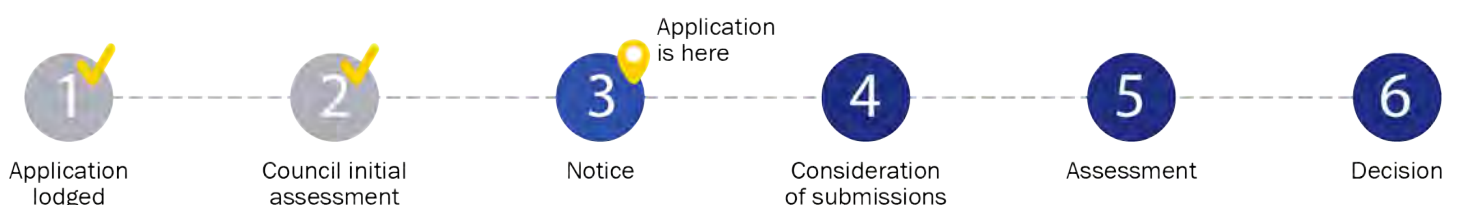


Notice of Application for a Planning Permit

The land affected by the application is located at:	L148 PS649677 V11461 F894 10 Serene Court, Pakenham VIC 3810	
The application is for a permit to:	Buildings and works for the construction of a dwelling and fence, and associated works including earthworks and retaining walls	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works	
42.01-2	Construct a fence	
APPLICATION DETAILS		
The applicant for the permit is:	2D Building Design Studio Pty Ltd	
Application number:	T240279	
You may look at the application and any documents that support the application at the office of the responsible authority: Cardinia Shire Council, 20 Siding Avenue, Officer 3809. This can be done during office hours and is free of charge. Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		04 April 2025
WHAT ARE MY OPTIONS? Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	An objection must: <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



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Application Summary

Portal Reference: A22428LE

Basic Information

Proposed Use: New construction of a double storey dwelling and garage
 Current Use: vacant
 Cost of Works: \$618,818
 Site Address: 10 Serene Court Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? **No such encumbrances are breached**

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	[Redacted] Hotondo Homes Pakenham	3 Lever Circuit, Officer South VIC 3809	W: 1300-363-532 E: info@hhbuild.com.au
Owner	[Redacted]		
Preferred Contact	[Redacted] Hotondo Homes Pakenham	3 Lever Circuit, Officer South VIC 3809	W: 1300-363-532 E: info@hhbuild.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 5 More than \$500,000 but not more than \$1,000,000	\$1,494.60	100%	\$1,494.60
Total			\$1,494.60

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Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm
Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
20-06-2024	A Copy of Title	Title - 10 serene ct.pdf
20-06-2024	Encumbrance	S173 Agreement - 10 Serene Ct.pdf
20-06-2024	Site plans	site plan - 10 serene.pdf
20-06-2024	A proposed floor plan	Ground floor plan - 10 serene.pdf
20-06-2024	A proposed floor plan	First floor plan - 10 serene.pdf
20-06-2024	Proposed elevation plan	Elevations - 10 Serene.pdf
20-06-2024	Overlay Requirements	Vicplan-Planning-Property-Report - 10 Serene.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	Pakenham HH Pty Ltd T/A Hotondo Homes Pakenham	3 Lever Circuit, Officer South VIC 3809	W: 1300-363-532 E: Info@hhbulld.com.au
Submission Date	20 June 2024 - 01:18:PM		

Declaration

By ticking this checkbox, I, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T240279 PA
Address of the Land:	10 Serene Court Pakenham VIC 3810

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	Dali Panic Design Studio
Address:	175 Maroondah Hwy, Ringwood VIC 3134
Phone:	0404711518
Email:	dalipanicdesignstudio.com.au dali@dalipanicdesignstudio.com.au

AMENDMENT TYPE


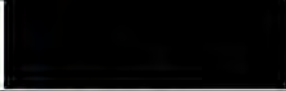
Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input type="checkbox"/>	Plans / other documents <input checked="" type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Changes to plans as per RFI request		
Updated dwelling setbacks to comply with driveway gradients as per latest AHD survey. Refer to plans for new siting conditions.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input type="checkbox"/>	Unchanged <input checked="" type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	04/12/2024

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

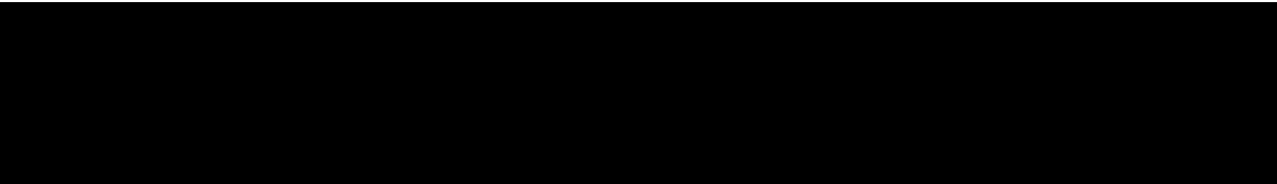
VOLUME 11461 FOLIO 894

Security no : 124119363072J
Produced 26/10/2024 05:03 PM

LAND DESCRIPTION

Lot 148 on Plan of Subdivision 649677S.
PARENT TITLES :
Volume 08652 Folio 976 Volume 08810 Folio 340
Created by instrument PS649677S 03/12/2013

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AK575312M 06/09/2013

DIAGRAM LOCATION

SEE PS649677S FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

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-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 10 SERENE COURT PAKENHAM VIC 3810


ADMINISTRATIVE NOTICES

NIL



DOCUMENT END

Signed by Council: Cardinia Shire Council, Council Ref: S11/087, Original Certification: 17/04/2012, S.O.C.: 22/10/2013

PLAN OF SUBDIVISION		Stage No. —	LRS use only EDITION 1	Plan Number PS 649677S																
Location of Land Parish: Nar Nar Goon Township: — Crown Portion: 3 (Part) & 7 (Part) Parish: Nar Nar Goon Township: Pakenham Crown Allotment: 32 (Part) & Part of Former Government Road Title Reference: Vol. 8810 Fol. 340 Vol. 8652 Fol. 976 Last Plan Reference: Lot 1 LP 8840 Lot 2 LP 8840 Postal Address: 120-150 Pakenham Road (at time of subdivision) Pakenham 3810 MGA94 Co-ordinates: E 366 500 Zone: 55 N 5 786 800 (of approx. centre of land in plan)		Council Certificate and Endorsement Council Name: Cardinia Shire Council Ref:																		
Vesting of Roads and/or Reserves		1. This plan is certified under section 6 of the Subdivision Act 1988. 2. This plan is certified under section 11(7) of the Subdivision Act 1988. Date of original certification under section 6 / / 20 3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988. <u>OPEN SPACE</u> (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made. (ii) The requirement has been satisfied. (iii) The requirement is to be satisfied in Stage..... Council Delegate Council Seal Date / / 20 Re-certified under section 11(7) of the Subdivision Act 1988 Council Delegate Council Seal Date / / 20																		
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:20%;">Identifier</th> <th>Council/Body/Person</th> </tr> </thead> <tbody> <tr><td>Roads R-1</td><td>Cardinia Shire Council</td></tr> <tr><td>Roads R-2</td><td>Roads Corporation</td></tr> <tr><td>Reserve No.1</td><td>Cardinia Shire Council</td></tr> <tr><td>Reserve No.2</td><td>Cardinia Shire Council</td></tr> <tr><td>Reserve No.3</td><td>Cardinia Shire Council</td></tr> <tr><td>Reserve No.4</td><td>Cardinia Shire Council</td></tr> <tr><td>Reserve No.5</td><td>SPI Electricity Pty Ltd</td></tr> </tbody> </table>		Identifier	Council/Body/Person	Roads R-1	Cardinia Shire Council	Roads R-2	Roads Corporation	Reserve No.1	Cardinia Shire Council	Reserve No.2	Cardinia Shire Council	Reserve No.3	Cardinia Shire Council	Reserve No.4	Cardinia Shire Council	Reserve No.5	SPI Electricity Pty Ltd	Notations Staging This is is not a staged subdivision Planning Permit No. T060892 Depth Limitation : Does not apply. THIS IS A SPEAR PLAN Lots 1 to 100 (Both Inclusive) have been omitted from this stage.		
Identifier	Council/Body/Person																			
Roads R-1	Cardinia Shire Council																			
Roads R-2	Roads Corporation																			
Reserve No.1	Cardinia Shire Council																			
Reserve No.2	Cardinia Shire Council																			
Reserve No.3	Cardinia Shire Council																			
Reserve No.4	Cardinia Shire Council																			
Reserve No.5	SPI Electricity Pty Ltd																			
Estate: GALWAY GOLD Development No.: 1 No. of Lots: 65 Area: 8.210 ha Melways: 317 C3		Survey This plan is/ is not based on survey. See BP 2601B. This survey has been connected to permanent marks no(s) PM 89 & PM 313 This survey is not in a Proclaimed Survey Area.																		
Easement Information				LRS use only																
Legend: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				Statement of Compliance/ Exemption Statement																
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of																
E-1 & E-3	Drainage	See Diag.	This Plan	Cardinia Shire Council																
E-2, E-3 & E-5	Sewerage	See Diag.	This Plan	South East Water Limited																
E-4 & E-5	Water Supply	See Diag.	This Plan	South East Water Limited																
				Received <input checked="" type="checkbox"/>																
				DATE 20 / 11 / 2013																
				LRS use only																
				PLAN REGISTERED																
				TIME 3.52pm																
				DATE 3 / 12 / 2013																
				Kevin Bond																
				Assistant Registrar of Titles																
				SHEET 1 OF 11 SHEETS																
 WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS <small>5 MAIN ST, MORNINGTON PH. (03) 5975 4644, FAX (03) 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST. KILDA RD, SOUTH-BANK PH. (03) 9697 8000, FAX (03) 9697 8099</small>		LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE SIGNATURE <u>DIGITALLY SIGNED</u> DATE REF 35213/Stg.1 VERSION 7		DATE / / 20 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3																

Signed by: Jonathan Trevor Neate (Watsons) Surveyor's Plan Version (7) SPEAR Ref: S014069H 02/03/2012

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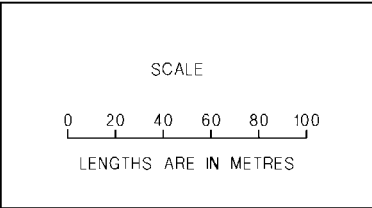
PLAN OF SUBDIVISION	Stage No. —	Plan Number PS 649677S
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 PH: (03) 9697 8000, FAX: (03) 9697 8099

ORIGINAL SCALE	SHEET SIZE
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LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE

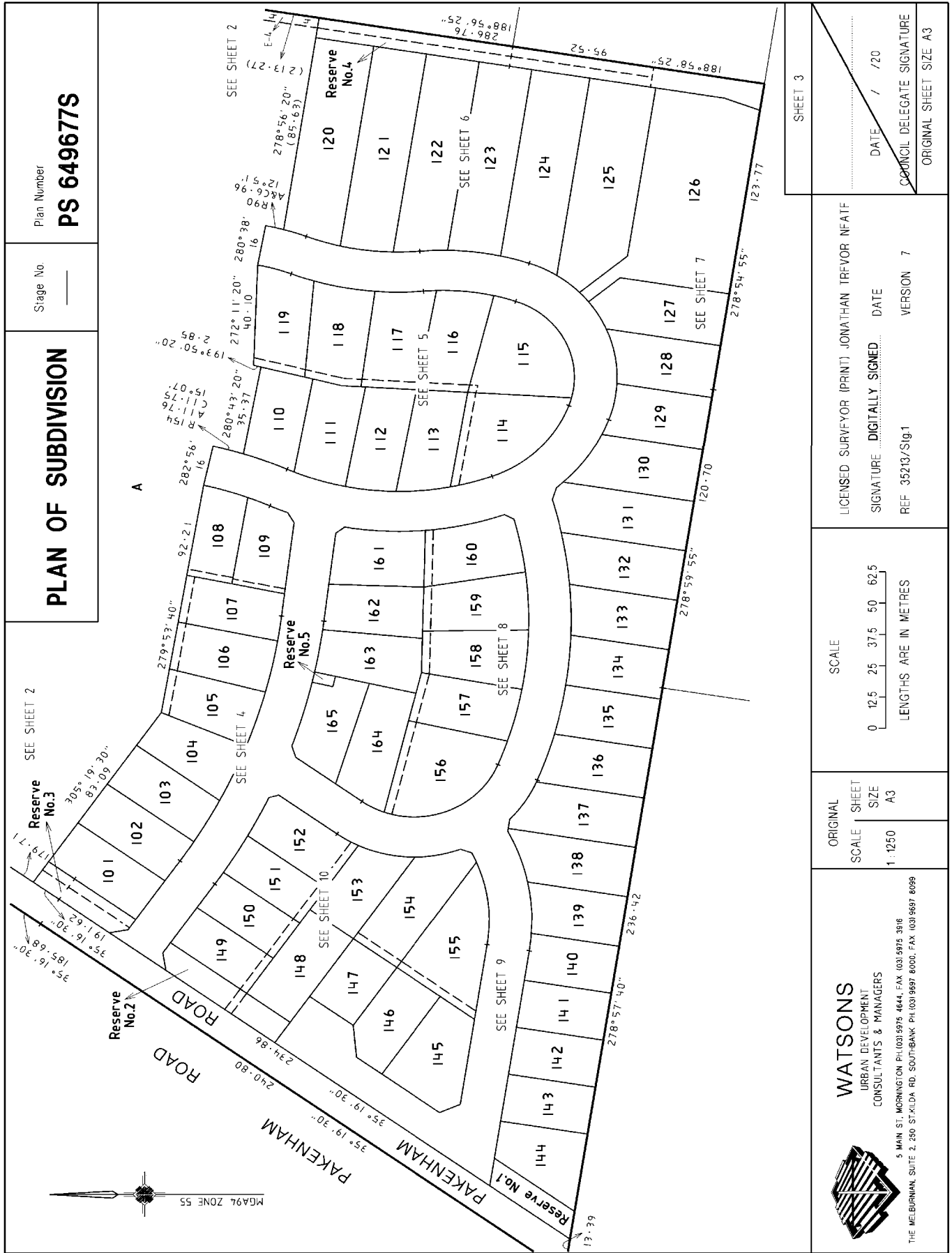
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REF 35213/Stg.1 VERSION 7

SHEET 2
DATE / /20
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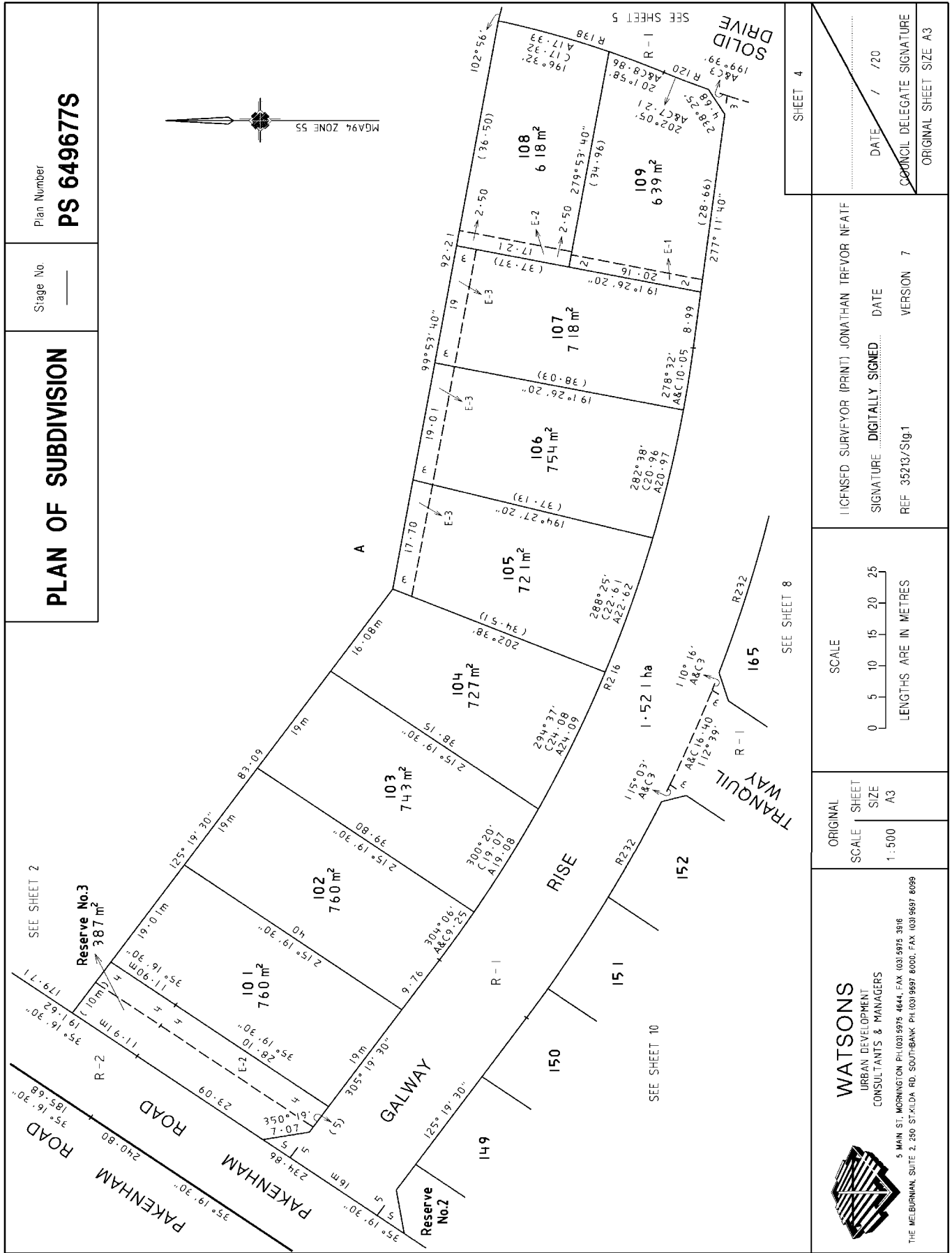
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PLAN OF SUBDIVISION

Plan Number
PS 649677S

Stage No. _____



Plan Number
PS 649677S

Stage No. _____

PLAN OF SUBDIVISION



SHEET 4
DATE / / 20
COUNCIL DELEGATE SIGNATURE
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LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEALE	DATE
SIGNATURE DIGITALLY SIGNED	DATE
REF: 35213/Sig.1	VERSION 7

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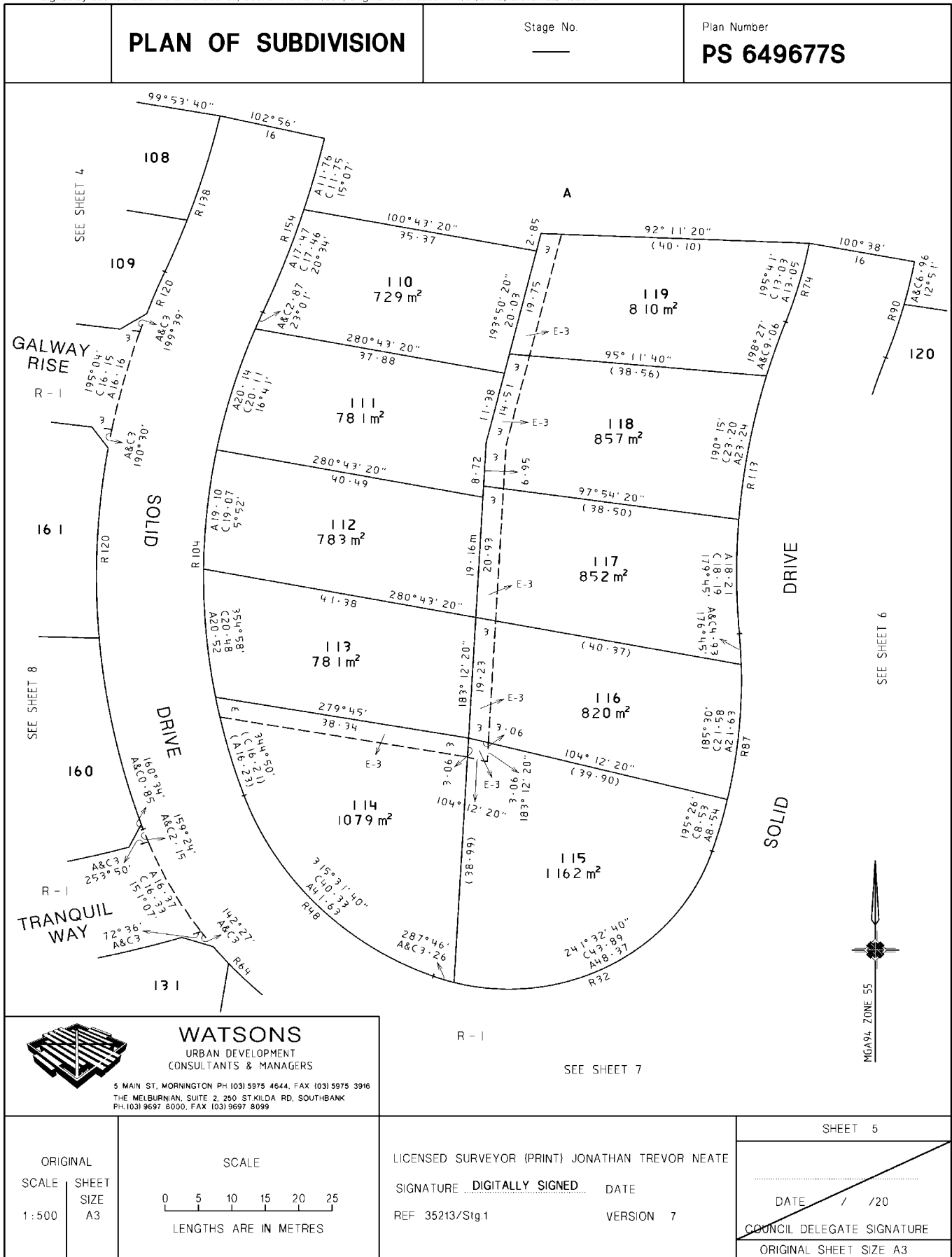
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PH 1031 9697 8000, FAX (03) 9697 8099

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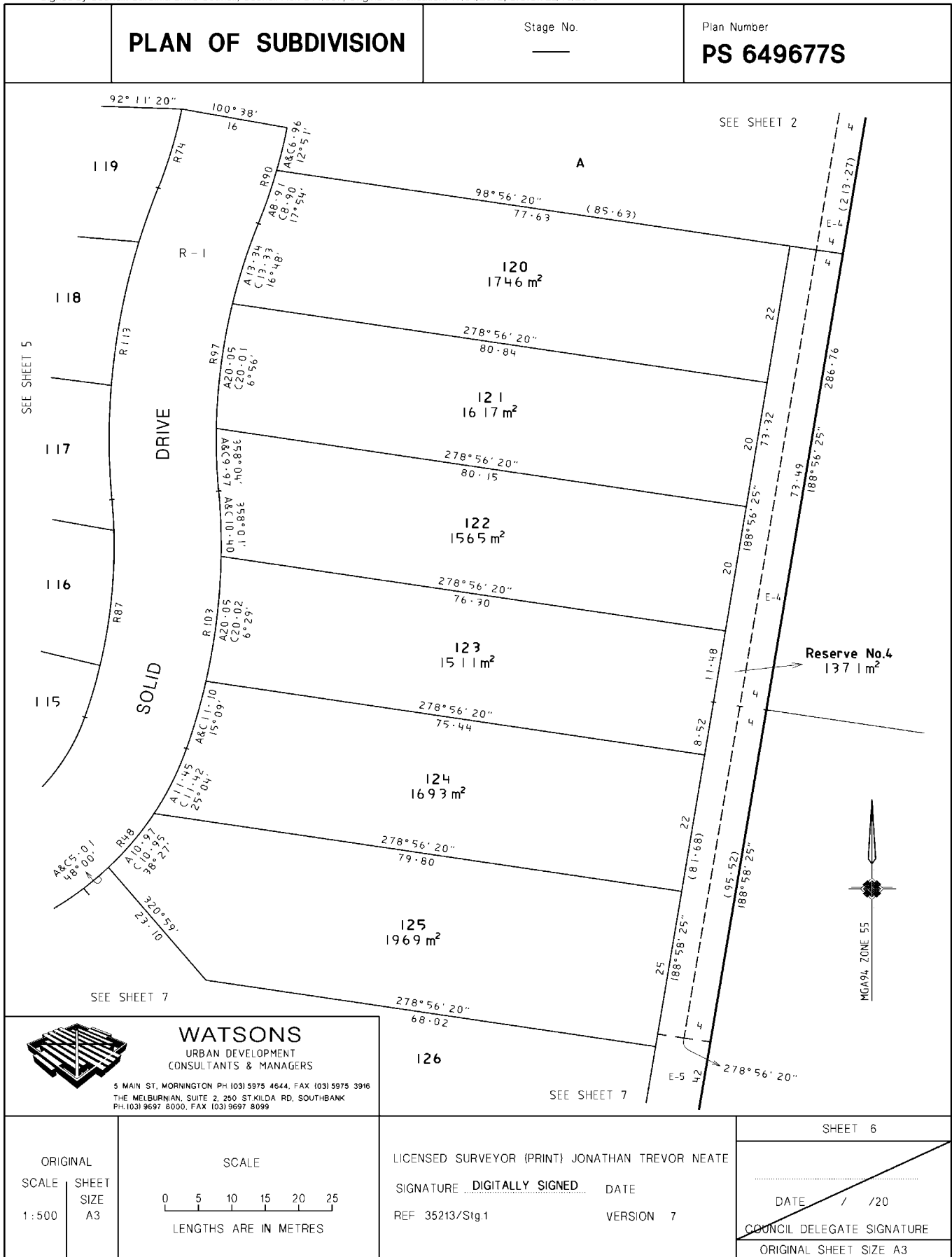
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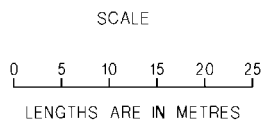
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1:500 SIZE
A3



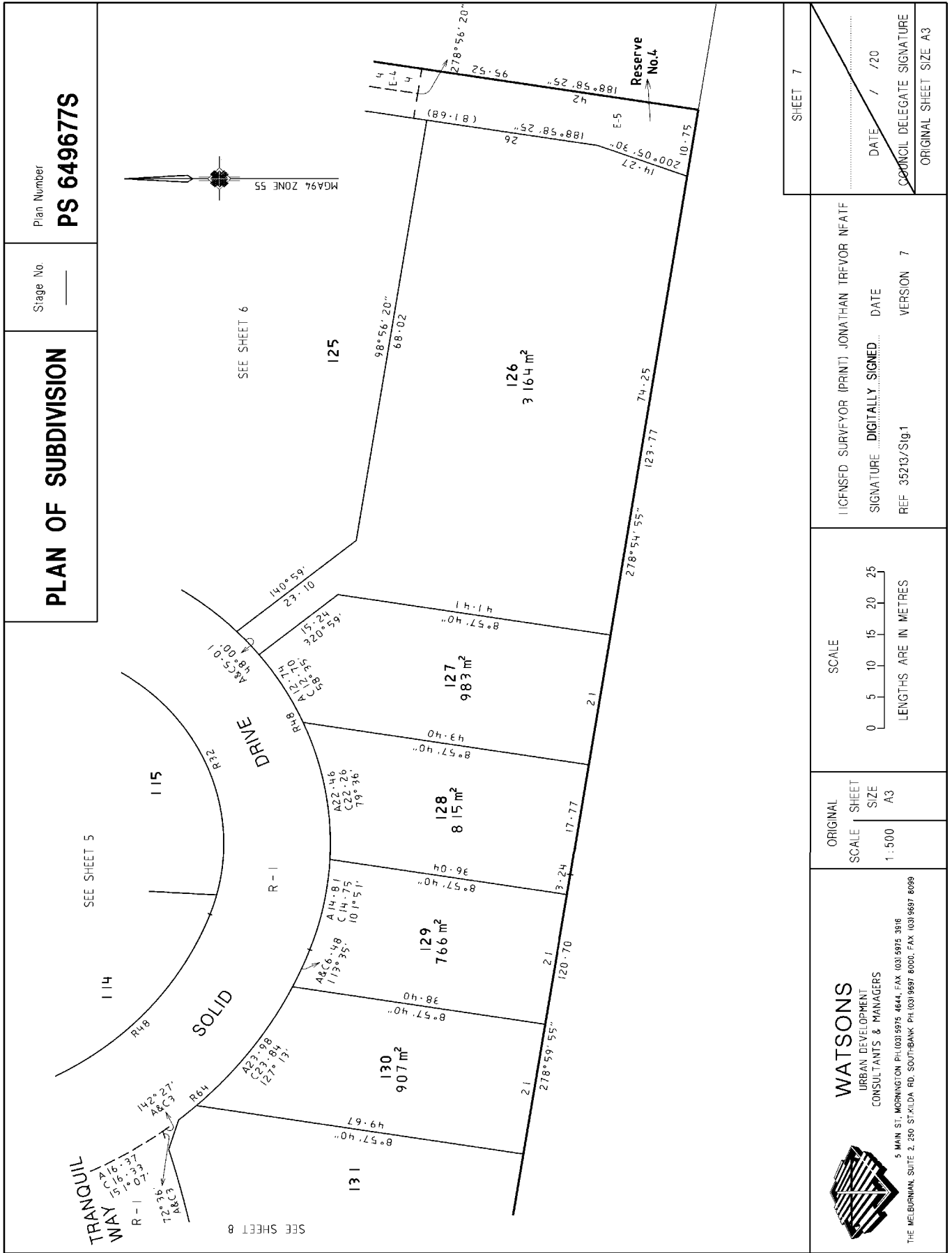
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SIGNATURE DIGITALLY SIGNED DATE _____
REF 35213/Stg.1 VERSION 7

SHEET 6

DATE / /20
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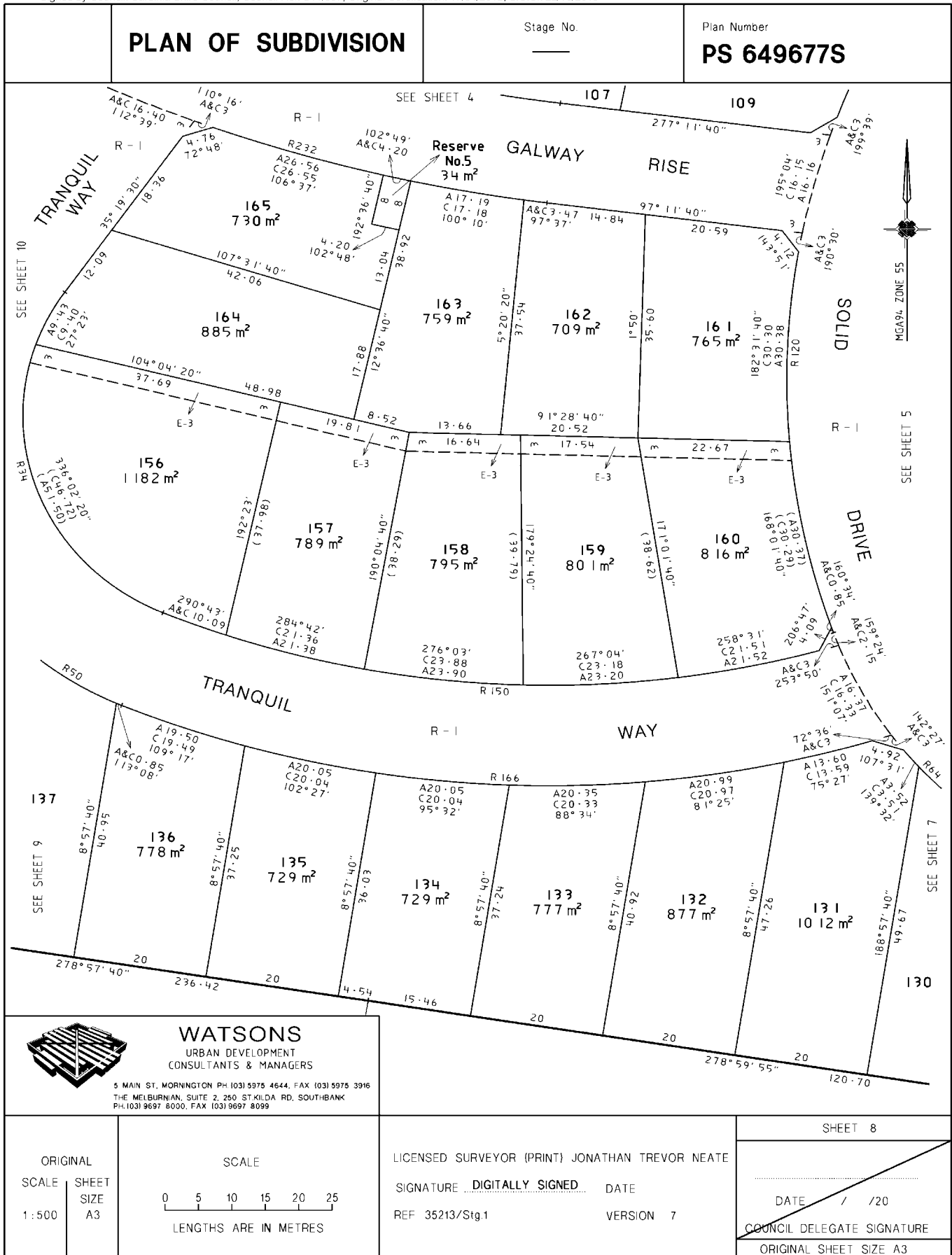


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 THE MELBURNIAN, SUITE 2, 260 ST. KILDA RD. SOUTH BANK PH: 031 9697 8000, FAX: 031 9697 8099

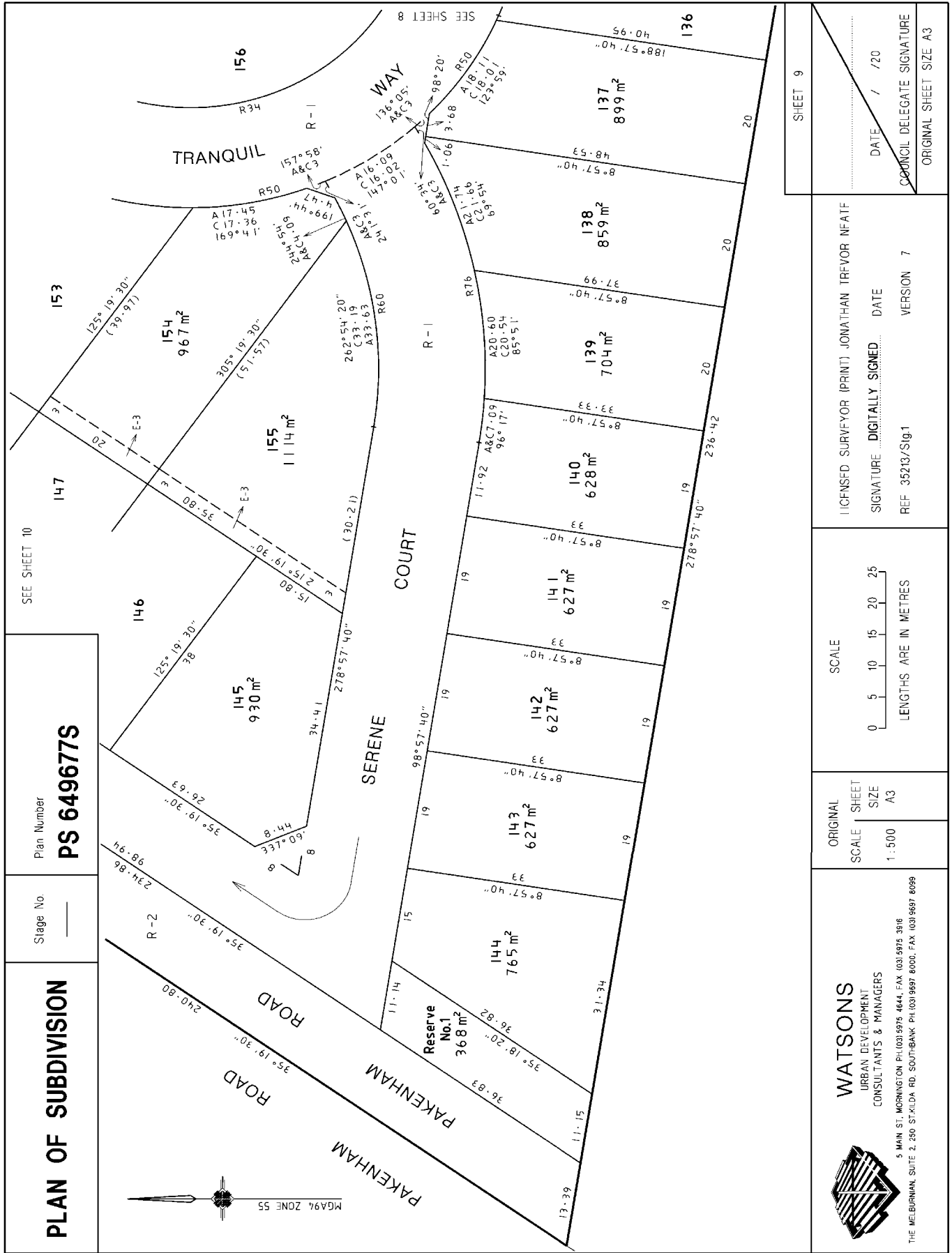
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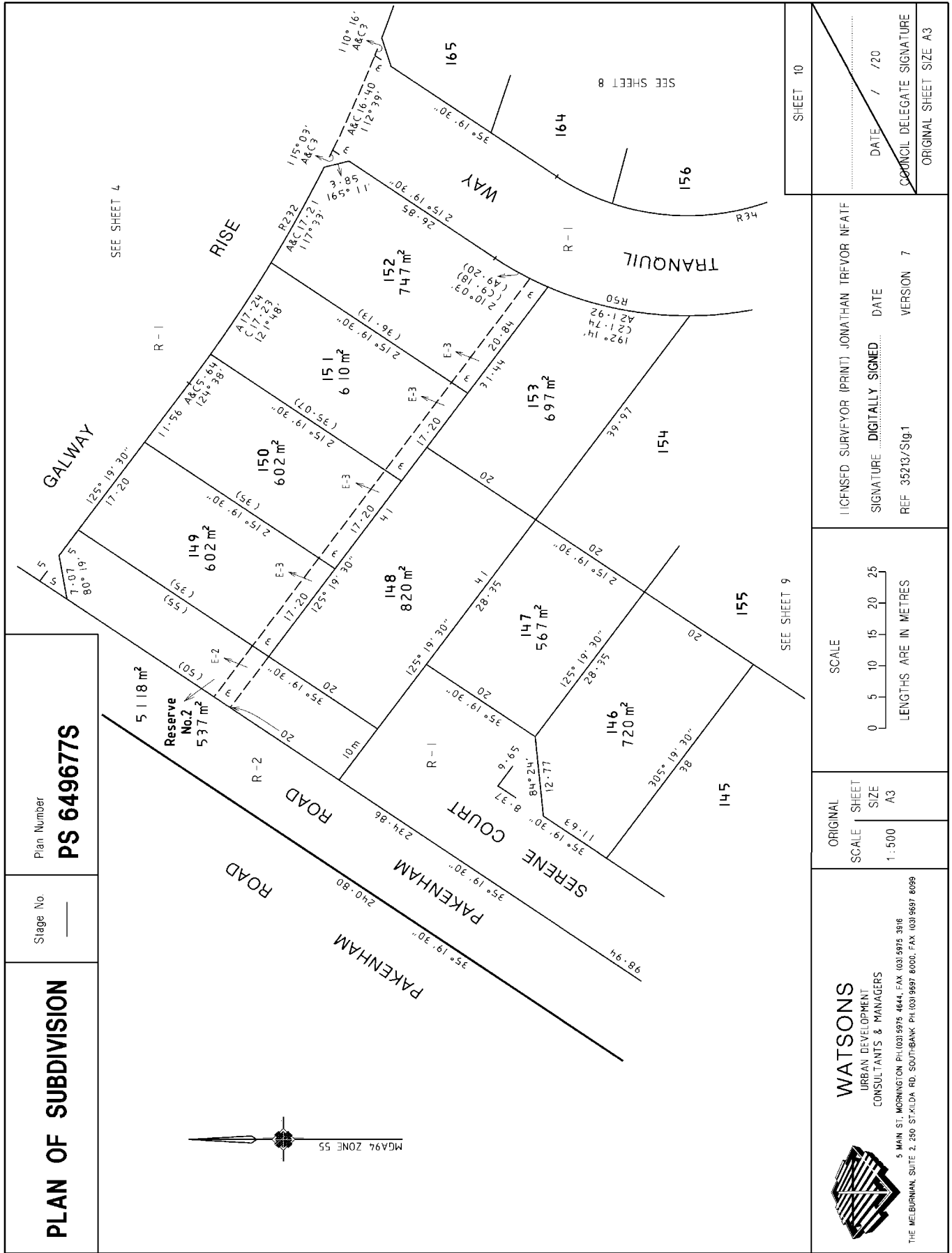


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 THE MELBOURNE SUITE 2, 250 ST. KILDA RD. SOUTH BANK PH: 031 9697 8000, FAX: 031 9697 8099



Plan Number
PS 649677S

Stage No. _____

PLAN OF SUBDIVISION



SHEET 10

DATE / / 20

COUNCIL DELEGATE SIGNATURE

ORIGINAL SHEET SIZE A3

LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEALE

SIGNATURE **DIGITALLY SIGNED** DATE

REF 35213/Std.1 VERSION 7

SCALE

0 5 10 15 20 25

LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE A3

SCALE 1:500

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THE MELBURNIAN, SUITE 2, 280 ST KILDA RD, SOUTH BANK PH:10319697 8000, FAX: 10319697 8099

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Signed by Council: Cardinia Shire Council, Council Ref: S11/087, Original Certification: 17/04/2012, S.O.C.: 22/10/2013

	PLAN OF SUBDIVISION	Stage No. —	Plan Number PS 649677S
--	----------------------------	----------------	----------------------------------

SUBDIVISION ACT 1988
CREATION OF RESTRICTION A

Upon registration of this plan the following restriction is to be created.

Land to benefit: Land in this plan.
Land to be burdened: Lots 120 to 126 (Both Inclusive).

Description of Restriction:

The registered proprietor or proprietors for the time being a burdened lot to which this restriction applies shall not allow dwellings and garages to be located outside the building envelope (hatched area) shown in the Building Envelope Schedule within the Instrument for PS 649677S, unless with the written consent of the Responsible Authority.

SUBDIVISION ACT 1988
CREATION OF RESTRICTION B


Upon registration of this plan the following restriction is to be created.

Land to benefit: Land in this plan.
Land to be burdened: Lots 106, 114, 115 and 122 to 126 (Both Inclusive).

Description of Restriction:

The registered proprietor or proprietors for the time being a burdened lot to which this restriction applies shall not allow removal of any trees within the Tree Protection Envelopes (cross hatched area) shown in the Tree Protective Envelope Schedule within the instrument for PS 649677S unless with the written consent of the Responsible Authority.

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 <p style="text-align: center;">WATSONS URBAN DEVELOPMENT CONSULTANTS & MANAGERS</p> <p style="font-size: x-small;">5 MAIN ST, MORNINGTON PH.1031 5975 4644, FAX 1031 5975 3916 THE MELBURNIAN, SUITE 2, 250 ST KILDA RD, SOUTH-BANK PH.1031 9697 8000, FAX 1031 9697 8099</p>	<p>LICENSED SURVEYOR (PRINT) JONATHAN TREVOR NEATE</p> <p>SIGNATURE <u>DIGITALLY SIGNED</u> DATE</p> <p>REF 35213/Stg.1 VERSION 7</p>	<p>SHEET 11</p> <hr style="border: 1px solid black;"/> <p>DATE / /20</p> <p>COUNCIL DELEGATE SIGNATURE</p> <p>ORIGINAL SHEET SIZE A3</p>
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**Plan of Subdivision PS649677S
Certification by Council (Form 5)**

SUBDIVISION (PROCEDURES) REGULATIONS 2000

SPEAR Reference Number: S014069H
Plan Number: PS649677S
Responsible Authority Name: Cardinia Shire Council
Responsible Authority Reference Number 1: S11/087
Surveyor's Plan Version: 7

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

Has not been made at Certification

Digitally signed by Council Delegate: 
Organisation: Cardinia Shire Council
Date: 17/04/2012

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AK575312M

06/09/2013 \$113 173



FORM 18 Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE
MAKING OF A RECORDING OF AN AGREEMENT**

Planning and Environment Act 1987

Lodged by:

Name: [REDACTED] SOLICITOR

Phone: [REDACTED]

Address: [REDACTED]

Ref: [REDACTED]

Customer Code: 01786Y

The Authority having made an agreement referred to in section 181(1) of the Planning and Environment Act 1987 requires a recording to be made in the Register for the land.

Land: Volume 8810 Folio 340 and Volume 8652 Folio 976

Authority: *Cardinia Shire Council
Henty Way, Pakenham, Victoria, 3810*

Section and Act under which agreement made:
S 173 of Planning and Environment Act 1987

A copy of the Agreement is attached to this Application.

Signature for the [REDACTED]

Name of Officer: [REDACTED]

Date: 22/8/13

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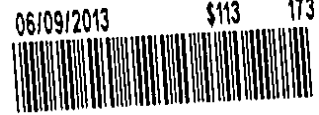


CONTENTS

- 1. DEFINITIONS**
- 2. INTERPRETATION**
- 3. SECTION 173 AGREEMENT**
- 4. SPECIFIC OBLIGATIONS OF THE OWNER**
- 5. FURTHER OBLIGATIONS OF THE OWNER**
- 6. AGREEMENT UNDER SECTION 173 OF THE ACT**
- 7. OWNER'S WARRANTY**
- 8. SUCCESSORS IN TITLE**
- 9. GENERAL MATTERS**
- 10. COMMENCEMENT OF AGREEMENT**

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AGREEMENT

THIS AGREEMENT is made the *26th* day of *August* 2013

BETWEEN:

CARDINIA SHIRE COUNCIL
of Henty Way, Pakenham, in the State of Victoria

("the Council")

- and -

Galway View Pty Ltd, 505 St Kilda Road, Melbourne in the State of Victoria

("the Owner")

INTRODUCTION

- A. Council is the Responsible Authority pursuant to the Act for the Planning Scheme.
- B. The Owner is the registered proprietor of the Land.
- C. On 18 September 2007 the Council issued Planning Permit No. T060892 permitting subdivision of the land into 110 lots, the provision of public open space and tree reserves, creation of access to a Road Zone Category 1 and the removal of native vegetation generally in accordance with the endorsed plan. Condition 3 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition.
- D. A Plan of Subdivision was not certified within two years of the date of the Planning Permit. An extension of time was approved by Council on 16 September 2009 and 10 October 2011. Endorsed Plans were approved on 22 September 2012 and this revised the lot numbers compared to the original permit application plans (Watsons Pty Ltd Revision E). The lots previously numbered 36 to 47 inclusive on Watsons Pty Ltd Revision E and obligated in Condition 3 of the Planning Permit are renumbered lots 120 to 126 inclusive and lots 223 to 227 inclusive on the Endorsed Plan.
- E. The parties enter into this Agreement:-
 - (a) to give effect to the requirements of Condition 3 of the Planning Permit; and
 - (b) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Land.

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IT IS AGREED:

1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

- 1.1 **"the Act"** means the *Planning and Environment Act 1987*.
- 1.2 **"this Agreement"** means this Agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.
- 1.3 **"Amended Planning Permit Plan"** means the amended plans approved under the Planning Permit as an Endorsed Plan generally in accordance with Watsons Pty Revision E dated 4 September 2007 but modified in accordance with condition 1 of the Planning Permit.
- 1.4 **"Building"** has the same meaning as in the Act.
- 1.5 **"Building Envelope"** means the building envelope shown for a particular lot in the Plan of Subdivision and has the same meaning as in regulation 406 of the Building Regulations.
- 1.6 **"Dwelling"** has the same meaning as in the Cardinia Planning Scheme.
- 1.7 **"Eastern most allotments"** being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.8 **"Endorsed Plan"** means the plans endorsed with the stamp of the Council from time to time known as the Amended Planning Permit Plan and Landscape Masterplan which form part of the Planning Permit.
- 1.9 **"Land"** means the land situated at 120-150 Pakenham Road, Pakenham, being all of the land contained in Certificate of Title Volume Folio 8810 340 and Certificate of Title Volume Folio 8652 976 and any reference to the Land includes any lot created by the subdivision of the Land or any part of it.
- 1.10 **"Landscape Masterplan"** means the plan approved under the Planning Permit as an Endorsed Plan which shall provide for, inter alia, the revegetation of the ridgeline/ rear of lots 120 to 126 inclusive and lots 223 to 227 inclusive and trees to be retained generally in accordance with the Planning Permit.
- 1.11 **"Lot"** means a lot or allotment on the Endorsed Plan.
- 1.12 **"Planning Permit"** means Planning Permit T060892 dated 18 September 2007.

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- 1.13 **"Planning Scheme"** means the Cardinia Planning Scheme and any other planning scheme that applies to the Land.
- 1.14 **"Ridgeline"** means the Pakenham North Ridge a natural topographic feature which affects part of the Land being Lots 120 to 126 inclusive and Lots 223 to 227 inclusive on the Endorsed Plan.
- 1.15 **"Ridgeline Elevation"** means the changing level or height of the Ridgeline.
- 1.16 **"Statement of Compliance"** means a Statement of Compliance under the Subdivision Act 1988.

2. INTERPRETATION

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In this Agreement unless the context admits otherwise:

- 2.1. the singular includes the plural and vice versa.
- 2.2. a reference to a gender includes a reference to each other gender.
- 2.3. a reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4. if a party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5. a word or expression used in this Agreement has its ordinary meaning unless that word or expression is defined in this Agreement. If a word or expression is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6. any reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7. the introductory clauses to this Agreement are and will be deemed to form part of this Agreement.

3. SECTION 173 AGREEMENT

3.1 Purpose

This agreement is made under section 173 of the Act. In entering into it the Parties intend to achieve or advance the objectives of planning in Victoria or the objectives of the Planning Scheme.

3.2 Burden of covenants

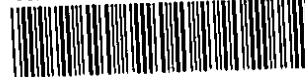
The Council and the Owner intend that the burden of the Owner's covenants run with the Land.

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4. SPECIFIC OBLIGATIONS OF THE OWNER

The owner acknowledges and agrees that:

4.1 Building Restrictions

No building shall be constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive outside the building envelopes shown on the Endorsed Plan except with the prior written consent of Council.

4.2 Height Controls

Any dwelling constructed on lots 120 to 126 inclusive and lots 223 to 227 inclusive must not be higher than 2.0 metres above the highest point of the ridgeline elevation on that lot.

4.3 Re-vegetation

Re-vegetation and landscaping across the ridgeline (the rear of the Eastern most allotments) must be carried out generally in accordance with the approved Landscape Masterplan prior to the issue of a Statement of Compliance.

5. FURTHER OBLIGATIONS OF THE OWNER

The Owner further agrees that:

5.1 Notice and Registration

5.1.1 the Owner will bring this Agreement to the attention of all prospective purchasers, mortgagees, transferees and assigns.

5.2 Further Actions

5.2.1 the Owner will do all things necessary to give effect to this Agreement.

5.2.2 the Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the register on the Certificate of Title to the Land in accordance with section 181 of the Act and do all things necessary to enable Council to do so, including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable a recording to be made in the register under that section.

5.3 Council's costs to be paid

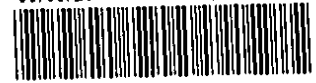
5.3.1 the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.

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6. AGREEMENT UNDER SECTION 173 OF THE ACT

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement, and insofar as they can be so treated, this Agreement is made pursuant to section 173 of the Act.

7. OWNERS WARRANTY

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land which may be affected by this Agreement.

8. SUCCESSORS IN TITLE

8.1 Without limiting the operation or effect which this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Land, successors in title shall be required to:-

- (a) give effect to and do all acts and sign all documents which require those successors to give effect to this Agreement; and
- (b) execute a Deed agreeing to be bound by the terms of this Agreement.

9. GENERAL MATTERS

9.1 Notices

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 9.1.1 by delivering it personally to that party;
- 9.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 9.1.3 sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

9.2 A notice or other communication is deemed served:

- 9.2.1 if delivered, on the next following business day;
- 9.2.2 if posted, on the expiration of two business days after the date of posting; or

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9.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested transmission before the end of that business day.

9.3 No Waiver

Any time or other indulgence granted by the Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

9.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

9.5 No Fettering of Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

10. COMMENCEMENT OF AGREEMENT

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.



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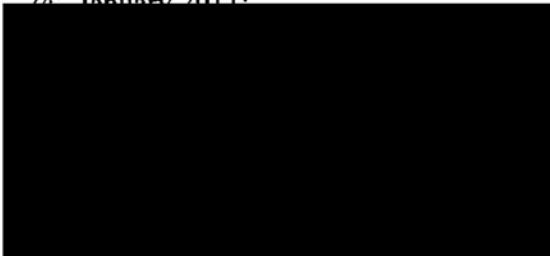
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SIGNING PAGE

EXECUTED by the parties on the date set out at the commencement of this Agreement.

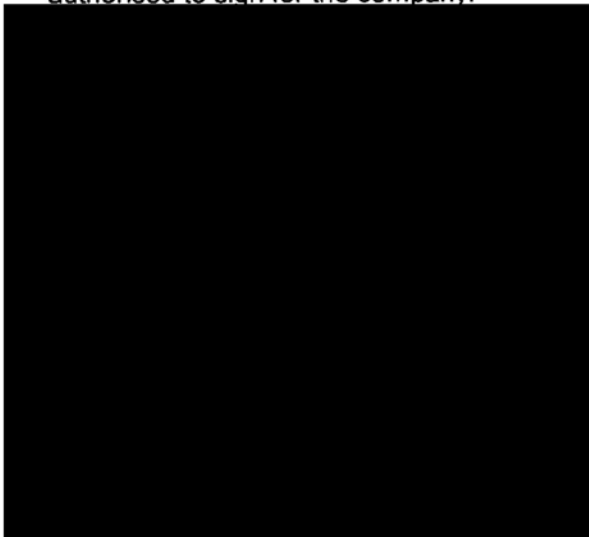
**Signed by and on behalf, and with
the authority of the Cardinia Shire
Council by [REDACTED] in the
Exercise of power conferred by an
Instrument of Delegation dated
24th January 2011:**)
)
)
)
)
)
)



MANAGER Development Services

Witness

**Executed by Galway View Pty Ltd
by being signed by those persons who are
authorised to sign for the company:**)
)
)



Director

Full name

Usual address

Director (~~or company Secretary~~)

Full name

Usual address

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DATED

CARDINIA SHIRE COUNCIL

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- and -

GALWAY VIEW PTY LTD
ACN 007 183 897

**AGREEMENT
UNDER SECTION 173
OF THE PLANNING
AND ENVIRONMENT
ACT 1987**

Land: Lot 1 & 2 LP8840, 120-150 Pakenham Road, Pakenham 3810

SURVEY:
FEATURE AND LEVELS

CLIENT: [REDACTED]

K.B. LAND SURVEYS
 15 Marilyn Crescent, Ringwood
 Tel: (03) 9876-5173 Mob: 0437 474 143
 Email: kblandsurveys@bigpond.com

PLAN OF SURVEY

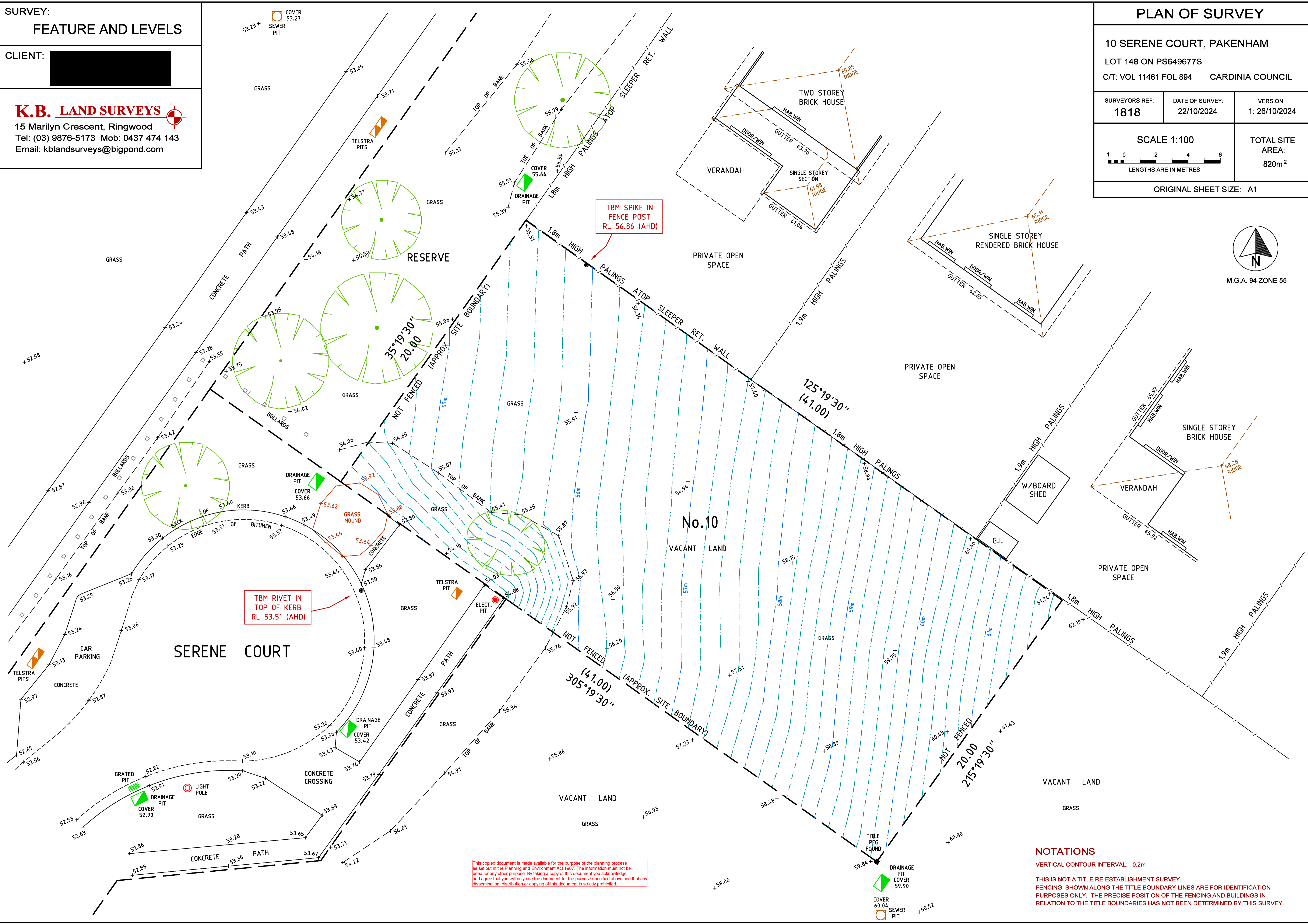
10 SERENE COURT, PAKENHAM
 LOT 148 ON PS649677S
 C/T: VOL 11461 FOL 894 CARDINIA COUNCIL

SURVEYORS REF: 1818	DATE OF SURVEY: 22/10/2024	VERSION: 1: 26/10/2024
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SCALE 1:100
 1 0 2 4 6
 LENGTHS ARE IN METRES

TOTAL SITE AREA:
820m²

ORIGINAL SHEET SIZE: A1



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DRAINAGE PIT COVER 59.90
 COVER 60.04
 SEWER PIT 60.52

NOTATIONS
 VERTICAL CONTOUR INTERVAL: 0.2m
 THIS IS NOT A TITLE RE-ESTABLISHMENT SURVEY.
 FENCING SHOWN ALONG THE TITLE BOUNDARY LINES ARE FOR IDENTIFICATION PURPOSES ONLY. THE PRECISE POSITION OF THE FENCING AND BUILDINGS IN RELATION TO THE TITLE BOUNDARIES HAS NOT BEEN DETERMINED BY THIS SURVEY.

SHEET LIST - ORANA

SHEET NUMBER	SHEET NAME
00	COVER PAGE
01A	SITE PLAN
01B	OVERLOOKING
01C	OVERSHADOWING 9AM
01D	OVERSHADOWING 12PM
01E	OVERSHADOWING 3PM
01F	SLAB PLAN
02A	GROUND FLOOR
02B	FIRST FLOOR
03A	ELEVATIONS A-B
03B	ELEVATIONS C-D



SPECIFICATIONS

GENERAL

- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
- NCC 2022 - NATIONAL CONSTRUCTION CODE 2022 - VOLUME 2 - HOUSING PROVISIONS

STATUTORY REQUIREMENTS

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC 2022 CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BACKLOG CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT.
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS

NCC 2022 REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 3.3 OF NCC 2022. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & PART 4.2.3 OF NCC 2022
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH PART 3.4 OF NCC 2022
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH PART 6.2.1 OF NCC 2022
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH PART 3.3 OF NCC 2022 & AS/NZS 3500.3
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS1684
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & PART 6.3 OF NCC 2022
- ALL ROOF CLADDING SHALL COMPLY WITH PART 7 OF NCC 2022, & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- METAL SHEET ROOF CLADDING'S COMPLIANCE WITH AS1562.1:2018
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH PART 7.4 OF NCC 2022
- DOWNPIPE LOCATION IS FOR INDICATIVE PURPOSES ONLY AND WILL BE INSTALLED AT PLUMBER'S DISCRETION TO AS3500.3-2018
- PLIABLE WRAP & SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700 APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- UNTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH PART 10.2 OF NCC 2022 & AS3740:2021. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- PROTECTION OF OPENABLE WINDOWS IN ACCORDANCE WITH CLAUSE 11.3 OF NCC 2022
- ALL GLAZING SHALL COMPLY WITH PART 8 OF NCC 2022 AND AS 1288:2021
- OPAQUE BANDS TO THE GLASS DOORS AND WINDOWS IN ACCORDANCE WITH CLAUSE 8.4.7 OF THE NCC 2022
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 11.2 OF NCC 2022
- BALUSTRADES SHALL BE IN ACCORDANCE WITH PART 11.3 OF NCC 2022
- HANDRAIL FOR FULL FLIGHT OF STAIRS IN ACCORDANCE WITH 11.3.5 OF THE NCC 2022
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3500, & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WIRED INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH AS3786:2014 & H306 OF NCC 2022
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3958.1
- BUILDING FABRIC SHALL COMPLY WITH PART 13.2 OF NCC 2022 FOR ABCB HOUSING PROVISIONS
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF PART 13.4 OF NCC 2022, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF, WALLS, & FLOORS
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF 13.7 OF NCC 2022, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH PART 10.6 OF NCC 2022
- INWARD SWINGING WC DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH PART 10.4.2 OF NCC 2022
- METHOD OF TERMITE TREATING THE GARAGE ON THE BOUNDARY IN ACCORDANCE WITH AS3660.1 (TERMITE-GREEN PHYSICAL BARRIER)
- PLIABLE BUILDING MEMBRANE INSTALLED IN EXTERNAL WALLS TO BE A VAPOUR PERMEABLE TYPE, COMPLY WITH AS/NZS 4200.1 AND BE INSTALLED AS PER AS4200.2
- CONDENSATION MANAGEMENT COMPLIANCE IN ACCORDANCE WITH NCC 2022 CLAUSE 10.8
- EXHAUST SYSTEMS (THIS INCLUDES TASTIC LIGHT & VENT COMBO TYPE FANS) TO DISCHARGE TO OUTSIDE AIR AS PER PART 10.8.2 OF NCC 2022
- EXHAUST SYSTEM FLOW RATE IN ACCORDANCE WITH NCC 2022 CLAUSE 10.8.2;
 - 25 l/s FOR A BATHROOM/SANITARY COMPARTMENT
 - 40 l/s FOR A LAUNDRY/KITCHEN
- EXTERNAL DOORS AND OPENABLE WINDOWS IN CONDITIONED SPACES TO BE SEALED TO RESTRICT AIR INFILTRATION AS PER PART 13.4 NCC 2022
- ANTI PONDING BOARDS TO ROOF AS PER NCC 2022 CLAUSE 7.3 DUE TO NO EAVES
- LIGHTWEIGHT EXTERNAL WALL CLADDING CLEARANCE TO THE GROUND TO BE IN ACCORDANCE WITH NCC 2022, VOL 2, PART 7.5.7
- SLIP RESISTANCE TO STAIRS IN ACCORDANCE WITH NCC 2022, VOL 2, PART 11.2.4 AND TABLE 11.2.4 AND AS4586

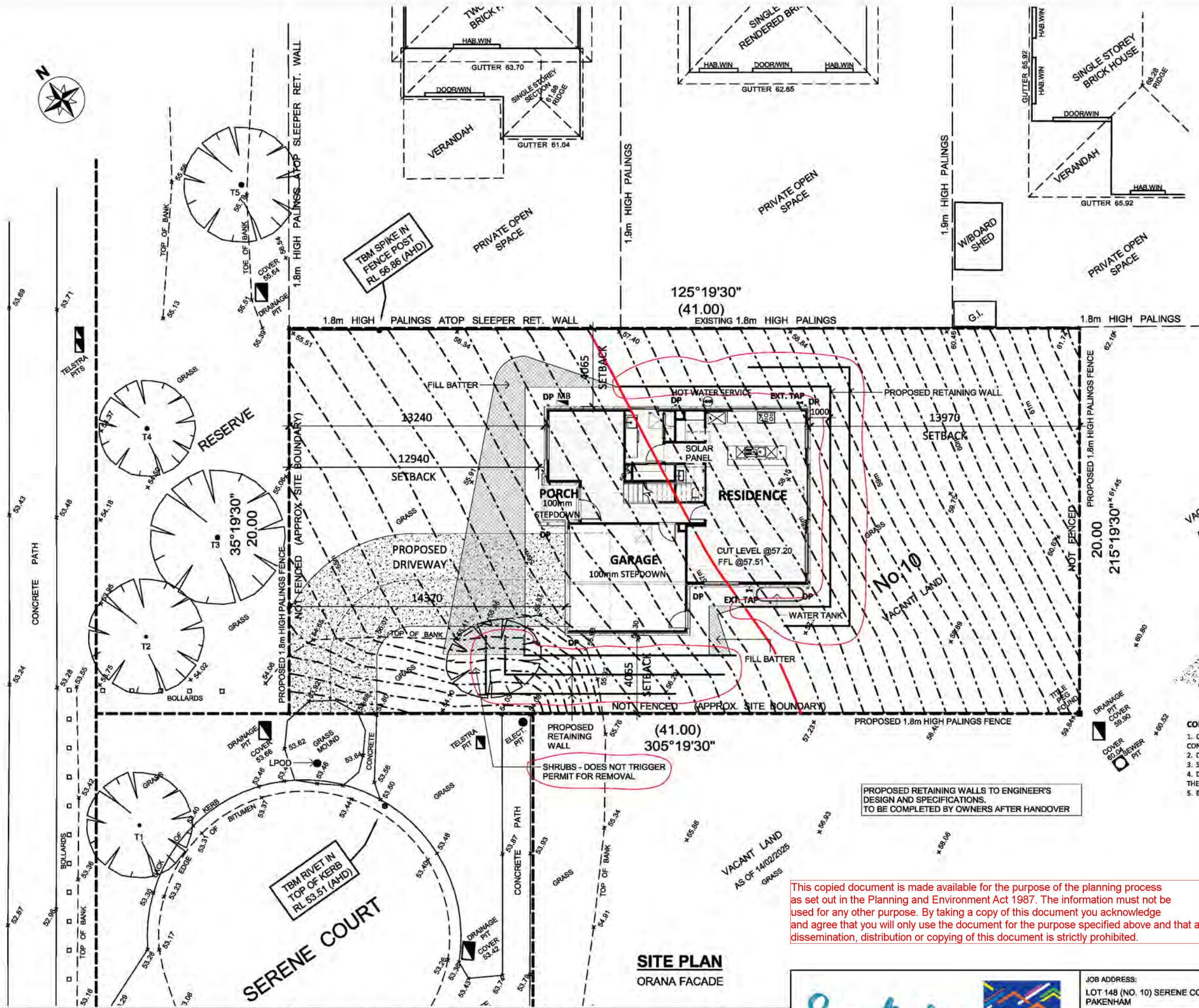
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ARTIST IMPRESSION REPRESENTED IN 3D IMAGE ARE FOR ILLUSTRATIVE PURPOSES ONLY. SUBSEQUENT DOCUMENTATION TAKES PRECEDENCE

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	Checker		A	PRELIMINARY DRAWINGS	VT	18/04/2024
	Designer		B	PRELIMINARY DRAWINGS	LD	22/04/2024
			C	WORKING DRAWINGS	VT	18/02/2025



JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM		OWNER: [REDACTED]
DRAWN BY: NARKIAN		DESIGN NAME: ACACIA 261
18/02/2025 4:03:45 PM	SHEET: 00	PROJECT No: 148-SERC
SCALE:	REV: -	

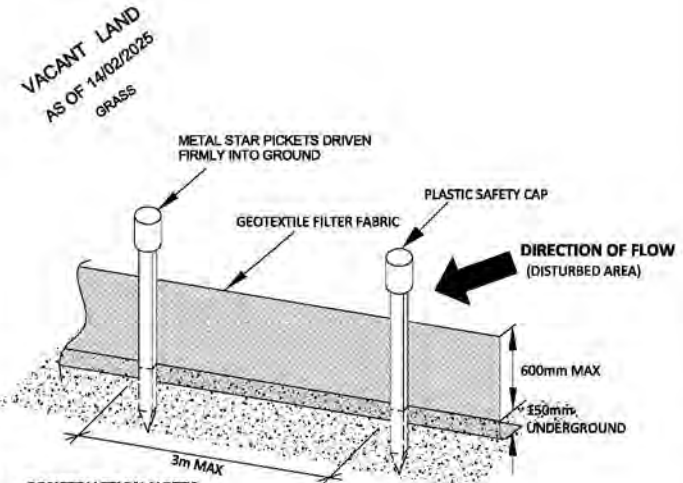


STANDARD NOTES

1. ALL WRITTEN DIMENSION TAKE PRECEDENCE OVER SCALE.
2. ALL ROOF BEAMS, LINTELS AND BRICKWORK ANGLES TO TRUSS/WALL FRAME MANUFACTURER'S SPECIFICATIONS AND ENGINEERS VERIFICATION.
3. WC DOORS TO COMPLY WITH BCA VOL 2 PT 3.8.3.3.
4. ALL WET AREAS TO BE COMPLETED IN ACCORDANCE WITH BCA VOL 2 PT 3.8.1.
5. ENGINEER DESIGNED - PREFABRICATED TIMBER ROOF TRUSSES AS PER MANUFACTURER'S SPECIFICATIONS. (600 CTS UNLESS NOTED OTHERWISE).
6. 90mm PREFABRICATED TIMBER WALL FRAMES AS PER MANUFACTURER'S SPECIFICATIONS, U.N.O.
7. BUILDER & TRADES ARE TO CONFIRM ALL MEASUREMENTS, DETAILS & SPECIFICATIONS PRIOR TO SET-OUT BE ORDERING OF MATERIALS.
8. REPORT ANY ERRORS FOR CLARIFICATION/CORRECTION AS NO RESPONSIBILITY WILL BE TAKEN AFTER CONSTRUCTION HAS COMMENCED.
9. ALL ELECTRICAL APPLIANCE & PLUMBING SYMBOLS ARE DIAGRAMMATIC ONLY. REFER TO BUILDERS SPECIFICATION FOR DETAILS OF ALL FIXTURES.
10. SIZE AND LOCATION OF DOWNPIPES TO BE CONFIRMED ON SITE BY BUILDER AND WILL BE INSTALLED AT PLUMBERS DISCRETION TO AS3500.3-2018
11. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT TRADE AND TECHNICAL MANUALS.

GENERAL NOTE:

- ALL LEVELS SHOWN ARE NOMINAL
- FINAL LEVELS ARE TO BE DETERMINED ON-SITE TO BEST SUIT GRADE & FALLS



CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO FOLLOW THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG POSTS INTO GROUND, MAXIMUM 3 METRES APART.
3. STAPLE TO 40 mm SQUARE HARDWOOD POSTS OR WIRE TIED TO STEEL POSTS.
4. DIG A 150 mm DEEP TRENCH ALONG THE UP-SLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
5. BACKFILL TRENCH OVER BASE OF FABRIC AND COMPACT ON BOTH SIDES.

SITE AREA - ORANA		
NAME	AREA (m ²)	PERCENTAGE
BUILT AREA	142.36	17.36%
SITE REMAINING	594.87	72.54%
DRIVEWAY	82.77	10.09%
TOTAL	820.00	100.00%

ALLOTMENT 820m² GREATER THAN 650m²
- NO LESS THAN 35% MINIMUM GARDEN AREA - 287.00m²

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**SITE PLAN
ORANA FACADE**

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A	PRELIMINARY DRAWINGS	VT	16/04/2024
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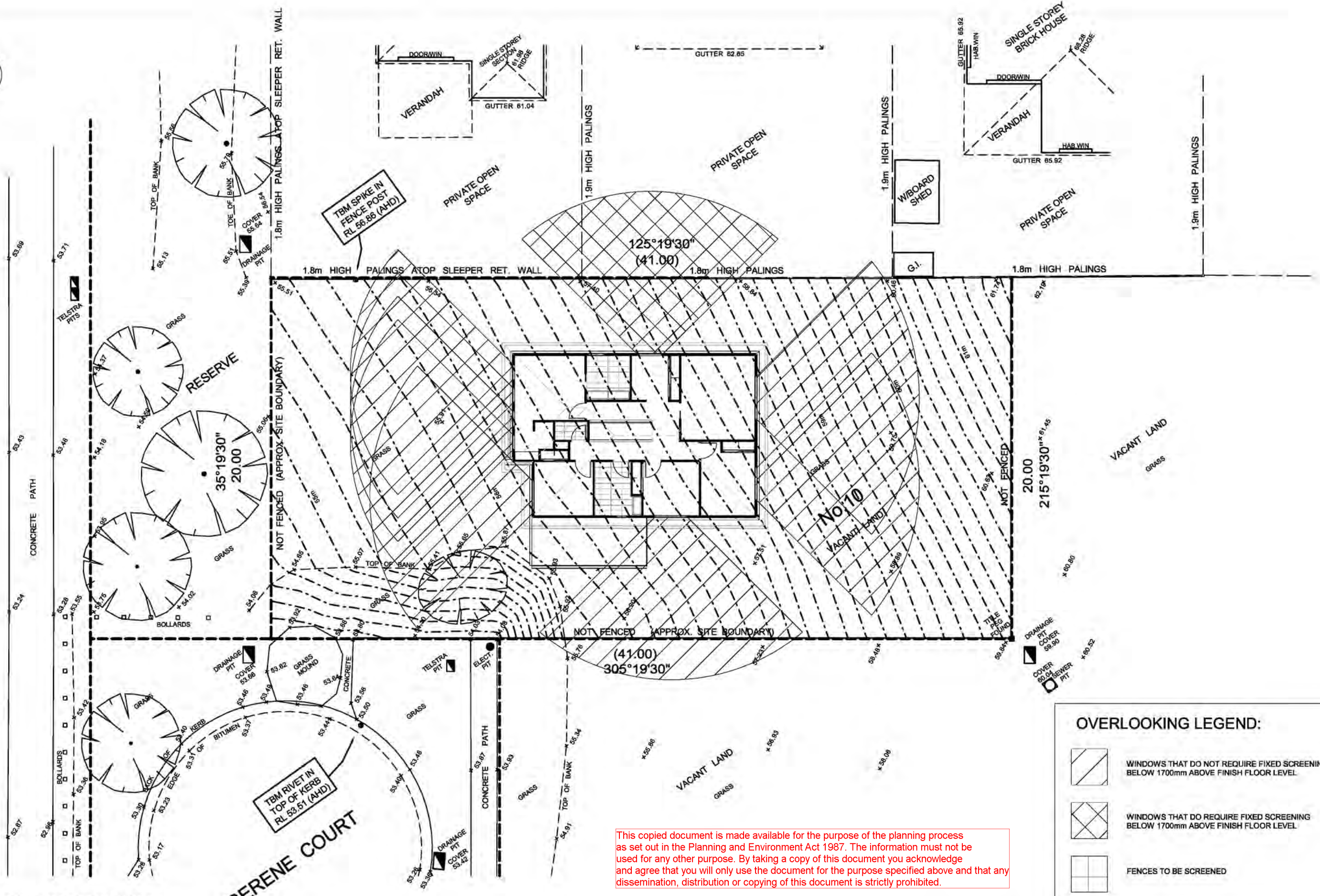


JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM		OWNER: [REDACTED]
DRAWN BY: NARKIAN	DESIGN NAME: ACACIA 261	
18/02/2025 4:03:47 PM	SHEET: 01A	PROJECT No: 148-SERC
SCALE: 1 : 200	REV: -	

01A

BUILDER:
Checker
Designer

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DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.
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OVERLOOKING LEGEND:

	WINDOWS THAT DO NOT REQUIRE FIXED SCREENING BELOW 1700mm ABOVE FINISH FLOOR LEVEL
	WINDOWS THAT DO REQUIRE FIXED SCREENING BELOW 1700mm ABOVE FINISH FLOOR LEVEL
	FENCES TO BE SCREENED

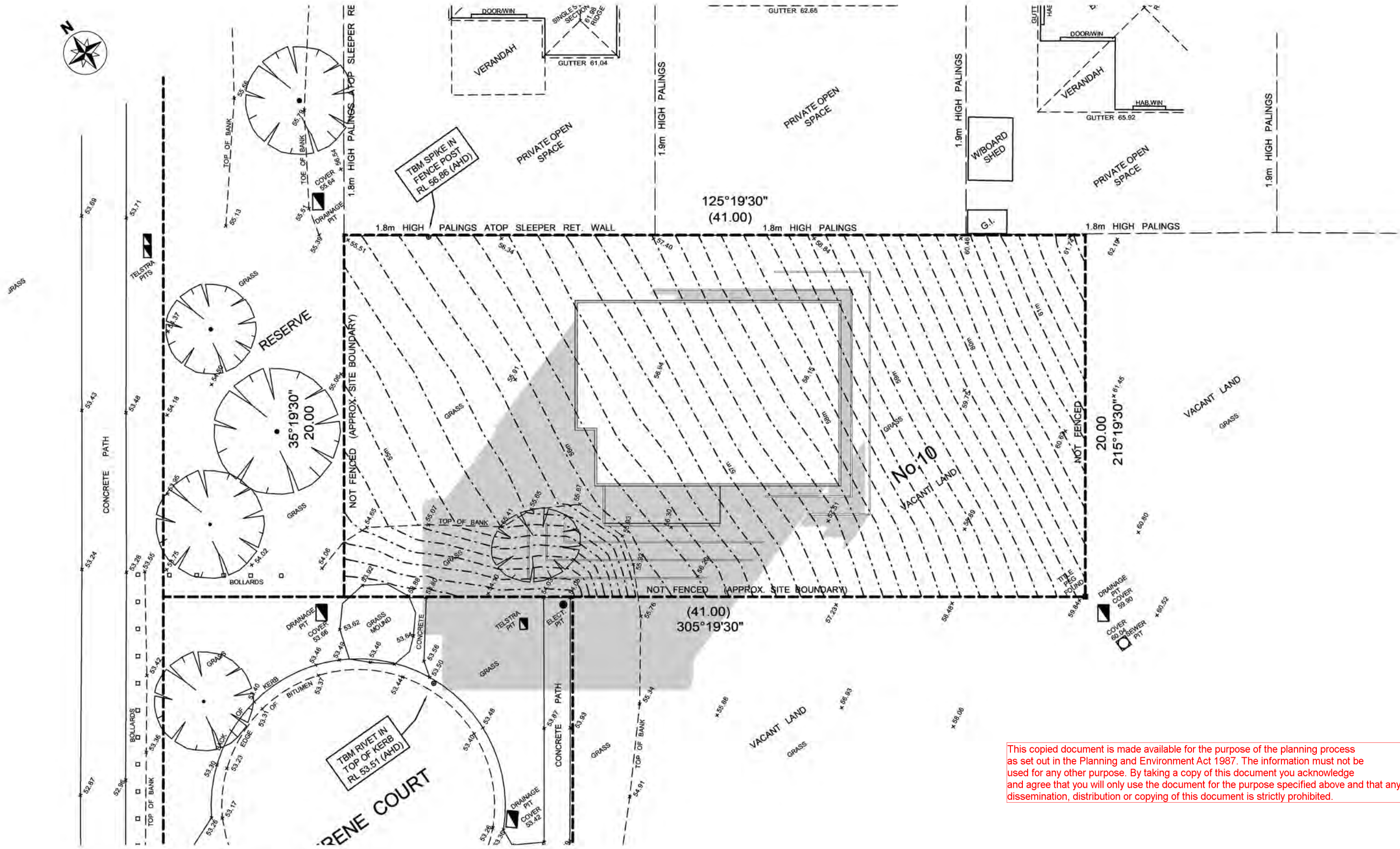
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OVERLOOKING PLAN
ORANA FACADE

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JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM		OWNER:
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SCALE: 1 : 200	REV: -	



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OVERSHADOWING 9AM PLAN

ORANA FACADE

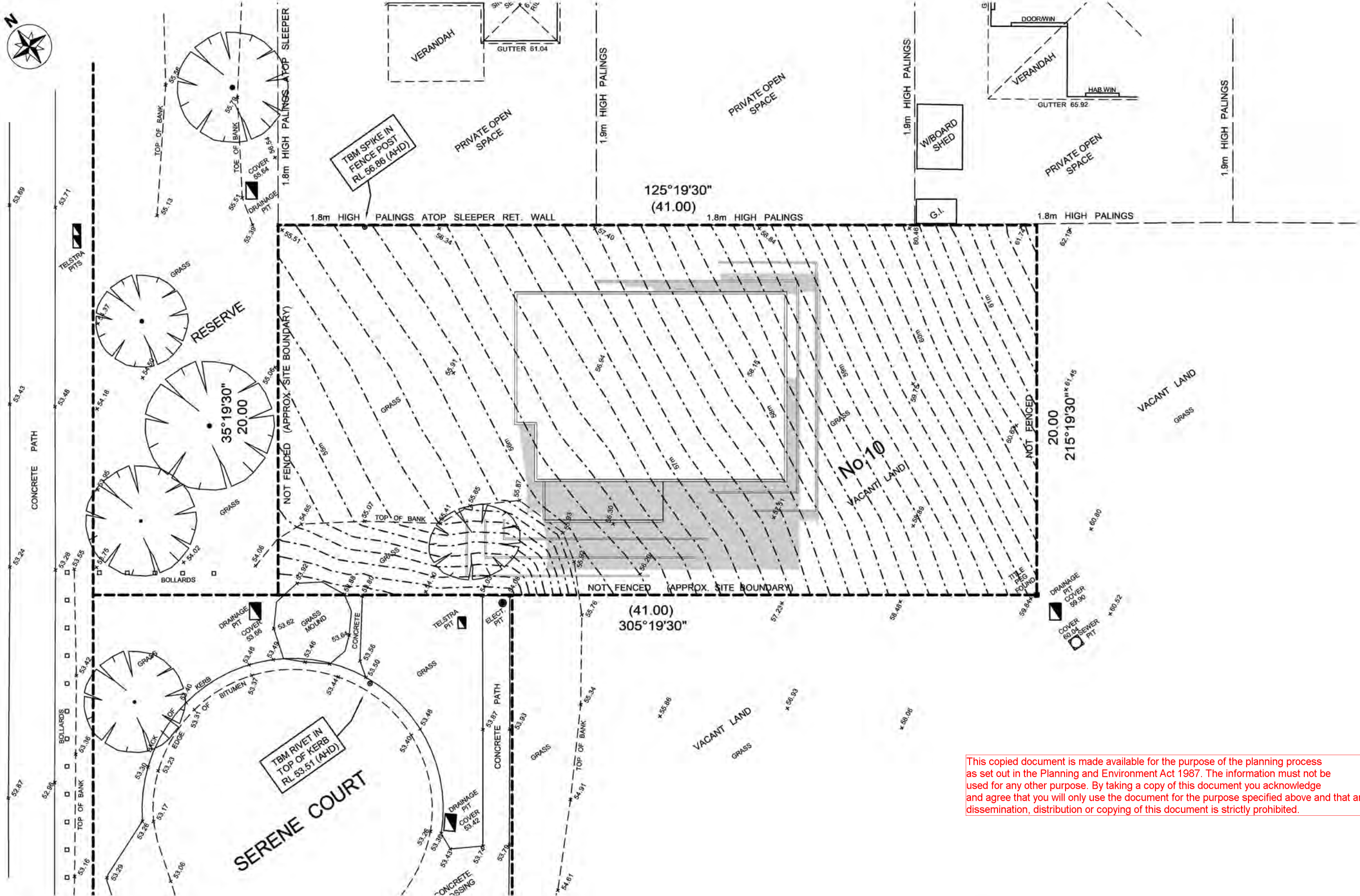
01C

BUILDER:
Checker
Designer

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	JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM	OWNER:
	DRAWN BY: NARKIAN	DESIGN NAME: ACACIA 261
	18/02/2025 4:03:51 PM	SHEET: 01C
	SCALE: 1 : 200	REV: -
PROJECT No: 148-SERC		

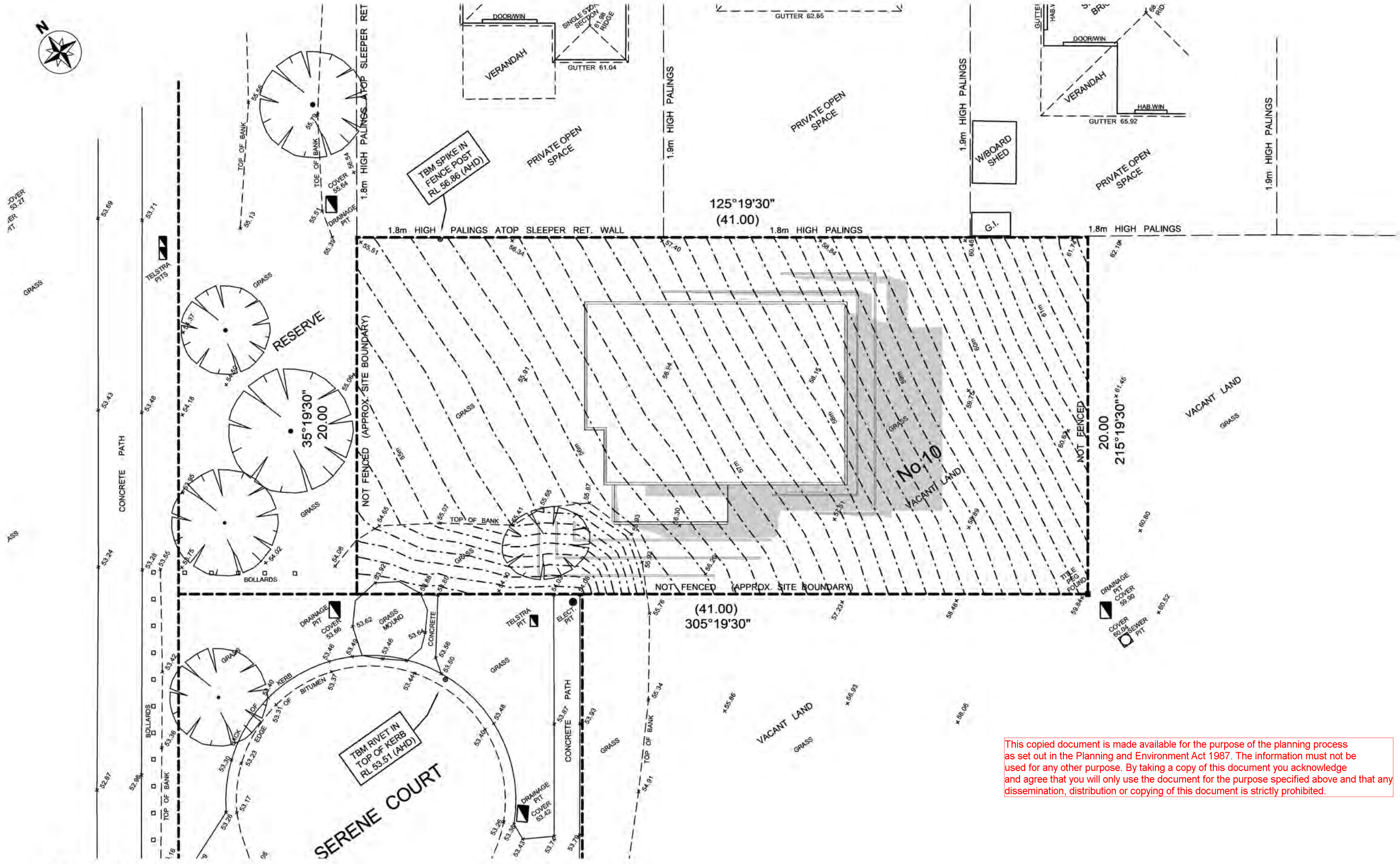


OVERSHADOWING 12PM PLAN
ORANA FACADE

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01D	BUILDER:	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS. ALL WRITTEN DIMENSIONS IN THIS DRAWING ARE NOMINAL ONLY.	REV:	DESCRIPTION:	INITIAL:	DATE:
	Checker		A	PRELIMINARY DRAWINGS	VT	16/04/2024
	Designer		B	PRELIMINARY DRAWINGS	LD	22/04/2024
			C	WORKING DRAWINGS	VT	18/02/2025

JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM		OWNER: [REDACTED]
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SCALE: 1 : 200	REV: -	



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OVERSHADOWING 3PM PLAN

ORANA FACADE

01E

BUILDER:
Checker
Designer

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C	WORKING DRAWINGS	VT	18/02/2025



JOB ADDRESS:
LOT 148 (NO. 10) SERENE COURT
PAKENHAM

DRAWN BY: NARKIAN

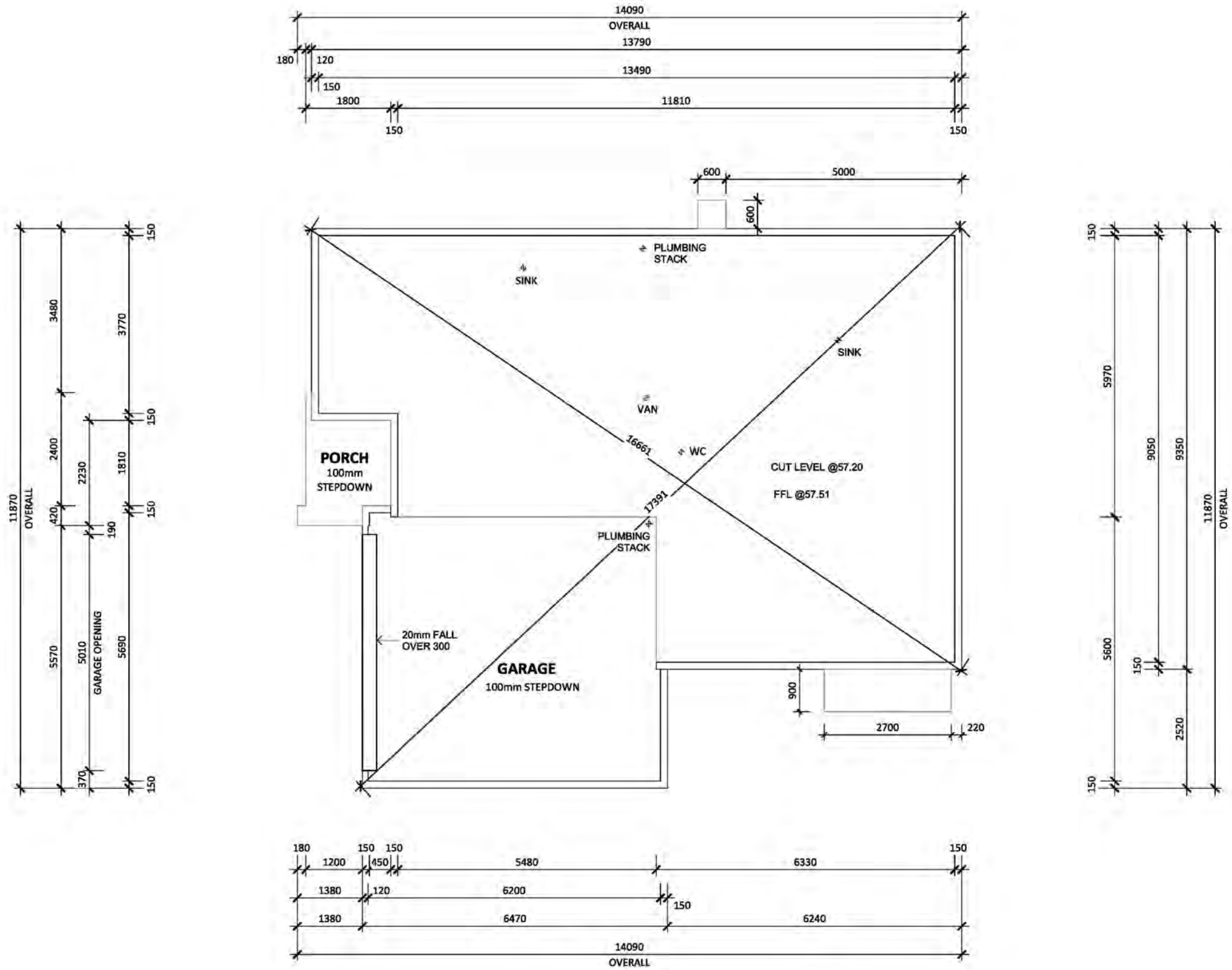
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SCALE: 1 : 200

OWNER: [REDACTED]

DESIGN NAME: ACACIA 261

PROJECT No: 148-SERC



SLAB PLAN
ORANA FACADE

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01F

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Checker
Designer

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JOB ADDRESS:
LOT 148 (NO. 10) SERENE COURT
PAKENHAM

DRAWN BY: NARKIAN

18/02/2025 4:03:59 PM

SCALE: 1 : 100

OWNER: [REDACTED]

DESIGN NAME: ACACIA 261

PROJECT No: 148-SERC

SHEET: 01F

REV: -



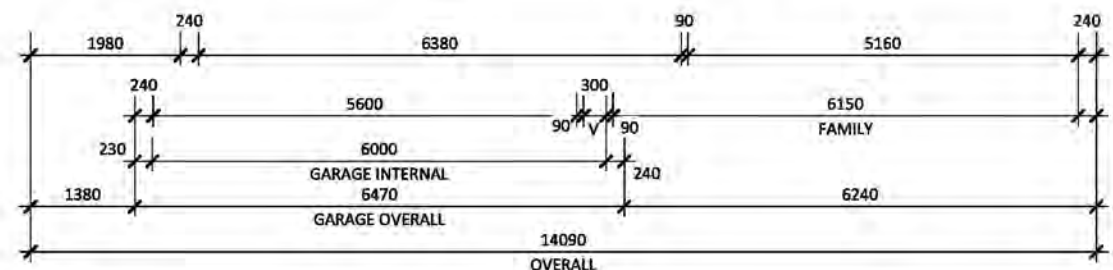
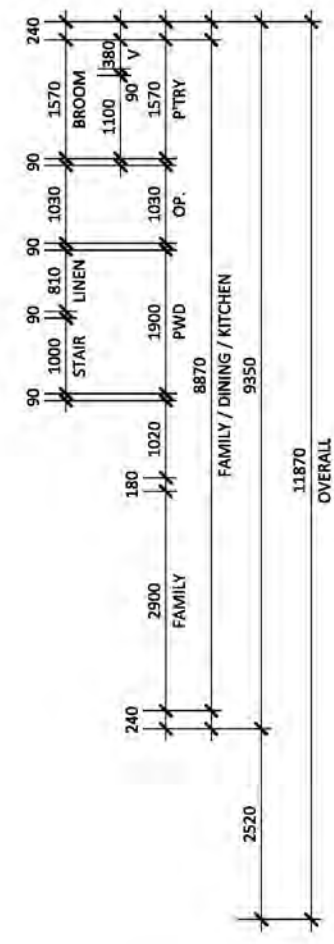
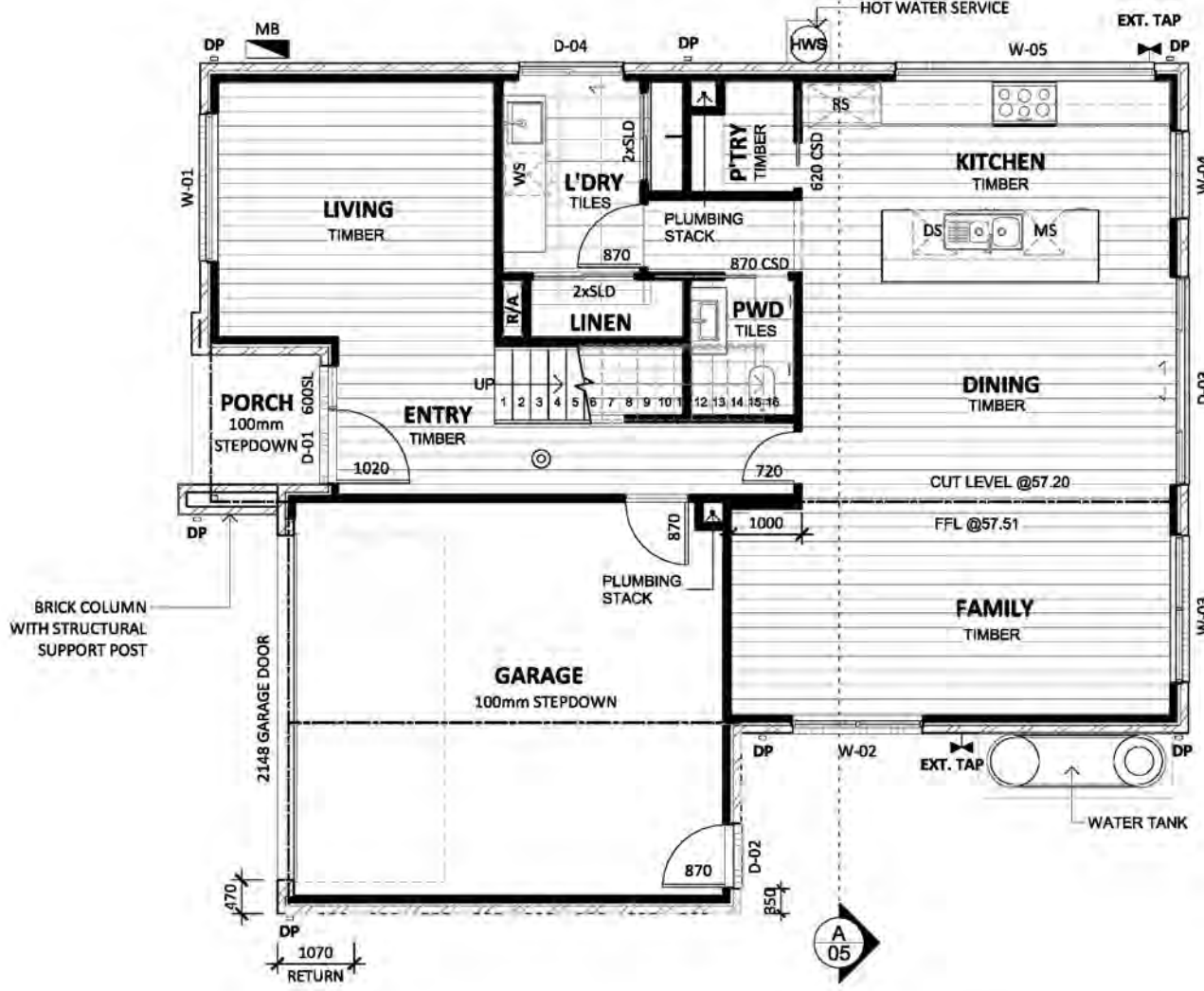
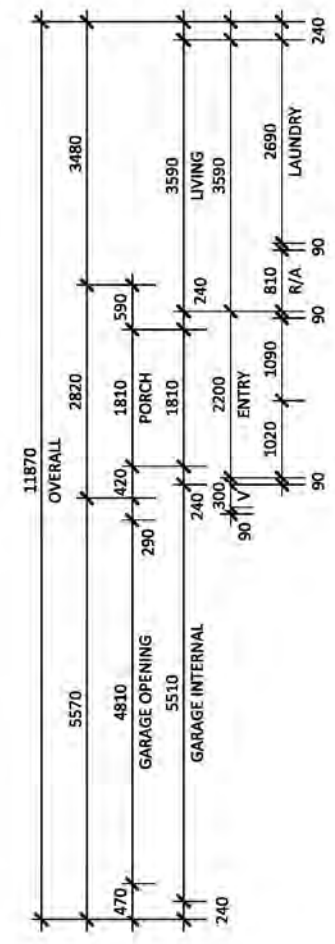
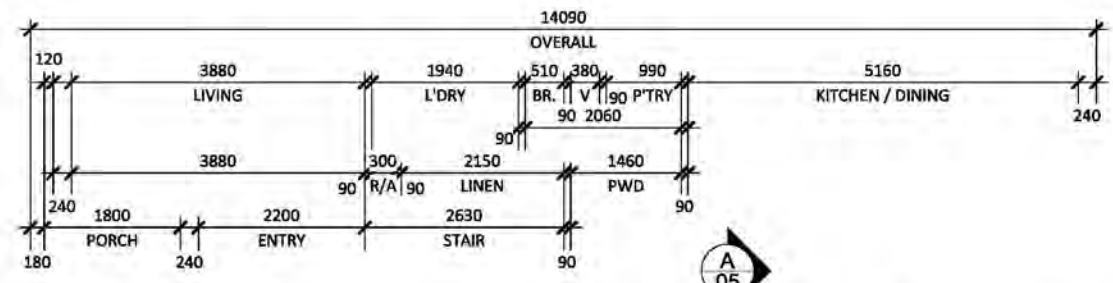
ELEVATION

ALL EXTERNAL WINDOWS & DOORS TO HAVE A NOMINAL HEAD HEIGHT OF 2100mm FROM FINISHED FLOOR LEVEL UNLESS NOTED OTHERWISE

ALL FIXTURES AND FITTINGS USED THROUGHOUT THIS SET OF DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO RELEVANT CURRENT SPECIFICATION DOCUMENT FOR ALL STANDARD INCLUSIONS

PROVIDE R2.5 WALL INSULATION TO WHOLE HOUSE

PROVIDE DOUBLE GLAZED TO ALL WINDOWS



- MS MICROWAVE SPACE
- DS DISHWASHER SPACE
- RS REFRIGERATOR SPACE
- WS WASHING MACHINE SPACE
- OSG OBSCURE SAFETY GLASS
- 230mm BULKHEAD
- CUPBOARD OVERHEAD
- CUPBOARD UNDERNEATH
- ROOF LINE ABOVE
- STRUCTURAL BEAM

ORANA AREAS (m ²)	
GROUND FLOOR	101.88
FIRST FLOOR	118.76
GARAGE	36.57
PORCH	3.91
TOTAL	261.12

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GROUND FLOOR PLAN
ORANA FACADE

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	Designer		A	PRELIMINARY DRAWINGS	VT	16/04/2024		DRAWN BY: NARKIAN		DESIGN NAME: ACACIA 261
			B	PRELIMINARY DRAWINGS	LD	22/04/2024		18/02/2025 4:04:00 PM	SHEET: 02A	PROJECT No:
			C	WORKING DRAWINGS	VT	18/02/2025		SCALE: 1 : 100	REV: -	148-SERC

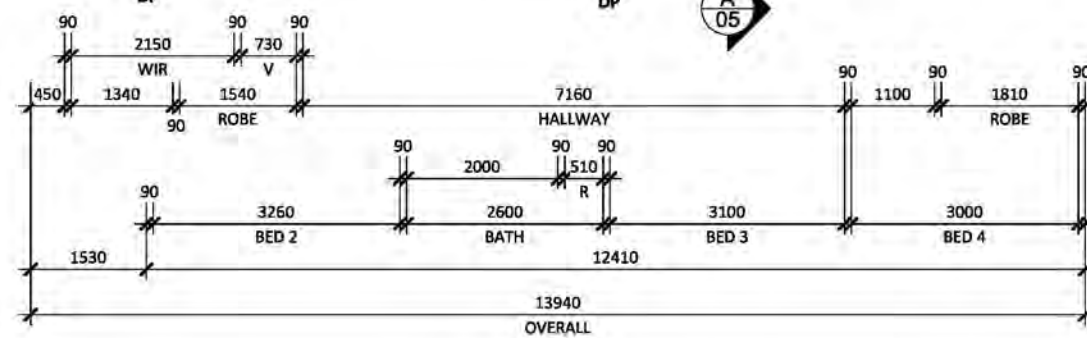
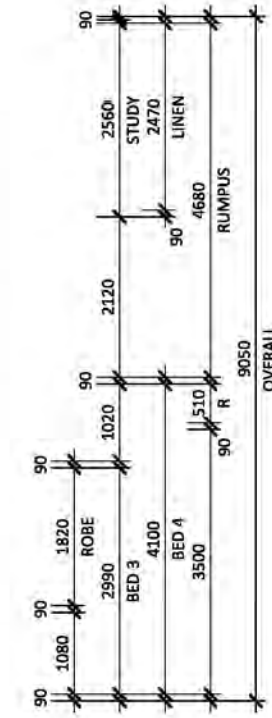
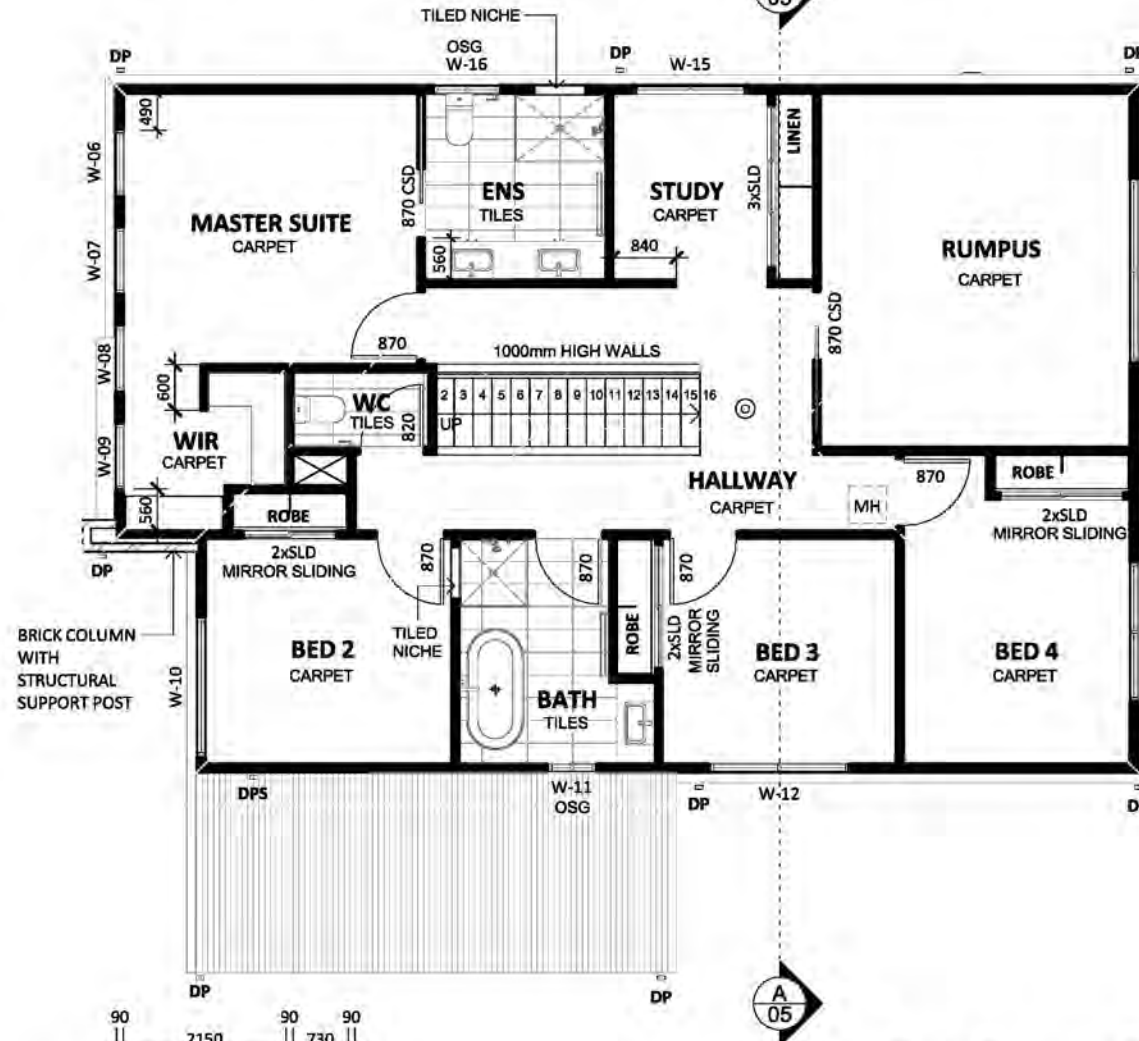
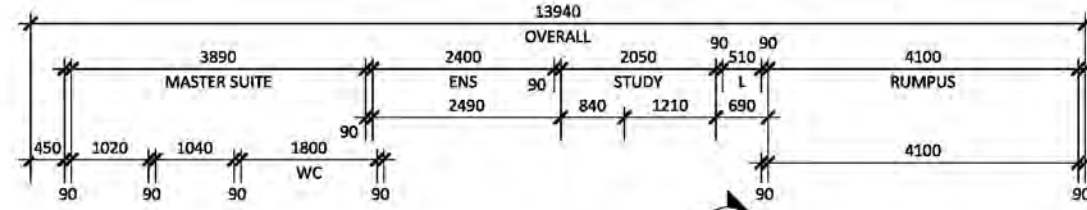
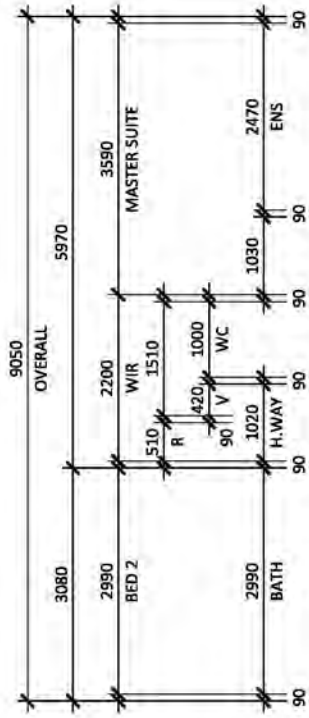
ALL EXTERNAL WINDOWS & DOORS TO HAVE A NOMINAL HEAD HEIGHT OF 2100mm FROM FINISHED FLOOR LEVEL UNLESS NOTED OTHERWISE

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PROVIDE R2.5 WALL INSULATION TO WHOLE HOUSE

PROVIDE DOUBLE GLAZED TO ALL WINDOWS

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- MS MICROWAVE SPACE
- DS DISHWASHER SPACE
- RS REFRIGERATOR SPACE
- WS WASHING MACHINE SPACE
- OSG OBSCURE SAFETY GLASS
- 230mm BULKHEAD
- - - - - CUPBOARD OVERHEAD
- CUPBOARD UNDERNEATH
- ROOF LINE ABOVE
- STRUCTURAL BEAM

FIRST FLOOR PLAN
ORANA FACADE

ORANA AREAS (m ²)	
GROUND FLOOR	101.88
FIRST FLOOR	118.76
GARAGE	36.57
PORCH	3.91
TOTAL	261.12

02B

BUILDER:
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Designer

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JOB ADDRESS:
LOT 148 (NO. 10) SERENE COURT
PAKENHAM

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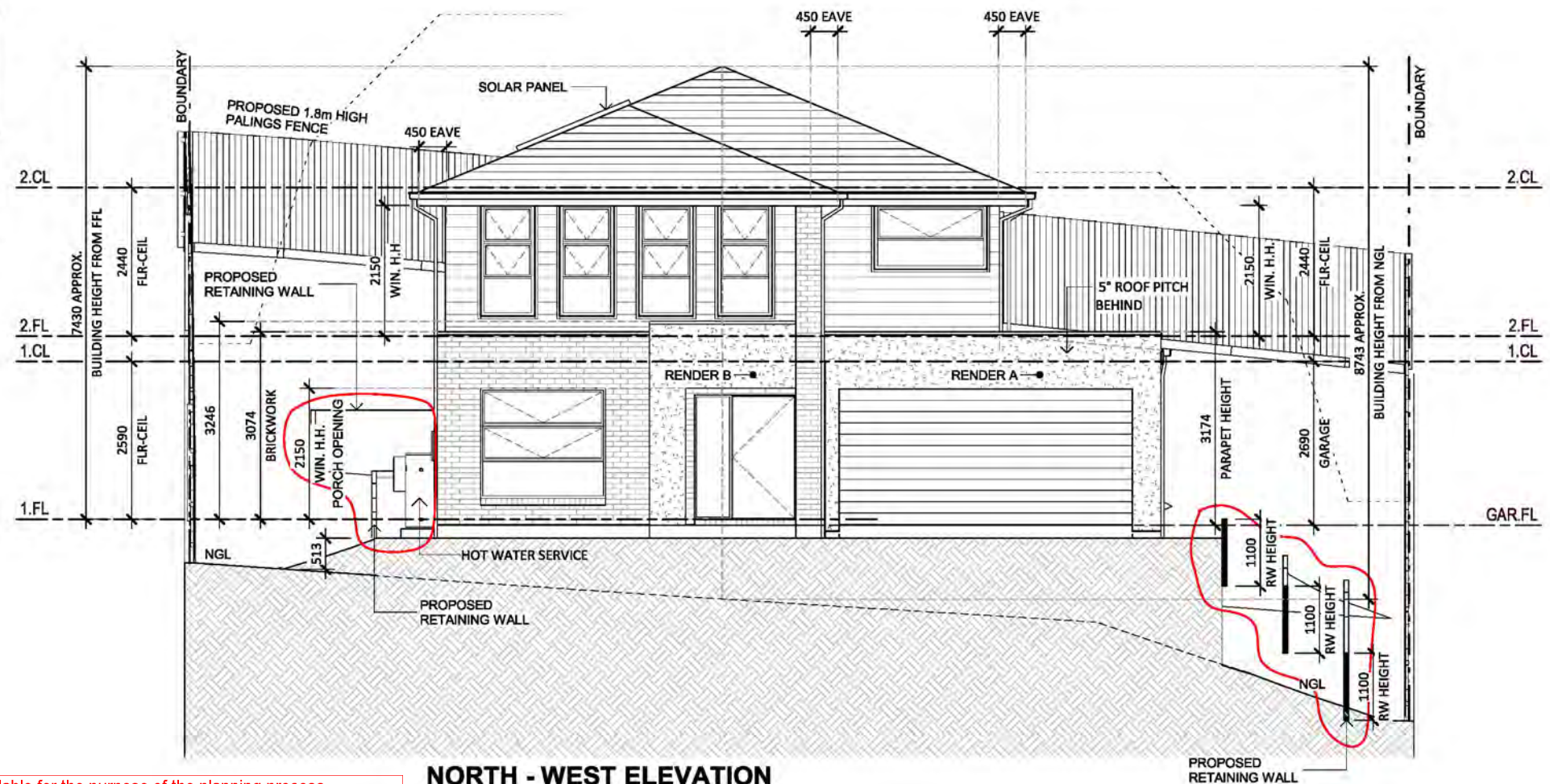
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DESIGN NAME: ACACIA 261

PROJECT No: **148-SERC**

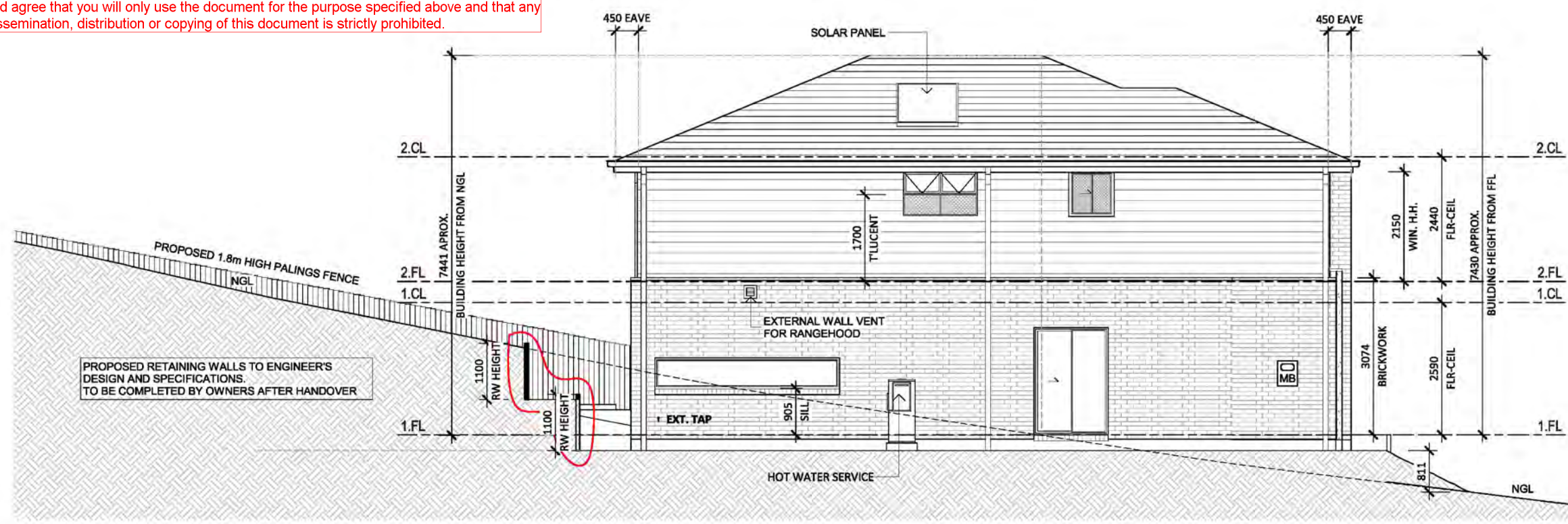
ALL GROUND FLOOR EXTERNAL WINDOWS & DOORS TO HAVE A NOMINAL HEAD HEIGHT OF 2100mm FROM FINISHED FLOOR LEVEL UNLESS NOTED OTHERWISE

450mm EAVE OVERHANG FROM OUTSIDE OF STRUCTURAL FRAME TO FIRST FLOOR ONLY



NORTH - WEST ELEVATION
ORANA FACADE

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NORTH - EAST ELEVATION
ORANA FACADE

FINISHES SCHEDULE

-  EXTERNAL BRICKWORK
 -  RENDER A - GARAGE SURROUND - MINIMALIST 3 (06Y00-33)
 -  RENDER B - FRONT FEATURE PROJECTION L SHAPE BROWN BEAN (11YR07-83)
 -  GUTTER / FASCIA / DOWNPIPES / FLASHING / WINDOWS / METER BOX/FLYSCREENS COLOURBOND: MONUMENT
 -  FRONT DOOR (1020MM WIDE) AW052G AMERICAN WHITE OAK, PAINTED TO MATCH SOUTHERN CEDAR GARAGE DOOR.
 -  GARAGE DOOR SLIMLINE- SOUTHERN CEDAR KNOTWOOD
 -  FIRST FLOOR CLADDING JAMES HARDIE (LINEA) PAINTED MINIMALIST 3
 -  ROOF TILES 22.5° PITCH: SLIMLINE - TWILIGHT
 -  DRIVEWAY: EXPOSED AGGREGATE - SANTA CRUZ
 -  OBSCURE GLAZING
-  FRONT ENTRY DOOR TO FACADE SPECIFICATION
 -  BRICKWORK ABOVE FRONT ENTRY DOOR & WINDOWS UNLESS NOTED OTHERWISE
 -  GARAGE DOOR TO FACADE SPECIFICATION
 -  IN FILL ABOVE GARAGE DOOR TO FACADE SPECIFICATION
 -  SELECTED ALUMINIUM WINDOWS TO FACADE SPECIFICATION
 -  SELECTED METAL PARAPET CAPPING WHERE REQUIRED
 -  COLORBOND FASCIA & GUTTER

03A

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Designer

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LOT 148 (NO. 10) SERENE COURT
PAKENHAM

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18/02/2025 4:04:02 PM

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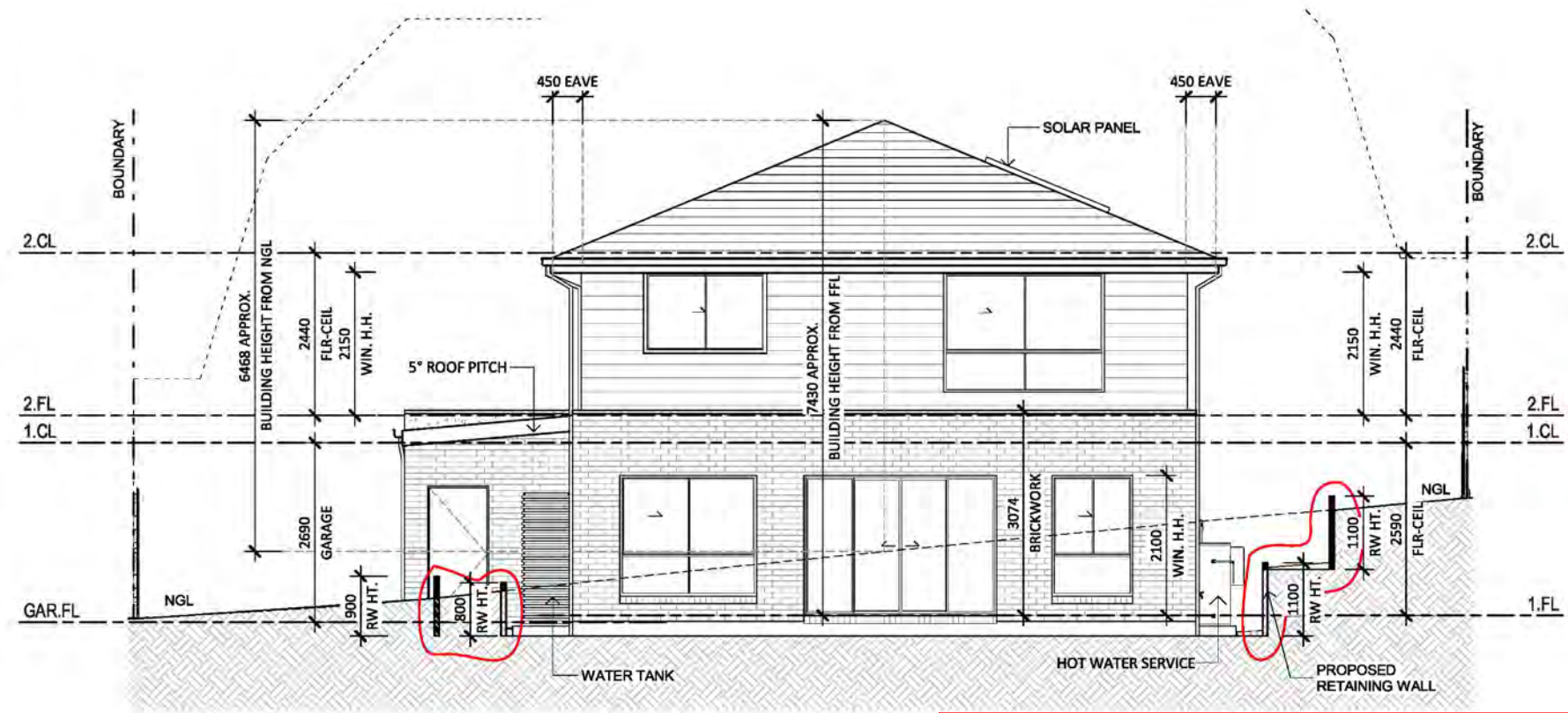
OWNER: [REDACTED]

DESIGN NAME: ACACIA 261

PROJECT No: 148-SERC

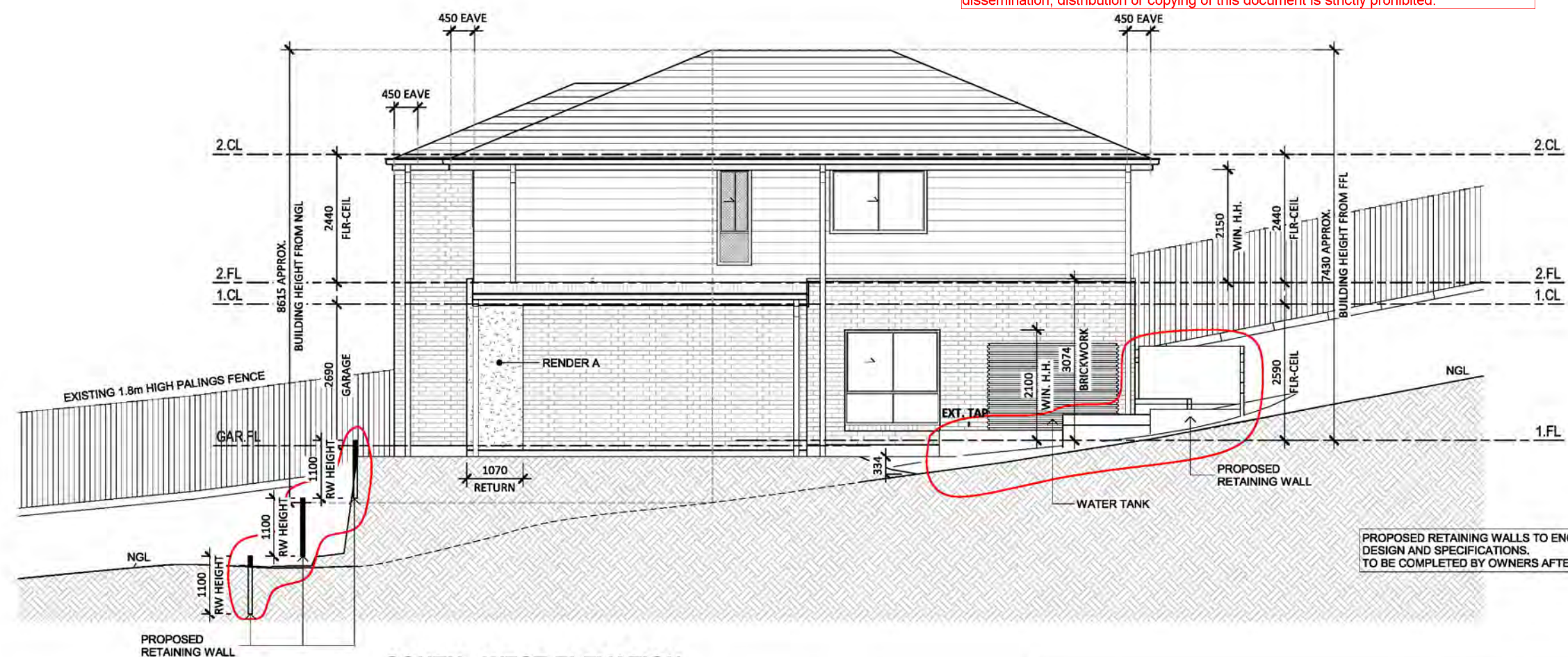
ALL GROUND FLOOR EXTERNAL WINDOWS & DOORS TO HAVE A NOMINAL HEAD HEIGHT OF 2100mm FROM FINISHED FLOOR LEVEL UNLESS NOTED OTHERWISE

450mm EAVE OVERHANG FROM OUTSIDE OF STRUCTURAL FRAME TO FIRST FLOOR ONLY



SOUTH - EAST ELEVATION
ORANA FACADE

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SOUTH - WEST ELEVATION
ORANA FACADE

PROPOSED RETAINING WALLS TO ENGINEER'S DESIGN AND SPECIFICATIONS. TO BE COMPLETED BY OWNERS AFTER HANDOVER

FINISHES SCHEDULE

-  EXTERNAL BRICKWORK
-  RENDER A - GARAGE SURROUND - MINIMALIST 3 (06YY00-33)
-  RENDER B - FRONT FEATURE PROJECTION L SHAPE BROWN BEAN (11YR07-83)
-  GUTTER / FASCIA / DOWNPIPES / FLASHING / WINDOWS / METER BOX/FLYSCREENS COLOURBOND: MONUMENT
-  FRONT DOOR (1020MM WIDE) AW052G AMERICAN WHITE OAK, PAINTED TO MATCH SOUTHERN CEDAR GARAGE DOOR.
-  GARAGE DOOR SLIMLINE- SOUTHERN CEDAR KNOTWOOD
-  FIRST FLOOR CLADDING JAMES HARDIE (LINEA) PAINTED MINIMALIST 3
-  ROOF TILES 22.5° PITCH: SLIMLINE - TWILIGHT
-  DRIVEWAY: EXPOSED AGGREGATE - SANTA CRUZ
-  OBSCURE GLAZING
-  FRONT ENTRY DOOR TO FACADE SPECIFICATION
-  BRICKWORK ABOVE FRONT ENTRY DOOR & WINDOWS UNLESS NOTED OTHERWISE
-  GARAGE DOOR TO FACADE SPECIFICATION
-  IN FILL ABOVE GARAGE DOOR TO FACADE SPECIFICATION
-  SELECTED ALUMINIUM WINDOWS TO FACADE SPECIFICATION
-  SELECTED METAL PARAPET CAPPING WHERE REQUIRED
-  COLORBOND FASCIA & GUTTER

03B

BUILDER:
Checker
Designer

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.
ALL WRITTEN DIMENSIONS IN THIS DRAWING ARE NOMINAL ONLY.

REV:	DESCRIPTION:	INITIAL:	DATE:
A	PRELIMINARY DRAWINGS	VT	16/04/2024
B	PRELIMINARY DRAWINGS	LD	22/04/2024
C	WORKING DRAWINGS	VT	18/02/2025



JOB ADDRESS:
LOT 148 (NO. 10) SERENE COURT
PAKENHAM

DRAWN BY: NARKIAN

18/02/2025 4:04:04 PM

SCALE: 1 : 100

OWNER: [REDACTED]

DESIGN NAME: ACACIA 261

PROJECT No: 148-SERC

WINDOWS & DOORS SCHEDULE - ORANA

ID	HEIGHT (mm)	WIDTH (mm)	DESCRIPTION	AREA (m ²)
W-01	1800	2050	AWNING WINDOW	3.69
W-02	1800	1810	SLIDING WINDOW	3.26
W-03	1800	2050	SLIDING WINDOW	3.69
W-04	1800	1210	SLIDING WINDOW	2.18
W-05	600	3610	FIXED WINDOW	2.17
W-06	1800	850	AWNING WINDOW	1.53
W-07	1800	850	AWNING WINDOW	1.53
W-08	1800	850	AWNING WINDOW	1.53
W-09	1800	850	AWNING WINDOW	1.53
W-10	1029	1810	AWNING WINDOW	1.86
W-11	1800	610	SLIDING WINDOW	1.10
W-12	1200	1810	SLIDING WINDOW	2.17
W-13	1200	1810	SLIDING WINDOW	2.17
W-14	1800	2410	SLIDING WINDOW	4.34
W-15	857	1450	SLIDING WINDOW	1.24
W-16	857	850	SLIDING WINDOW	0.73
D-01	2064	870	ENTRY DOOR	1.80
D-02	2064	870	GAR. REAR DOOR	1.80
D-03	2140	2890	EXT. ENT. SLIDING DOOR	6.18
D-04	2064	1450	EXT. SLIDING DOOR	2.99

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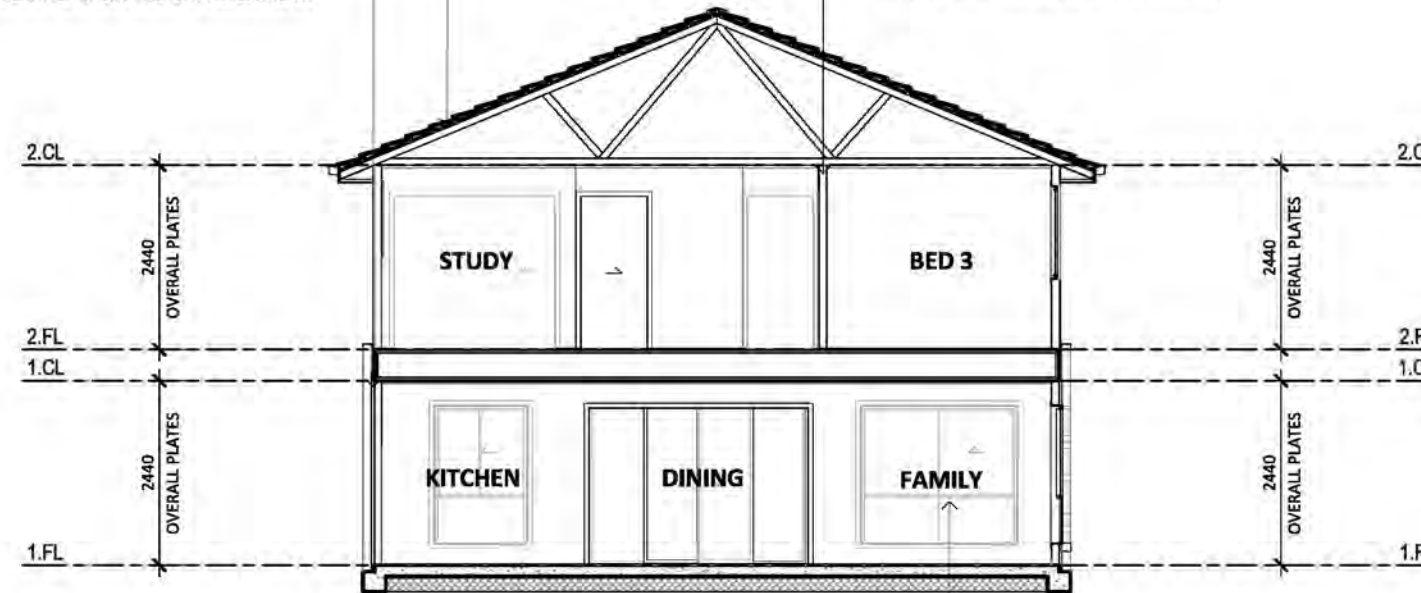
LEGEND

REFER TO APPROVED BUILDING PERMIT DRAWINGS FOR ALL FINAL SPECIFICATIONS

- ROOF TRUSSES AT 22.5° TO MANUFACTURERS SPECIFICATION
- SELECTED TILE ROOF ON BATTENS
- SELECTED COLORBOND FASCIA & GUTTER
- NO EAVE OVERHANG UNLESS NOTED OTHERWISE
- CONCRETE SLAB TO ENGINEERS SPECIFICATION
- PLASTERBOARD LINING TO ALL CEILINGS AND WALLS
- UPPER STOREY FLOOR JOISTS (WHERE APPLICABLE) TO MANUFACTURERS SPECIFICATION

ALL ROOF AND EXTERIOR WALL INSULATION AS PER NCC-22 7*ENERGY RATING WHERE APPLICABLE AND/OR BY CERTIFIED ENERGY REPORT ASSESSMENT.

PROPOSED INTERNAL LOAD BEARING WALLS AS PER ENGINEER SPECIFICATIONS COMPS.



ALL GLAZED DOORS AND WINDOWS TO BE DOUBLE GLAZED AS PER NCC-22 7*ENERGY RATING WHERE APPLICABLE AND/OR CERTIFIED ENERGY REPORT ASSESSMENT.

SECTION A ORANA FACADE

04

BUILDER:
Checker
Designer

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REV:	DESCRIPTION:	INITIAL:	DATE:
A	PRELIMINARY DRAWINGS	VT	16/04/2024
B	PRELIMINARY DRAWINGS	LD	22/04/2024



JOB ADDRESS:
LOT 148 (NO. 10) SERENE COURT
PAKENHAM

DRAWN BY: NARKIAN

28/11/2024 10:14:32

SCALE: 1 : 100

OWNER:

DESIGN NAME: ACACIA 261

PROJECT No:

148-SERC

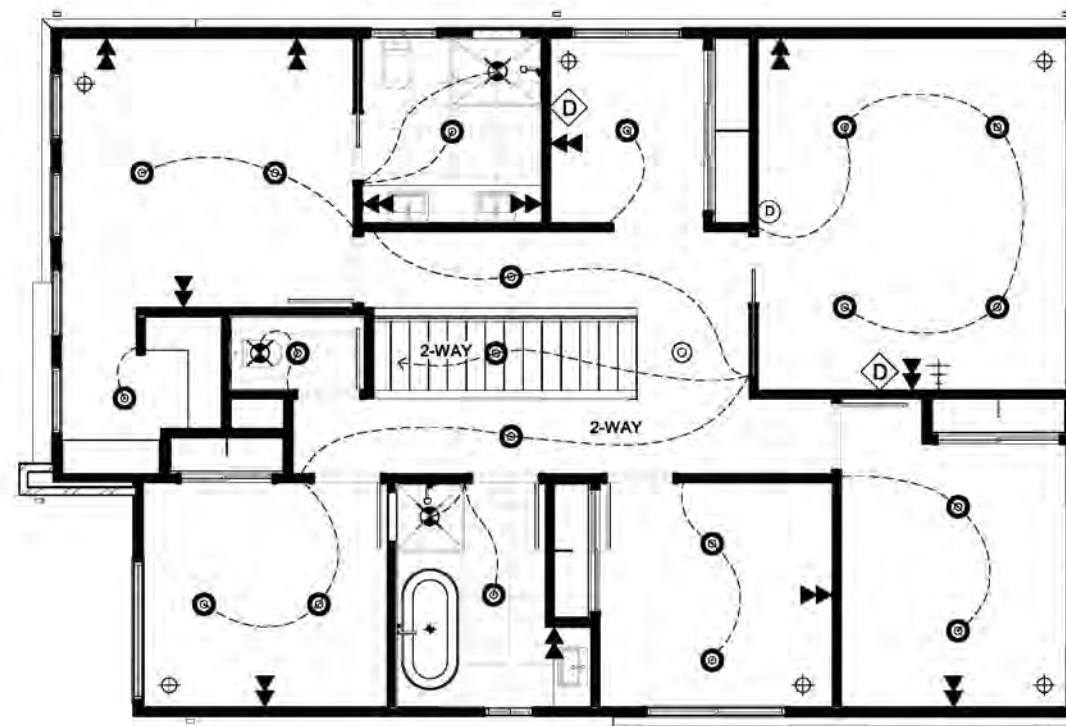
SHEET: 04

REV: -

LEGEND

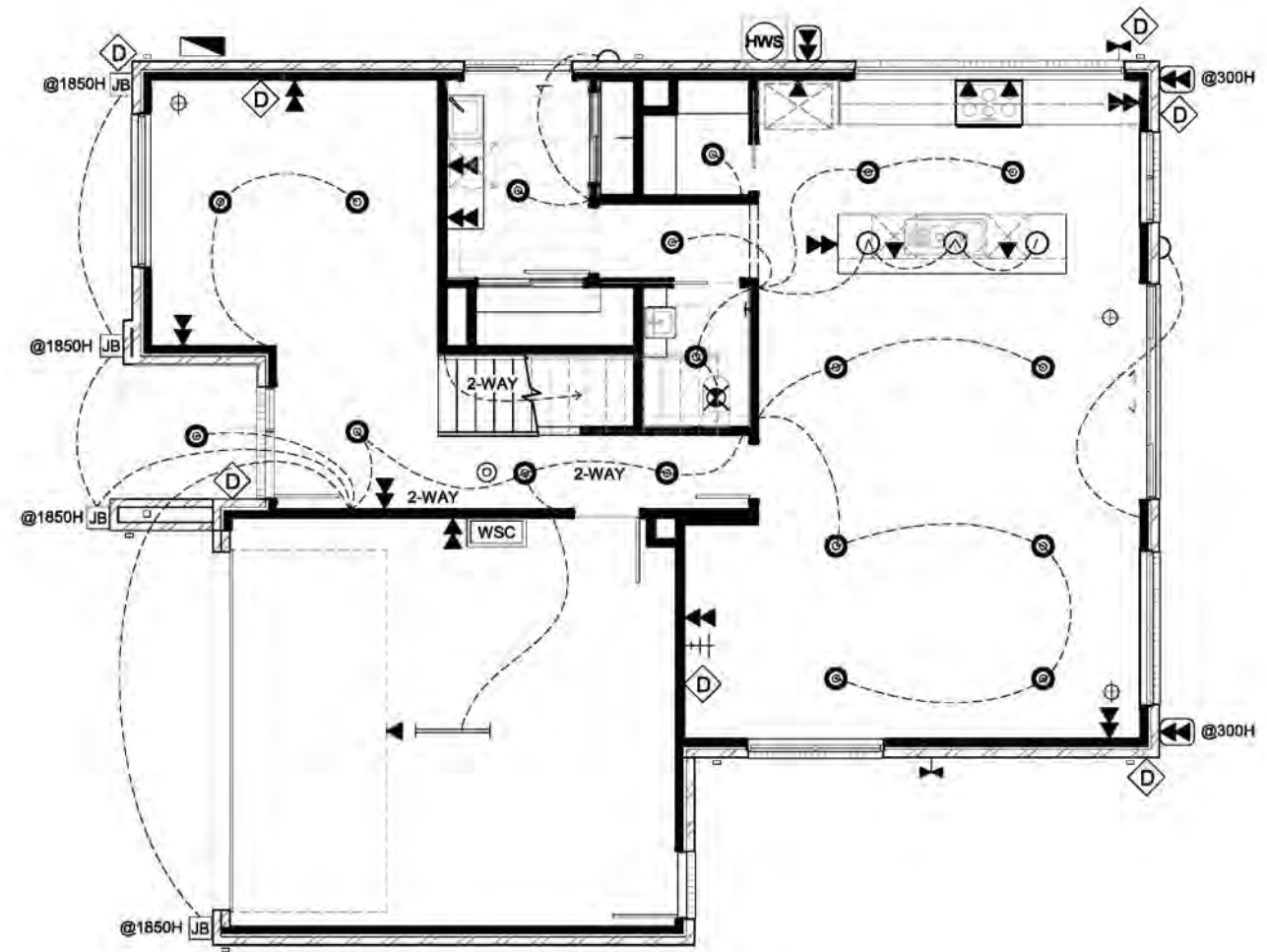
REFER TO DETAILED SPECIFICATION DOCUMENT FOR FULL ELECTRICAL INCLUSIONS AND PROVISIONS

-  CEILING FAN WITH LIGHT
 -  WSC NBN WIRED SERVICES CABINET
 -  HDMI HDMI POINT
 -  DATA POINT
 -  DIMMER SWITCH
 -  SPEAKER PRE WIRE
 -  JUNCTION BOX
 -  STRIP LIGHTING
 -  DOUBLE FLOOD LIGHT WITH SENSOR
 -  DOUBLE FLOOD LIGHT
 -  SINGLE FLOOD LIGHT WITH SENSOR
 -  SINGLE FLOOD LIGHT
 -  INTERNAL WALL LIGHT
 -  EXTERNAL WALL LIGHT
 -  PENDANT LIGHT
 -  HEATING/COOLING OUTLET
 -  LED DOWN LIGHT
 -  ILLUME SOLAR LIGHT
 -  BATTERN LIGHT
 -  WALL MOUNTED LIGHT POINT
 -  FLUORESCENT LIGHT POINT
 -  SINGLE GENERAL POWER OUTLET
 -  DOUBLE GENERAL POWER OUTLET
 -  EXTERNAL WEATHERPROOF DOUBLE GENERAL POWER OUTLET
 -  EXHAUST FAN
 -  EXHAUST FAN & LIGHT
 -  SMOKE DETECTOR
 -  TELEVISION POINT
 -  TELECOMMUNICATIONS POINT
 -  2 LAMP HEAT, LIGHT & FAN
 -  4 LAMP HEAT, LIGHT & FAN
- PROVIDE SINGLE GPO AND COLD WATER POINT TO DISHWASHER SPACE
 - PROVIDE SINGLE GPO TO MICROWAVE SPACE
 - PROVIDE SINGLE GPO FOR RANGEHOOD
 - PROVIDE SINGLE GPO WITH ISOLATION SWITCH FOR OVEN
 - PROVIDE DOUBLE GPO TO CEILING SPACE FOR HEATING UNIT
 - PROVIDE 1x LIGHT POINT TO ROOF SPACE
 - PROVIDE 1x SINGLE GPO TO GARAGE CEILING FOR GARAGE DOOR





FIRST FLOOR ELECTRICAL PLAN
ORANA FACADE

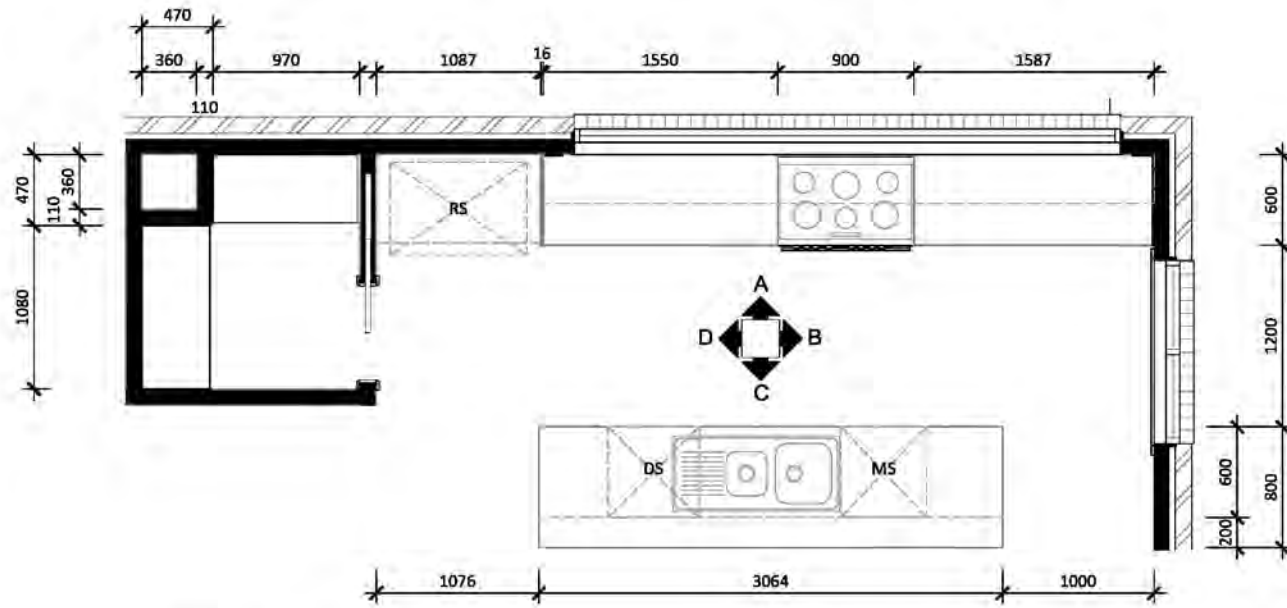
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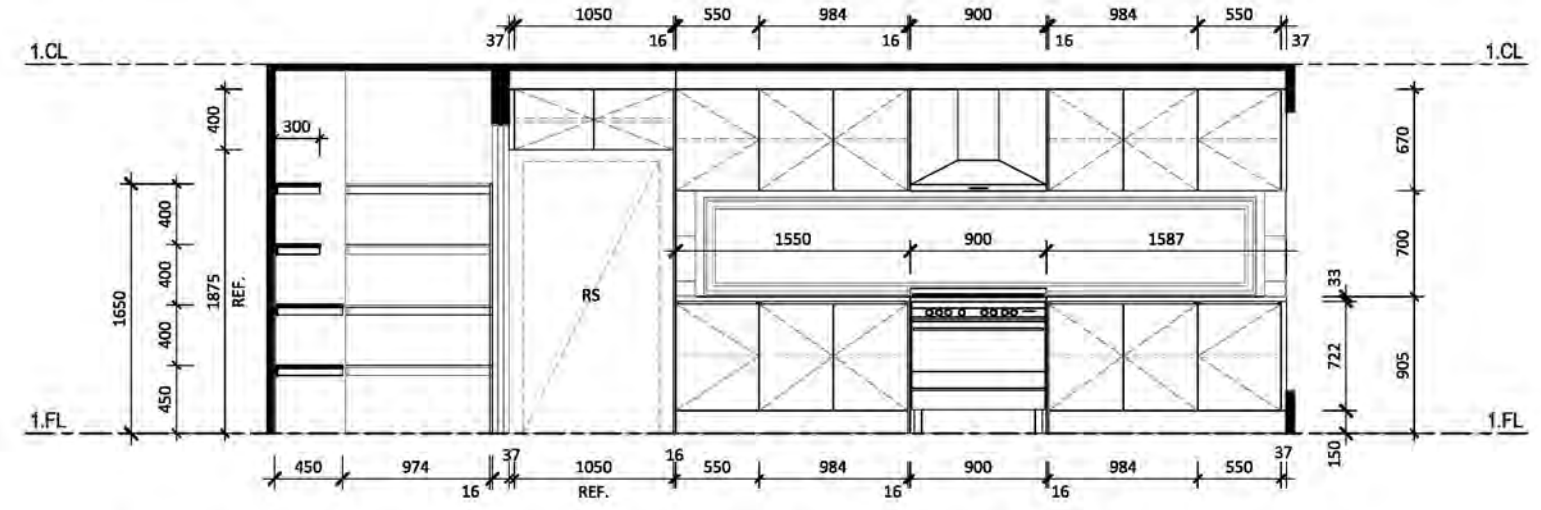
GROUND FLOOR ELECTRICAL PLAN
ORANA FACADE

05	BUILDER: Checker	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS. ALL WRITTEN DIMENSIONS IN THIS DRAWING ARE NOMINAL ONLY.	REV:	DESCRIPTION:	INITIAL:	DATE:
	Designer		A	PRELIMINARY DRAWINGS	VT	16/04/2024
			B	PRELIMINARY DRAWINGS	LD	22/04/2024

 	JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM		[REDACTED]
	DRAWN BY: NARKIAN		DESIGN NAME: ACACIA 261
	28/11/2024 10:14:33	SHEET: 05	PROJECT No: 148-SERC
SCALE: 1 : 100	REV: -		

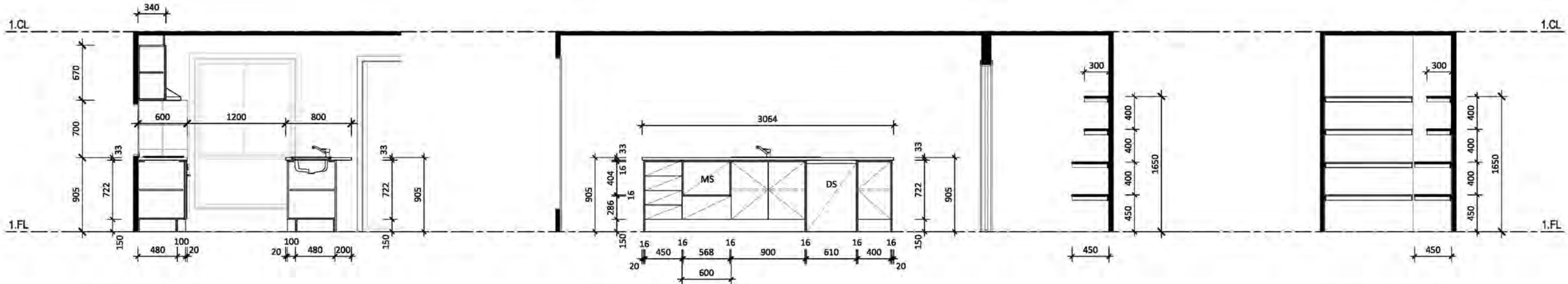


KITCHEN / PANTRY
SCALE - 1 : 50



ELEVATION A
KITCHEN / PANTRY

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ELEVATION B
KITCHEN / PANTRY

ELEVATION C
KITCHEN / PANTRY

ELEVATION D
KITCHEN / PANTRY

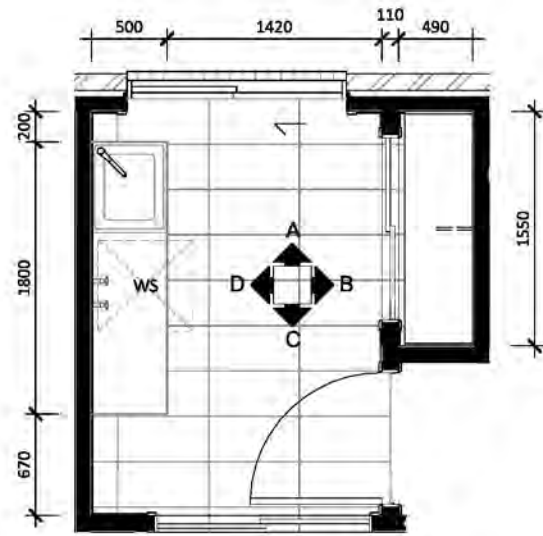
MS - MICROWAVE SPACE
DS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE
WS - WASHING MACHINE SPACE

ALL BULKHEADS ABOVE CABINERY BY CABINET MANUFACTURER UNLESS NOTED OTHERWISE

ALL MEASUREMENTS ON INTERNAL SHEETS ARE DIMENSIONED FROM PLASTER

REFER TO RELEVANT SPECIFIC STATE / REGION STANDARD INCLUSIONS DOCUMENT FOR ALL STANDARD INCLUSIONS

06	BUILDER: Checker	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS. ALL WRITTEN DIMENSIONS IN THIS DRAWING ARE NOMINAL ONLY.	REV:	DESCRIPTION:	INITIAL:	DATE:		JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM	OWNER: [REDACTED]	
	Designer		A	PRELIMINARY DRAWINGS	VT	16/04/2024		DRAWN BY: NARKIAN	DESIGN NAME: ACACIA 261	
			B	PRELIMINARY DRAWINGS	LD	22/04/2024		28/11/2024 10:14:35	SHEET: 06	PROJECT No: 148-SERC
								SCALE: 1 : 50	REV: -	



LAUNDRY / BROOM

SCALE - 1 : 50

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ELEVATION A

LAUNDRY / BROOM

ELEVATION B

LAUNDRY / BROOM

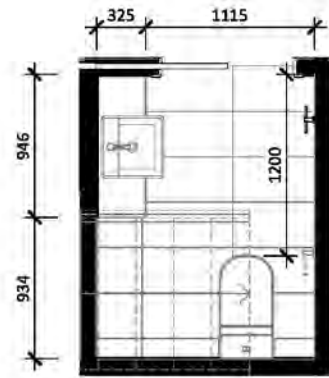


ELEVATION C

LAUNDRY / BROOM

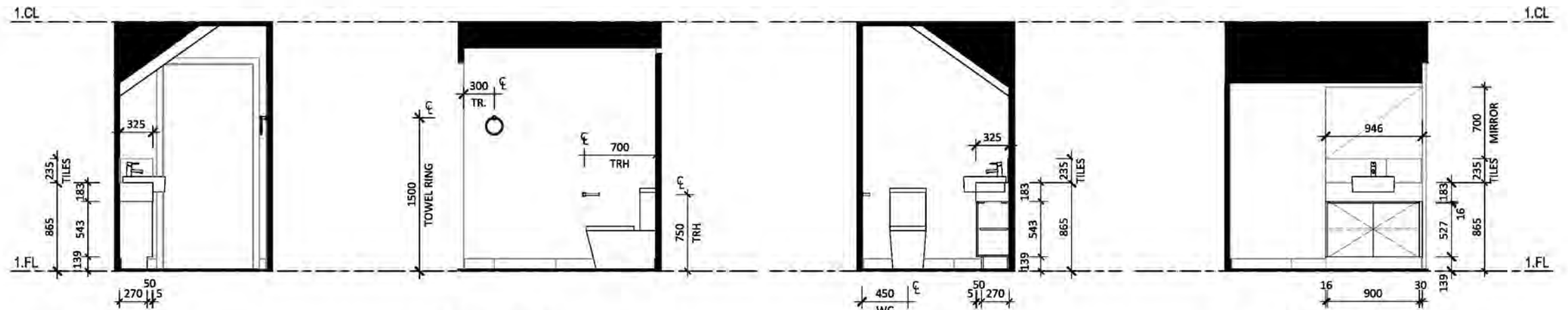
ELEVATION D

LAUNDRY / BROOM



POWDER

SCALE - 1 : 50



ELEVATION E

POWDER

ELEVATION F

POWDER

ELEVATION G

POWDER

ELEVATION H

POWDER

MS - MICROWAVE SPACE
DS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE
WS - WASHING MACHINE SPACE

ALL MEASUREMENTS ON INTERNAL SHEETS ARE DIMENSIONED FROM PLASTER

REFER TO RELEVANT SPECIFIC STATE / REGION STANDARD INCLUSIONS DOCUMENT FOR ALL STANDARD INCLUSIONS



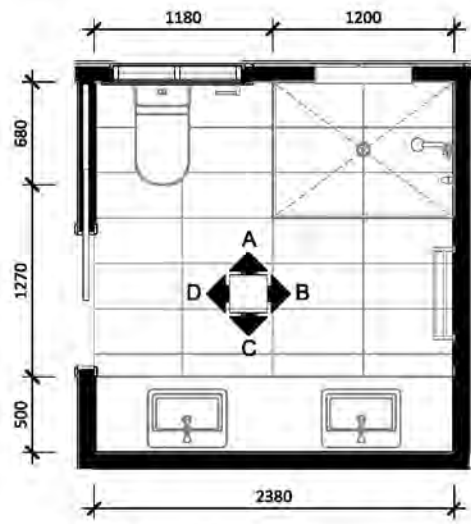
JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM		OWNER: [REDACTED]
DRAWN BY: NARKIAN		DESIGN NAME: ACACIA 261
28/11/2024 10:14:36	SHEET: 07	PROJECT No: 148-SERC
SCALE: 1 : 50	REV: -	

07

BUILDER:
Checker
Designer

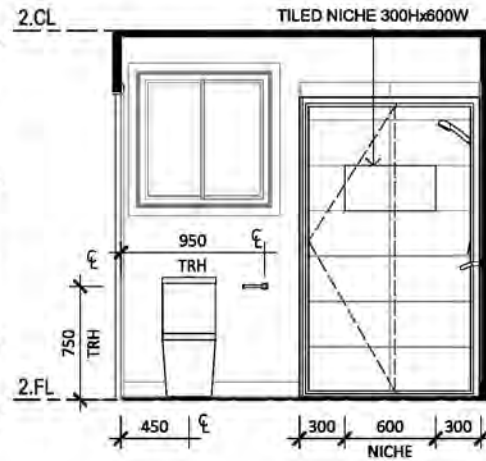
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REV:	DESCRIPTION:	INITIAL:	DATE:
A	PRELIMINARY DRAWINGS	VT	16/04/2024
B	PRELIMINARY DRAWINGS	LD	22/04/2024



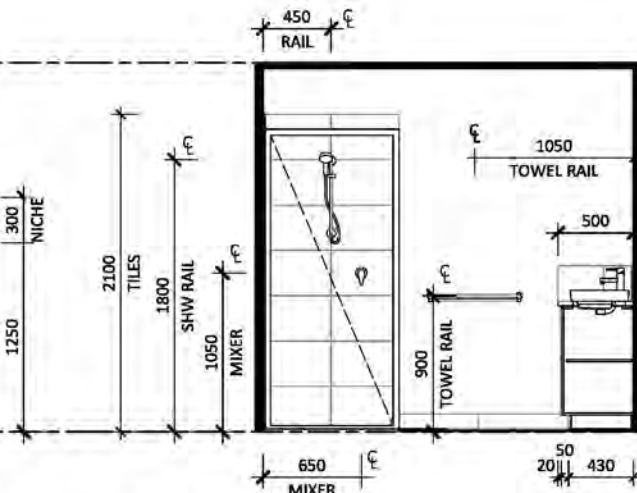
ENSUITE

SCALE - 1 : 50



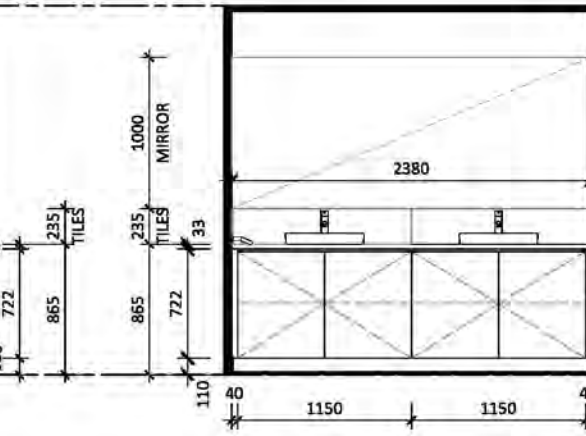
ELEVATION A

ENSUITE



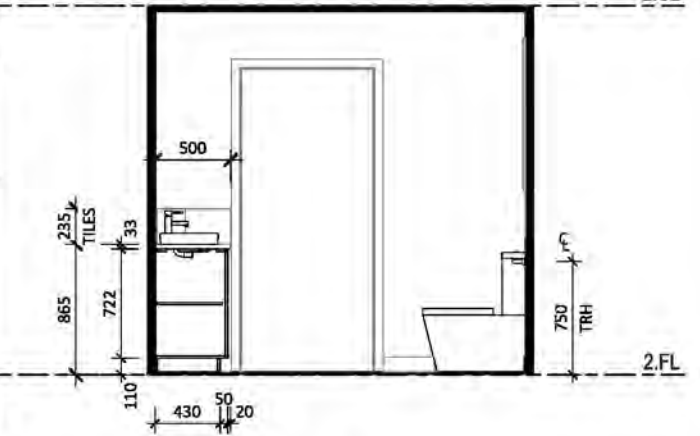
ELEVATION B

ENSUITE



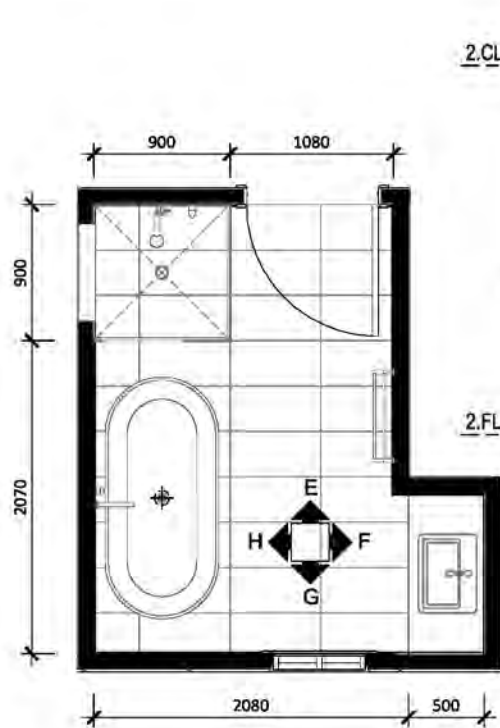
ELEVATION C

ENSUITE



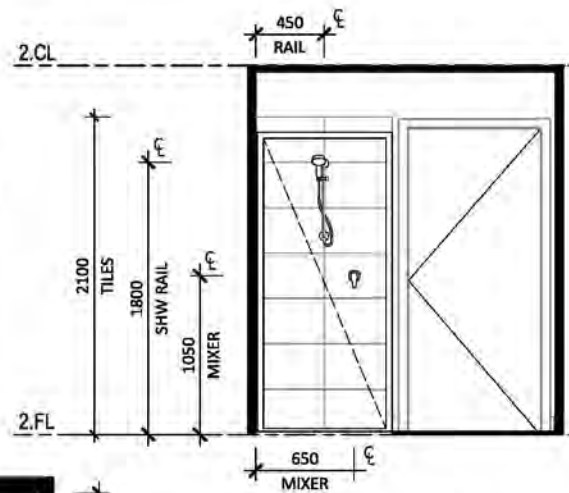
ELEVATION D

ENSUITE



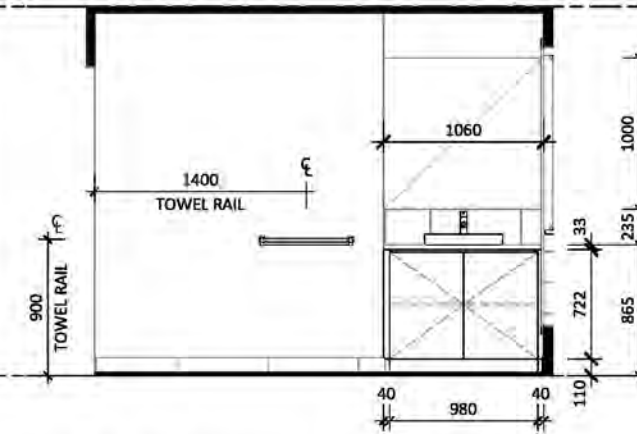
BATHROOM

SCALE - 1 : 50



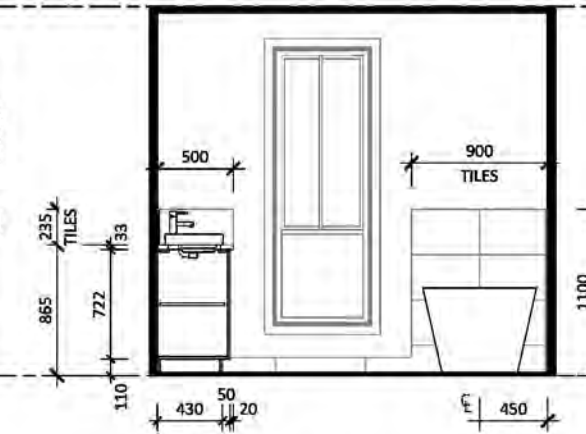
ELEVATION E

BATHROOM



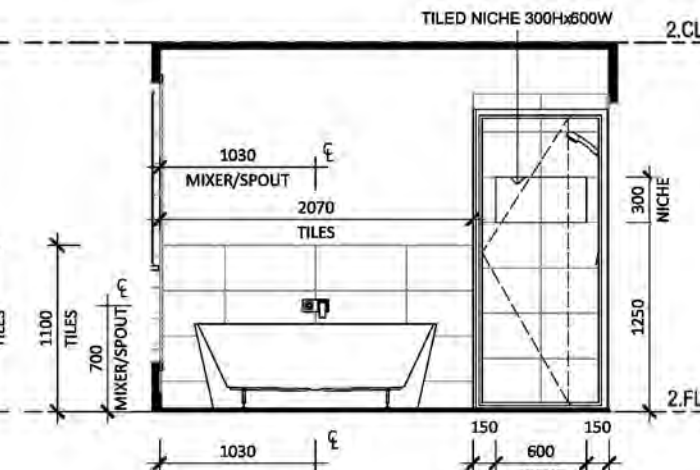
ELEVATION F

BATHROOM



ELEVATION G

BATHROOM

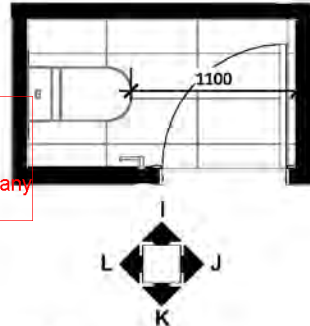


ELEVATION H

BATHROOM

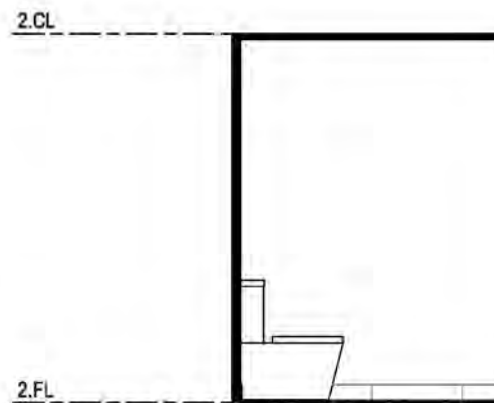
BATHROOM

SCALE - 1 : 50



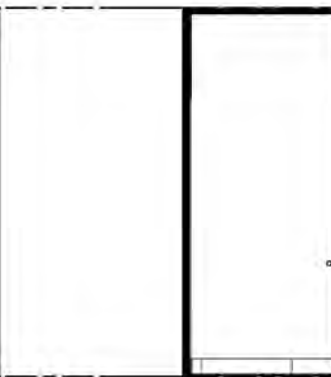
WC

SCALE - 1 : 50



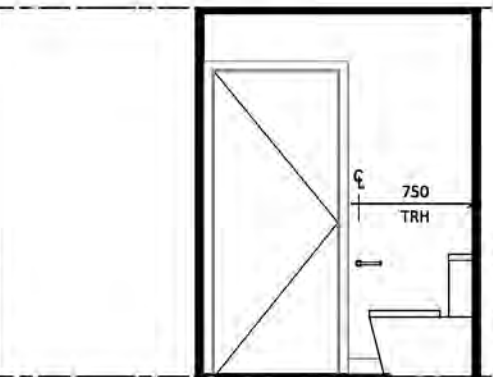
ELEVATION I

WC



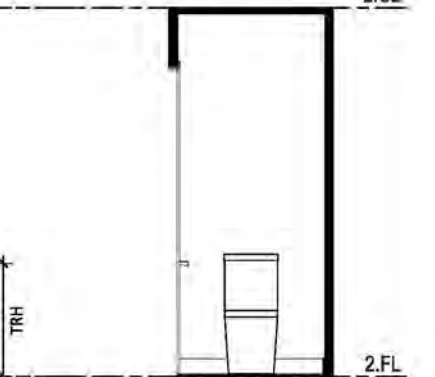
ELEVATION J

WC



ELEVATION K

WC



ELEVATION L

WC

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REFER TO RELEVANT SPECIFIC STATE / REGION STANDARD INCLUSIONS DOCUMENT FOR ALL STANDARD INCLUSIONS

08	BUILDER:	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS. ALL WRITTEN DIMENSIONS IN THIS DRAWING ARE NOMINAL ONLY.	REV:	DESCRIPTION:	INITIAL:	DATE:
	Checker		A	PRELIMINARY DRAWINGS	VT	16/04/2024
Designer	B	PRELIMINARY DRAWINGS	LD	22/04/2024		

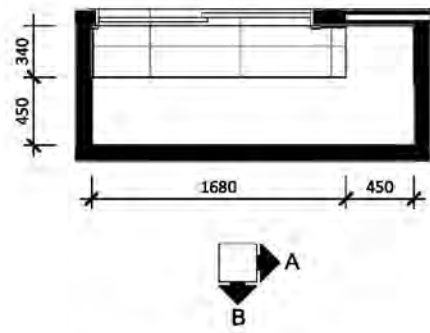
28/11/2024 10:14:38	SHEET: 08	PROJECT No: 148-SERC
SCALE: 1 : 50	REV: -	

JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM		OWNER:
DRAWN BY: NARKIAN		DESIGN NAME: ACACIA 261

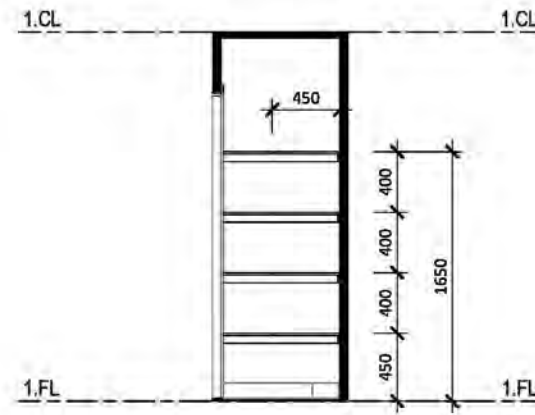


JOB ADDRESS: LOT 148 (NO. 10) SERENE COURT PAKENHAM		OWNER:
DRAWN BY: NARKIAN		DESIGN NAME: ACACIA 261
28/11/2024 10:14:38	SHEET: 08	PROJECT No: 148-SERC
SCALE: 1 : 50	REV: -	

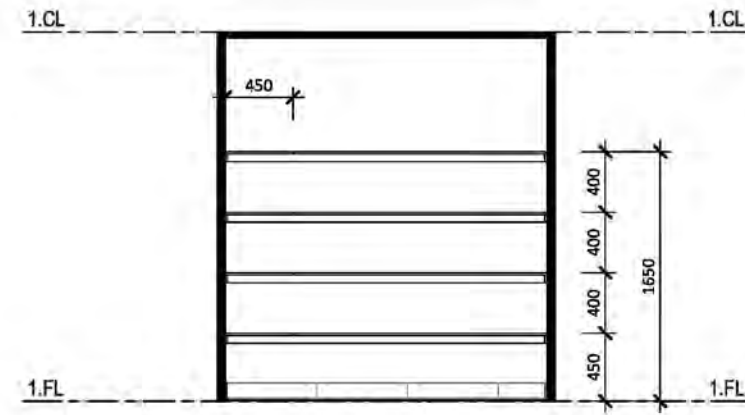
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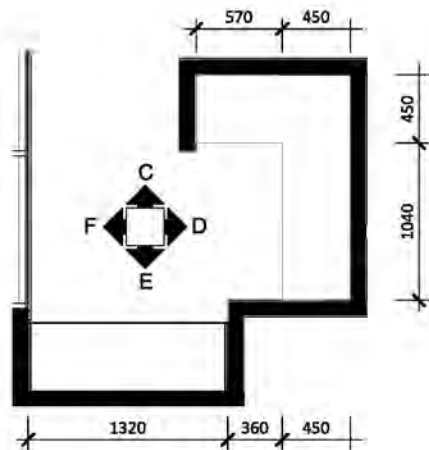
LINEN
SCALE - 1 : 50



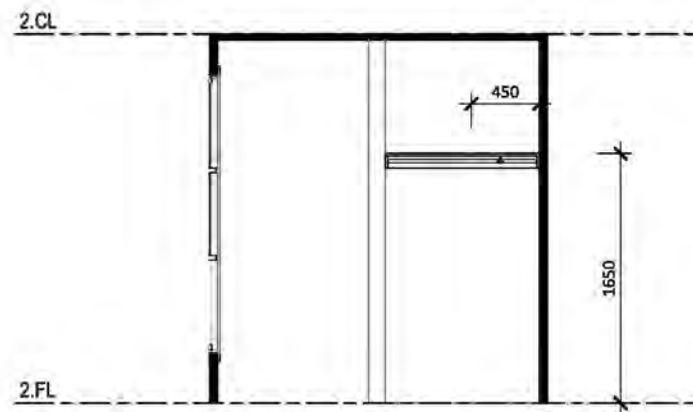
ELEVATION A
LINEN



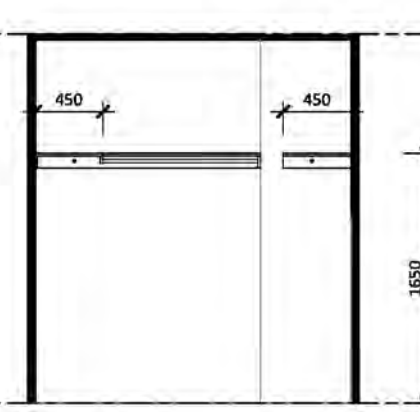
ELEVATION B
LINEN



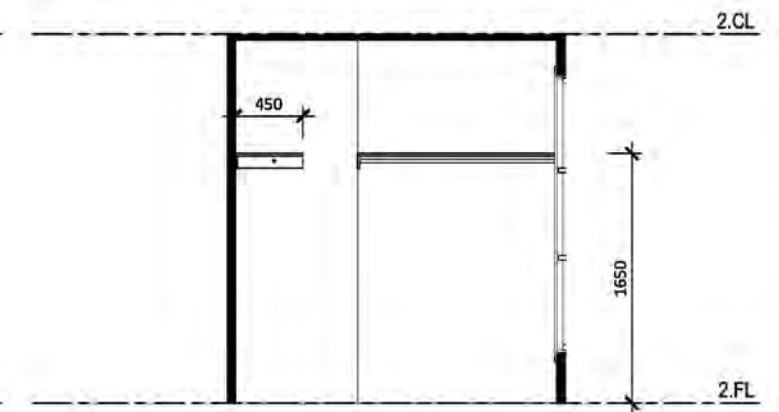
WIR
SCALE - 1 : 50



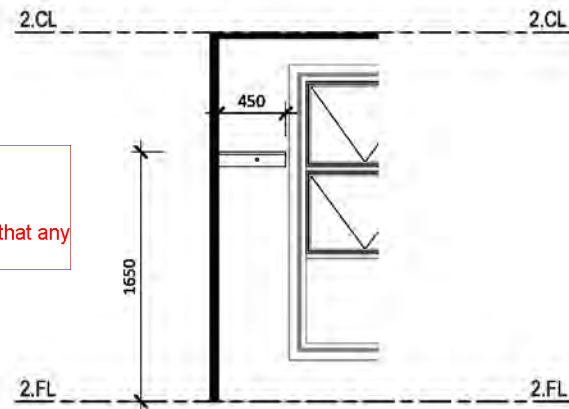
ELEVATION C
WIR



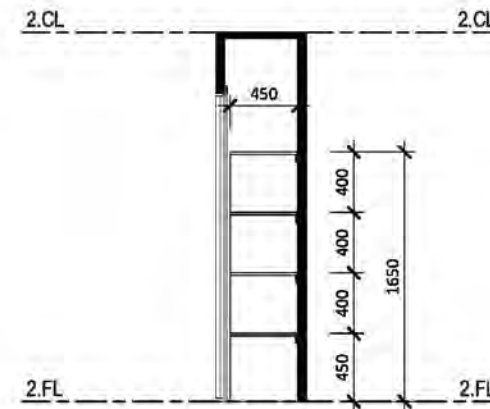
ELEVATION D
WIR



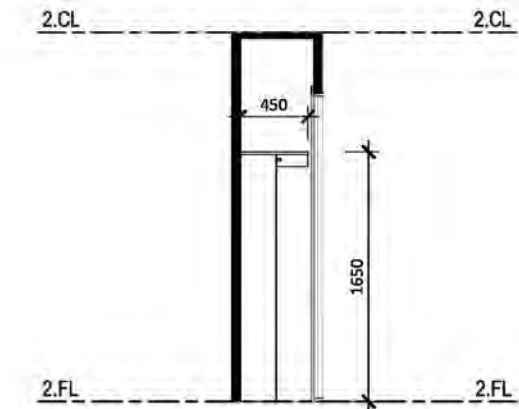
ELEVATION E
WIR



ELEVATION F
WIR



FIRST FLOOR'S LINEN
SCALE - 1 : 50



ROBE TYPICAL
SCALE - 1 : 50

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09

BUILDER:
Checker
Designer

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REV:	DESCRIPTION:	INITIAL:	DATE:
A	PRELIMINARY DRAWINGS	VT	16/04/2024
B	PRELIMINARY DRAWINGS	LD	22/04/2024



JOB ADDRESS:
LOT 148 (NO. 10) SERENE COURT
PAKENHAM

DRAWN BY: NARKIAN

28/11/2024 10:14:39

SCALE: 1 : 50

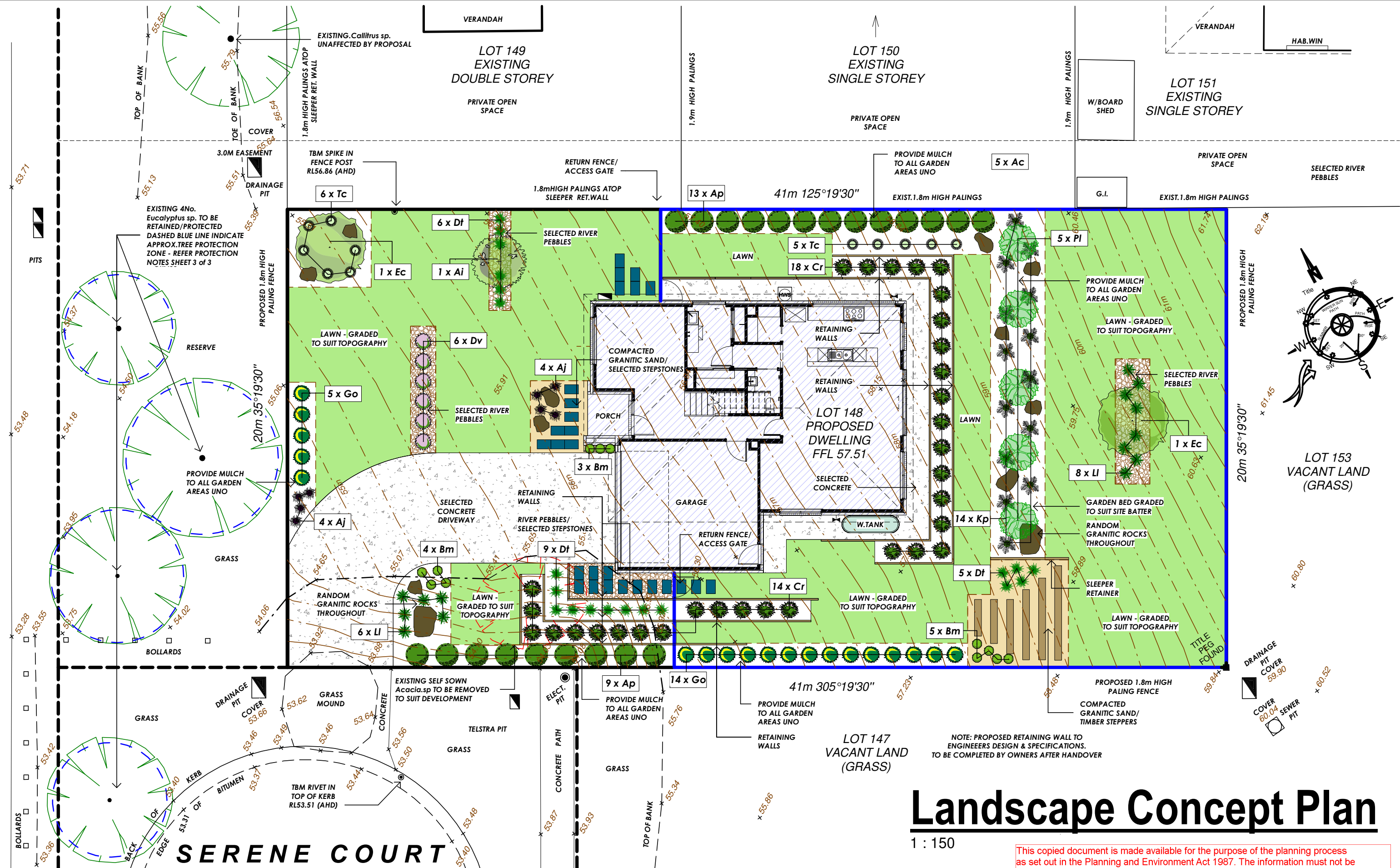
SHEET: 09

REV: -

OWNER:

DESIGN NAME: ACACIA 261

PROJECT No: 148-SERC



Landscape Concept Plan

1 : 150

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THE LANDSCAPE PLAN COMPANY

ph: 0449 199996
 e: thelandscapepc@gmail.com
 w: thelandscapeplancompany.com

PROJECT:
 Landscape Concept Plan
 Lot 148 Serene Court, Pakenham
 CLIENT: Hotondo Homes
 DATE: May 2024

REVISIONS:
 'A' - 10/11/24 - CLIENT REQ.
 'B' - 3/12/24 - DESIGN REQ.
 'C' - 2/03/25 - PERMIT REQ.

REV: **C**

SHEET No: **L 1 of 3**

NOTE: PLANT SCHEDULE/
 LANDSCAPE PALETTE L 2 of 3
 LANDSCAPE DETAILS L 3 of 3

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DESIGNED BY: A.S
 CHECKED BY: A.S

Plant Schedule

#	sym	botanical name	common name	pot	mature size (HxW)	exotic or native	evergreen or deciduous	qty
medium/small trees								
1.	Ai	<i>Acacia implexa</i>	Lightwood	1.5m tall	8 x 5	native	E	1
2.	Ec	<i>Eucalyptus cephalocarpa</i>	Silver-leaf	1.5m tall	8 x 10	native	E	2
3.	Pl	<i>Prostanthera lasianthos</i>	Vic.Christmas Bush	1.5m tall	3 x 5	native	E	5
large/medium shrubs								
4.	Ap	<i>Acacia paradoxa</i>	Hedge wattle	200mm	3 x 3	native	E	22
5.	Cr	<i>Correa reflexa</i>	Common correa	200mm	1.5 x 1.5	native	E	32
6.	Dv	<i>Dodonea viscosa</i>	Hop Bush	200mm	2 x 1.0	native	E	6
7.	Go	<i>Goodenia ovata</i>	Hop Goodenia	200mm	2.0 x 2.0	native	E	19
small shrubs								
8.	Bm	<i>Brachyscome multifida</i>	Cut leaf Daisy	140mm	0.4 x 0.4	native	E	12
9.	Tc	<i>Tetralochea ciliata</i>	Pink Bells	140mm	0.5 x 0.5	native	E	11
tussocks/foilage								
10.	Dt	<i>Dianella tasmanica</i>	Tasman Flax-lily	140mm	0.8 x 0.8	native	E	20
11.	Ll	<i>Lomandra longifolia</i>	Spiny-headed Mat Rush	140mm	0.9 x 0.9	native	E	14
groundcovers								
12.	Aj	<i>Ajuga australis</i>	Austral bugle	140mm	g'cover	native	E	8
13.	Kp	<i>Kennedia prostrata</i>	Running postman	140mm	g'cover	native	E	14

Landscape Notes

- This landscape plan is based on the architect's town planning floor plan and is to be used for Town Planning purposes only.
- Plant selection shall be as per the plant schedule in locations as shown on the drawings. All plants are to be true to species and the best of their respective kinds. Plants are to have well developed root systems and shall be free from pests and disease. Water plants well watered before and after planting.
- Spray all areas shown on the drawings as garden bed and lawn with approved non-residual contact herbicide (*Glyphosate*) following manufacturer's specifications. The herbicide shall be dyed red to identify exposed areas. Leave sprayed areas for a period of 10 days prior to being worked. Re-spray any weeds still alive after 10 days.
- Determine pH of soil using pH kit available at most nurseries. pH should be slightly acidic to neutral -pH - 5.5 to 7.0. If pH is outside of this range contact your local nursery to obtain advice on how to adjust the pH level. Some plants tolerate high or low pH levels.
- If soil is mainly clay based, add gypsum to aid breaking up the soil at the rate of 1.5 kg/m² to lawn areas and 2 kg/m² for garden beds.
- Install sub-surface drainage which discharges to stormwater or soakage pits in areas with poor drainage (where moisture loving plants area not specified)
- Cultivate soil for garden bed areas to 300mm depth and lawn areas to 100mm depth. Deep rip in to 400mm depth areas of hard-panning or compaction.
- Use on-site top soil where possible and improve with organic material as required. Imported top soil shall be fertile, friable soil containing organic matter and free from perennial weeds and their roots, stone or rubble, clods of top soil and other extraneous material.
- Spread good quality top soil to 100mm depth for garden bed areas and 50mm depth for lawn areas. To improve drainage in clay soils, raise soil level by 200mm in garden beds.
- Spread 75mm compacted depth organic mulch over all garden areas. Top of mulch shall be level with adjacent surfaces.
- Plant shrubs in holes of the same depth as the root ball and twice the diameter as the root ball. Water prior to and after backfilling. Do not tread-in plants. Plant root ball in the soil and never in the mulch.
- Apply fertiliser specific to individual plants requirements. Trees should be staked for the first one or two years.
- All climbers will require a wire or trellis climbing frame to be attached to adjacent surface.
- Install timber edging between all lawn areas and garden beds where shown.
- Areas nominated for lawn area to be re-graded to provide smooth contours and are to be raked to eliminate soil clods, rubble and extraneous material. A low-mow grass mix and lawn starter is to be used. Lawn areas are to be kept continually moist until establishment.
- Garden beds are to be watered, weeded, fertilised, pruned, and mulched on a regular basis by landscape contractor or the owner to ensure plants survive and thrive. This is to take place for a period of six months after completion of the landscape construction. Any plants that die or are diseased are to be replaced with the same species as listed in the plant schedule. At all times, plants are to be watered as required by climatic conditions to ensure the health of the plants. Between the months of October to April, as a minimum, plants shall be watered an average of 3 times per fortnight with 40 litres per tree and 10 litres per shrub.
- Install fully automated in-ground irrigation system to all landscaped areas.
- Provide 1m² mulch area around all trees situated in lawn areas.
- Prior to commencement of any site works, the following shall be undertaken:
 - Trees (incl.nature strip trees) or other vegetation identified to be retained on this plan or in any accompanying arborist report shall be protected during the construction period by installing temp fencing or barrier around the `critical root zone` or `tree protection zone` of the tree. Protection should include the entire canopy, the trunk and `critical root zone`. The `critical root zone` is to be calculated by multiplying the diameter of the tree trunk at ground level by 15 or the zone as nominated by a qualified arborist or council.
 - The fenced area shall be covered with a 100mm thick layer of organic mulch and periodically irrigated over summer and autumn periods and never allowed to dry out.

Landscape Palette



Driveway -exposed agg. or similar



Mulch 'Forest Fines' or similar



Granitic Sand (dromana topping)



Selected River Pebbles

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1. *Acacia implexa*



2. *Eucalyptus cephalocarpa*



3. *Prostanthera lasianthos*



4. *Acacia paradoxa*



5. *Correa reflexa*



6. *Dodonea viscosa*



7. *Goodenia ovata*



8. *Brachyscome multifida*



9. *Tetralochea ciliata*



10. *Dianella tasmanica*



11. *Lomandra longifolia*



12. *Ajuga australis*



13. *Kennedia prostrata*



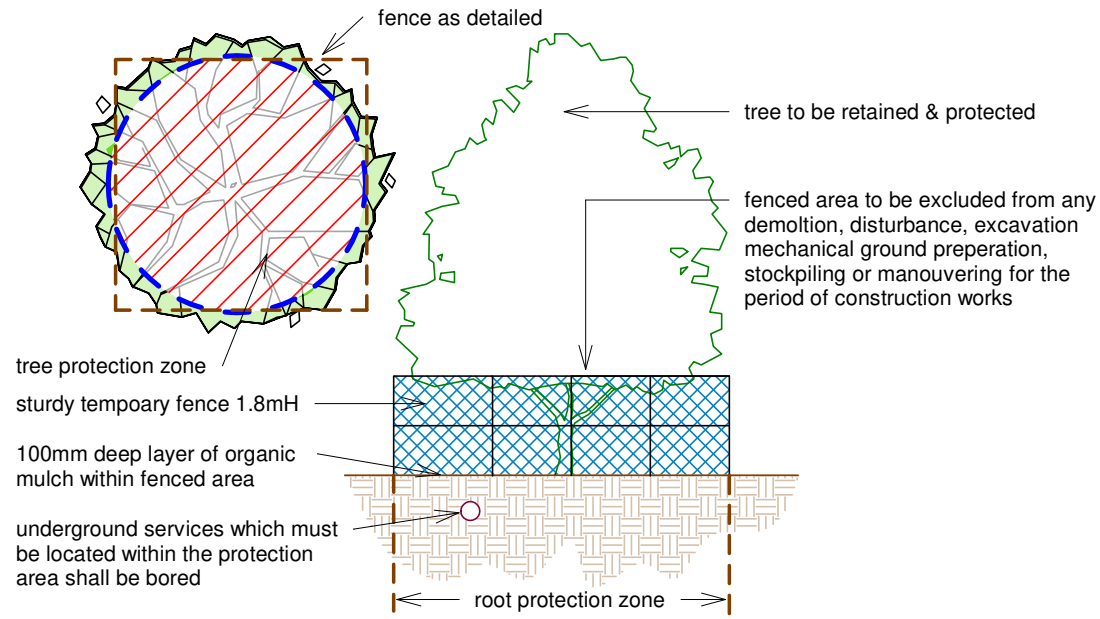
ph: 0449 199996
 e: thelandscapepc@gmail.com
 w: thelandscapeplancompany.com

PROJECT:
 Landscape Concept Plan
 Lot 148 Serene Court, Pakenham
 CLIENT: Hotondo Homes DATE: May 2024

REVISIONS:
 'A' - 10/11/24 - CLIENT REQ.
 'B' - 3/12/24 - DESIGN REQ.
 'C' - 2/03/25 - PERMIT REQ.

REV: **C**
 SHEET No: **L 2 of 3**

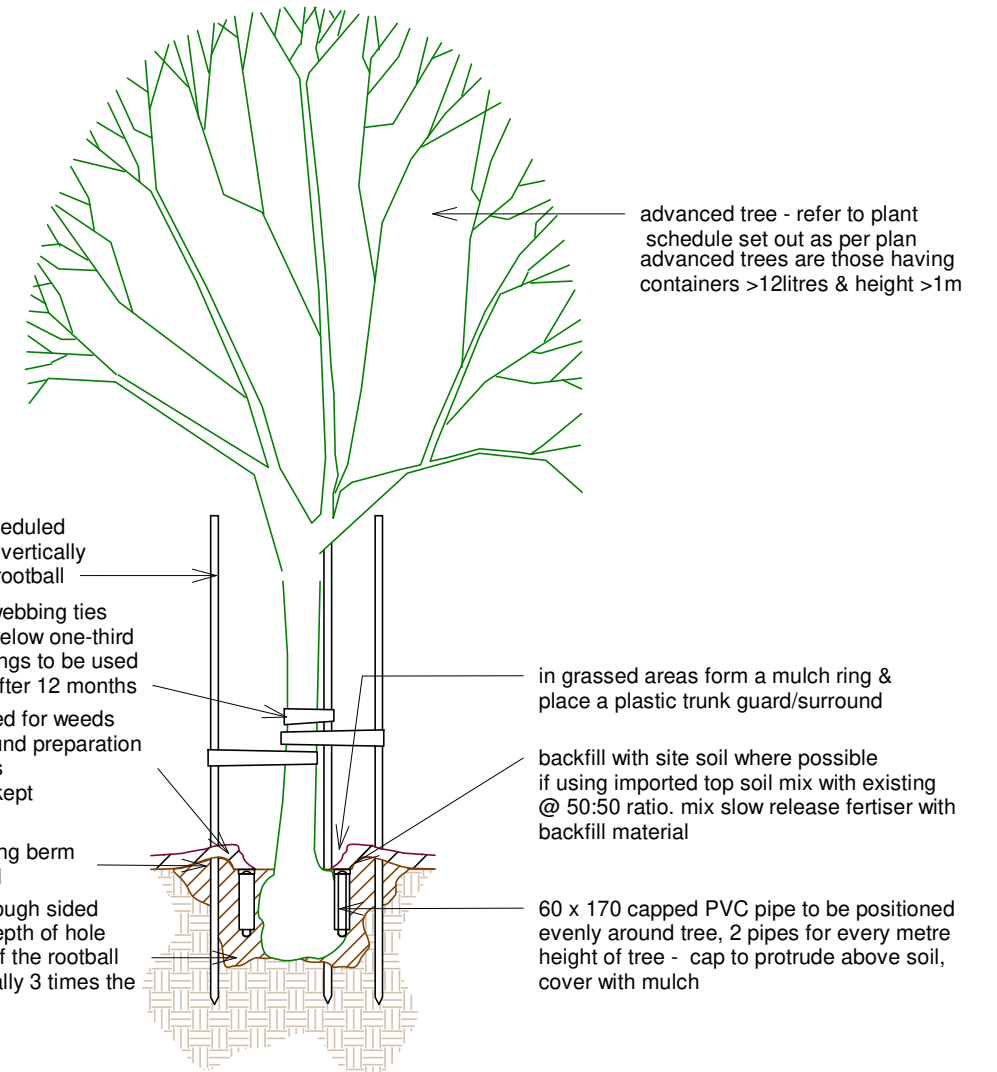
Existing tree protection



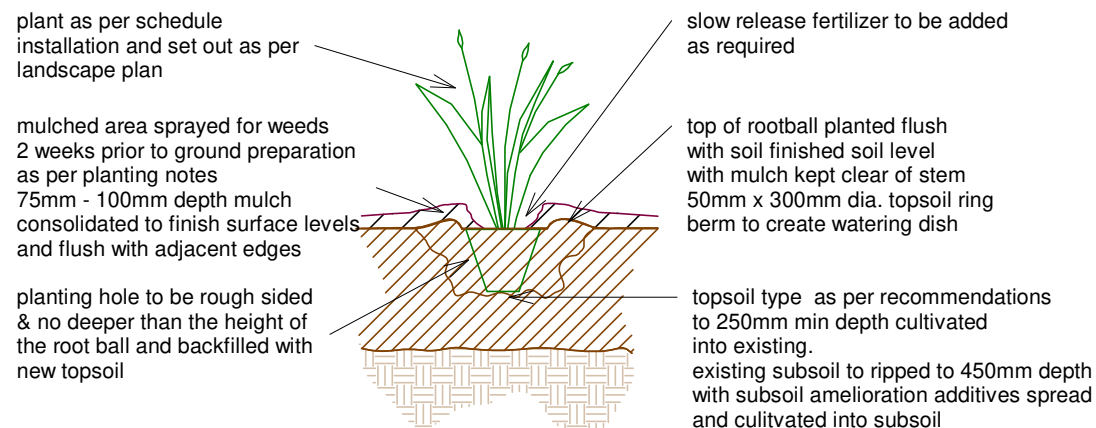
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- Prior to any commencement of ANY site works (including demolition, the following shall be undertaken:
 - Trees (including nature strip trees), or other vegetation identified to be retained on this plan or in any accompanying arborist report shall be protected during the construction period by installing temporary fencing or barrier around the 'Tree Protection Zone' (TPZ) of the tree. Refer to the detail. Protection measures shall include the entire canopy, the trunk and the TPZ. The TPZ is as nominated by a qualified arborist or Council.
 - The fenced area shall be covered with a 100mm thick layer of organic mulch and periodically irrigated over summer and autumn periods and never allowed to dry out.
- The following impacts shall be excluded from the fenced protection area:
 - No materials shall be stored or stockpiled.
 - No fixing or attachment to the tree, whether temporary or otherwise.
 - No vehicular manoeuvring.
 - No cut or fill of ground level.
 - No open trenching for underground services.
 - No mechanical ground preparation or topsoil stripping.
- Underground services which must be located within the fenced protection zone shall be bored at minimum 500mm depth. Utilise a common services location where possible.
- In situations where there is no alternative but to excavate or trench within the TPZ, the council arborist or representative must be notified and a qualified arborist must supervise the excavation. Any roots larger than 200mm dia. are to be retained by using hand excavation techniques and roots smaller than 20mm are to be cut cleanly with sharp pruners and the disturbed area backfilled with clean free draining growing media.
- Any branch pruning shall be undertaken by a qualified arborist in accordance with AS 4374-1996. The 3-cut-method shall be used for pruning branches - firstly make a cut in the underside of the branch, secondly make an upper cut to remove the branch and thirdly make a final trim cut close to but not flush with the trunk.
- Special construction techniques can minimise disturbance to vegetation, such as; pier and beam footings for walls and fences; constructing concrete driveways at existing ground level rather than excavating for sub base and pavement; and, incorporating porous pavement surfaces around the tree.

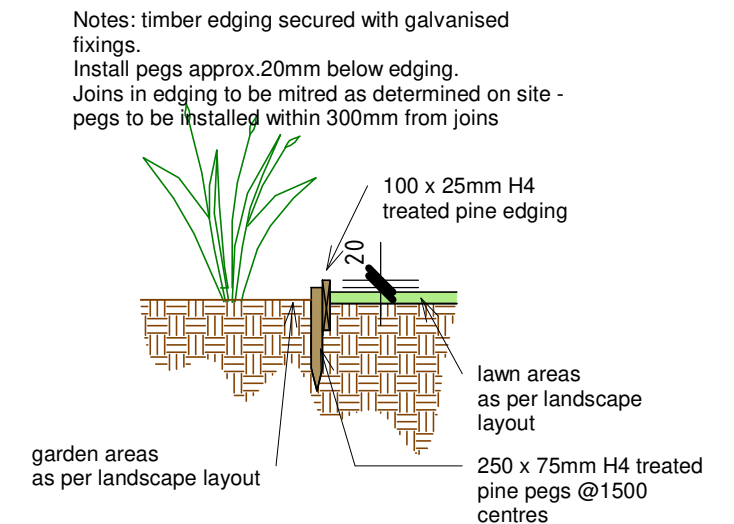
Advanced tree planting



Planting in mulched beds



Garden Edging Detail



RESPONSE TO 10 SERENE COURT PAKENHAM RFI

- 1 Title Documents – **New up to date documents within 3 months supplied**
- 2 Feature and Level Survey – **New survey completed to AHD by K.B Land Surveys**
- 3 Site Plan – **Updated as per RFI**
- 4 Elevation Plans – **Updated as per RFI**

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5 Written Response

Provide a written assessment outlining how the proposal satisfies the decision guidelines of Schedule 4 to clause 42.01 Environmental Significance Overlay

Response:

The property lot is in a General Residential Zone – Schedule 1. Under this zone a permit is required to construct and or extend one dwelling on a lot if:

- A permit is required to construct or extend one dwelling on a lot less than 300 square metres.
- A permit is required to construct or extend a front fence within 3 metres of a street if the fence is associated with one dwelling on a lot less than 300 square metres and the fence exceeds the maximum height specified in Clause 54.06-2.
- A development must meet the requirements of Clause 54.

Under this zone the development does **not trigger** a permit.

The property lot is subject to the Environmental Significance Overlay – Schedule 4 (ESO4)

Under this overlay a permit is required to:

- Construct a building or construct or carry out works. This does not apply if a schedule to this overlay specifically states that a permit is not required.
- Construct a fence if specified in a schedule to this overlay.
- Construct bicycle pathways and trails.
- Subdivide land. This does not apply if a schedule to this overlay specifically states that a permit is not required.
- Remove, destroy or lop any vegetation, including dead vegetation. This does not apply:
 - If a schedule to this overlay specifically states that a permit is not required.
 - If the table to Clause 42.01-3 specifically states that a permit is not required.
 - To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

Under this clause unless specified in the schedule a permit is **required** to construct or carry out works.

Response to SLO4

Environmental Objectives to be Achieved.

The proposal does not harm the existing landscape values of the Pakenham North Ridge. The current subject site is devoid of any vegetation, with grassland being the only feature on the lot. There is no need to take any specific measures to avoid removing vegetation as there is none presently.

The proposal will not impact the surrounding environment or result in any loss of vegetation. The

primary vegetation in the area is situated within the council reserve and is described in the Tree Health & Development Impact Assessment conducted by Baxter Ecology & Associates. The assessment confirms that the development does not encroach into the Tree Protection Zone (TPZ) of these trees and will not affect their lifespan. During construction, the builder must implement Tree Protection Measures to ensure the preservation of existing trees with minimal disturbance. These measures must align with the recommendations outlined in the report by Baxter Ecology & Associates.

The current design harmonizes with the existing neighbourhood development and does not negatively impact the landscape character, ridge lines, or views. With new landscaping planned for the property, the home will complement the neighbourhood and present an aesthetically pleasing appearance.

The dwelling has been positioned in accordance with the land slope to facilitate a compliant driveway and access. While some land cutting is necessary for optimal access, this approach is consistent with other established dwellings in the area using similar methods. Despite the land cutting, the vacant nature of the site ensures minimal impact on the landscape.

We feel that the application aligns with Cardinia's objective and approval of the development will only contribute to the overall surroundings.



Figure 1: Subject site in its current state. Photography taken 28/11/2024 via a Samsung Phone.

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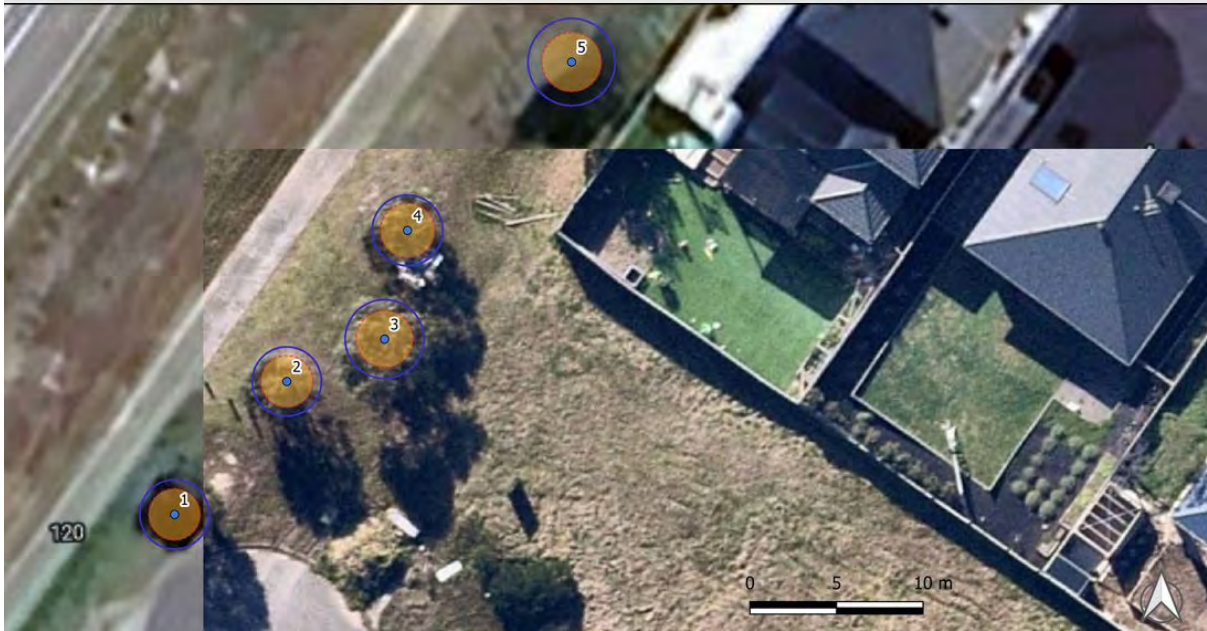


Figure 2: Aerial photo as supplied by arborist

6 Vegetation – The lot is empty of any vegetation that would require protection under this clause. There are 5 trees within the Council Reserve, that have been identified by an Arborist within the report, that will require Tree Protection measures during construction. Tree impact assessment attached with RFI response.

7 Landscaping Plan – Attached with response

8 Vegetation – No vegetation proposed for removal as there are none impacted by the build

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9 Site responsive siting and design

The proposed development has been sited in accordance with the site slope and in such a way to achieve compliant driveway gradients.

The design is in line with the current developments both present in Serene Court and surrounding streets.

Majority of the builds in the surrounding area have utilised retaining walls to their advantage to create a level platform for ease of build. Despite the slope split level designs are very rare in the area, which suggests that most have opted for an economical construction method.

There are varying styles in the area, from Modern Contemporary, which is what is proposed here, Hamptons, Scandi inspired to the very modern with parapet wall designs and very low roof lines.

The colour palette proposed is in muted tones aligning with what's already present in the estate, ensuring that the proposed dwellings fits seamlessly into the existing neighbourhood character.



Figure 3: Lot No. 146 similar style of double storey home currently under construction.
Photography taken 28/11/2024 via a Samsung Phone.

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Figure 4: Existing completed dwellings up on Tranquil Way, showing the varying styles in the estate. Photography taken 28/11/2024 via a Samsung Phone.



Figure 5: Existing completed dwellings up on Solid Drive, showing the varying styles in the estate. Photography taken 28/11/2024 via a Samsung Phone.

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Figure 6: Examples of retaining walls use to create a flat block for ease of construction along Serene Court. Photography taken 28/11/2024 via a Samsung Phone.



Figure 7: Examples of retaining walls use to create a flat block for ease of construction along Tranquil Way. Photography taken 28/11/2024 via a Samsung Phone.



Figure 8: Examples of retaining walls use to create a flat block for ease of construction along Tranquil Way. Photography taken 28/11/2024 via a Samsung Phone.

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Dear [REDACTED]

Please find attached, updated plans and landscaping plans in response to RFI letter date 3rd February 2025.

Main updates to the plans as follow:

- Elevations labelled as per their respective compass orientation.
- Finishes schedule added to the elevations.
- T6 removed from plans as that is a shrub on the land not requiring a permit for it's removal. Mislabelled incorrectly by the drafting agency.
- Updated landscape plans with only 'native' vegetation proposed to align with the ES04 requirements.

In response to the Request for Information (RFI), we have adapted the use of battered retaining walls on the site. This design approach is particularly advantageous for sloping sites due to several key benefits:

1. **Natural Integration with Topography**: Battered retaining walls are inclined away from the vertical, which allows them to blend more harmoniously with the natural landscape.
2. **Reduced Wall Height**: By employing battered walls, we can effectively decrease the overall height of the retaining structures. Lower walls reduce the visual impact on the site, enhancing the aesthetic appeal while still fulfilling their functional role. This also decreases the volume of material required for construction, contributing to sustainability efforts.
3. **Improved Stability and Safety**: The battering technique provides increased stability to the retaining walls. The sloped face of the wall distributes earth pressures more evenly, enhancing the wall's resistance to sliding and overturning.
4. **Enhanced Drainage**: Battered retaining walls often facilitate better drainage solutions. The angled design allows for more effective water runoff, reducing hydrostatic pressure behind the wall and minimizing the risk of pooling and erosion at the base. This is crucial for maintaining the integrity of both the wall and the surrounding landscape.
5. **Accessibility for Landscaping**: The gentler slope of battered walls can provide more accessible terrain for landscaping and vegetation.

We believe that the plans and submitted documents now effectively respond to council requirements and thus should not have trouble with obtaining relevant approval.

We look forward to any further feedback you may have,

Kind regards,

[REDACTED]
Dali Panic Design Studio



BAXTER ECOLOGY & ASSOCIATES

Aborigiculture · Bushfire · Biodiversity · Sustainable Landscapes
Specialists in the Ecology of the Built Environment

Tree Health and Development Impact Assessment



10 Serene Crt

Pakenham 3810

City of Casey

Report Date: 30 / 08 / 2024

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Tree Health and Development Impact Assessment Report prepared by Baxter Ecology Pty Ltd on behalf of [REDACTED] / 2D Building Design

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Mob: +61 450 400 617
Email: info@baxterecology.com.au

Report prepared by:

[REDACTED]
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&

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Report Brief

Council Planning Context

Ecological Context

Summary Findings and Recommendations

Methodology

Tree Protection Zone (TPZ) Information

Map 1 - Tree Location and Assessment

Map 2 - Tree Assessment on Plans

Results

Photo Library

Conclusions

Appendix A - Tree Assessment Terms

Appendix B - Tree Protection Information

Appendix C - References

Appendix D - Limitations & Constraints

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Report Brief

This report has been commissioned by 2D Building Design/ [REDACTED] on behalf of their client to meet the Permit requirements associated with the building of a single residential dwelling (see Maps 1 and 2). This triggers a review of the vegetation at the subject site and also vegetation adjacent to the title boundary which may be affected.

Council Planning Context

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The subject trees are situated in the City of Casey. A search of the Victorian Government's Department of Transport and Planning (DTP), [Planning Schemes Online website](#), reveals that 10 Serene Crt Pakenham 3810, Council Property Number 5000014945, Lot 148 PS649677 is subject to the following planning overlays:

- Environmental Significance Overlay.
- Schedule 1 to the Environmental Significance Overlay (ESO1).

Council trees are protected under;

CASEY COMMUNITY LOCAL LAW 2023 Version 1.0 Date Updated: 1 January 2024

Summary Findings and Recommendations

A total of five trees with a height greater than 3 m were assessed adjacent to the subject property within the Council Reserve (see Results, Map 1, and Map 2).

The trees have been evaluated in compliance with AS4970-2009 Protection of Trees on Development Sites. The Standard states that if there is any encroachment within the Structural Root Zone (SRZ) or an encroachment exceeds 10% of the Tree Protection Zone (TPZ) of a protected tree, then the encroachment is classified as a major incursion. It is therefore necessary to demonstrate that the impact to the tree will be minimised by either a design response or acceptable built element which minimises root loss, otherwise, it will be considered lost.

- All five trees are Third Party Owned and must be protected.
- No encroachment by the proposed development is estimated on the TPZ of the five trees.
- Tree protection fencing for trees 2-5 is only required where a title boundary fence has not been established prior to commencement of construction.
- Tree protection fencing must be erected as per the specifications set out below and in accordance with AS 4970.2009. The fence must be installed prior to the commencement of works and maintained for the life of the project.

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Tree Protection Fencing

Prior to the commencement of works, **tree protection fencing** must be installed around the trees to be protected and maintained for the life of the project. Fencing is to be installed around trees at distances specified in the results table while still allowing pedestrian and vehicle access. No construction materials can be stored within the TPZ fencing (refer to Tree Protection Zone information below).

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Methodology

A site inspection was conducted at 10 Serene Crt Pakenham 3810 on 28/08/2024. A review of the site was carried out to determine the general layout of landscape elements in relation to the proposed works; and to assess the health of the trees identified by the client as being those which may be impacted by the proposed development.

The inspection was carried out in accordance with steps one and two of the Visual Tree Assessment (VTA) methodology. This method for assessing trees was developed by Matteck and Breloer (1994) and is included in standard arboricultural texts by Harris, Clarke and Matheny (2004) and Lonsdale (1999). No invasive or diagnostic tests were carried out. This assessment of trees in this report does not constitute an analysis of risk as defined by Quantified Tree Risk Assessment (QTRA) system. Binoculars were used in the visual inspection. A clinometer was used to estimate tree height and a tape measure was used to measure tree dimensions. Diameter at Breast Height (DBH) was measured at 1.4 m as per the Australian Standard 4970-2009 Protection of Trees on Development Sites.

The Tree Protection Zone (TPZ) was calculated at DBH x 12 as per the AS 4970-2009. Tree health and structure were assessed based on descriptors from the aforementioned arboricultural texts. Trees are assessed based on size, location, health, structure, significance, management requirements and local by-laws. Based on the above-mentioned descriptors, trees are categorised as having a retention value of None, Low, Moderate or High. Descriptor definitions can be found in Tree Assessment Terms in Appendix 1.

Tree Protection Zone Information

The Tree Protection Zone (TPZ) is a designated area to limit or exclude any activities during development that could be detrimental to tree health. The TPZ is designed to protect the tree crown, trunk, and roots that is considered essential to tree health. Where possible, any proposed development should be designed outside the indicative TPZ of any tree being retained. Generally, a 10% encroachment of the TPZ area is considered to be permissible provided that the encroachment is compensated for, resulting in no loss to the total TPZ area and there is no encroachment into the Structural Root Zone (SRZ). The SRZ is the area considered essential to tree stability and is only calculated when there is major encroachment proposed into the TPZ.

Major encroachment (> 10% of TPZ area) may require tree sensitive construction techniques to minimise the impact on the tree and/or a non-destructive root investigation may be required to be carried out to conclusively prove to the responsible authority that the encroachment will not be detrimental to tree health as per the recommendations in AS4970-2009. No works within the TPZ should be undertaken unless stipulated by the relevant Consulting Arborist.

Activities generally excluded from the TPZ, but not limited to it, include:

- Storage of materials and/or chemicals.
- Parking of vehicles and machinery.
- Excavation or compaction of existing soil levels, trenching or soil level changes.
- Wash down and cleaning of equipment.
- Dumping of waste/chemical.

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Trunk and Branch Protection

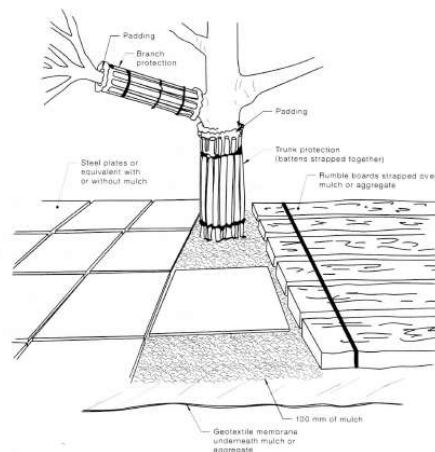
Where necessary, trunk and branch protection may be required to be installed using boards and padding as instructed by the Consulting Arborist.

Ground Protection

For areas with the TPZ that cannot be adequately fenced off, ground protection should be installed to prevent root damage and soil compaction. Methods of ground protection include but are not limited to:

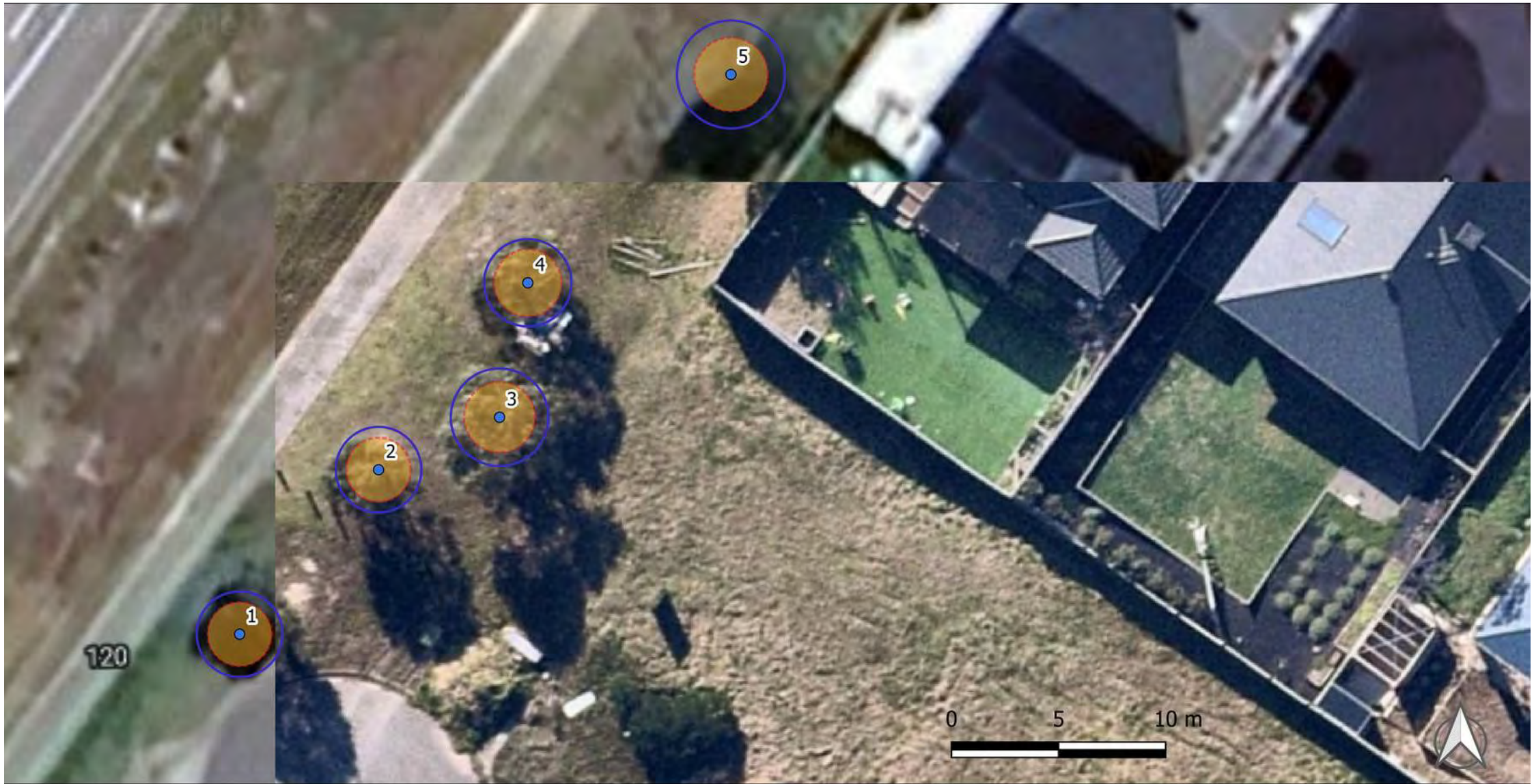
- A permeable geotextile beneath 100mm of mulch
- A cellular structure such as Bodcell
- A cellular structure such Bodcell© 35-20 (or equivalent), filled with 20mm washed angular stone
- Rumble boards over a layer of mulch or aggregate
- Steel plates or equivalent with or without mulch

These measures may be applied to root zones beyond the TPZ.



NOTES:

- 1 For trunk and branch protection use boards and padding that will prevent damage to bark. Boards are to be strapped to trees, not nailed or screwed.
- 2 Rumble boards should be of a suitable thickness to prevent soil compaction and root damage.



Map 1: Tree Location & Assessment

10 Serene Crt, Pakenham



Legend

- Trees
 - Third Party
- Tree Protection Zone (TPZ)
 - Third Party
 - ▨ Structural Root Zone (SRZ)

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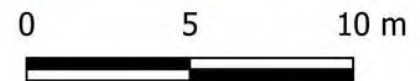
DATE: 02/09/2024
 DATA SOURCES:
 On-site data collection
 NearMap aerial imagery
 CRS: EPSG: 7855

TREE LOCATIONS:
 Aligned to aerial imagery
 & Feature Survey



Map 2: Tree assessment on plans

10 Serene Ct, Pakenham



DATE: 02/09/2024

Legend

Trees

● Protect

○ Structural Root Zone (SRZ)

Tree Protection Zone (TPZ)

○ Protect

DATA SOURCES:
On-site data collection
NearMap aerial imagery
CRS: EPSG: 7855

TREE LOCATIONS:
Aligned to aerial imagery
& Feature Survey



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Results – 10 Serene Crt Pakenham 3810

Client: 2D Building Design/ Dali Panic
 Inspection Date: 28/08/2024

Site Address: 10 Serene Crt Pakenham 3810
 Weather: Sunny and windy.

Results table. Where DBH: diameter at breast height, DBH in red: multi-stemmed trees, ULE: useful life expectancy, TPZ: tree protection zone (radius), and SRZ: structural root zone (radius).

Tree No.	Botanical/ common name	Height (m)	Crown spread (m)	DBH (cm)	Age class	Health	Structure	ULE	Retention value	TPZ (m)	SRZ (m)
1	<i>Eucalyptus pauciflora</i> /Snow Gum	4	4	15	Semi-mature	Good	Good	Long	Third Party Ownership	2.00	1.49
2	<i>Eucalyptus ovata</i> /Swamp Gum	6	4	17.7	Semi-mature	Good	Good	Long	Third Party Ownership	2.00	1.50
3	<i>Eucalyptus ovata</i> /Swamp Gum	6	5	26.9	Semi-mature	Good	Good	Long	Third Party Ownership	2.28	1.65
4	<i>Eucalyptus ovata</i> /Swamp Gum	5	5	17	Semi-mature	Good	Good	Long	Third Party Ownership	2.04	1.57
5	<i>Allocasuarina</i> sp.	7	5	21	Semi-mature	Good	Good	Long	Third Party Ownership	2.52	1.72

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Photo Library – 10 Serene Crt Pakenham 3810

Photos are included as a guide only to provide an overall impression of the site however the images are not a true representation of the scale. These images are not intended as a substitute to a site visit.



Tree 1: Snow Gum (*Eucalyptus pauciflora*)



Tree 2: Swamp Gum (*Eucalyptus ovata*)



Tree 4: Swamp Gum (*Eucalyptus ovata*)



Tree 5: *Allocasurina* species.

Conclusions

The plans to develop the property at 10 Serene Crt Pakenham 3810 under the current proposal shows appropriate consideration to the retention of valuable trees on adjoining public reserve.

With the implementation of prescribed tree protection measures described in this report it is concluded the existing tree stock can be preserved with little impact.

If the reader has any queries or require clarification of terms and/or concepts please do not hesitate to advise the author.

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Appendix A - Tree Assessment Terms

Age

Young: Juvenile tree recently planted.
Semi-mature: Tree still growing
Mature: Specimen has reached expected size in current situation
Senescent Tree is over mature and in decline

Form

Good: Canopy full and symmetrical
Fair: Minor asymmetry or suppression. Considered typical for species in situation.
Poor: Canopy suppressed, major asymmetry. Stump re-growth.

Health

Good:

Crown full with good density, foliage entire, with good colour, minimal or no pathogen damage. Good growth indicators, e.g. extension growth. No or minimal canopy dieback. Good wound-wood and callus formation.

Fair:

Tree is exhibiting one or more of the following symptoms:
Tree has <30% deadwood. Or can have minor canopy dieback. Foliage generally with good colour, some discolouration may be present, minor pathogen damage present. Typical growth indicators, e.g. extension growth, leaf size, canopy density for species in location may be slightly abnormal.

Poor:

Tree has >30% deadwood. Canopy dieback present. Discoloured or distorted leaves and/or excessive epicormic re-growth. Pathogen is present and/or stress symptoms that could lead to or are contributing to the decline of tree.

Dead:

Tree is dead.

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Structure

Good:

Good Branch attachment and/or no minor structural defects. Trunk and scaffold branches sound or only minor damage. Good trunk and scaffold branch taper. No branch or over extension. No damage to structural roots and/or good buttressing present. No obvious root pests or diseases.

Fair:

Some minor structural defects and/or minimal damage to trunk. Bark missing. Cavities could be present. Minimal or no damage to structural roots. Typical structure for species.

Poor:

Major structural defects and/or trunk damaged and/or missing bark. Large cavities and/or girdling or damaged roots that are problematic.

Hazardous:

Tree poses immediate hazard potential that should be rectified as soon as possible.

Vigour

Good, Fair or Poor. This describes the ability of a tree to promote extension growth and wound-callus effectively; this is directly related to the annual progress of tree growth, including root systems, which are dependent on in-situ and environmental conditions.

General Condition

Describes a tree or a group of trees in a broad term of convenient précis that considers all of these Tree Descriptors as mentioned in Documents and Tree Data Tables.

Useful Life Expectancy

Useful Life Expectancy (ULE) means that in a planning context the length of time a tree can be maintained as a useful amenity and not a liability is by far the most important long-term consideration. ULE is contingent on a number of obvious management assumptions and the fundamental principles of public safety and usefulness in the landscape.

Retention Value

The Retention Value is determined as a result of the collation of the data set (species, size, age, health, structure, form and site conditions etc) in relation to the following retention descriptors:

None – Tree with severe health and/or structural defects that cannot be rectified through reasonably practicable Arboricultural works; Tree may be inter dependent with surrounding trees and will be unable to be retained once adjacent shelter trees are removed; The tree is classed as a noxious or environmental weed species and is detrimental to the environment; Trees that have no retention value are likely to require immediate removal prior to any development works.

Low – A tree that offers little in terms of contributing to the of the future landscape for reasons of poor health, structural condition, or species suitability in relation to unacceptable growth habit, or combinations of these characteristics; A tree that is not significant due to its size and/or age and can be easily replaced; Tree is likely to have a ULE of under 10 years; Trees classed as having a low retention value may be able to be retained in the mid to short term if they do not require a disproportionate expenditure of resources (i.e. design modification).

Moderate – A tree with some attributes that may benefit the site in relation to botanical, horticultural, historical or local significance but may be limited to some degree by their current health condition or future growth in relation to existing or future site conditions and/or immediate/future maintenance requirements. The tree is likely to tolerate changes in its environment and will respond to Arboricultural treatments. Trees classed as having a moderate retention value should be considered for retention if reasonably practicable. Arboricultural works may be required but should remain within reasonable limits. Tree may have a ULE of over 10 years if managed appropriately.

High – A tree in good overall condition that has the potential to positively contribute to the landscape in the mid to long-term if appropriately managed. Species is suited to its existing site conditions and is capable of tolerating certain changes in its environment. Ideally, trees with a high retention value should be retained and incorporated into any development plans. The tree is considered to be worthy of material constraint.

Appendix B - Tree Protection Information

Tree protection fencing

Where possible tree protection fencing should be used to isolate the TPZ. Tree protection fencing must be erected prior to the commencement of any works.

Fencing should comply with AS 4687 for temporary fencing and hoarding.

The fence should be appropriately signed to identify the TPZ with the contact details of the supervising Arborist and Responsible Authority.

Example:

**TREE PROTECTION ZONE
KEEP OUT**

Prohibited activities include:

- Storage of materials and/or chemicals
- Parking of vehicles and machinery
- Excavation, trenching or soil level changes
- Wash down and cleaning of equipment
- Dumping of waste/chemicals
- Mixing of cement

Penalties Will Apply

Supervising Arborist:

Contact Number:

Responsible Authority:

Contact Number:

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Irrigation

Where possible an automated drip irrigation system should be installed within the TPZ of all retained trees to help the trees adapt and react to the changes within their growing conditions. Soil moisture levels within the TPZ should be monitored and irrigation applied accordingly. Drench irrigation applied through a hose is also considered adequate.

Mulch

During construction, a layer of composted organic mulch should be applied to the TPZ at a depth of 50-100mm. Mulching will assist in moisture retention, ameliorate topsoil and help minimise soil compaction. One (1) cubic meter of mulch covers an area of approximately 10 square meters.

Ground Protection

For areas within the TPZ that cannot be adequately fenced off, ground protection should be installed to prevent root damage and soil compaction.

Methods of ground protection include but are not limited to:

- A permeable geotextile beneath 100mm of mulch
- A cellular structure such Bodcell© 35-20 (or equivalent), filled with 20mm washed angular stone
- Rumble boards over a layer of mulch or aggregate
- Steel plates or equivalent with or without mulch

Service Installation

Trenching within the TPZ to install services can have a detrimental effect on tree health and the structural stability of the tree. Where possible all services should be routed outside of the TPZ.

If this is not possible installation of services should be done utilising direct drilling techniques, at a minimum depth of 600mm or using manual excavation to ensure significant roots are not damaged.

The Project Arborist should assess the likely impacts of boring or bore pits on any retained trees. Manual excavation should only be carried out under the supervision of The Project Arborist.

Soft Landscaping

Soft landscaping within the TPZ can be potentially damaging to tree health. There should be no excavation or compaction of the existing soil grade, other than the removal of organic debris. Any fill should be permeable and not compacted. Soil grade around the trunk should be kept at the original level.

Landscaping works and Pathways

Paving and pathways within the SRZ & TPZ of any retained trees should employ an above grade construction technique with no excavation or compaction to the natural ground level to establish a foundation. Paved surfaces should utilise pervious materials (block pavers, in situ concrete, crushed rock) on a foundation of sand or aggregate 20mm in diameter or greater. This will assist in reducing the degree of compaction within the TPZ area and will allow for greater water permeability allowing water and oxygen to the tree's feeder roots.

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Appendix C - References

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Appendix D - Limitations & Constraints

Tree Assessment is based on external visual examination from ground level only. No internal decay diagnostic equipment was used, no excavation of the root plate undertaken and no samples removed for further analysis unless otherwise stated.

Risk Assessment is provided only as an estimation of the potential of the tree(s) listed in this report as to their probability to cause damage to people and / or property and cannot be considered to constitute a prediction of future events.

Recommendations contained in this report are based on the measurements and observations prevalent at the time of inspection. Future changes or site development may render this report and recommendations invalid.

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