2. ALL DIMENSIONS AND LEVELS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY.
- 1.3. FIGURE DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS.
- 1.4. ALL DIMENSIONS NOTED ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBER MEASUREMENTS, NOT FINISHED PLASTER MEASUREMENTS. FINISHED ROOM SIZES MEASURED AFTER PLASTER INSTALLATION WILL VARY ACCORDINGLY.
- 1.5. ALL FLOOR TO CEILING HEIGHTS NOMINATED ON THESE PLANS INDICATE THE DIMENSION FROM CONCRETE SLAB LEVEL (AND FIRST FLOOR JOIST LEVEL FOR 2 STOREY) TO UNDERSIDE OF THE TRUSS BOTTOM CHORD (AND UNDERSIDE FIRST FLOOR LEVEL 2 STOREY).
- 1.6. DRAWINGS SHALL BE READ IN CONJUNCTION WITH SPECIFICATION DETAILS, STRUCTURAL ENGINEERS DRAWINGS, DETAILS, TRAFFIC ENGINEERS DETAILS GEOTECHNICAL SITE INVESTIGATION REPORT, AND ENERGY RATING REPORT. IF SITE CONDITIONS VARY FROM THESE REPORTS THE BUILDER'S OFFICE AND RELEVANT ENGINEER SHOULD BE CONTACTED IMMEDIATELY.
- 1.7. THE BUILDER SHALL BE RESPONSIBLE FOR SITE WORKS AND SUPERVISION OF CONSTRUCTION, AND SHALL ENSURE THE SAFETY OF THE BUILDING AND ALL ADJOINING PROPERTIES IN THE AFFECTED VICINITY.
- 1.8. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH NCC 2022 THE RELEVANT AUSTRALIAN STANDARDS (A.S.) AND MUNICIPAL COUNCIL BY-LAWS AND REGULATIONS.
- 1.9. FINISHED FLOOR LEVELS [F.F.L.] ARE AN APPROXIMATE ONLY. THESE LEVELS MAY BE CHANGED AT THE DISCRETION OF THE BUILDER TO OVERCOME FACTORS RELATING TO CHANGE IN (INCLUDING BUT NOT LIMITED TO) SLAB DESIGN, FALL OF SITE, COVENANTS AND BUILDING FINISHED FLOOR LEVELS. [F.F.L.] ARE AN APPROXIMATE ONLY.
- 1.10. ALL SIZES, LEVELS AND CONDITIONS ON SITE MUST BE VERIFIED TO COMMENCING ANY SITE WORKS AND ANY DISCREPANCIES MUST BE REPORTED TO THIS OFFICE.
- 1.11. ALL NEW CLASS 1,2,3 AND 10A BUILDINGS ARE TO BE ASSESSED UNDER PROVISIONS OF A.S. 3959 FOR CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS.

2.0 SET-OUT

- 2.1. THE BUILDER SHALL SET-OUT IN ACCORDANCE WITH THE SITE PLAN AND ENSURE THAT NO PART OF A FENCE GREATER THAN 2.0 METER IN HEIGHT IS WITHIN 2.4 METER OF AN ADJOINING HABITABLE ROOM WINDOW. THE BUILDER SHALL ENSURE THAT NO PART OF THE FENCE OR BUILDING ENCLOSES OVER ANY TITLE BOUNDARIES AND ANY DRAINAGE OR SEWERAGE EASEMENTS WITHOUT THE PRIOR CONSENT OF THE LOCAL COUNCIL AND WATER AUTHORITIES.
- 2.2. BUILDING AND ALL SITE WORKS TO BE CONSTRUCTED AND MAINTAINED WITHIN THE TITLE BOUNDARY.

3.0 DEMOLITION

- 3.1. WHEN APPLICABLE, PROTECT THE PROPERTY WHICH IS TO REMAIN ON OR ADJACENT TO THE SITE FROM DAMAGE. IF WALLS OR ROOF ARE OPENED FOR ALTERATIONS OR ADDITIONS, PROVIDE SECURITY AGAINST UN-AUTHORISED ENTRY. DO NOT BURN OR BURY DEMOLISHED MATERIALS ON THE SITE.

4.0 EARTHWORKS

- 4.1. ALL EXCAVATION WORKS TO BE APPROVED BY THE RELEVANT BUILDING SURVEYOR AND THE GEOTECHNICAL ENGINEER PRIOR TO POURING OF CONCRETE.
- 4.2. IT IS RECOMMENDED THAT A RE-ESTABLISHMENT SURVEY BE CARRIED OUT BY A QUALIFIED LAND SURVEYOR TO CONFIRM EXACT SITE BOUNDARY LOCATIONS AND GROUND LEVEL PRIOR TO SETTING OUT THE BUILDING.
- 4.3. EARTHWORKS (UN-RETAINED) SHALL NOT EXCEED 2000MM MAX.
- 4.4. SLOPE RATIOS FOR FILLED SOFT CLAY (CLASS M-E) AND ALL EARTHWORK FOR CLASS P SITES MUST BE SPECIFIED BY THE DESIGNING ENGINEER AND NOMINATED ON THE SITE PLAN.

5.0 STORMWATER

- 5.1. STORMWATER DRAINAGE SYSTEM SHALL BE CONNECTED TO LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS. REFER LEGAL POINT OF DISCHARGE PLAN.
- 5.2. ALL STORMWATER DRAINS SHALL BE 90mm DIA. UPVC UNLESS NOTIFIED OTHERWISE. DRAINS SHALL HAVE A MINIMUM OF 1:100 GRADE. STORMWATER DRAINAGE AND SULLAGE SHALL BE CONNECTED TO THE LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH A.S. 3500.
- 5.3. DRAINS TO HAVE A MINIMUM COVER OF 200mm UNDER PEDESTRIAN TRAFFIC AND 400mm COVER FOR VEHICLE ACCESS WAYS.
- 5.4. REFER ENGINEERS DRAWINGS FOR DETAILS ON PIPE PENETRATIONS THROUGH FOOTINGS.
- 5.5. SITES SHOULD BE DRAINED SO THAT WATER CANNOT POND AGAINST OR NEAR THE HOUSE. THE GROUND IMMEDIATELY ADJACENT THE HOUSE SHOULD BE GRADED TO FALL 50mm OVER THE FIRST METER. WHERE UNACHIEVABLE USE AGG DRAINS ADJACENT THE FOOTINGS WHERE GROUND FALLS TOWARDS BUILDING. ALL SURFACE DRAINS TO BE INSTALLED IN ACCORDANCE WITH ENGINEERS DRAWINGS AND AS2870-2011 / CLAUSE 5.6.3 - DRAINAGE REQUIREMENTS.
- 5.6. DRAINER TO PROVIDE FLEXIBLE JOINTS (ARTICULATION) TO ALL STORMWATER DRAINS WHERE PIPES IMMEDIATELY OUTSIDE THE FOOTINGS ARE SUBJECT TO DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION. TO BE INSTALLED ACCORDANCE WITH PLUMBING REQUIREMENTS CLAUSE 5.6.4. REFER ALSO TO ENGINEERS DOCUMENTATION.
- 5.7. SURFACE DRAINAGE TO COMPLY WITH NCC 2022 PART 3.3.3.
- 5.8. ANTI-PONDING DEVICE/BOARDS TO BE INSTALLED PURSUANT TO NCC PART 7.3.5.

6.0 TERMITE

- 6.1. THE BUILDING SHALL BE PROTECTED AGAINST TERMITE INFESTATION IN ACCORDANCE WITH A.S. 3660.1 AND NCC 2022 PART 3.4.

7.0 CONCRETE / FOOTINGS

- 7.1. ALL CONCRETE FOOTINGS ARE TO BE FOUND AT A DEPTH OF MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCE WITH SOIL REPORT RECOMMENDATION WHERE SUPPLIED.
- 7.2. ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: 20MPa - 100mm SLUMP, UNLESS SHOWN ON THE STRUCTURAL ENGINEERING DRAWINGS.
- 7.3. CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUCTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS.
- 7.4. CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE PROPERLY FORMED AND LOCATED TO THE APPROVAL OF THE STRUCTURAL ENGINEER.
- 7.5. TYPICAL SLAB PENETRATIONS ARE SHOWN ON SLAB PLAN LAYOUT. SOME PENETRATIONS MAY NOT BE SHOWN. CONTRACTOR IS TO CO-ORDINATE WITH OTHER DISCIPLINES TO MAKE ALLOWANCES FOR ALL NECESSARY PENETRATIONS. FIRE-RATING OF PENETRATIONS SHOULD COMPLY WITH THE FIRE ENGINEERING REPORT AND ALL RELEVANT AUTHORITIES.
- 7.6. ALL FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S CERTIFIED DESIGN, NCC 2022 H14 AND A.S. 2870.
- 7.7. FOOTING ARE NOT UNDER ANY CIRCUMSTANCES TO ENCROACH OVER TITLE BOUNDARIES OR EASEMENT LINES AND THIS OFFICE MUST BE NOTIFIED IMMEDIATELY PRIOR TO CONSTRUCTION IF THIS OCCURS.

8.0 SUB-FLOOR

- 8.1. FOR TIMBER FLOORS, PROVIDE SUB-FLOOR VENTS AT THE RATE OF 6000mm SQ/m RUN OF WALL. VENTS SHALL BE LOCATED ABOVE THE DAMP-PROOF COURSE, 700mm MAXIMUM FROM CORNERS.
- 8.2. PROVIDE CLEARANCE FROM UNDERSIDE OR BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLEBOARD FLOORING.

9.0 BRICKWORK / CLADDING

- 9.1. BRICKWORK TO COMPLY WITH NCC 2022 PART 5 A.S. 3700 AND A.S. 4773.1 AND A.S. 4773.2.
- 9.2. ALL BRICKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20MPa.
- 9.3. MORTAR: 1:1:6 - CEMENT:LIME:SAND. KEEP CAVITIES CLEAR OF MORTAR.
- 9.4. PROVIDE DPC CAVITY FLASHING IMMEDIATELY BELOW WEEP-HOLES. PROVIDE WEEP-HOLES AT MAXIMUM 1200mm CENTRES LOCATED BELOW FINISHED FLOOR LEVEL.
- 9.5. ARTICULATION JOINTS (100MM MIN. WIDTH) TO BE PROVIDED AS SPECIFIED IN THE ENGINEER'S DESIGN OR NCC 2022 PART 5.6.8. (AS APPLICABLE).
- 9.6. HEBEL PANELS TO BE PROVIDED AND INSTALLED PURSUANT TO THE N.A.T.A. TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS.
- 9.7. INFILL TO BE USED ABOVE ALL WINDOWS OR DOOR OPENING BETWEEN THE RESPECTIVE (WINDOW OR DOOR) FRAME AND UNDERSIDE OF STEEL LINTEL WHERE HEAD HEIGHT DOES NOT MATCH BRICK COURSE HEIGHTS - (ONLY APPLICABLE WHERE BRICKWORK IS SPECIFIED OVER OPENINGS).

10.0 STRUCTURAL STEEL

EXPOSED STRUCTURAL STEEL TO BE PROTECTED AGAINST CORROSION IN ACCORDANCE WITH NCC 2022 PART 5.6.10.

11.0 TIMBER FLOOR, WALL & ROOF FRAMING

- 11.1. ALL FRAMING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS1686.2 - RESIDENTIAL TIMBER FRAMES FOR INTERIORS.
- 11.2. ALL FRAMING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS1686.2 - RESIDENTIAL TIMBER FRAMES FOR EXTERIORS.
- 11.3. ALL PLIABLE BUILDING MEMBRANES TO COMPLY AND BE INSTALLED IN ACCORDANCE WITH NCC PART 10.8.1 A.S./N.Z.S. 4200.1 AND A.S./N.Z.S. 4200.2 AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONE 6/7/8.

12.0 ROOFING

- 12.1. SELECTED ROOFING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS, AS1562 'DESIGN AND INSTALLATION OF SHEET ROOF' AND NATIONAL CONSTRUCTION CODE PART H1D7 ROOF AND WALL CLADDING.
- 12.2. REFER N.C.C. PART H206 FOR INSTALLATION REQUIREMENTS OF GUTTERS AND DOWNPIPES.
- 12.3. PROVIDE ROOF TIE DOWNS IN ACCORDANCE WITH SURVEYORS REQUIREMENTS.

13.0 GUTTERS AND DOWNPIPES

- 13.1. ALL GUTTERS AND DOWNPIPES ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S./N.Z.S. 3500.3.
- 13.2. PLUMBERS FOR GUTTERS AND DOWNPIPES TO CLEARLY SPECIFY COMPLIANCE TO A.S./N.Z.S. 3500.3 IN THE PLUMBING COMPLIANCE CERTIFICATE.
- 13.3. PROVISIONS FOR GUTTER OVERFLOW HAVE BEEN NOMINATED BY THE USE OF SLOTTED GUTTERS TO PREVENT BACKFLOW OF WATER INTO THE BUILDING.

14.0 STAIRS

- 14.1. RISERS [R] AND GOINGS [G] MUST BE CONSISTENT THROUGHOUT THE FLIGHT WITH A RISER HEIGHT OF BETWEEN 115mm (MINIMUM) AND 190mm (MAXIMUM), GOING BETWEEN 240mm (MINIMUM) AND 350mm (MAXIMUM), AND ACHIEVE A MINIMUM SLOPE RELATIONSHIP OF 2[R] + [G] AS PER FIGURE 11.2.2a AND 11.2.2b OF THE ABCB HOUSING PROVISIONS. A SINGLE FLIGHT OF STAIRS SHALL NOT EXCEED 18 RISERS OR LESS THAN 2 RISERS.
- 14.2. 125mm MAXIMUM GAPS BETWEEN RISERS AND OPENINGS BETWEEN BALUSTERS.
- 14.3. ALL INTERNAL TIMBER STAIRS TO BE FITTED WITH NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING IN ACCORDANCE WITH TABLE 11.2.4 OF THE ABCB HOUSING PROVISIONS.
- 14.4. ALL INTERNAL CARPET STAIRS TO BE FITTED WITH NON-SLIP TREADS OR NOSING IN ACCORDANCE WITH TABLE 11.2.4 OF THE ABCB HOUSING PROVISIONS.

15.0 BALUSTRADE / HANDRAIL

- 15.1. CONTINUOUS HANDRAIL TO LANDINGS TO BE MINIMUM 1000mm HIGH ABOVE FINISHED SURFACE LEVEL, 865mm ABOVE STAIR NOSING LINE.
- 15.2. ANY PORCH, VERANDAH OR RISE IN HEIGHT GREATER THAN 1000mm IN HEIGHT FROM ADJACENT GROUND LEVEL MUST BE FITTED WITH A MINIMUM 1000mm HIGH HANDRAIL & BALUSTRADE.

16.0 WINDOWS AND DOORS

- 16.1. WINDOW SIZES ARE NOMINAL AND MAY VARY BETWEEN MANUFACTURER.
- 16.2. ALL WINDOWS AND DOORS TO BE IN ACCORDANCE WITH AS2047 'WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS'.
- 16.3. ALL GLAZING TO COMPLY WITH BUT NOT BE LIMITED TO:
1/ AS2047 'WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS' - SELECTION AND INSTALLATION.
2/ AS1288 'GLASS IN BUILDINGS' - SELECTION AND INSTALLATION.
- 16.4. SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
1/ ALL ROOMS WITH GLAZING 500mm FROM F.F.L.
2/ BATHROOMS WITH GLAZING WITHIN 1500mm VERTICAL FROM BATH BASE.
3/ LAUNDRY WITH GLAZING WITHIN 1200mm VERTICAL FROM FLOOR] & OR WITHIN 300mm HORIZONTAL FROM DOORS.
- 16.5. ALL 1st FLOOR BEDROOM WINDOWS ARE REQUIRED TO BE RESTRICTED TO A MAXIMUM 125mm OPENING PER NCC 2022 PART 11.3.7.

17.0 MECHANICAL VENTILATION

- 17.1. WHERE VENTILATION IS PROVIDED TO A BATHROOM, SHOWER ROOM, LAUNDRY OR SANITARY COMPARTMENT VIA A ROOF LIGHT, SUCH VENTILATION SHALL HAVE AN EFFECTIVE AIRWAY OF NOT LESS THAN 40,000SQ/MM AND TO SUCH A ROOM A FIXED INLET VENT OF NOT LESS THAN 8,000SQ/MM SHALL BE PROVIDED AT A LOW LEVEL THROUGH A DOOR OR EXTERNAL WALL.
- 17.2. MECHANICAL VENTILATION TO TOILETS AND AIRLOCKS SHALL BE PROVIDED AT A RATE OF SIX AIR-CHANGES PER HOUR AND SHALL BE DUCTED THROUGH SERVICE DUCTS AND BE DISCHARGED THROUGH ROOF.
- 17.3. CONTAMINATED AIR FROM A SANITARY COMPARTMENT WITHOUT A WINDOW MUST EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OF DUCTS OR EXHAUST INTO THE ROOF SPACE PROVIDED IT IS VENTILATED BY OPEN EAVES AND OR ROOF VENTS OR THE ROOF IS CLAD IN TILES WITHOUT SARKING. A DOOR TO SUCH A SANITARY COMPARTMENT IS TO HAVE A MINIMUM 10mm UNDERCUT BENEATH THE DOOR OR PROVIDE A LOW LEVEL GRILLE.
- 17.4. EXHAUST SYSTEMS FROM A BATHROOM OR SANITARY COMPARTMENT MUST ACHIEVE A MIN. 25L/S FLOW RATE AND EXHAUST SYSTEMS FROM A LAUNDRY MUST ACHIEVE A MIN. 40L/S FLOW RATE. THESE MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR IN ACCORDANCE WITH NCC 2022 PART 10.8.2. OR TO A ROOF SPACE IN VENTILATED IN ACCORDANCE WITH NCC 2019 PART 3.8.7.4.

18.0 SMOKE ALARMS

- 18.1. SMOKE ALARMS TO BE SUPPLIED AND INSTALLED IN ACCORDANCE TO AS3786 'SMOKE ALARMS' AND:
1/ CLASS 1a BUILDINGS IN ACCORDANCE WITH N.C.C. H3D6 - PART 9.5.2 OF THE ABCB HOUSING PROVISIONS.
2/ CLASS 1b BUILDINGS IN ACCORDANCE WITH N.C.C. H3D6 - PART 9.5.3 OF THE ABCB HOUSING PROVISIONS.
- SMOKE ALARMS TO NEW RESIDENCES ARE TO BE HARDWIRED TO SWITCHBOARD WITH BATTERY BACKUP AND BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM IN ACCORDANCE WITH NCC 2022 PART 9.5.1

19.0 BALCONIES

- 19.1. ALL BALCONY WATERPROOFING TO BE DESIGNED AND INSTALLED WITH A.S. 4654.1 AND A.S. 4654.2.
- CEILING BATTENS**
ALL DWELLINGS TO HAVE THE FOLLOWING AREA INSTALLED WITH NAIL UP BATTENS FOR PLASTERING OF CEILINGS:
- 600mm CENTRES TO ALL MAIN LIVING AREAS, THAT INCLUDE KITCHEN, TO AREA CONTAINED BY WALLS/DOORS/BULKHEADS.
- 600mm CENTRES TO ALL GARAGES.
- 450mm CENTRES TO ALL ALFRESCO.

ENERGY RATING

ENERGY EFFICIENCY - DWELLING AND GARAGE TO COMPLY WITH PART 3.12 OF BCA 2019 VOL.2 - AMDT. 1. INSULATION - PART 2.6 AND PART 3.12 OF NCC 2019 VOLUME TWO AMENDMENT 1.

NOTE:

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE ARE PROVIDED ONLY AS GUIDELINES - NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.

THE VERSION/EDITION OF THE N.C.C. AND RELEVANT AUSTRALIAN STANDARDS (A.S.) TO BE REFERENCED ARE THOSE CURRENT AS PER THE ISSUE DATE OF THE BUILDING PERMIT.

REFER TO CSIRO INFORMATION SHEET BTF 18-2011 AND REQUIREMENTS OF A.S. 2870 TO INDICATE OWNERS RESPONSIBILITIES WITH REGARD TO FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE.

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Client Name:

#

Job Address:

Lot 164, 5 Tranquil Way, Pakeham

House Name:

5 TRANQUIL WAY

Facade:

CUSTOM

Options:

CUSTOM PLAN

Signatures

Client:

Rev.	Date	Description
03	18/11/2024	Contract Drawings: Design Amendments - KH

Drawing Title:

General Notes 1

Scale:

Checked By: XX

Melways Ref: TBC

@A3

Job No:

300108

Project Status:

WORKING

DRAWINGS

Sheet No:

000-002

Revision No:

03

GENERAL NOTES - WET AREA WATERPROOFING:

(Waterproofing system/s to Wet Areas must be waterproof or water resistant in accordance with Clauses 10.2.1 to 10.2.6 & 10.2.125 and AS 3740)

- Materials used must comply with the following clauses:
 - Waterproofing systems - 10.2.8
 - Water Resistant Substrates - 10.2.9
 - Water Resistant Surfaces - 10.2.10

SHOWERS

- Continuous Falls to wet area floors within the shower area to be a minimum 1:80 and maximum 1:50.
- Enclosed Shower Screen = Framed Shower Screen, Semi-Frameless or Frameless fitted with seals/deflectors to control spread of water from shower area
- Unenclosed Shower Screen = Semi-Frameless and Frameless Shower Screens.
- Step Downs within a shower area to be a minimum 25mm below the FFL outside the shower area & comply with Figures 1, 2, 3 & 4.
- Hobs
 - To be constructed of masonry, concrete, autoclaved aerated concrete or extruded polyurethane.
 - Gaps, joints and intersections of the substrate to be made flush prior to application of membrane
 - To be securely fixed to floor and wall prior to applying membrane
 - To be constructed as per Figure 5.
- Enclosed Showers without hob or step down
 - Waterstop to be located at the shower screen and not less than 5mm above FFL (see Figure 6)
 - Any joint in the waterstop must be waterproofed.
- Unenclosed Showers
 - Waterstop must be installed a minimum distance of 1500mm from the shower rose and finish flush with top surface of floor (see Figure 7).
 - Any joint in the waterstop must be waterproofed.
- Preformed Shower Bases must
 - Have an upturned lip, be recessed into wall and be sufficiently supported (see Figures 8 & 9)

BATHS & SPAS

- Baths & Spas must
 - Have an upturned lip and water resistant substrate materials of wall pass down inside the upturn. (see Figures 10, 11 & 12)

GENERAL

- Where a screed is used, the waterproofing membrane can be installed above or below the screed.
- Substrate surface must be clean without imperfections prior to applying membrane.
- Penetrations within shower areas
 - Penetrations for taps, nozzles or the like to be waterproofed using sealants, flanges or both.
 - Spindle housing of tap body to removable without damaging seal.
 - Spindle housing of tap body to removable without damaging seal.
 - Penetrations for mechanical fixings/fastenings and recessed niches to be waterproofed.
 - Penetrations for taps, faucets and the like on horizontal surfaces surrounding baths to be waterproofed using sealants, flanges or both
- Flashings at junctions and corners to be pursuant to the requirements of Clauses 10.2.2 - 10.2.5
 - Perimeter flashings to wall/floor junctions to have a minimum vertical 25mm above FFL (except at doorways) and a min. 50mm horizontal leg.

- Waterproof sealant to be used at substrate junction at the wall/floor junction where water resistant substrate is used in conjunction a water resistant surface material.
- Floor level openings such as doorways must have a waterstop installed across the opening with the vercal leg sing flush with the FFL. Where the entire wet area floor is waterproof the waterstop to be sealed to the waterproof membrane.
- Vertical flashing external to the wet area or internal to extend a minimum 1800mm above FFL.
- Showers areas must have membrane applied over the floor and 1800mm vertically above FFL
- Where water resistant plasterboard is used all cut edges that have potential to be affected by moisture must be waterproofed.
- Bond breakers to be installed pursuant to Clause 10.2.27.
- Internal waterproof membranes
 - Showers with hobs - Membrane must be applied to both top and side faces of hob and extend a minimum 50mm onto floor.
 - Showers without hobs - Membrane must be brought to the top of the finished floor, except where it is under a framed shower screen where it shall terminate not less than 5mm above the finished tile surface.
- Membrane to drainage connection must comply with Clause 10.2.29 and Figure 13.
- Where the bottom of the door jamb does not finish above the floor tiling, the portion of the door frame below the tiling must waterproofed.
- Showers Screens
 - Showers with Hob - Screen must be installed flush with the internal side of shower area
 - Showers with Stepdown - Screen must be installed flush with the inside face of the stepdown
 - Showers with no hob (stepdown) - Screen must incorporate or be mounted internally than the shower pan
 - Bath shower area and minimum flush to outside face of bath

Figure 1: Typical enclosed stepped down shower construction (membrane below tile bed)

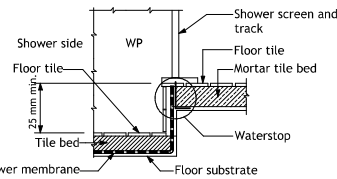


Figure 2: Typical enclosed stepped down shower construction (membrane above tile bed)

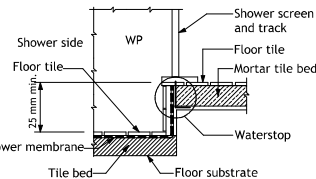


Figure 3: Typical unenclosed stepped down shower construction (membrane below tile bed)

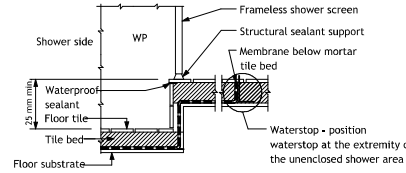


Figure 5: Typical hob construction — internal membrane

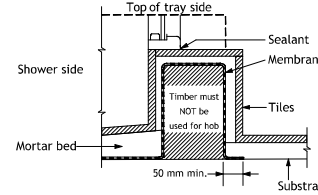


Figure 7: Typical termination of membrane at extent of shower area

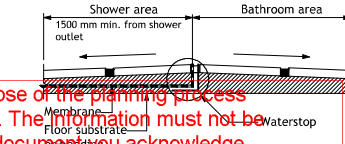


Figure 9: Typical preformed shower base/floor junction on timber floors, including particleboard, plywood and other timber materials

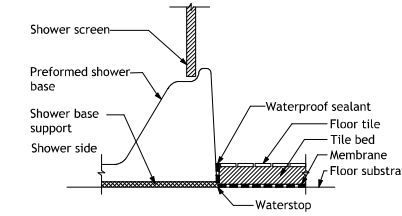


Figure 11:

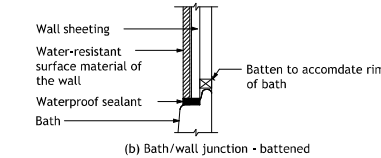


Figure 4: Typical unenclosed stepped down shower construction (membrane above tile bed)

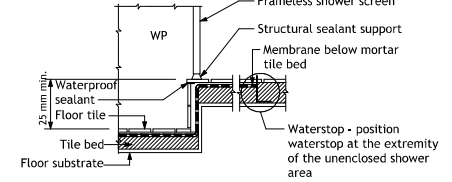


Figure 6: Typical hobless construction

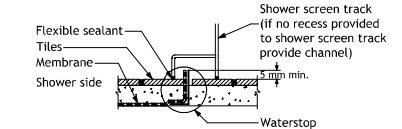


Figure 8: Typical preformed shower base wall/floor junction

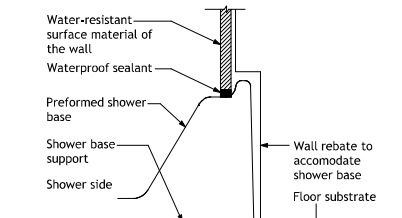


Figure 10: Typical bath junctions

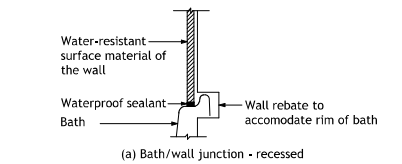


Figure 12:

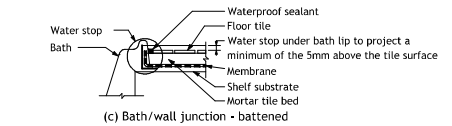
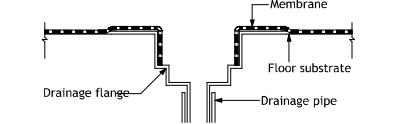


Figure 13: Typical membrane termination at drainage outlet



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Client Name: #
 Job Address: Lot 164, 5 Tranquil Way, Pakeham

House Name: 5 TRANQUIL WAY
 Facade: CUSTOM
 Options: CUSTOM PLAN

Signatures: Client:

Rev.	Date	Description
03	18/11/2024	Contract Drawings: Design Amendments - KH

Drawing Title: General Notes 2 | Waterproofing Details
 Scale: @A3
 Checked By: XX
 Melways Ref: TBC

Job No: 300108
 Project Status: WORKING DRAWINGS
 Sheet No: 000-003
 Revision No: 03

TREES

De	Deciduous	Deciduous Tree
Ev	Evergreen	Height 5.0m
Im	Immature	Spread 2.8m
Fr	Fruit	
Na	Native	

NOTES

- * CONTOUR INTERVAL 0.20 METRES.
- * LEVELS ARE SHOWN TO AHD.

WINDOWS & DOORS

HW	Habitable Window Ground Floor
NHW	Non Habitable Window Ground Floor
HW1	Habitable Window 1st Floor
NHW1	Non Habitable Window 1st Floor
Door	Door Ground Floor
Door1	Door 1st Floor

NHW	Non Habitable Window
H 85.3	Window Head RL85.3
S 83.7	Window Sill RL83.7

Retaining Wall	Building
Title/Peg	Ridge/Eave
Grated Pit	Pit
Tele Pit/Pole	Gas Meter
Elec Pit/Pole	Water Meter
Light Pole	Spot Height X000
Fire Hydrant	Traffic Sign
Proposed Fence	TBM
Existing Fence	Sewer MH/IS
Gate	

SITE PLAN SYMBOL LEGEND

---	TITLE BOUNDARY
---	SETBACK EASEMENT
---	CENTRE LINE
○	PROPOSED FENCE
□	EXISTING FENCE
---	STORM WATER DRAIN
---	RAIN WATER DRAIN
---	SEWER LINE
---	WATER LINE
---	COMMUNICATION
---	ELECTRICAL OVERHEAD
---	ELECTRICAL UNDERGROUND
---	FIRE HYDRANT
---	GAS LINE

TREE PROTECTION ZONE

○	TREE PROTECTION ZONE
○	STRUCTURAL ROOT ZONE

DEMOLITION SYMBOL LEGEND

□	BUILDING / FENCE TO BE DEMOLISHED
○	TREE TO BE REMOVED
○	TREE TO BE PROTECTED

TRANQUIL WAY
 290° 43'
 A&C10.09
 R150

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R.L. 75.06 A.H.D.
 ELECTRICITY PIT
 G.I. NAIL ON
 T.B.M.

192° 23' 37.98

11/07/2024
 VACANT LAND
 LOT 157

104° 04'20" 37.69

11/07/2024
 VACANT LAND
 LOT 164



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 Lot 164, 5 Tranquil Way, Pakeham

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 5 TRANQUIL WAY
 Facade:
 CUSTOM
 Options:
 CUSTOM PLAN

Signatures
 Client:

Rev.	Date	Description
03	18/11/2024	Contract Drawings: Design Amendments - KH

Drawing Title:
 Site Plan - Existing

Scale: 1:200 @A3
 Checked By: XX
 Melways Ref: TBC

Job No:
 300108
 Project Status:
 WORKING
 DRAWINGS

Sheet No:
 100-001
 Revision No:
 03

REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SILT PITS

PROPERTY INFORMATION
 PROPERTY INFORMATION NOT AVAILABLE AT TIME OF DRAFTING DETAILS OF ASSETS IN ESEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING.
 VERIFY ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
 ALL SERVICES TO COMPLY WITH NCC 2022

SITE NOTES:

SOIL CLASSIFICATION
 CLASS "M"
 AS PER SOIL REPORT PROVIDED BY "CLICK ENGINEERING"
 FILE NO. 2241366 DATED: 10/07/2024

WIND RATING: N3
SITE CUT AND FILL
 DWELLING & GARAGE: WAFFLE POD CONCRETE
 OUTFILL RL: 74.00
 FREEBOARD 385MM (REFER TO ENGINEERING DOCUMENTATION)
 REBATE TO HOUSE 172 MM
 STEP DOWN TO PORCH 86MM
 STEP DOWN TO ALFRESCO 86MM
 STEP DOWN TO GARAGE 100 MM

SITE CUT AND FILL TO BE MINIMUM 1M FROM DWELLING BOUNDARY. EXTERNAL WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS.

LEVELS
 LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNERS/CLIENTS TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

GARDEN
 GARDEN AREA - DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1 METER IN NEIGHBORHOOD RESIDENTIAL ZONE AND GENERAL RESIDENTIAL ZONE

GENERAL
 CONTRACTORS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
 - ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
 - ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH NATIONAL CONSTRUCTION CODE -2022.
 - NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
 - WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.
 - IF THE SHELF SPANS LONGER THAN 1200MM, SUPPORT SLIDES MUST BE INSTALLED.
 - ADDITIONAL NOGGING TO BE INSTALLED TO SUPPORT THE KITCHEN RANGE HOODS.
 - AS PER CLAUSE 3.6.7.3 OF NCC 2022 EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR, OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 3.6.7.4.
 - ALL FRAMELESS GLASS BALUSTRADES TO COMPLY AND BE INSTALLED IN ACCORDANCE WITH AS 1289-2009
 - ALL STAIRWAY, RAMP, BARRIER AND HANDRAIL CONSTRUCTIONS TO BE INSTALLED AND COMPLETED IN ACCORDANCE WITH NCC 2022 VOLUME 2 PARTS 3.9.1 - STAIRWAY AND RAMP CONSTRUCTION AND 3.9.2 - BARRIERS AND HANDRAILS
 - ALL HEATING APPLIANCE, ALL ASSOCIATED STRUCTURES AND ACCESSORIES HAVE BEEN TESTED AND PASSED THE TESTS REQUIRED BY, AND ARE TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 3.3, PART 3.10.7 AND AS/NZS 2918-2018

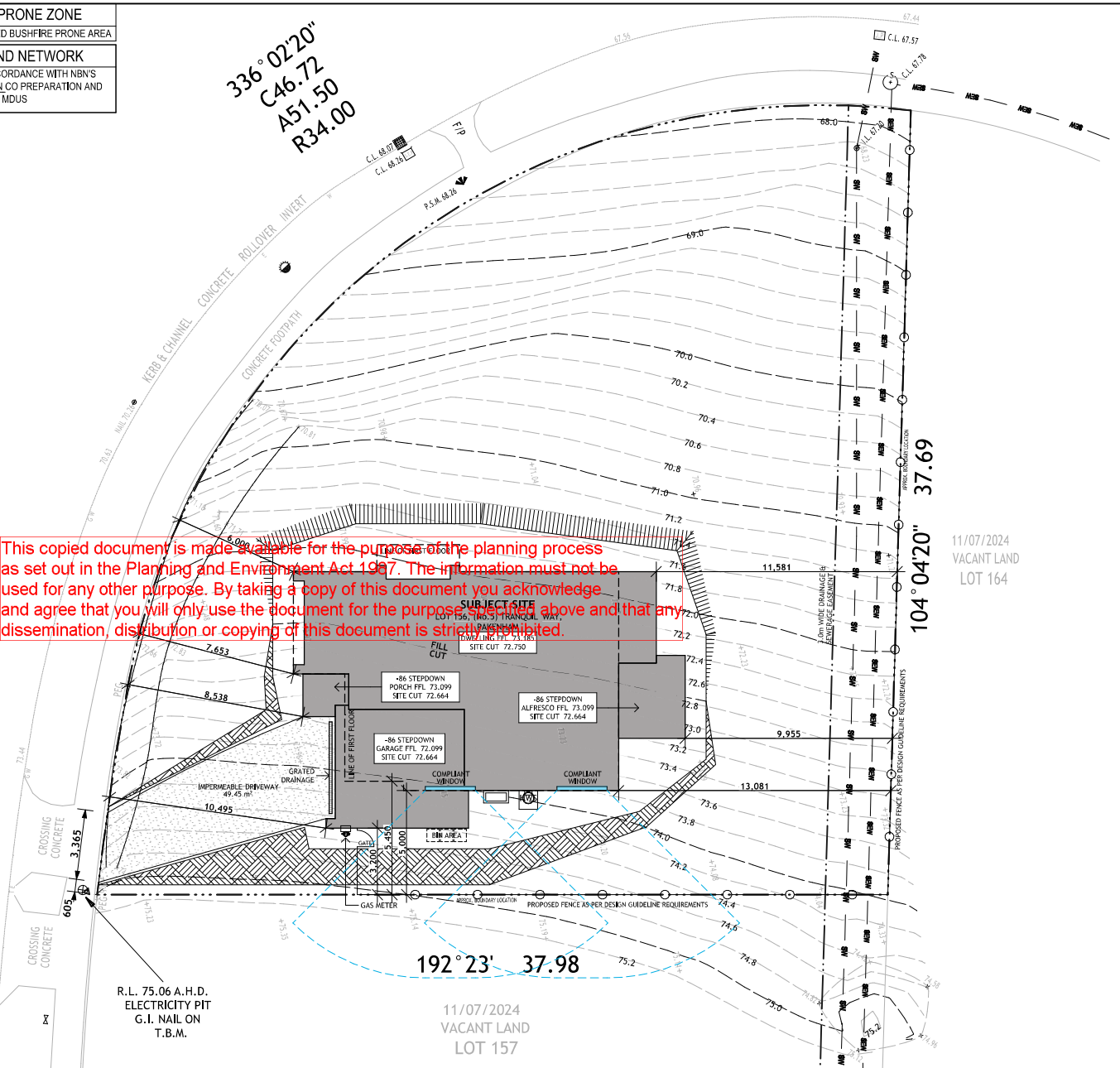
NOT IN A BUSHFIRE PRONE ZONE
 THIS PARCEL IS NOT IN A DESIGNATED BUSHFIRE PRONE AREA

NATIONAL BROADBAND NETWORK
 ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBN'S REQUIREMENTS AS OUTLINED IN NBN CO PREPARATION AND INSTALLATION GUIDE FOR SDUS AND MDUS

SITE AREA CALCULATIONS		RES CODE
TOTAL SITE AREA	1182 m ²	
SITE COVERAGE	189.97 m ² ; 16.07%	COMPLY (MAX 60%)
S.P.O.S.	40.00m ²	COMPLY (MIN 40 m ²)
PROPOSED TOTAL GARDEN AREA	992.03 m ² ; 83.93%	COMPLY (MIN 35%)
PROPOSED TOTAL PERMEABILITY AREA	942.58 m ² ; 79.74%	COMPLY (MIN 20%)

AREA SCHEDULE		
ROOM NAME	AREA	AREA
1ST FLOOR	146.46 m ²	
GROUND FLOOR	137.69 m ²	
DOUBLE GARAGE	36.03 m ²	
PORCH	4.17 m ²	
ALFRESCO	12.08 m ²	
	336.43 m ²	

TRANQUIL WAY
 290° 43'
 A&C 10.09
 R150



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ALIYA HOMES

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Client Name:
 #
Job Address:
 Lot 164, 5 Tranquil Way, Pakeham

House Name:
 5 TRANQUIL WAY
Facade:
 CUSTOM
Options:
 CUSTOM PLAN

Signatures
 Client:

Rev.	Date	Description
03	18/11/2024	Contract Drawings: Design Amendments - KH

Drawing Title:
 Site Plan - Proposed

Scale: 1:200 @A3
 Checked By: XX
 Melways Ref: TBC

Job No:
 300108

Project Status:
 WORKING DRAWINGS

Sheet No:
 100-002

Revision No:
 03

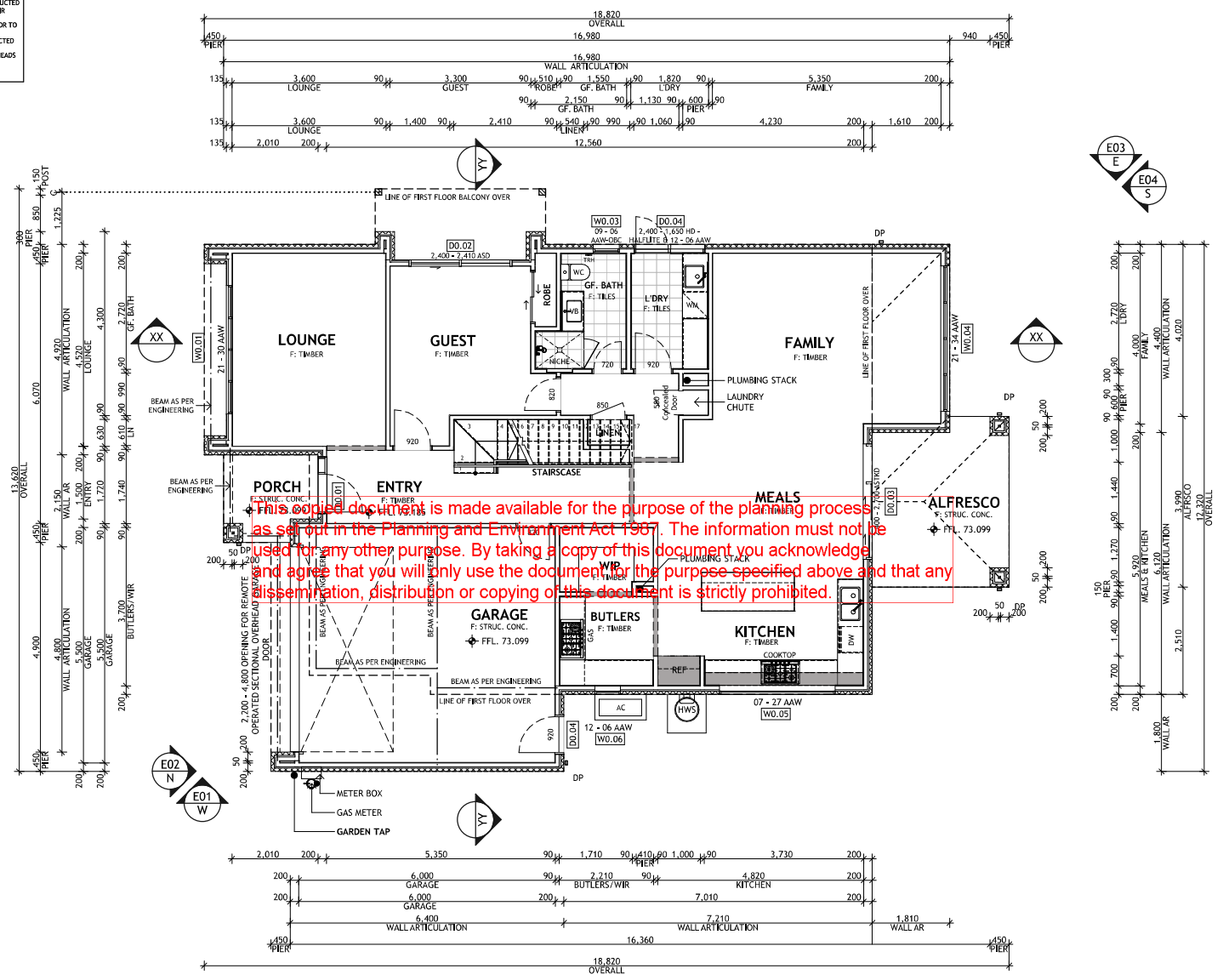
SYMBOL LEGEND

	WALL LABEL		FLOOR WASTE
05 - 12 AAW	EXTERNAL DOOR / WINDOW LABEL TOP CODE = HEIGHT x WIDTH SIZE SECOND CODE = UNIT TYPE THIRD CODE = FINISH, REFER TO WINDOW/DOOR LEGEND		EXHAUST FAN DUCTED TO EXTERNAL AIR
2400 - 820	INTERNAL DOOR / WINDOW LABEL CODE = HEIGHT x WIDTH SIZE		SMOKE DETECTOR TO HARDWIRED & INTERCONNECTED
FFL 0.000	FFL: FINISHED FLOOR LEVEL (AHD) AHD: AUSTRALIAN HEIGHT DATUM		PLASTER BULKHEADS
			GARDEN TAP



WINDOW / DOOR - FLOOR PLAN

AAW	ALUMINIUM AWNING WINDOW
ASW	ALUMINIUM SLIDING WINDOW
AFW	ALUMINIUM FIXED PANEL WINDOW
AWCW	ALUMINIUM HOCK CASEMENT WINDOW
AHD	ALUMINIUM HINGED DOOR
ASD	ALUMINIUM SLIDING DOOR
ASTKD	ALUMINIUM STACKER DOOR
THD	TIMBER HINGED DOOR FRAME
OB	OBSCURE GLAZING
TR	TILED REVEAL
PR	PLASTER REVEAL
NBR	NO BOTTOM REVEAL
R	RESTRICTED
TT	TILED TRIM



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Ground 1:100



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Client Name: #
 Job Address: Lot 164, 5 Tranquil Way, Pakeham

House Name: 5 TRANQUIL WAY
 Facade: CUSTOM
 Options: CUSTOM PLAN

Signatures Client:

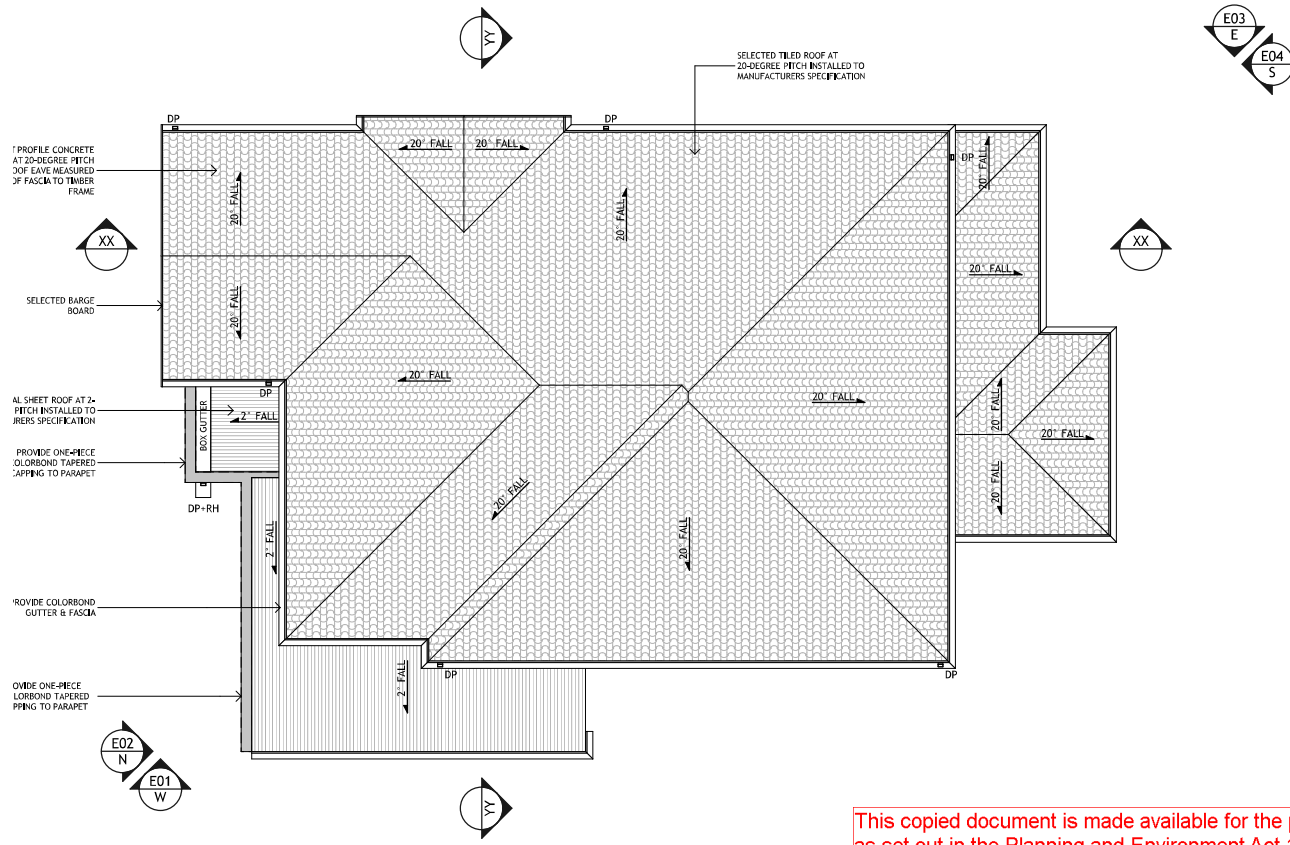
Rev.	Date	Description
03	18/11/2024	Contract Drawings: Design Amendments - KH

Drawing Title: Ground Floor Plan
 Scale: 1:100 @A3
 Checked By: XX
 Melways Ref: TBC

Job No: 300108
 Project Status: WORKING DRAWINGS
 Sheet No: 110-001
 Revision No: 03

ROOF PLAN NOTES

- 1 ALL DOWNPIPES TO BE CONNECTED TO LEGAL POINT OF DISCHARGE (LPOD)
- 2 GUTTERS AND DRAINAGE TO COMPLY WITH AS.3500
- 3 TEMPORARY DOWNPIPES TO BE USED DURING CONSTRUCTION
- 4 COLORBOND FASCIA AND SLOTTED GUTTER WITH COLORBOND ROUND DOWNPIPES TO DWELLING



Roof 1:100

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Client Name: #
 Job Address: Lot 164, 5 Tranquil Way, Pakeham

House Name: 5 TRANQUIL WAY
 Facade: CUSTOM
 Options: CUSTOM PLAN

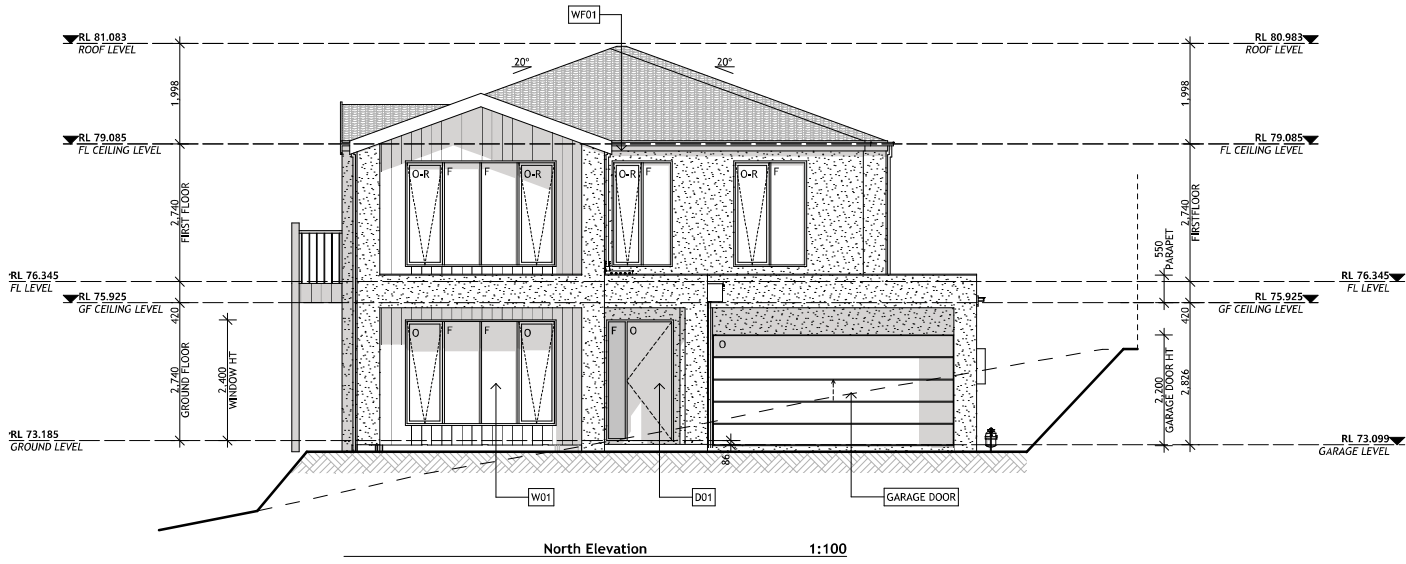
Signatures
 Client: _____

Rev.	Date	Description
03	18/11/2024	Contract Drawings: Design Amendments - KH

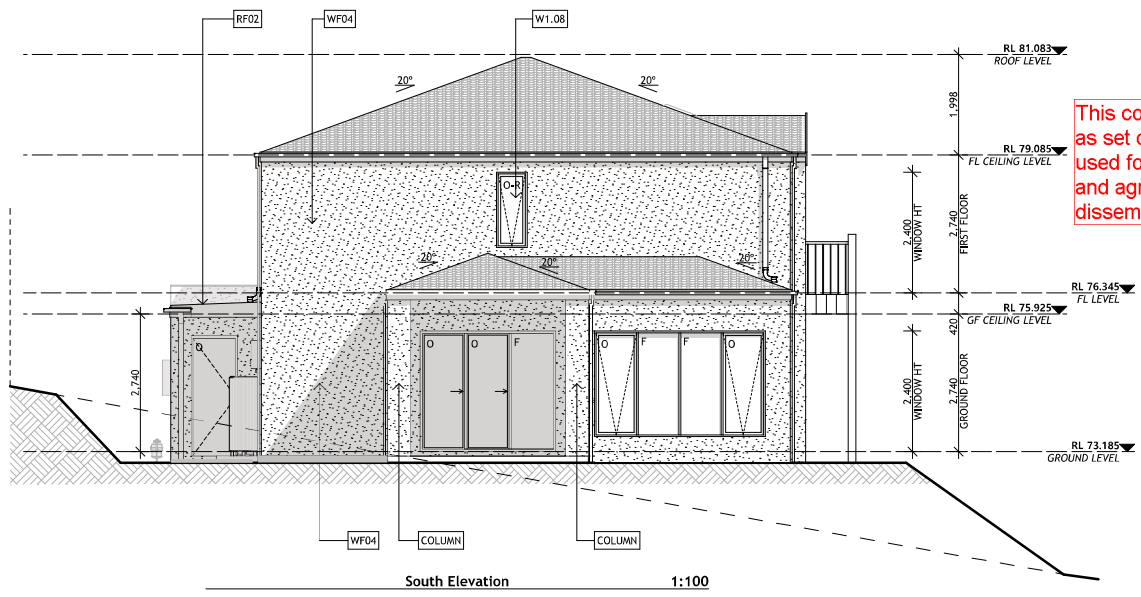
Drawing Title: Roof Plan
 Scale: 1:100 @A3
 Checked By: XX
 Melways Ref: TBC

Job No: 300108
 Project Status: WORKING DRAWINGS

Sheet No: 110-003
 Revision No: 03



North Elevation 1:100



South Elevation 1:100

WINDOW / DOOR - ELEVATION		ELEVATION FINISHES - JOB SPECIFIC NOTES	
<input type="checkbox"/> OBC	OBSCURER GLAZING	<input type="checkbox"/> GD01	SELECTED 2200mm HIGH SECTIONAL GARAGE DOORS WITH REMOTE CONTROL.
<input type="checkbox"/> R	RESTRICTED	<input type="checkbox"/> GD02	SELECTED 2200MM HIGH ROLLER DOOR
<input type="checkbox"/> O	OPENING	<input type="checkbox"/> WF01	SELECTED BRICKWORK CLADDING FINISH
<input type="checkbox"/> C	CASEMENT	<input type="checkbox"/> WF02	SELECTED RENDER FINISH OVER BLUE BOARD CLADDING
<input type="checkbox"/> F	FIXED	<input type="checkbox"/> WF03	SELECTED RENDER FINISH OVER UNITEK POLYSTYRENE CLADDING
		<input type="checkbox"/> WF04	SELECTED RENDER FINISH OVER HEBEL CLADDING
		<input type="checkbox"/> BL01	1050MM HIGH CLEAR GLASS BALUSTRADE WITH POWDER COATED HANDRAILS
		<input type="checkbox"/> RF01	SELECTED CONCRETE TILED ROOF AT 22.5-DEGREE PITCH WITH 450mm LEAVES WITH FIBRE CEMENT OR SIMILAR EAWE LINING TO FIRST FLOOR
		<input type="checkbox"/> RF02	METAL DECK ROOF SHEETING AT 2-DEGREE PITCH
		<input type="checkbox"/> AC01	COLORBOND FASCIA AND GUTTER WITH RECTANGLE DOWNPIPES
		<input type="checkbox"/> AC02	COLORBOND RAINWATERHEAD DOWNPIPES
		<input type="checkbox"/> AC03	ONE-PIECE TAPERED COLORBOND CAPPING TO EXTENT OF PARAPET
		<input type="checkbox"/> AC04	POWDERCOATED OVERLOOKING SCREENS MAXIMUM 25% OPEN
		<input type="checkbox"/> W01	ALUMINIUM FRAMED WINDOWS
		<input type="checkbox"/> D01	SELECTED HINGED DOORS
		<input type="checkbox"/> D02	ALUMINIUM FRAMED SLIDING DOORS
		<input type="checkbox"/> F01	PROPOSED 1900mmH FENCE

ELEVATION NOTES	
1	ALL WINDOWS / DOORS SHOWN ARE EXTERNAL VIEWS
2	ALL DIMENSIONS SHOWN ARE NOMINALLY TO STRUCTURAL OPENINGS (i.e. BETWEEN COLUMNS, MASONRY CLADDING etc). CONTRACTOR TO MAKE ALLOWANCES FOR BUILDING TOLERANCES / PACKING ETC. CONTRACTOR VERIFY ALL OPENING SIZES ON SITE PRIOR TO MANUFACTURER
3	ALL WINDOW FRAMING SECTIONS ARE TO BE BY SOUTHERN STAR OR EQUAL APPROVED, UNLESS NOTED OTHERWISE
4	ALL DOORS & OPENABLE WINDOWS TO EXTERNAL WALLS ARE TO BE FITTED WITH WEATHER SEALS TO NATIONAL CONSTRUCTION CODE (NCC) REQ3

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House Name: 5 TRANQUIL WAY
 Facade: CUSTOM
 Options: CUSTOM PLAN

Signatures Client:

Rev.	Date	Description
03	18/11/2024	Contract Drawings: Design Amendments - KH

Drawing Title: Elevations
 Scale: 1:100 @A3
 Checked By: XX
 Melways Ref: TBC

Job No: 300108
 Project Status: WORKING DRAWINGS
 Sheet No: 210-001
 Revision No: 03



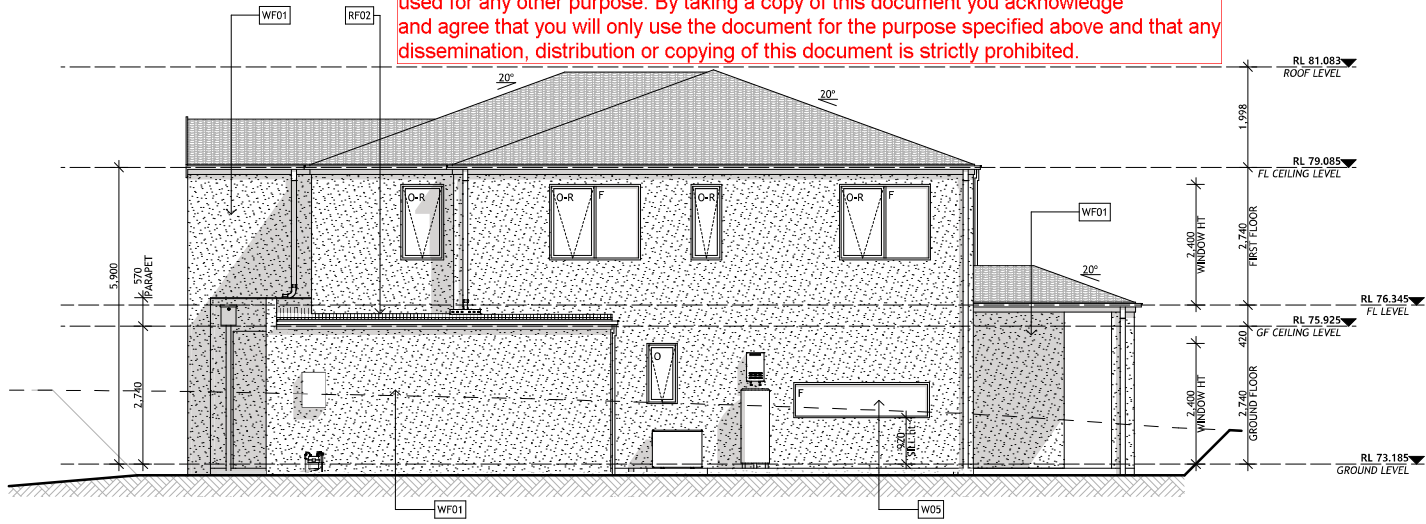
East Elevation 1:100

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WINDOW / DOOR - ELEVATION	
<input type="checkbox"/> OBC	OBSCURE GLAZING
<input type="checkbox"/> R	RESTRICTED
<input type="checkbox"/> O	OPENING
<input type="checkbox"/> C	CASEMENT
<input type="checkbox"/> F	FIXED

ELEVATION FINISHES - JOB SPECIFIC NOTES	
<input type="checkbox"/> GD01	SELECTED 2200MM HIGH SECTIONAL GARAGE DOORS WITH REMOTE CONTROL.
<input type="checkbox"/> GD02	SELECTED 2200MM HIGH ROLLER DOOR
<input type="checkbox"/> WF01	SELECTED BRICKWORK CLADDING FINISH
<input type="checkbox"/> WF02	SELECTED RENDER FINISH OVER BLUE BOARD CLADDING
<input type="checkbox"/> WF03	SELECTED RENDER FINISH OVER UNITEK POLYSTYRENE CLADDING
<input type="checkbox"/> WF04	SELECTED RENDER FINISH OVER HEBEL CLADDING
<input type="checkbox"/> BL01	1050MM HIGH CLEAR GLASS BALUSTRADE WITH POWDER COATED HANDRAILS
<input type="checkbox"/> RF01	SELECTED CONCRETE TILED ROOF AT 22.5-DEGREE PITCH WITH 450mm LEAVES WITH FIBRE CEMENT OR SIMILAR EAWE LINING TO FIRST FLOOR
<input type="checkbox"/> RF02	METAL DECK ROOF SHEETING AT 2-DEGREE PITCH
<input type="checkbox"/> AC01	COLORBOND FASCIA AND GUTTER WITH RECTANGLE DOWNPIPES
<input type="checkbox"/> AC02	COLORBOND RAINWATERHEAD DOWNPIPES
<input type="checkbox"/> AC03	ONE-PIECE TAPERED COLORBOND CAPPING TO EXTENT OF PARAPET
<input type="checkbox"/> AC04	POWDERCOATED OVERLOOKING SCREENS MAXIMUM 25% OPEN
<input type="checkbox"/> W01	ALUMINIUM FRAMED WINDOWS
<input type="checkbox"/> D01	SELECTED HINGED DOORS
<input type="checkbox"/> D02	ALUMINIUM FRAMED SLIDING DOORS
<input type="checkbox"/> F01	PROPOSED 1900mmH FENCE

ELEVATION NOTES	
1	ALL WINDOWS / DOORS SHOWN ARE EXTERNAL VIEWS
2	ALL DIMENSIONS SHOWN ARE NOMINALLY TO STRUCTURAL OPENINGS (i.e. BETWEEN COLUMNS, MASONRY CLADDING etc). CONTRACTOR TO MAKE ALLOWANCES FOR BUILDING TOLERANCES / PACKING ETC. CONTRACTOR VERIFY ALL OPENING SIZES ON SITE PRIOR TO MANUFACTURER
3	ALL WINDOW FRAMING SECTIONS ARE TO BE BY SOUTHERN STAR OR EQUAL APPROVED, UNLESS NOTED OTHERWISE
4	ALL DOORS & OPENABLE WINDOWS TO EXTERNAL WALLS ARE TO BE FITTED WITH WEATHER SEALS TO NATIONAL CONSTRUCTION CODE (NCC) REQ3



West Elevation 1:100



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Client Name: #
 Job Address: Lot 164, 5 Tranquil Way, Pakeham

House Name: 5 TRANQUIL WAY
 Facade: CUSTOM
 Options: CUSTOM PLAN

Signatures Client:

Rev.	Date	Description
03	18/11/2024	Contract Drawings: Design Amendments - KH

Drawing Title: Elevations
 Scale: 1:100 @A3
 Checked By: XX
 Melways Ref: TBC

Job No: 300108
 Project Status: WORKING DRAWINGS
 Sheet No: 210-002
 Revision No: 03

