
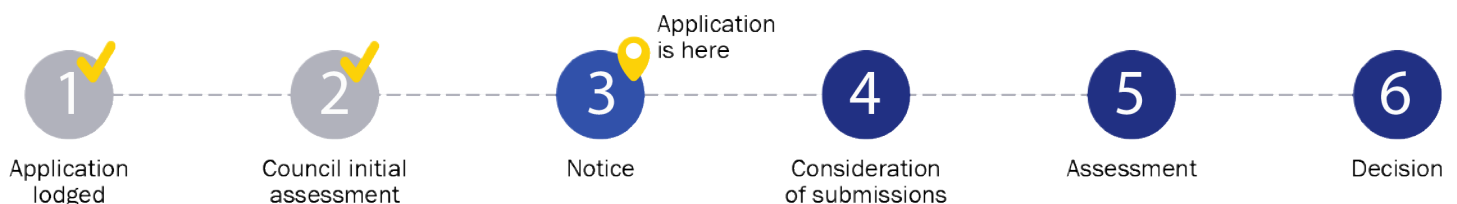


Notice of Application for a Planning Permit

The land affected by the application is located at:	L122 PS848743 V12580 F412 6 Scenic Rise, Pakenham VIC 3810	
The application is for a permit to:	Buildings and works (Construction of a Dwelling and a Fence)	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a fence	
42.01-2	Construct a building or construct or carry out works	
APPLICATION DETAILS		
The applicant for the permit is:	Hermitage Homes	
Application number:	T250005	
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		02 April 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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ePlanning

Application Summary

Portal Reference A12544RE

Basic Information

Proposed Use New residential dwelling and garage within an Environmental Significance Overlay
Current Use Vacant
Cost of Works \$334,425
Site Address 6 Scenic Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	Hermitage Homes	3/37 Dalmore Drive, Scoresby VIC 3179	W: 03-9213-0552 E: ddezeuw@hermitagehomes.com.au
Owner			
Preferred Contact	Hermitage Homes	3/37 Dalmore Drive, Scoresby VIC 3179	W: 03-9213-0552 E: ddezeuw@hermitagehomes.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 4 More than \$100,000 but not more than \$500,000	\$1,420.70	100%	\$1,420.70
	Total		\$1,420.70

Documents Uploaded

Date	Type	Filename
07-01-2025	A Copy of Title	6602_Title.pdf
07-01-2025	Site plans	6602 - LOT 122 SCENIC RISE - WD.pdf
07-01-2025	Overlay Requirements	6602_Planning Advice.pdf



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vc.gov.au

Monday to Friday 8.30am–
5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	Hermitage Homes	2/4 Corporate Avenue, Rowville VIC 3178	W: 03-9213-0552 E: ddezeuw@hermitagehomes.com.au
Submission Date	07 January 2025 - 08:24:AM		

Declaration

By ticking this checkbox, I declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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After Hours: 1300 787 624
Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	T250005 PA
Address of the Land:	Lot 122 (No. 6) Scenic Rise, Pakenham, VIC, 3810

APPLICANT DETAILS

Name:	[REDACTED]
Organisation:	Hermitage Building Group Pty Ltd
Address:	Level 3, 37 Dalmore Drive, Scoresby, VIC 3179
Phone:	03 9213 0552
Email:	ddezeeuw@hermitagehomes.com.au

AMENDMENT TYPE

Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	<input checked="" type="checkbox"/>
Section 50A - Amendment to application at request of responsible authority before notice:	<input type="checkbox"/>
Section 57A – Amendment to application after notice is given:	<input type="checkbox"/>

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for <input checked="" type="checkbox"/>	Plans / other documents <input type="checkbox"/>	Applicant / owner details <input type="checkbox"/>
Land affected <input type="checkbox"/>	Other <input type="checkbox"/>	
Describe the changes. If you need more space, please attach a separate page.		
Application Type: Construction of a Dwelling and Fence		

Specify the estimated cost of any development for which the permit is required:		
Not applicable <input checked="" type="checkbox"/>	Unchanged <input type="checkbox"/>	New amount \$

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	[Redacted]
Signature:	[Redacted]
Date:	13/03/2025

LODGEMENT

Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au

You can also make amendments to your application via the Cardinia ePlanning Portal at <https://eplanning.cardinia.vic.gov.au/>

If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.

IMPORTANT INFORMATION

It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.

Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.

No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the *Planning and Environment (Fees) Regulations 2016* for more information.

The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.

Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.

Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12580 FOLIO 412

Security no : 124119501269U
Produced 31/10/2024 04:33 PM

LAND DESCRIPTION

Lot 122 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



COVENANT PS848743W 31/10/2024

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AX385769J 25/10/2023

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER	PLAN OF SUBDIVISION	STATUS	DATE
PS848743W (B)	PLAN OF SUBDIVISION	Registered	31/10/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 6 SCENIC RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

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DOCUMENT END



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Document Type	Plan
Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	31/10/2024 16:33

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PLAN OF SUBDIVISION	EDITION 1	PS848743W
----------------------------	------------------	------------------

<p>LOCATION OF LAND</p> <p>PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: —</p> <p>CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL. 12230 FOL. 801 LAST PLAN REFERENCE: LP6710 (LOT 3) POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 250 ZONE: 55 (of approx centre of land in plan) N: 5 786 580 GDA 2020</p>	<p>Council Name: Cardinia Shire Council Council Reference Number: S21-146 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182115M</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification</p> <p>Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024</p> <p>Statement of Compliance issued: 28/10/2024</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance</p>
---	---

VESTING OF ROADS AND/OR RESERVES	NOTATIONS
---	------------------

IDENTIFIER	COUNCIL/BODY/PERSON	
ROAD R1 ROAD R2 RESERVE No.1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD	LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4. WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958

NOTATIONS
<p>DEPTH LIMITATION: DOES NOT APPLY</p> <p>This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675</p> <div style="border: 1px solid black; padding: 2px; font-size: small;"> Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha </div>

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4	PIPELINE	24.38	INST. D613929	VICTORIA PIPELINES COMMISSION
E-2	DRAINAGE	3	THIS PLAN	CARDINIA SHIRE COUNCIL
E-2, E-3	SEWERAGE	SEE DIAG.	THIS PLAN	SOUTH EAST WATER CORPORATION
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	THIS PLAN	SOUTH EAST WATER CORPORATION

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<p>Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au</p>	SURVEYORS FILE REF: 2000490/01 2000490-01-PS-V11.DWG	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 4
	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		Land Use Victoria Plan Registered 02:18 PM 31/10/2024 Assistant Registrar of Titles

PS848743W

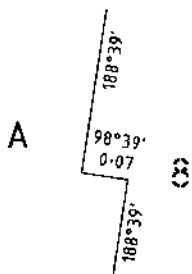
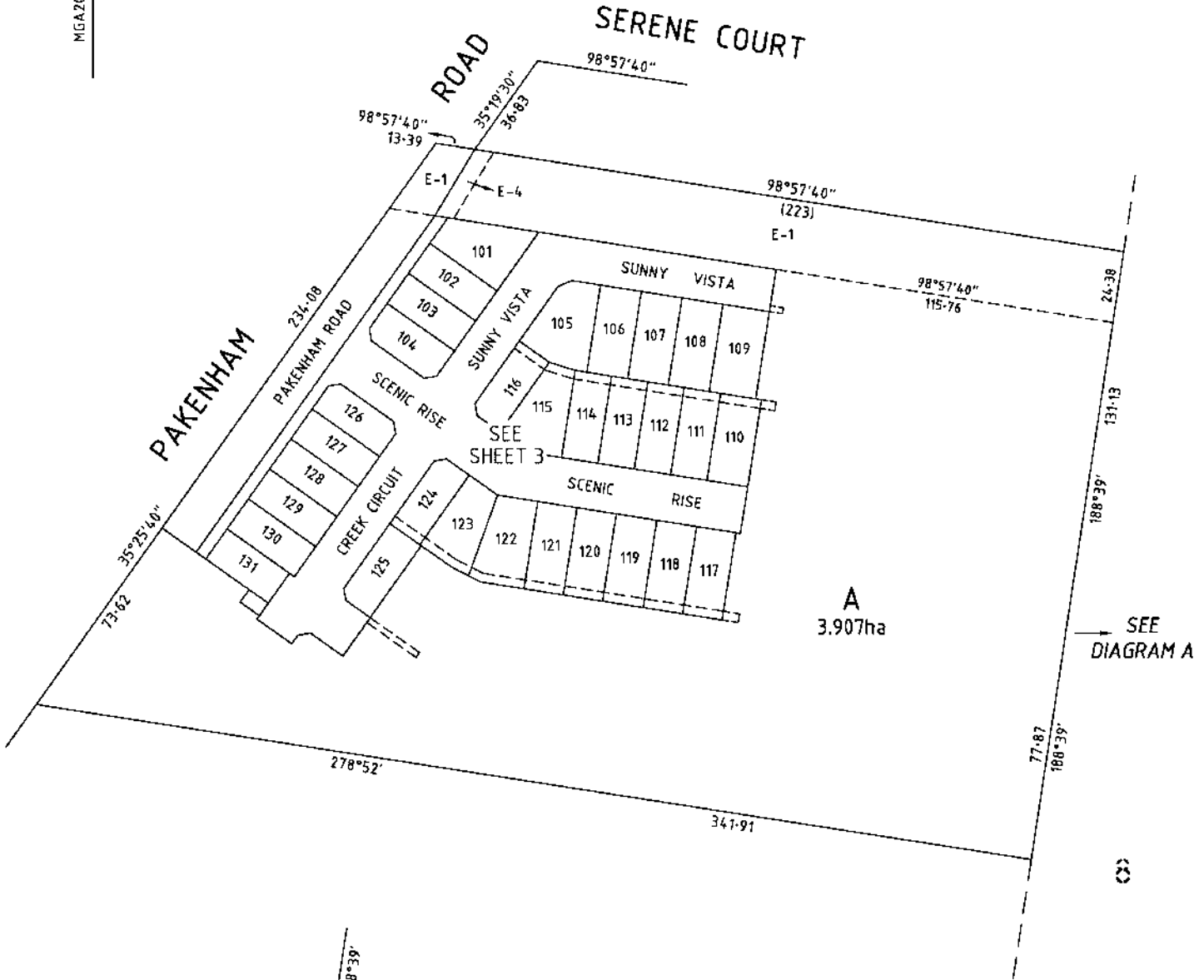
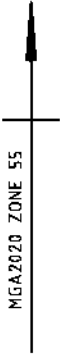


DIAGRAM A
NOT TO SCALE

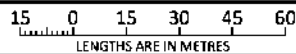
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development & environment consultants
Melbourne ph : 03 9524 8888
www.beveridgewilliams.com.au

SURVEYORS REF
2000490/01

SCALE
1 : 1500



ORIGINAL SHEET
SIZE: A3

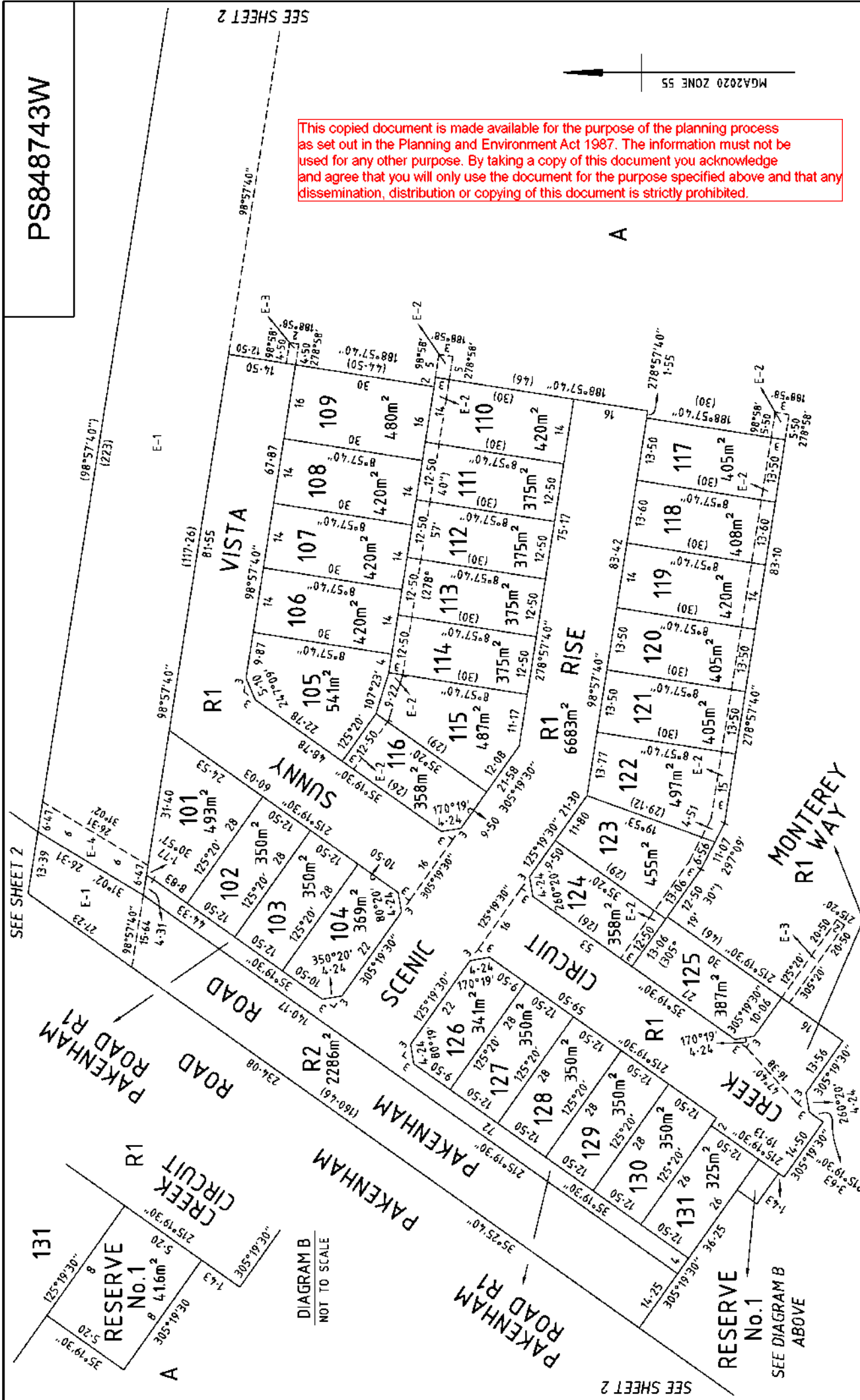
SHEET 2


Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor,
Surveyor's Plan Version (11),
24/05/2024, SPEAR Ref: S182115M

Digitally signed by:
Cardinia Shire Council,
30/05/2024,
SPEAR Ref: S182115M

PS848743W

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 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /01	SCALE 1 : 750	LENGTHS ARE IN METRES 7.5 0 7.5 15 22.5 30	ORIGINAL SHEET SIZE: A3	SHEET 3
	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Cardinia Shire Council, 30/05/2024, 24/05/2024, SPEAR Ref: S182115M				

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:
 - (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
 - (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

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<p>Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au</p>	SURVEYORS REF 2000490/01		ORIGINAL SHEET SIZE: A3	SHEET 4
	Digitally signed by [redacted] Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M		Digitally signed by: Cardinia Shire Council, 30/05/2024, SPEAR Ref: S182115M	



Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 31/10/2024 04:33:37 PM

Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	SETTLE CONNECT PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	[REDACTED]
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

**Under s173 of the
*Planning and Environment Act 1987***

Cardinia Shire Council

and

BNG (Pakenham) Pty Ltd (ACN 640125686)

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Ref: DV:NB:1050250

Doc ID 1115801193/v1

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Table of contents

1. Definitions and interpretation clauses	2
2. Owner's obligations	5
3. Further obligations	5
4. Agreement under Section 173 of the Act	6
5. Owner's warranties	7
6. Successors in title	7
7. Notices	7
8. Miscellaneous	8
Schedule	10
Executed as a deed	11
Schedule 1	12
Schedule 2	13

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Deed of Agreement

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Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)

BNG (PAKENHAM) PTY LTD (ACN 640125686)

of Level 5, 991 Whitehorse Road, Box Hill VIC 3128

(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:
- Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:*
- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) *A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) *A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

- F. The Parties have agreed to enter into this Agreement:
- (a) to give effect to the requirements of the Amended Planning Permit;
 - (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
 - (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act means the *Planning and Environment Act 1987* (Vic).

Agreement means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

Building Design Guidelines means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

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- Planning Scheme** means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
- Plantation Reserve** means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
- Subject Land** means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
- VCAT** means the Victorian Civil and Administrative Tribunal.
- Vegetation Plan** means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

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3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

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5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

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8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

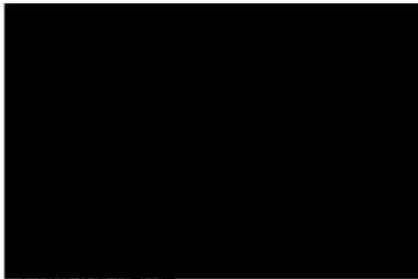
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Schedule

Mortgagee's Consent

Daiwa Capital Markets Australia Ltd as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

Executed by Daiwa Capital Markets Australia Ltd)
ACN 006 461 356 in accordance with s 127(1) of the)
Corporations Act 2001:



.....
.....

Print full name



.....

.....
Secretary

Print full name

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Executed as a deed

Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by [REDACTED]

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation))
in the presence of:)

[REDACTED]

[REDACTED]

Signature of witness

The execution of this document has been witnessed by me in accordance with the requirements for witnessing by audio-visual link under section 12 of the Electronic Transactions (Victoria) Act 2000.
(Strike out if inapplicable)

Vanessa Neep

.....
Name of witness
(BLOCK LETTERS)

Executed by BNG (PAKENHAM) PTY LTD (ACN 640125686) in accordance with section 127 of the *Corporations Act 2001* (Cth) by:

[REDACTED]

Full name (print)

[REDACTED]

Full name (print)

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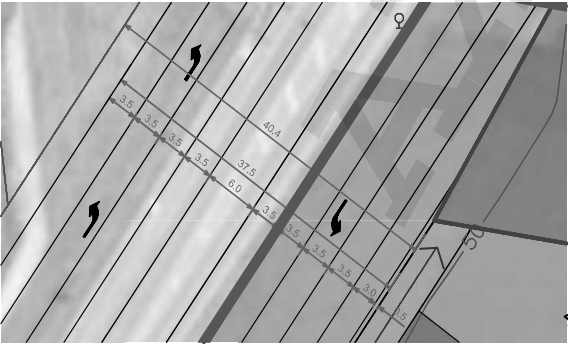
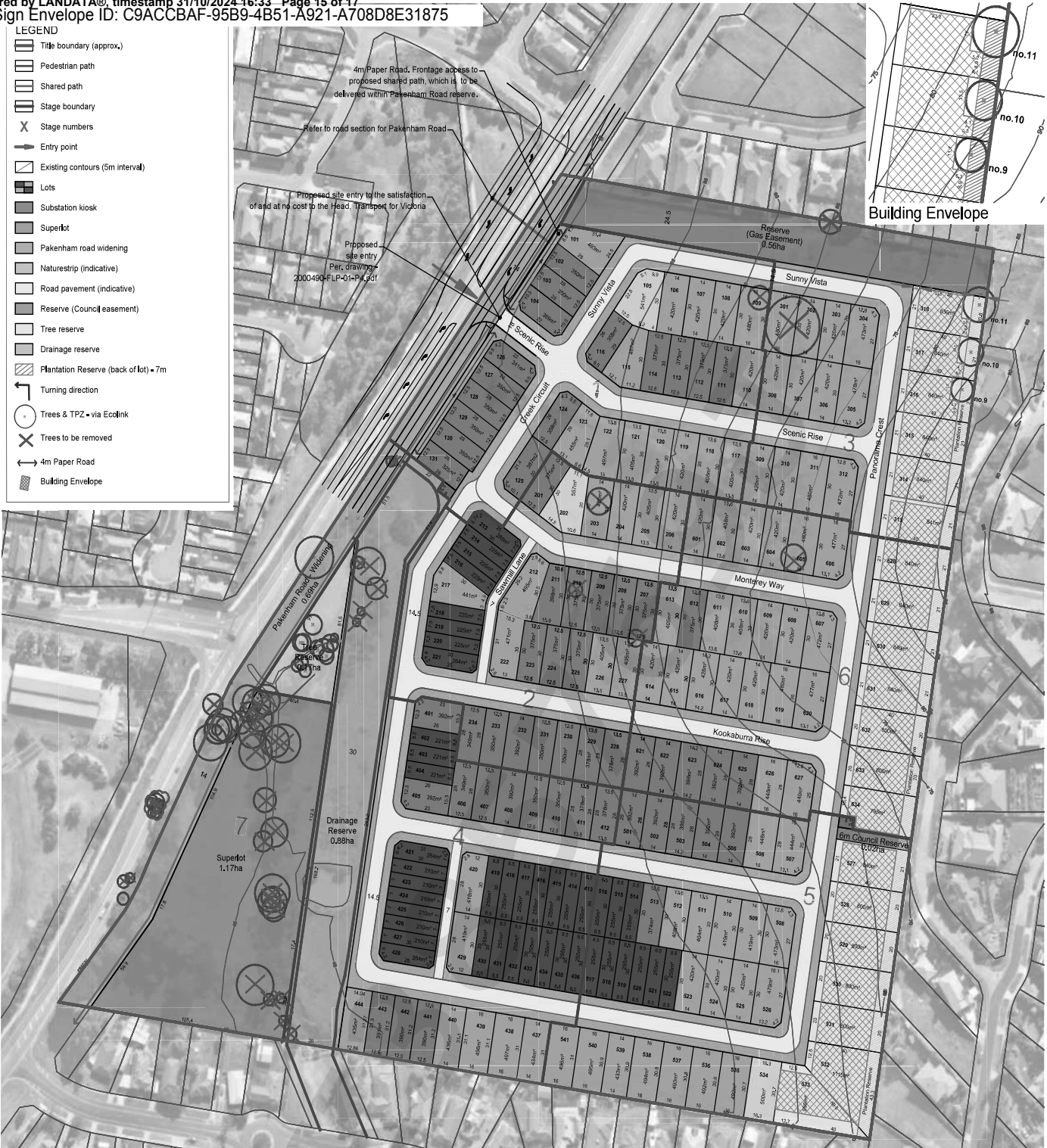
Schedule 1

Building Envelope Plan

AX385769J

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- LEGEND**
- Title boundary (approx.)
 - Pedestrian path
 - Shared path
 - Stage boundary
 - Stage numbers
 - Entry point
 - Existing contours (5m interval)
 - Lots
 - Substation kiosk
 - Superlot
 - Pakenham road widening
 - Naturestrip (indicative)
 - Road pavement (indicative)
 - Reserve (Council easement)
 - Tree reserve
 - Drainage reserve
 - Plantation Reserve (back of lot) = 7m
 - Turning direction
 - Trees & TPZ - via Ecolink
 - Trees to be removed
 - 4m Paper Road
 - Building Envelope



Pakenham Road - Cross Section

- Notes:**
- This plan is subject to Council approval.
 - All dimensions and areas are subject to survey and final computations.
 - The drainage reserve shown has been preliminarily sized for the treatment of stormwater to Council requirements. The layout and area required will be subject to engineering detail design and Council approval.
 - All roads are 16m local access level 1 unless noted otherwise.
 - Road pavement is indicative only and subject to detailed engineering design.
 - Arc dimensions shown are length of arc (not chord).

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

* Stage includes 1 Superlot

Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 Lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

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Subdivision Plan
 110 Pakenham Road, Pakenham
 BNG Group

APPROVED AMENDED PLAN
 PLANNING AND ENVIRONMENT ACT 1987
 CARDINIA PLANNING SCHEME
 PERMIT No. T160690-2
 SHEET 1 OF 1
 APPROVED BY: Dean Haeusler
 CARDINIA SHIRE COUNCIL

Version	Date	Description	Drafted	Approved
12	01/09/2022	Initial subdivision layout	KT	KT
13		Added building envelopes	KT	KT
14		Updated road and staging boundary	KT	KT
15		Updated staging boundary	KT	KT
16		Updated lot numbers, building envelope and titles	OX	KT

Date: 01.09.2022
 Version No: 16
 Job No: 2000490
 Scale (A1): 1:1000
 (A3): 1:2000

Schedule 2

Vegetation Plan

AX385769J

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CODE	BOTANICAL NAME	COMMON NAME	HEIGHT (M)	INITIALS	NO. OF PLANTS	QTY
TREES						
1	Small to Medium Shrubs	Small to Medium Shrubs	1.5m - 2.5m	45	1.5m - 2.5m	45
2	Medium to Large Trees	Medium to Large Trees	3.0m - 4.5m	45	3.0m - 4.5m	45
3	Large Trees	Large Trees	5.0m - 7.0m	45	5.0m - 7.0m	45
4	Small to Medium Shrubs	Small to Medium Shrubs	1.5m - 2.5m	45	1.5m - 2.5m	45
5	Medium to Large Trees	Medium to Large Trees	3.0m - 4.5m	45	3.0m - 4.5m	45
6	Large Trees	Large Trees	5.0m - 7.0m	45	5.0m - 7.0m	45
7	Small to Medium Shrubs	Small to Medium Shrubs	1.5m - 2.5m	45	1.5m - 2.5m	45
8	Medium to Large Trees	Medium to Large Trees	3.0m - 4.5m	45	3.0m - 4.5m	45
9	Large Trees	Large Trees	5.0m - 7.0m	45	5.0m - 7.0m	45
10	Small to Medium Shrubs	Small to Medium Shrubs	1.5m - 2.5m	45	1.5m - 2.5m	45
11	Medium to Large Trees	Medium to Large Trees	3.0m - 4.5m	45	3.0m - 4.5m	45
12	Large Trees	Large Trees	5.0m - 7.0m	45	5.0m - 7.0m	45

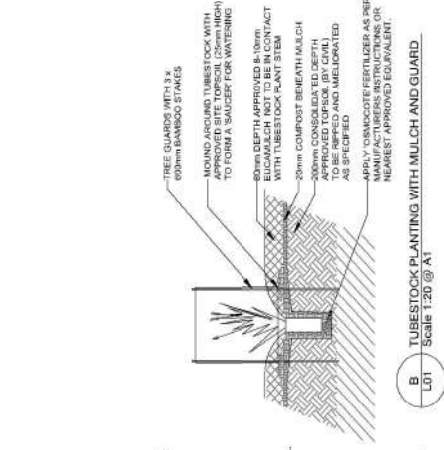
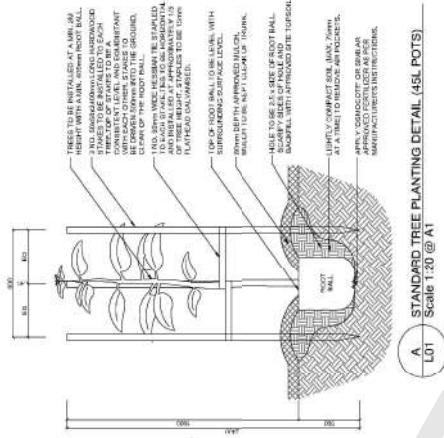
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT (M)	QTY
TREES				
1	Small to Medium Shrubs	Small to Medium Shrubs	1.5m - 2.5m	45
2	Medium to Large Trees	Medium to Large Trees	3.0m - 4.5m	45
3	Large Trees	Large Trees	5.0m - 7.0m	45
4	Small to Medium Shrubs	Small to Medium Shrubs	1.5m - 2.5m	45
5	Medium to Large Trees	Medium to Large Trees	3.0m - 4.5m	45
6	Large Trees	Large Trees	5.0m - 7.0m	45
7	Small to Medium Shrubs	Small to Medium Shrubs	1.5m - 2.5m	45
8	Medium to Large Trees	Medium to Large Trees	3.0m - 4.5m	45
9	Large Trees	Large Trees	5.0m - 7.0m	45
10	Small to Medium Shrubs	Small to Medium Shrubs	1.5m - 2.5m	45
11	Medium to Large Trees	Medium to Large Trees	3.0m - 4.5m	45
12	Large Trees	Large Trees	5.0m - 7.0m	45

LEGEND

- EXTENT OF WORK
- PROTECTIVE FENCE
- EXISTING TREES TO BE RETAINED
- PROPOSED TREES (L1-L12)
- HIGHGROWER MEDIUM & SMALL SHRUBS (MLO/S)
- WALK OR RIDEWAY MATERIAL
- FENCE 1.80M

NOTES

1. Proposed tree and shrub planting is indigenous as per EVC Number 128, Grassy Forest (Highlands - Southern Fall (Blompong)).
2. Plant densities for trees, medium shrubs and small shrubs have been calculated in accordance with the DSE Native Revegetation Planning Standards.



MAINTENANCE / WEED CONTROL SCHEDULE

SHORT TERM (1-2 years) - Lot Owner's Responsibility

1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Ensure plants are established with an 80% survival rate.
3. Replace dead or dying plants on an as needed basis during favourable planting conditions (not in summer or mid-winter).
4. Monitor natural regeneration and weeding to <1%.

MEDIUM TERM (3-5 years) - Lot Owner's Responsibility

1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Monitor natural regeneration and remove any weeds posing a threat of crowding out native plants.
3. Undertake (if) planting/replacement at 1%, p.a.

LONG TERM (5yrs +) - Lot Owner's Responsibility

1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Monitor natural regeneration and remove any weeds posing a threat of crowding out native plants.

*Each land owner must maintain the plantation reserve in perpetuity at the owner's cost.

GENERAL NOTES

1. The Contractor must verify all dimensions on site and immediately report any discrepancies to the Project Manager.
2. The site is to be cleared of all debris and builder's rubble.
3. All weed species on site shall be eradicated.
4. All plants shall be installed in accordance with the specifications prior to ordering.
5. All plant species shall be true to type and there should be no alterations or substitutions of nominated species or cultivars without the written consent of the Landscape Architect.
6. All plant stock must be checked by the Contractor and must be healthy and disease free.
7. Planting must be undertaken in accordance with sound horticultural practices.
8. Supply of mulch 200mm depth eucamulch 80mm depth approved fine grade eucamulch to all tree watering bowls.
9. The Contractor must check current water restrictions and ensure there is an adequate supply of water suitable for plants.

FOR APPROVAL

01 NORTHERN PLAN (01) Scale 1:500 @ A1

02 MIDDLE PLAN (02) Scale 1:500 @ A1

03 SOUTHERN PLAN (03) Scale 1:500 @ A1

The Rise - Pakenham
Plantation Reserve Landscape Plan
 BNG Group

Project Name: The Rise - Pakenham
 Project No: 2000490-01
 Drawing No: L01
 Scale: 1:500 @ A1

Author: [Name]
 Date: 17/05/2024

Client: BNG Group

Project Address: 1 Gilbert Drive, Pakenham VIC 3114
 Phone: 03 9523 8888
 Website: www.beveridgewilliams.com.au

Scale: 1:500 @ A1

Project No: 2000490-01
 Drawing No: L01
 Scale: 1:500 @ A1

Author: [Name]
 Date: 17/05/2024

Client: BNG Group

Project Address: 1 Gilbert Drive, Pakenham VIC 3114
 Phone: 03 9523 8888
 Website: www.beveridgewilliams.com.au

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Our Ref: 2000490
9 January 2025

ACN 006 197 235
ABN 38 006 197 235

Applicant: [REDACTED]
Company/Builder: Hermitage Homes
Email: ddezeeuw@hermitagehomes.com.au

Melbourne Office
1 Glenferrie Road
PO Box 61
Malvern VIC 3144
Tel: (03) 9524 8888

beveridgewilliams.com.au

Dear Sir/Madam,

**RE: Lot 122 Scenic Rise, Pakenham
THE RISE DESIGN ASSESSMENT PANEL APPROVAL**

Thank you for submitting your development plans to The Rise Design Assessment Panel for consideration. A review of your development plans indicates they are compliant with The Rise Design Guidelines and generally in line with restrictions on your plan of subdivision for the Estate. Any changes to material or design of the dwelling require the submission of amended plans for approval. You can only construct from the most recently approved plans.

It should be noted this approval relates only to the matters required under the terms of the Covenant which is concerned essentially with the appearance and siting of buildings. No detailed examination has been made of the construction specifications and no consideration has been made regarding whether the proposal complies with the requirements of the Standard Building By-laws nor any other statute.

You are reminded that approval from the Design Assessment Panel does not constitute or imply building approval and separate application is to be made to a private building surveyor prior to the commencement of development.

Please find attached an endorsed copy of your plans for your records. Please refer to any other conditions marked-up on the plans and ensure they are suitably addressed.

Please note;

- **All lots require a planning permit under the ESO placed on the overall Estate. An application must be approved by council before construction commences. The Building envelopes are to be used as a guide only, the planning permit will override all siting recommendations by the DAP team.**
- **Mandated endorsed building envelopes are applicable for lots 313-318, 527-533, 628-634.**
- **Any lot under 300m2 in size, requires a planning permit for being under 300m2 in addition to the ESO planning permit.**
- **There is no connections to Recycled Water (purple taps) in the estate therefore, other water saving requirements are to be met as per the current building regulations.**

Should you have any queries, please contact the undersigned on 9524 8888 or via email planlodgement@bevwill.com.au All new submissions, re-submissions, amendment submissions or supplemental submissions, please use www.portal.beveridgewilliams.com.au

Kind Regards,

[REDACTED]
Design Approvals Coordinator
BEVERIDGE WILLIAMS

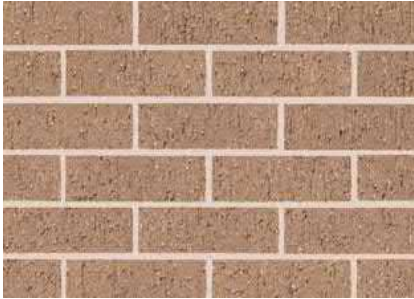

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HERMITAGE HOMES

**WATSON FACADE
DECEMBER 2024
JOB NO. 6602**

ADDRESS: Lot 122 Scenic Rise, Pakenham


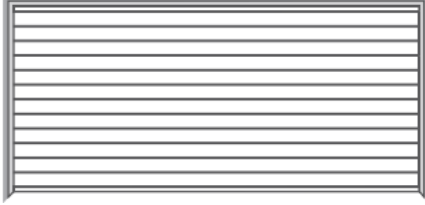



EXTERIOR COLOUR SELECTION	
BRICK	Supplier: Austral Col: Access Fawn Laid: Stack Bond to Feature Pier 
MORTAR JOINTS	Profile: Rolled Colour: Natural
ROOF TILE	Supplier: Monier Profile: Altura Colour: Sambuca 

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 09.01.2025

REVIEWED BY: Belinda Blythe



COLORBOND GUTTER & FASCIA / DOWNPIPES & METER BOX	CB Monument 
GARAGE DOOR	Supplier: Dynamic Doors Profile: Slimline  Colour: CB Basalt 
FLASHING (IF REQUIRED)	CB Monument 
REAR GARAGE DOOR & EXTERNAL LAUNDRY DOOR, INC FRAMES (IF APPLICABLE)	Supplier: Hume Profile: Duracoate Tempered Hardboard Hinge: Satin Chrome Finish: External Low Sheen Colour: CB Basalt 





DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 09.01.2025

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<p>CLADDING TO FAÇADE</p>	<p>Supplier: Permatimber Profile: CX Castellated cladding Colour: Spotted Gum</p> 
<p>FRONT ENTRY DOOR</p>	<p>Supplier: Hume Profile: XN1C Hinge: Satin Chrome Glazing: Clear</p>  <div data-bbox="649 919 1471 1041" style="border: 1px solid red; padding: 5px; color: red; font-size: small;"> <p>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>
<p>FRONT ENTRY DOOR & FRAME</p>	<p>Finish: External Low Sheen Colour: CB Basalt</p> 
<p>ALUMINUM WINDOWS / SLIDING DOORS INC. FLYWIRE FRAMES & BARRIER DOORS (IF APPLICABLE)</p>	<p>Colour: CB Monument</p>  <p><i>Note: colour also to be applied to barrier door frame where applicable</i></p>






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EAVES / PORTICO CEILING / OUTDOOR LIVING (IF APPLICABLE)	Finish: External ceiling paint flat Colour: Builders White
FC SHEET INFILLS	Finish: External Low Sheen Colour: CB Basalt 
MAIN RENDER	Finish: Textured Render Colour: CB Monument 
ADDITIONAL RENDER COLOUR (IF REQUIRED)	Finish: Textured Render Colour: CB Basalt 
DRIVEWAY / PORCH (EXPOSED AGGREGATE – IF APPLICABLE – REFER TO TENDER)	Colour Mix: Grey Cement 80% 7mm Bluestone, 20% 7mm Whitestone 
DRIVEWAY / PORCH & OUTDOOR LIVING (IF APPLICABLE)	Colour through concrete Colour: Charcoal 

DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 09.01.2025

REVIEWED BY: Belinda Blythe




<p>LETTER BOX</p>	<p>Profile: Slim Colour: Grey</p>  <div style="border: 1px solid red; padding: 5px; color: red; font-size: small;"> <p>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>
<p>CLOTHESLINE</p>	<p>Colour: Timber Grey</p> 
<p>WATERTANK (IF APPLICABLE)</p>	<p>xxxL Slimline Poly Watertank Colour: CB Basalt</p> 
<p>EVAP COOLING (IF APPLICABLE)</p>	<p>Brivis Promina Series Colour: Charcoal</p> 
<p>EXTERNAL FURNITURE</p>	
<p>EXTERNAL DOORS</p>	<p>Lockwood Whitco – Bevel Series Col: Polished Chrome</p> 
<p>NOTES</p>	
<p>The builder reserves the right to alter this colour selection without notice due to supplier / product deletions or delays etc please note that a suitable colour match will be made where possible. Colours may vary depending on screen/printer resolution.</p>	

DESIGN ASSESSMENT PANEL

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SITE NOTES

NO PART OF THE BUILDING TO ENCROACH BOUNDARY

BUILDING ADJACENT TO EASEMENTS MUST CONSIDER OR ACCOMMODATE ANGLE OF REPOSE OF 45° FOR CLAY OR 30° FOR SAND AND PIPES BURIED IN THESE EASEMENTS

LEVELS SHOWN ARE AS PER SITE SURVEY UNLESS OTHERWISE STATED

ALL LEVELS ARE TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORK

CUT/FILL BATTERS AT 45° FOR CLAY, 30° FOR SAND OR 1:2 SLOPE FOR CLASS 'P' SOILS.

TEMPORARY DOWNPIPES TO BE USED UNTIL DOWNPIPES ARE CONNECTED TO AVOID WATER PONDING BY SLAB

100x50mm DOWN PIPES LOCATED AS PER ENGINEERING

SILT PIT WITH GRATED COVER

S.W. TO LEGAL DISCHARGE POINT OR TO SUPPLY TANK (IF SHOWN) TO THE SATISFACTION OF THE LOCAL AUTHORITY

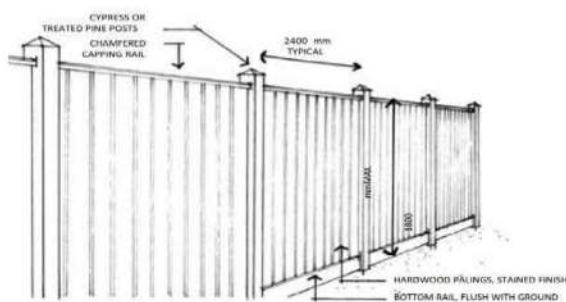
SITING SUBJECT TO THE APPROVAL OF THE DEVELOPER AND RELEVANT LOCAL AUTHORITY

PROPERTY INFORMATION NOT YET RECEIVED DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT TIME OF DRAFTING VERIFY ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

FENCING TO BE COMPLETED PRIOR TO OCCUPANCY PERMIT

SITE CUT / FILL RL: RL: 9.600
HOUSE FFL: FFL: 9.985
SITE COVERAGE: 42.31%
PERMEABILITY AREA: 51.31%
GARDEN AREA: 50.77%
SURVEY REF: 27425-24
PS NUMBER: PS 848743
SITE CLASSIFICATION: P
BUSH FIRE ATTACK LEVEL: BAL: N/A



DRAINAGE NOTES

NOMINATED STORM WATER DRAINS ARE APPROXIMATIONS ONLY. SEE ENGINEERING FOR FINAL DRAINAGE PLANS, STRICTLY ADHERING TO AS2870/2011

NOTE: PROVIDE FIBRE OPTIC PACKAGE (OPTICOMM) AS REQUIRED BY ESTATE GUIDELINES.

REPORT & CONSENT NOTE - REG 130

REPORT AND CONSENT IS REQUIRED FOR REGULATION 130 BUILD OVER EASEMENT.

-SITE FILL OVER EASEMENT 3.25M2

NOTE: DRIVEWAYS MUST BE COMPLETED BEFORE OCCUPANCY OF DWELLING.

DEVELOPER CONDITION: PLEASE NOTE THAT A PLANNING PERMIT IS REQUIRED UNDER THE ESO FOR ALL LOTS. AN APPLICATION MUST BE APPROVED BY COUNCIL BEFORE CONSTRUCTION COMMENCES.

DESIGN ASSESSMENT PANEL

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SURVEY NOTES

ONLY VISIBLE SERVICES AT THE TIME OF SURVEY ARE SHOWN

FOR UNDERGROUND SERVICES, THE RELEVANT SERVICING AUTHORITIES SHOULD BE CONTACTED

ONLY HABITABLE WINDOWS WITHIN 2500mm ARE SHOWN

THIS SURVEY IS NOT A RE-ESTABLISHMENT SURVEY OF TITLE

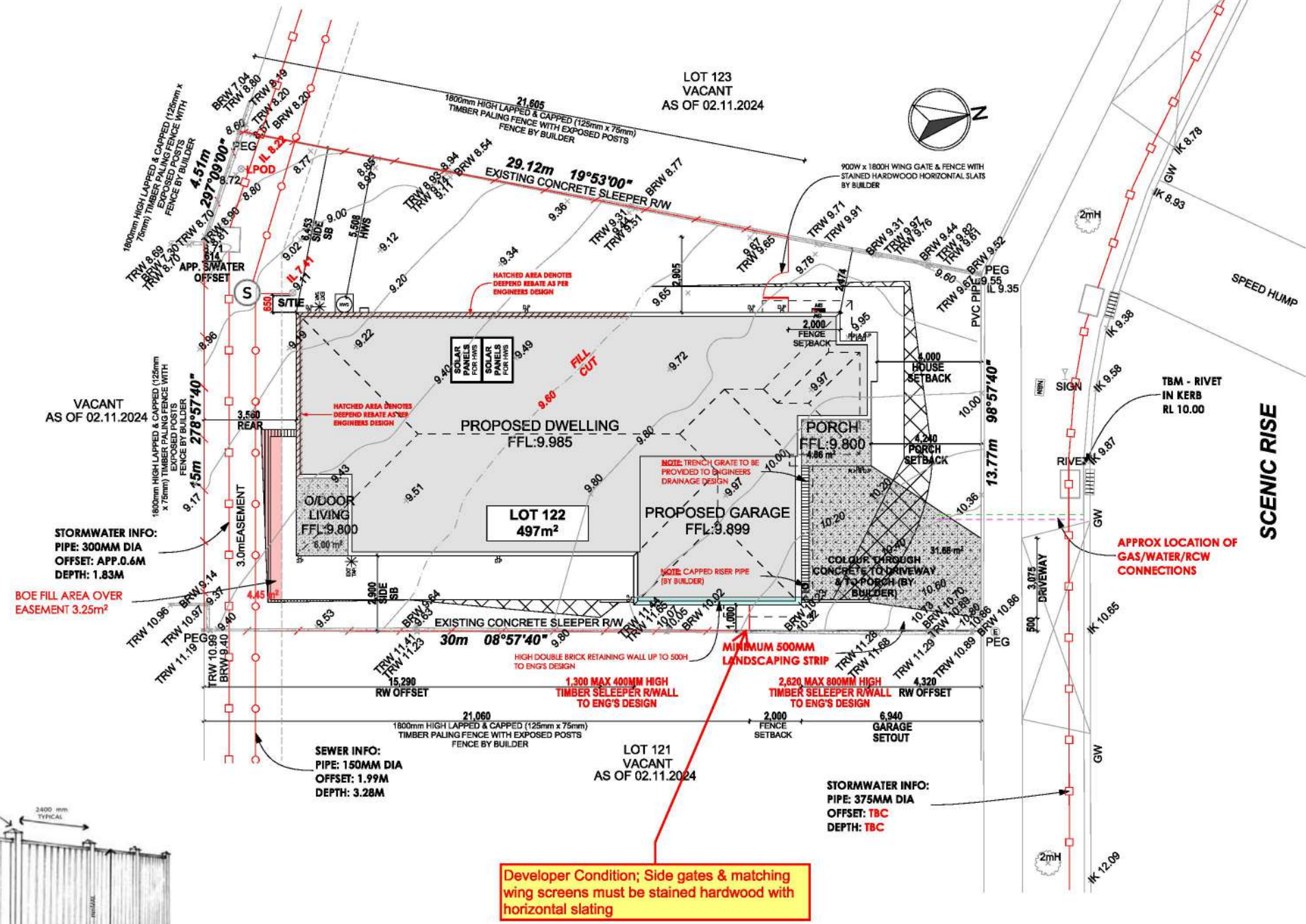
LEVELS ARE TO AN ARBITRARY DATUM

CONTOUR INTERVALS ARE 200mm

SETBACK DISTANCES, LOCATION AND SIZE OF TREES AND OTHER STRUCTURES AND SERVICES SHOWN ARE APPROXIMATE

PROPERTY BOUNDARIES ARE UNFENCED UNLESS OTHERWISE STATED OR SHOWN

LAND CONTOURS MAY HAVE VARIED DURING THE COURSE OF CONSTRUCTION. RETAINING WALLS AND BATTERS SHOULD BE CONFIRMED ON SITE TO AVOID UNNECESSARY SITE COSTS



LEGEND	
TBM	SITE LEVEL BENCHMARK
■	TITLE PEG
⊕	ELECTRICITY PIT
■	STOP VALVE
SEP	SIDE ENTRY PIT
⊠	STORMWATER JUNCTION PIT
■	GRATED PIT
□	UNCLASSIFIED PIT
⊙	PROPERTY INLET
■	FIRE HYDRANT
○	WATER METER
□	SEWER PIT
○	TELSTRA PIT
⊕	TREE
—	PROPOSED FENCE LINE
—	EXISTING FENCE LINE
W	WINDOW - GROUND FLOOR
W1	WINDOW - FIRST FLOOR
H	HABITABLE
NH	NON HABITABLE
D	DOOR
P.O.S.	PRIVATE OPEN SPACE
○EP	ELECTRICITY POLE
WG	WATER/GAS KERB MARKER
HDM	HOUSE DRAIN KERB MARKER
HD	HOUSE DRAIN OUTLET
—E—	POWERLINES
---	STORMWATER PIPES
---	AGI DRAINS
■	SILT PIT
—	RETAINING WALLS

HERMITAGE HOMES

HERMITAGE BUILDING GROUP
A.B.N. 79 150 694 572
CDU-U 75352
Level 3, 37 Dalmore Drive
Scoresby, Victoria 3179
Ph: (03) 9213 0000 Fax: (03) 9213 0011
Email: admin@hermitagehomes.com.au
W: www.hermitagegroup.com.au

PAKENHAM VIC, 3810
P.S. NUMBER: PS 848743

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SIGNED OWNER: _____
DATE: _____
SIGNED OWNER: _____
DATE: _____
SIGNED BUILDER: _____
DATE: _____

JOB STATUS

WORKING DRAWINGS

SCALE: 1:200 @ A3
HOUSE MODEL
WENTWORTH 22
FACADE TYPE
WATSON
DRAWN: CTA
CHECKED: --

JOB NUMBER
6602
ISSUE
WDA
ISSUE DATE
8/01/2025
PAGE: MR02

DRAWING NAME: SITE PLAN

- SMOKE ALARMS TO BE CONNECTED TO CONSUMER MAINS POWER TO COMPLY WITH AS:3786. (TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM)
- CEILING EXHAUST FAN SWITCHED WITH LIGHT (SELF SEALING)
- DOWNPIPE CONNECTED TO LPOD VIA 90mmØ UPVC PIPE AS PER LOCAL AUTHORITIES REQUIREMENTS
- METER BOX
- GAS METER
- MAN HOLE TO CEILING ACCESS
- T.BEAM = TIMBER BEAM
- LVL BEAM = LAMINATED VENEER LUMBER BEAM

NOTE:
PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS

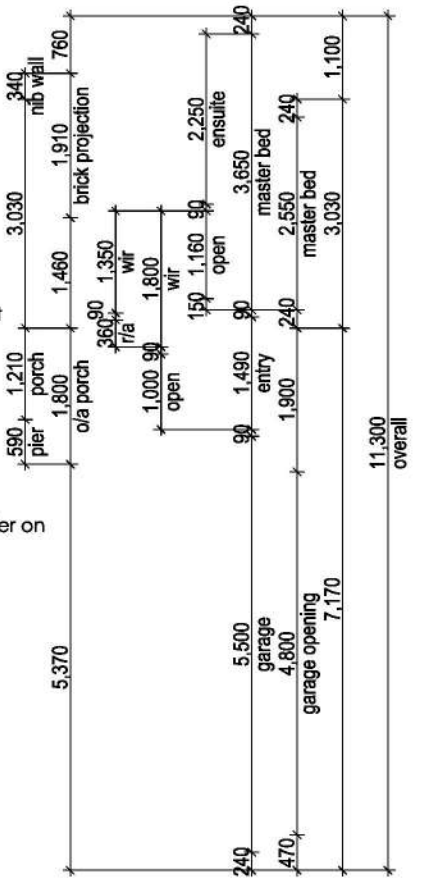
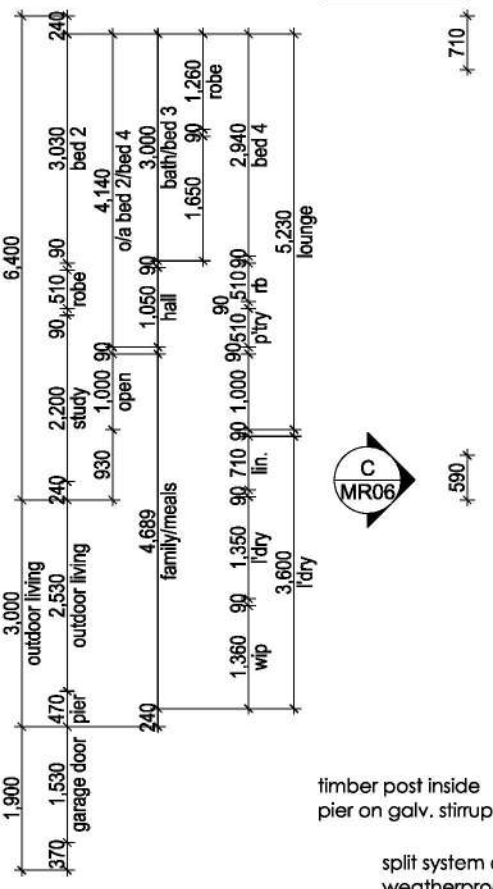
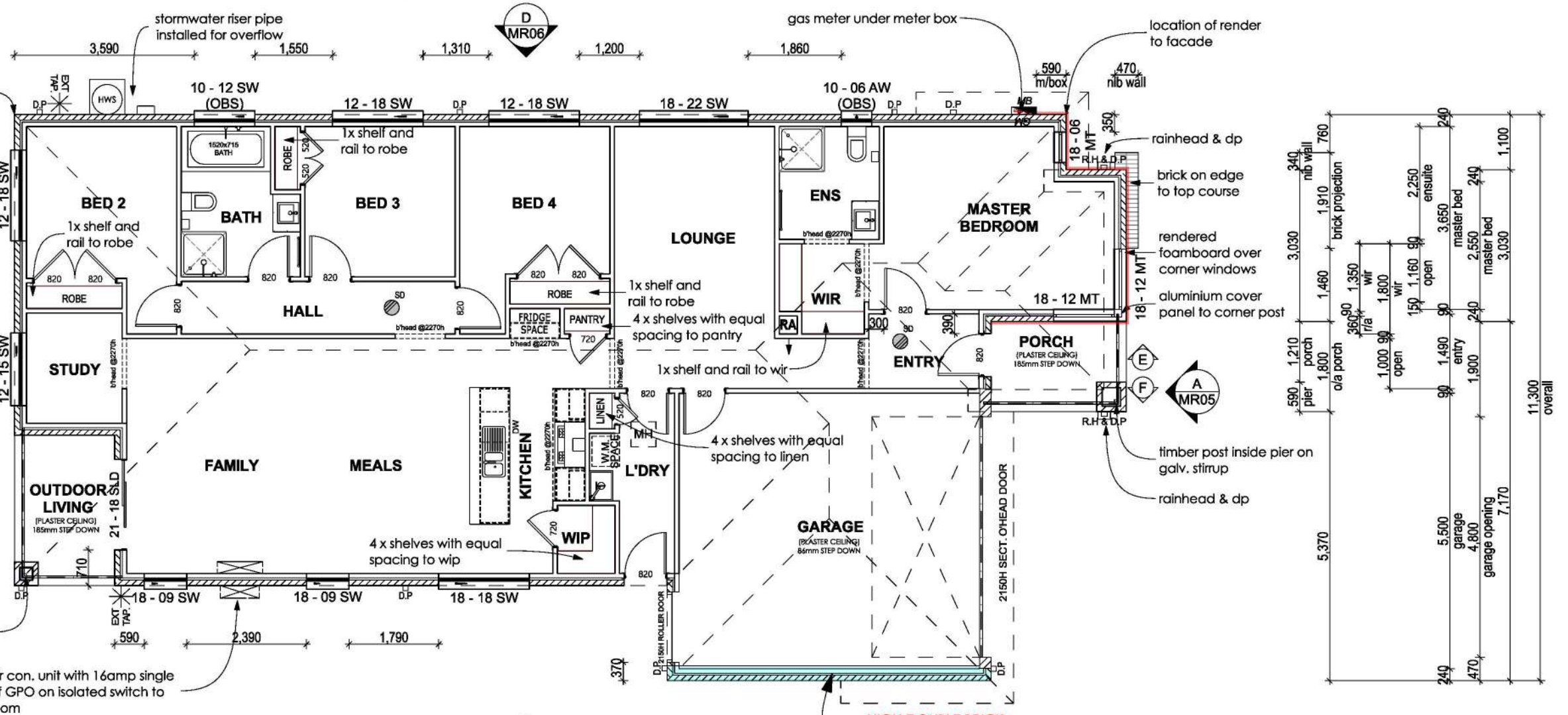
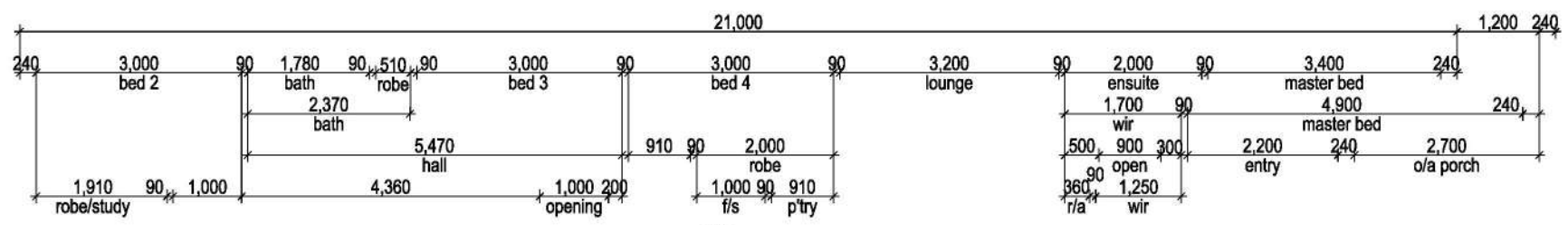
NOTE:
PROVIDE BARRIER DOOR TO ALL SLIDING GLASS DOORS

DESIGN ASSESSMENT PANEL

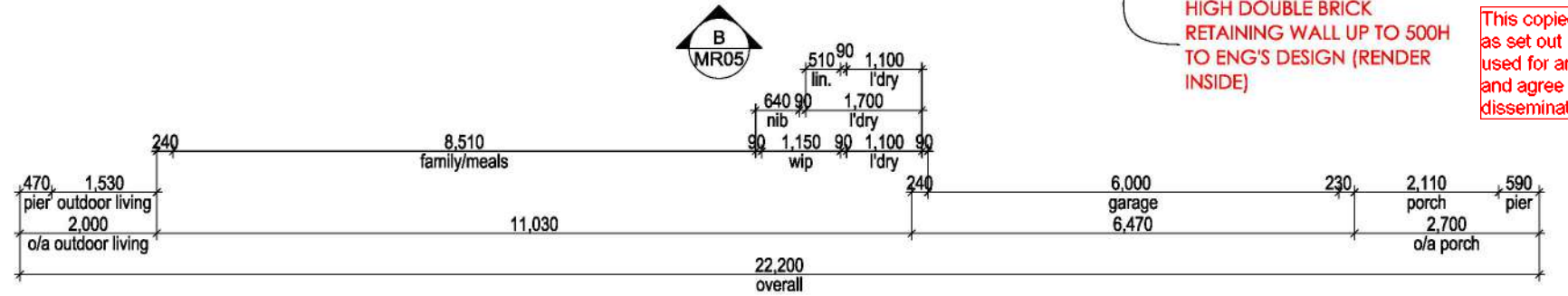
PLAN APPROVAL DATE: 09.01.2025

REVIEWED BY: Belinda Blythe

FLOOR AREAS		AREA m
001	HOUSE	163.21
002	GARAGE	36.22
003	OUTDOOR LIVING	6.00
004	PORCH	4.86
		210.29 m²



SITE CUT / FILL RL: RL: 9.600
HOUSE FFL: FFL: 9.985
GARAGE FFL: FFL: 9.899

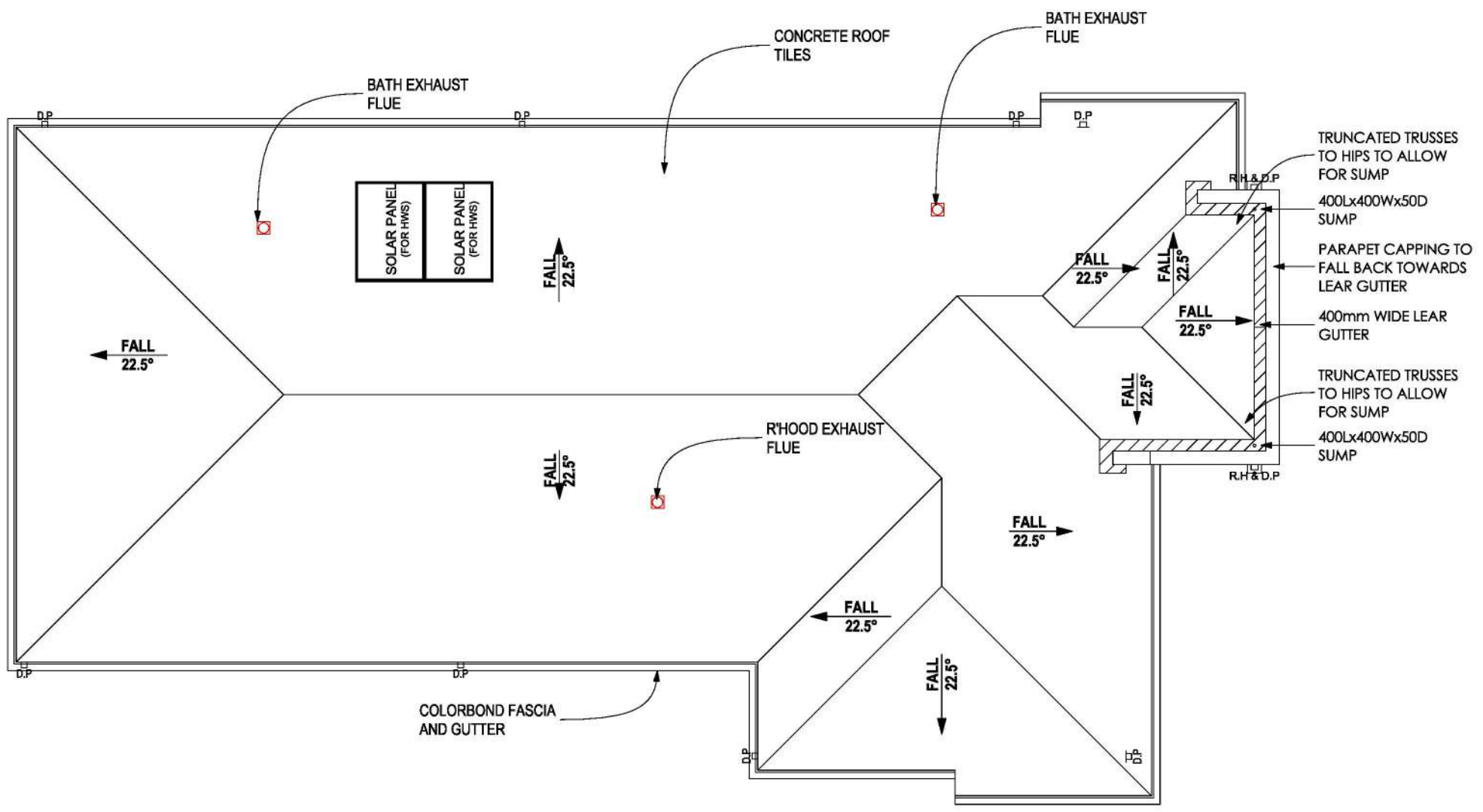


SITE CLASSIFICATION: P
BUSH FIRE ATTACK LEVEL: BAL: N/A

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DRAWING NAME: FLOOR PLAN

DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 09.01.2025
 REVIEWED BY: Belinda Blythe



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DRAWING NAME: ROOF PLAN

HERMITAGE HOMES

HERMITAGE BUILDING GROUP
 A.B.N. 79 150 694 572
 CD6-U 75382
 Level 3, 37 Dalmore Drive
 Scoresby, Victoria 3179
 Ph: (03) 9213 0000 Fax: (03) 9213 0001
 Email: admin@hermitagehomes.com.au
 W: www.hermitagegroup.com.au

ADDRESS
 LOT 122 SCENIC RISE
 PAKENHAM VIC, 3810
 P.S. NUMBER: PS 848743

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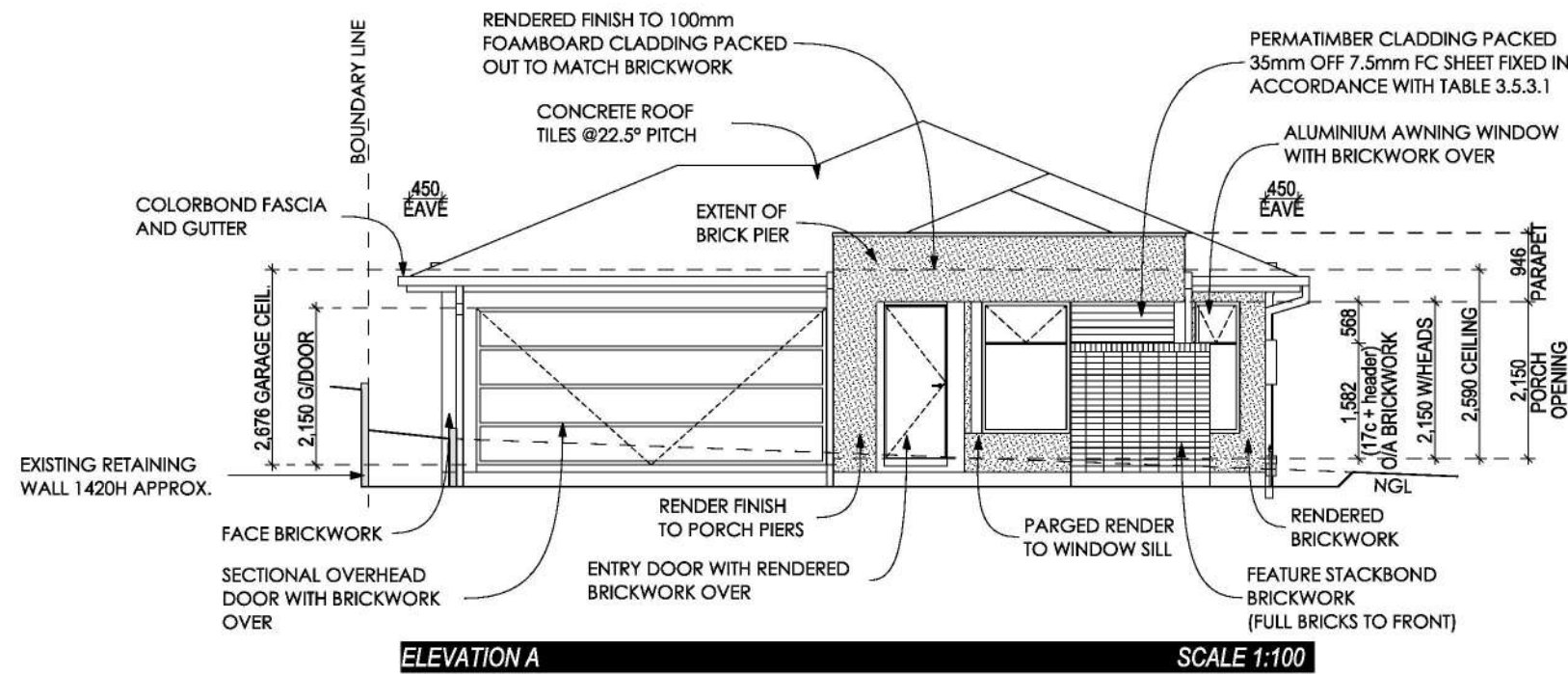
SIGNED OWNER: _____
 DATE: _____
 SIGNED OWNER: _____
 DATE: _____
 SIGNED BUILDER: _____
 DATE: _____

JOB STATUS
WORKING DRAWINGS

SCALE: 1:100 @ A3
 HOUSE MODEL
WENTWORTH 22
 FACADE TYPE
WATSON
 DRAWN: CTA
 CHECKED: --

JOB NUMBER
6602
 ISSUE
WDA
 ISSUE DATE
 8/01/2025
 PAGE: MR04

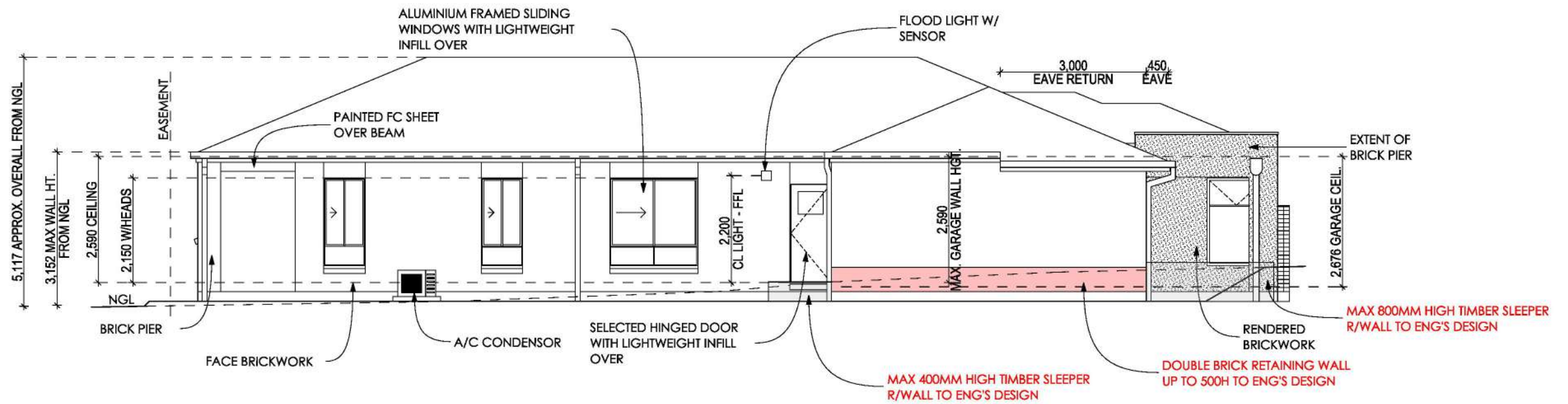
MATERIAL CALCULATOR:	
BRICKWORK:	6.56m ² (45.42%)
RENDER:	7.88m ² (54.58%)
TOTAL:	14.44m ² (100%)



DESIGN ASSESSMENT PANEL

PLAN APPROVAL DATE: 09.01.2025

REVIEWED BY: Belinda Blythe



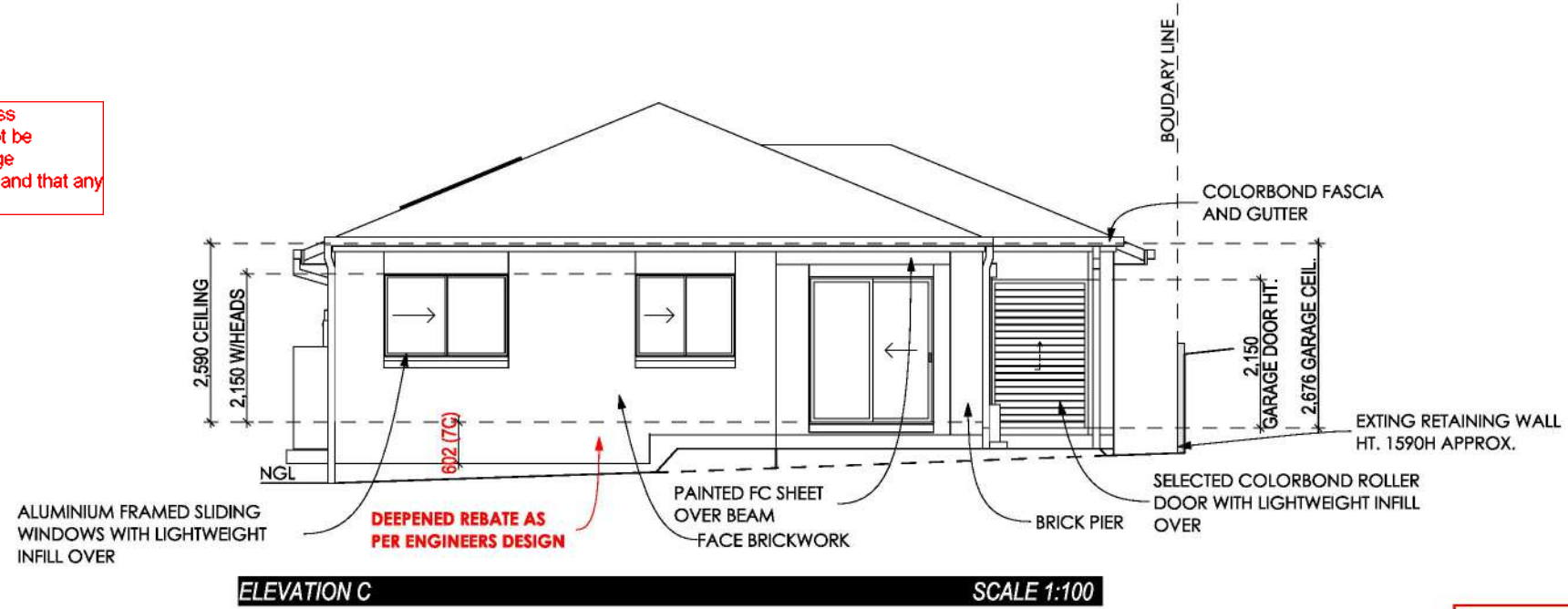
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SITE CUT / FILL RL: RL:9.600
HOUSE FFL: FFL:9.985
BUSH FIRE ATTACK LEVEL: BAL:N/A
GARAGE FFL: FFL:9.899

DRAWING NAME: ELEVATIONS 1

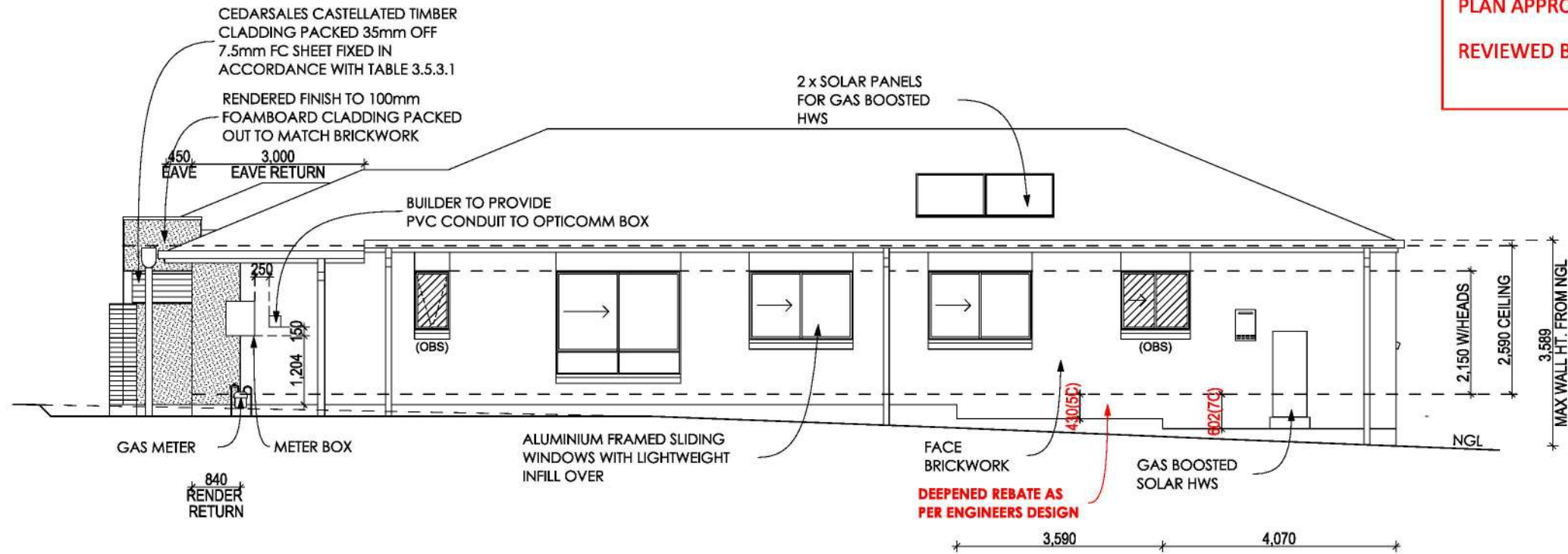
HERMITAGE HOMES	HERMITAGE BUILDING GROUP A.B.N. 79 150 694 572 CDL-U 75352 Level 3, 37 Dalmore Drive Scoresby, Victoria 3179 Ph: (03) 9213 0000 Fax: (03) 9213 0001 Email: admin@hermitagehomes.com.au W: www.hermitagegroup.com.au	PRINCIPAL [REDACTED] LOT 122 SCENIC RISE PAKENHAM VIC, 3810 P.S. NUMBER: PS 848743	COPYRIGHT THESE DRAWINGS ARE THE SOLE PROPERTY OF HERMITAGE BUILDING GROUP NO OTHER PERSON OR ENTITY IS ALLOWED TO DUPLICATE THIS DOCUMENT FOR PURPOSES OF PRODUCTION OR CONSTRUCTION DRAWINGS AS IT WILL BE A BREACH OF COPYRIGHT. PLEASE NOTE ANY DISCREPANCIES IN THIS DOCUMENT SHOULD BE REFERRED BACK TO THE HEAD OFFICE OF HERMITAGE BUILDING GROUP	SIGNED OWNER: _____ DATE: _____ SIGNED OWNER: _____ DATE: _____ SIGNED BUILDER: _____ DATE: _____	JOB STATUS WORKING DRAWINGS	SCALE: 1:100 @ A3 HOUSE MODEL WENTWORTH 22 FACADE TYPE WATSON DRAWN: CTA CHECKED: --	JOB NUMBER 6602 ISSUE WDA ISSUE DATE 8/01/2025 PAGE: MR05
	WORKING DRAWINGS						

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ELEVATION C SCALE 1:100


DESIGN ASSESSMENT PANEL
 PLAN APPROVAL DATE: 09.01.2025
 REVIEWED BY: Belinda Blythe

ELEVATION D SCALE 1:100

SITE CUT / FILL RL: RL:9.600	HOUSE FFL: FFL:9.985
SITE CLASSIFICATION: P	GARAGE FFL: FFL:9.899
BUSH FIRE ATTACK LEVEL: BAL:N/A	

DRAWING NAME: ELEVATIONS 2

	HERMITAGE BUILDING GROUP A.B.N. 79 150 694 572 CD8-U 75382 Level 3, 3/ Dalmore Drive Scoresby, Victoria 3179 Ph: (03) 9213 0000 Fax: (03) 9213 0001 Email: admin@hermitagehomes.com.au W: www.hermitagegroup.com.au	[REDACTED] LOT 122 SCENIC RISE PAKENHAM VIC, 3810 P.S. NUMBER: PS 848743	COPYRIGHT THESE DRAWINGS ARE THE SOLE PROPERTY OF HERMITAGE BUILDING GROUP. NO OTHER PERSON OR ENTITY IS ALLOWED TO DUPLICATE THIS DOCUMENT FOR PURPOSES OF PRODUCTION OR CONSTRUCTION DRAWINGS AS IT WILL BE A BREACH OF COPYRIGHT. PLEASE NOTE ANY DISCREPANCIES IN THIS DOCUMENT SHOULD BE REFERRED BACK TO THE HEAD OFFICE OF HERMITAGE BUILDING GROUP	SIGNED OWNER: _____ DATE: _____ SIGNED OWNER: _____ DATE: _____ SIGNED BUILDER: _____ DATE: _____	JOB STATUS WORKING DRAWINGS	SCALE: 1:100 @ A3 HOUSE MODEL WENTWORTH 22 FACADE TYPE WATSON DRAWN: CTA CHECKED: --	JOB NUMBER 6602 ISSUE WDA ISSUE DATE 8/01/2025 PAGE: MR06
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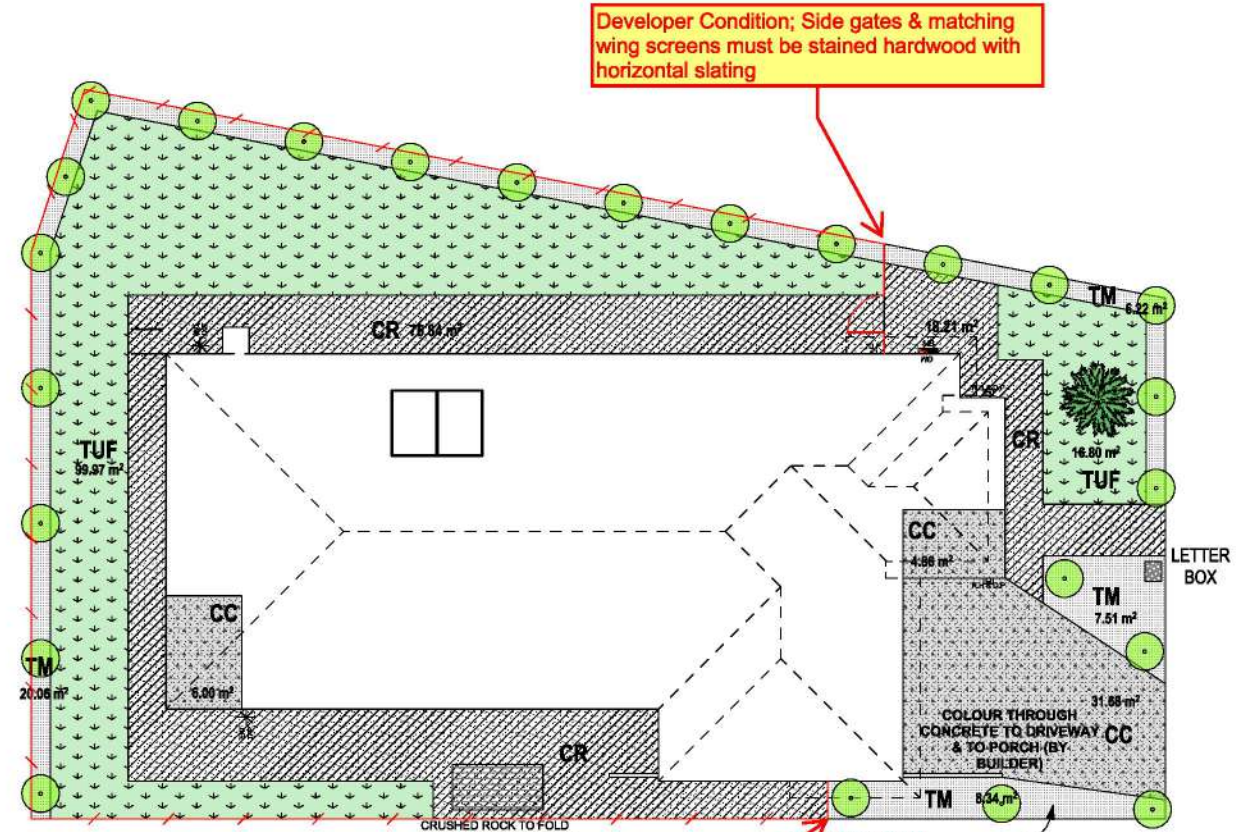
- BM** BLACK GARDEN MULCH TO 100mm DEPTH TO BE COMPACTED SUFFICIENTLY TO MINIMISE ANY FUTURE MOVEMENT AND SINKING
- CR** CRUSHED ROCK - CRUSHED ROCK TO BE COMPACTED SUFFICIENTLY TO MINIMISE ANY FUTURE MOVEMENT AND SINKING
- TM** TAN GARDEN MULCH TO GARDEN BED WITH A MIN. 100mm COVER. GARDEN MULCH TO BE OF A KINDERGARTEN GRADE (FINE)
- CC** COLOUR THROUGH CONCRETE AREAS. TO BE POURED DURING LANDSCAPING & NOT PART OF THE SLAB

NOTE
PROVIDE FRONT AND REAR LANDSCAPING IN ACCORDANCE WITH CURRENT WATER RESTRICTIONS. PROVIDE LETTERBOX TO DEVELOPER'S REQUIREMENTS. PROVIDE BOUNDARY FENCING TO DEVELOPER'S REQUIREMENTS

NOTE
ALL LANDSCAPING DEPICTED AT 5 YEARS OF AGE.
GENERAL LANDSCAPING NOTES

PLANT LIST			
2D Symbol	ID	DESCRIPTION	QTY.
	Plants 01	TO BE NOMINATED BY LANDSCAPER	24
	Tree	TO BE NOMINATED BY LANDSCAPER	1
			25

DESIGN ASSESSMENT PANEL
PLAN APPROVAL DATE: 09.01.2025
REVIEWED BY: Belinda Blythe



CULTIVATION:
REMOVE BUILDERS DEBRIS BY MECHANICAL MEANS, PRIOR TO THE COMMENCEMENT OF LANDSCAPING.

PLANTS & PLANTING:
ALL PLANTS SHALL BE HEALTHY AND DISEASE FREE SPECIMENS. REFER TO PLANTING SCHEDULE FOR POT DIAMETER AND SIZE OF PLANT WHEN FULLY MATURED. OVER EXCAVATE ALL PLANT HOLES TO AT LEAST TWICE THE POT SIZE DIAMETER AND DEPTHS. APPLY OSMOCOTE FERTILISER TO EACH PLANT HOLE AND AVOID DIRECT ROOT CONTACT WITH FERTILISER. APPLY AT THE FOLLOWING RATES: 75g PER TREE, 50g PER LARGE SHRUB AND 25g PER SMALL SHRUB AND GROUND COVER. THOROUGHLY WATER IN PLANTS AT PLANTING. STAKE ALL TREES AND LARGE SHRUBS WITH 32x32 HW STAKES OF SUFFICIENT LENGTH TO ENABLE SECURE TIES OF FLEXIBLE RUBBER, CANVAS OR HESSIAN ALONG THE STEM OF PLANTS.

LAWN:
TO AREAS OF GRASS TOP SOIL SHALL BE LIGHTLY ROLLED TO A COMPACTED DEPTH OF 100mm. TALL FESCUE TURF OR SOW BRUNNINGS FAST AND FREE OR SIMILAR SEED MIX AT A RATE OF 30g/m² AND LIGHTLY RAKE WHERE SEED IS USED TO BRING EVEN GERMINATION. AT SOWING APPLY A LAWN STARTER FERTILISER NPK 8:4:8.

LAWN / GARDEN PLINTH:
AT INTERSECTION BETWEEN LAWN AND GARDEN BED INSTALL 100x25mm CCA PINE EDGE BOARDS PEG @ 1200mm CTS WITH HW STAKES. FIX WITH GALV. SCREWS.

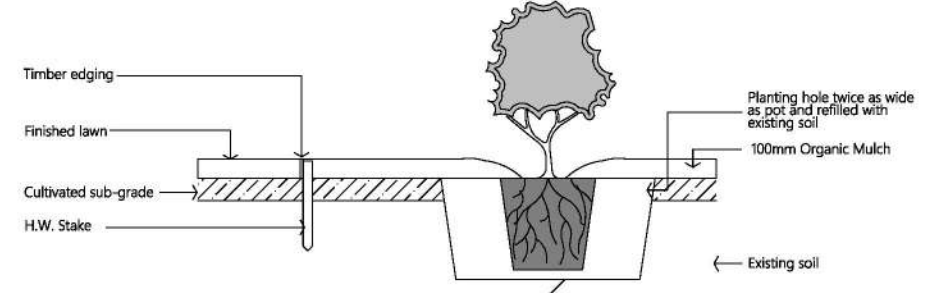
MULCH:
SPREAD SHREDDED PINE AS A 100mm LAYER ABOVE TOP SOIL LEVEL. SEEK APPROVAL OF MULCH SAMPLE INTENDED FOR USE AT THE TIME OF TENDERING. NOTE: IN HEAVY CLAY SOILS APPLY GYPSUM AT A RATE OF 2kg/m² BREAK UP SOIL BELOW THE PLANTING HOLE. APPLY 1/2 A BUCKET OF WATER IMMEDIATELY AFTER PLANTING.

NOTE
LANDSCAPE PLAN INDICATIVE ONLY & MAY CHANGE DUE TO SITE CONDITIONS.

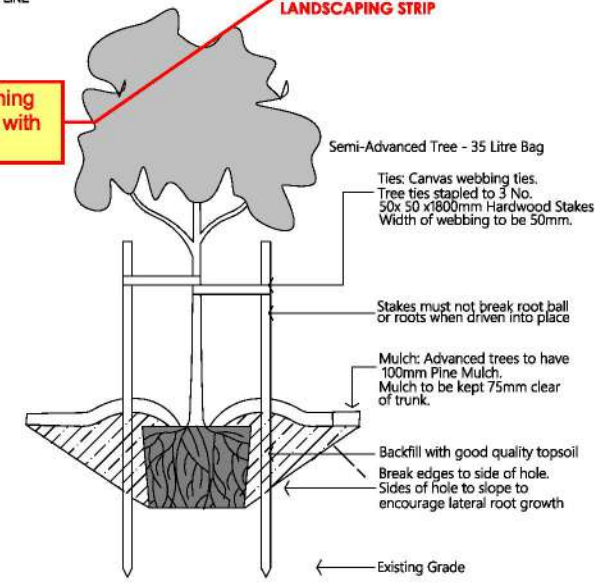
NOTE FOR IRRIGATION
LANDSCAPER TO SUPPLY & INSTALL IRRIGATION TO SERVICE ALL GARDEN BEDS. WHERE TURF IS LAYED THIS SHOULD INCLUDE TECHLINE & 3 AUTOMATIC CONTROLLERS. 1 TO THE FRONT & 2 AT THE REAR OF THE SITE.

NATURE STRIPS
LANDSCAPER IS REQUIRED TO CLEAN, LEVEL AND SEED THE NATURE STRIPS AT THE FINAL STAGE OF LANDSCAPING

GENERAL LANDSCAPE NOTE
PROVIDE FRONT AND REAR LANDSCAPING IN ACCORDANCE WITH CURRENT WATER RESTRICTIONS. PROVIDE LETTERBOX TO DEVELOPER'S REQUIREMENTS. PROVIDE BOUNDARY FENCING TO DEVELOPER'S REQUIREMENTS



PLANTING SPECIFICATION & EDGE DETAIL FOR GARDEN BEDS



SEMI-ADVANCED TREE PLANTING DETAIL

LANDSCAPING AREA:

LOT SIZE:	-	497.00m ²
DWELLING AREA	-	199.43m ²
COLOUR THROUGH CONCRETE AREA	-	42.54m ²
TOT. LANDSCAPE AREA	-	255.03m ²

NOTE
LANDSCAPERS TO ENSURE LANDSCAPING FALLS TOWARD GRATED SILT PITS TO COMPLY WITH AS2870

Design Response

Lot 122 (No. 6) Scenic Rise, Pakenham



Environmental Significance Overlay

Developer Approval – The Rise Estate

On the 9th of January 2025, Beveridge Williams acting on behalf of The Rise Estate, Pakenham approved our proposal at Lot 122 (No. 6) Scenic Rise, Pakenham.

Reviewing our proposal in conjunction with the design guidelines, please find below details outlining compliance with the requirements.

Minimum Dwelling Size

- Guidelines Requirement: 140m² for Lots greater than 400m²
- Proposal: 163.21m² (Compliant)

Façade Design

- Guidelines Requirement: Contemporary
- Proposal: Contemporary (Compliant)

Roof Design

- Guidelines Requirement: Hip, Gable ends, Skillion or Flat Roofs
- Proposal: Hipped Roof (Compliant)

Eaves

- Guidelines Requirement: 450mm Eaves required with a minimum 1m side return
- Proposal: 450 eaves with a 3m side return (Compliant)

Driveway

- Guidelines Requirement: Pavers, Exposed Aggregate or Coloured Concrete
- Proposal: Colours Concrete (Compliant)

Colour Scheme

- Guidelines Requirement: Natural and Earthy Tones
- Proposal: Cool Greys – Natural Tones (Compliant)

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Plan of Subdivision – PS848743W

Restriction A

Construct or allow to be constructed any building or structure other than a building or structure that shall be constructed in accordance with The Rise (Pakenham) Estate Design Guidelines

Response: Our proposal was submitted and approved by The Rise Estate, Pakenham on the 9th of January 2025

Restriction B

Construct or allow to be constructed any building or structure with party walls unless the party walls are constructed simultaneously with the abutting lots

Response: Our proposal don't not include any party walls. We have provided a 1,000mm side setback for the garage along with 2,474mm to the right hand side boundary

Covenant – AX385769J

Owners Obligations

Plans showing the location of the Plantation Reserve and the Building Envelopes

Response: Plantation Reserve is not applicable to the subject Allotment. All relevant Building Envelopes are applied to the site plan.

Maintenance of the Plantation Reserve

Response: No applicable plantation reserve to our allotment

Fencing within the Plantation Reserve

Response: No applicable plantation reserve to our allotment

Building Design Guidelines

Response: Approval from the Design Assessment Panel has been provided 09/01/2025

Written Response

(Prelim Items)

Lot 122 (No. 6) Scenic Rise, Pakenham



Environmental Significance Overlay

Lot 122 (No. 6) Scenic Rise, Pakenham)

Item 1

Council:

Based on a review of the application, the current proposal description shown on the application form is not considered to adequately reflect all aspects of the proposal. The proposal description should be updated to include 'Clause 42.01-2 a permit is required to construct a fence'.

Please confirm that you accept the changes to the permit description by completing the attached Section 50 Form.

Hermitage:

Acceptance and Section 50 Form Provided

Item 2

Council:

It is highly encouraged to increase the internal room dimensions of Bedroom 4 to a minimum width and depth of 3 metres to provide functional areas that meet the needs of residents.

Hermitage:

Bedroom 4 dimensions are 3,000mm x 2,940mm. This is due to the bedroom sharing a wall with the kitchen hallway and we are required to provide sufficient depth to the refrigerator and pantry space. The clients have accepted the 60mm variation.

Item 3

Council:

If any outbuildings are proposed, it is encouraged that the application and documents are amended to include their location and details on all relevant plans. Alternatively, separate planning permission will need to be applied for.

Hermitage:

Noted and no outerbuilders are proposed.

Item 4

Council:

It is highly encouraged to provide variations in materiality and presence of feature finishes on all building elevations to improve presentation of the dwelling to the street frontages and adjoining properties

Hermitage:

Our façade proposal is aligned with the requirements from The Rise – Design Guidelines. We have provided a mixture of brickwork, feature brickwork, render and timber cladding.

Item 5

Council:

Please note, a South East Water (sewerage asset) and Council (drainage asset) easement is present along the rear boundary, it is the responsibility of the applicant to ensure that the proposed development is suitably setback from this easement and asset and/or consent provided by the relevant authority.

Hermitage:

Noted, both South East Water & Cardinia Shire have provided approval to our proposal to buildover the rear easement.

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HERMITAGE HOMES






WATSON FACADE





DECEMBER 2024


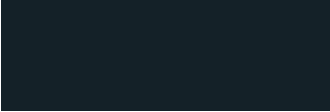



JOB NO. 6602

ADDRESS: Lot 122 Scenic Rise, Pakenham

EXTERIOR COLOUR SELECTION	
BRICK	Supplier: Austral Col: Access Fawn Laid: Stack Bond to Feature Pier 
MORTAR JOINTS	Profile: Rolled Colour: Natural
ROOF TILE	Supplier: Monier Profile: Altura Colour: Sambuca 

<p>COLORBOND GUTTER & FASCIA / DOWNPIPES & METER BOX</p>	<p>CB Monument</p> 
<p>GARAGE DOOR (FRONT AND REAR)</p>	<p>Supplier: Eco Garage Doors Profile: Slimline</p>  <p>Colour: CB Basalt</p> 
<p>FLASHING (IF REQUIRED)</p>	<p>CB Monument</p> 
<p>EXTERNAL LAUNDRY DOOR, INC FRAMES</p>	<p>Supplier: Hume Profile: Duracoate Tempered Hardboard Hinge: Satin Chrome Finish: External Low Sheen Colour: CB Basalt</p> 
<p>CLADDING TO FAÇADE</p>	<p>Supplier: Permatimber Profile: CX Castellated cladding Colour: Spotted Gum</p> 

<p>FRONT ENTRY DOOR</p>	<p>Supplier: Hume Profile: XN1C Hinge: Satin Chrome Glazing: Clear</p>  <div data-bbox="651 489 1471 611" style="border: 1px solid red; padding: 5px; color: red; font-size: small;"> <p>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>
<p>FRONT ENTRY DOOR & FRAME</p>	<p>Finish: External Low Sheen Colour: CB Basalt</p> 
<p>ALUMINUM WINDOWS / SLIDING DOORS INC. FLYWIRE FRAMES & BARRIER DOORS</p>	<p>Colour: CB Monument</p>  <p><i>Note: colour also to be applied to barrier door frame where applicable</i></p>
<p>EAVES / PORTICO CEILING / OUTDOOR LIVING</p>	<p>Finish: External ceiling paint flat Colour: Builders White</p>
<p>FC SHEET INFILLS</p>	<p>Finish: External Low Sheen Colour: CB Basalt</p> 

MAIN RENDER	Finish: Textured Render Colour: CB Monument 
DRIVEWAY / PORCH & OUTDOOR LIVING	Colour through concrete Colour: Charcoal 
LETTER BOX	Profile: Slim Colour: Grey 
CLOTHESLINE	Colour: Timber Grey 
EXTERNAL FURNITURE	
EXTERNAL DOORS	Lockwood Whitco – Bevel Series Col: Polished Chrome 
NOTES	
The builder reserves the right to alter this colour selection without notice due to supplier / product deletions or delays etc please note that a suitable colour match will be made where possible. Colours may vary depending on screen/printer resolution.	

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GENERAL NOTES

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS
- WINDOW SIZES ARE NOMINAL
- SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES
- FOOTING NOT TO ENCR OACH TITLE BOUNDARIES AND EASEMENT LINES
- ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH NCC 2019 & AS 3700-18

FINISHED FLOOR LEVELS

- FINISHED FLOOR LEVELS FOR CONCRETE SLAB FLOOR ARE NOMINAL ONLY AND ARE TO BE CONFIRMED PRIOR TO START OF WORK. (SUBJECT TO SITE VARIATIONS)
- NOTE: ADDITIONAL EXCAVATION MAY BE REQUIRED TO ACHIEVE GARAGE DOOR HEIGHT CLEARANCE

CONSTRUCTION NOTES

- ALL MATERIALS USED SHALL BE SELECTED IN COMPLIANCE WITH THE RELEVANT CODES (SEE SPECIFICATION)
- GENERAL WALL DIMENSIONS (UNLESS OTHERWISE NOTED)

EXTERNAL BV WALLS	240mm
INTERNAL STUD	90mm

* INTERNAL WALL FINISHES ARE NOT DIMENSIONED ON ANY PLANS*
- TIMBER MEMBERS REFER TO RELEVANT SPECIFICATION
- INSULATION FOR SLAB ON GROUND DWELLING

ROOF OR CEILING	REFER TO ENERGY RATING
EXTERNAL WALLS	REFER TO ENERGY RATING

SEAL GAPS AND CRACKS
SEAL ALL WINDOWS AND EXTERNAL DOORS TO DWELLING
SEAL AND WEATHERSTRIP FRONT ENTRY DOOR
- STAIRS AND STEPS

TREADS	355mm MAX.	240mm MIN.
RISERS	190mm MAX.	115mm MIN.
HANDRAIL HEIGHT	865mm ABOVE NOSING	
BALUSTRADE	1000mm ABOVE FFL	
BALUSTERS	125mm MAX. APART	

TREADS & NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION MUST NOT BE LESS THAN TABLE 3.9.1.3 OF NCC & WHEN TESTED IN ACCORDANCE WITH AS4586.
- SAFETY GLASS TO ALL WINDOWS NOMINATED ON ELEVATIONS
- ABBREVIATIONS:

HT = HEIGHT
WD = WIDTH
SW = ALUMINIUM SLIDING
AA = ALUMINIUM AWNING
TA = TIMBER AWNING
TS = TIMBER SASH WINDOW

(ALL OTHER ABBREVIATIONS REFER DIRECTLY TO SUPPLIER CODES)
- PROVIDE BRICK TIES TO BRICKWORK AT MAX. 600mm CRS. IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT, ON THE ALLOTMENT NOMINATED IN THE TITLE BLOCK.
- ANY PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT WRITTEN CONSENT FROM HERMITAGE PROPERTIES PTY. LTD. IS SUBJECT TO COPYRIGHT INFRINGEMENT AND DOES SO AT THEIR OWN RISK. NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.
- WHERE THE BUILDING (EXCLUDING CLASS 10) IS LOCATED IN AN AREA CONSIDERED BY THE RELEVANT AUTHORITY TO BE PRONE TO TERMITES, THE UNDERSIDE AND PERIMETER OF THE BUILDING IS TO BE TREATED AGAINST TERMITE ATTACK.
- PROVIDE ARTICULATION CONTROL JOINTS AS PER SOIL REPORT AND ENGINEERS DRAWINGS.
- BUILDINGS IN SEASIDE AREAS OR OTHER EXPOSED ENVIRONMENTS, WITH MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE, SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF TABLE 5.1 OF A.S. 3700-2018 MASONRY STRUCTURE.

- LININGS
 - 10mm PLASTERBOARD TO ALL INTERNAL WALLS
 - 10mm PLASTERBOARD TO ALL CEILINGS
 - SELECTED WATER RESISTANT SUB-STRATE AND TILING TO WET AREAS
- TIMBER LINTELS
 - LINTELS UNLESS NOTED OTHERWISE

SPAN	MEMBER
0- 900mm	90x45 F17
1500mm	140x45 F17
1800mm	190x45 F17
2400mm	240x45 F17
3000mm	240x90 F17
3600mm	290x90 F17

WC NOTES

- PROVIDE LIFT OFF HINGE DOOR TO WC WHERE 1200mm BETWEEN PAN AND SWING DOOR CANNOT BE ACHIEVED.

SITE NOTES

- NO PART OF THE BUILDING TO ENCR OACH BOUNDARY
- BUILDING ADJACENT TO EASEMENTS MUST CONSIDER OR ACCOMMODATE ANGLE OF REPOSE OF 45° FOR CLAY OR 30° FOR SAND AND PIPES BURIED IN THESE EASEMENTS
- LEVELS SHOWN ARE AS PER SITE SURVEY UNLESS OTHERWISE STATED
- ALL LEVELS ARE TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORK
- WHERE SHOWN ON SITE PLAN PROVIDE CUT WITH BATTER AT 45°
- PROVIDE SPOON DRAIN TO CUTS BEYOND 600mm, CONNECTED TO S.W. DRAIN VIA SILT PIT WITH GRATED COVER
- 90mm PVC S.W.P.I.P.E AT MIN. FALL 1:100
- TEMPORARY DOWNPIPES TO BE USED UNTIL DOWNPIPES ARE CONNECTED TO AVOID WATER PONDING BY SLAB
- 100x50mm DOWN PIPES LOCATED AS PER ENGINEERING PLAN
- SILT PIT WITH GRATED COVER
- S.W. TO LEGAL DISCHARGE POINT OR TO SUPPLY TANK (IF SHOWN) TO THE SATISFACTION OF THE LOCAL AUTHORITY
- SITING SUBJECT TO THE APPROVAL OF THE DEVELOPER AND RELEVANT LOCAL AUTHORITY
- PROPERTY INFORMATION NOT YET RECEIVED & DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT THE TIME OF DRAFTING MUST BE VERIFIED ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION
- PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS3660

- SURVEY NOTES
 - ONLY VISIBLE SERVICES AT THE TIME OF SURVEY ARE SHOWN
 - FOR UNDERGROUND SERVICES, THE RELEVANT SERVICING AUTHORITIES SHOULD BE CONTACTED
 - ONLY HABITABLE WINDOWS WITHIN 2500mm ARE SHOWN
 - THE SURVEY IS NOT A RE-ESTABLISHMENT SURVEY OF TITLE
 - LEVELS ARE TO AN ARBITRARY DATUM UNLESS OTHERWISE STATED
 - CONTOUR INTERVALS ARE 200mm UNLESS OTHERWISE STATED
 - SETBACK DISTANCES, LOCATION AND SIZE OF TREES AND OTHER STRUCTURES AND SERVICES SHOWN ARE APPROXIMATE
 - PROPERTY BOUNDARIES ARE UNFENCED UNLESS OTHERWISE STATED OR SHOWN
- ELECTRICAL NOTES
 - LOCATIONS OF ALL ELECTRICAL POINTS ARE APPROXIMATE ONLY AND ARE SUBJECT TO POSITION OF STRUCTURAL MEMBERS ON PLAN.
 - SOLAR HOT WATER SERVICE INCLUDING SOLAR PANELS ARE TO BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATION.
 - PROVIDE TELEPHONE CABLING FROM STREET TO HOUSE.
 - METERBOX LOCATION IS SUBJECT TO SITING.
 - GAS BOOSTED SOLAR HOT WATER SERVICE IS SUBJECT TO SITING.
 - APPLIANCES DIRECT WIRED.
 - SINGLE GPO FOR DISHWASHER, COOKTOP AND RANGEHOOD.
- SLAB AND SET OUT NOTES
 - ALL STEP DOWNS THAT ARE NOT NOMINATED MUST HAVE A STEPDOWN AT A MAXIMUM THRESHOLD HEIGHT OF 190mm TO COMPLY WITH BCA REGULATIONS
 - BATH WASTE POINTS TO BE CONFIRMED BY BUILDING SUPERVISOR
 - SMART PANS TO BE USED FOR SHOWER AND BATH WASTE
 - ALL WASTE POINT DIMENSIONS ARE TO CENTRE LINE
 - CONCRETE WAFFLE POD SLAB AND FOOTINGS TO ENGINEER'S DESIGN AND SPECIFICATION
- WATERPROOFING INTERNAL WET AREAS
 - PROVIDE WATER STOPS TO ALL INTERNAL WET AREA DOORS AS PER AS 3740
- GLAZING NOTE
 - ALL GLAZING TO BE IN ACCORDANCE WITH AS 1288 & AS 2047.

PLIABLE BUILDING MEMBRANE

A PLIABLE MEMBRANE INSTALLED IN AN EXTERNAL WALL TO COMPLY WITH CLAUSE 3.8.7.2 OF THE NCC & AS/NZS 4200.1 & INSTALLED IN ACCORDANCE WITH AS 4200.2. (NOTE: APPLICABLE TO EXTERNAL WALLS WITH LIGHTWEIGHT CLADDING ONLY.)

EXHAUST SYSTEMS

- FLOW RATES FOR EXHAUST SYSTEMS:
 - KITCHEN RANGEHOOD OR LAUNDRY: 40L/s
 - BATHROOM/ENSUITE/WC: 25L/s
- NOTE: ALL EXHAUST FANS MUST BE VENTED TO THE ATMOSPHERE IN ACCORDANCE WITH CLAUSE 3.8.7.3 (b) i & ii OF THE NCC.

GUTTERS AND DOWNPIPES

ALL GUTTERS AND DRAINAGE TO BE IN ACCORDANCE WITH AS 3500.3.

WATERPROOFING

ALL WET AREAS AND EXTERNAL WATERPROOFING TO BE IN ACCORDANCE WITH NCC 2019 - PART 3.8.1.

WEATHER STRIPS

WEATHER STRIPS/SEALS TO ENTRY AND GARAGE INTERNAL DOOR TO COMPLY WITH NCC 2019 - CLAUSE 3.12.3.3.

PERFORMANCE SOLUTIONS

- THE FOLLOWING PERFORMANCE SOLUTIONS ARE APPLICABLE:
 - CLASS 1a & 10a DWELLINGS: ACCESSIBLE HOUSING GARAGE FLOOR WITH DWELLING FLOOR REPORT No. PBS 6466 24-2.
 - CLASS 1a: WET AREA CONSTRUCTION - BATH HOB INSTALLATION WATER STOP SHELF WIDTH. REPORT No. PBS 6466 24-1.
 - CLASS 1a & 10a: REDUCED WIDTH OF MASONRY VENEER CAVITY FOR SERVICES & FIXTURES. REPORT No. PBS 6466 24.
 - CLASS 1a & 10a: ROOFED OUTDOOR LIVING & FRONT ENTRY PORCH HEIGHT OF DAMP-PROOF COURSE ABOVE ADJOINING PAVING. (RENDERED & FACE BRICKWORK) REPORT No. PBS 6491 24

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NCC ASSESSMENT NOTE:
PLANS HAVE BEEN ASSESSED UNDER NCC 2019 EDITION

FRAMING SCHEDULE			
MEMBER	SIZE	STRESS GRADE	CTRS.
REINFORCED CONCRETE SLAB TO ENGINEER'S DESIGN			
BOTTOM PLATE	(INT) 90x35	MGP10	
BOTTOM PLATE	(EXT) 90x35	MGP10	
TOP PLATE	(INT) 90x35	MGP10	
TOP PLATE	(EXT) 2/90x35	MGP10	
STUDS:	(EXT) 90x35 (INT) 90x35	MGP10 MGP10	600mm 600mm
WINDOW: OPENING	0 - 2700mm 2700 - 4000mm	2/90x45 3/90x45	MGP10 MGP10
JAMB: OPENING	0 - 1800mm	90x45	MGP10
UNDER GIRDER TRUSS LOAD		2/90x45 MIN.	MGP10
LINTELS	REFER TO ATTACHED SCHEDULE		
NOGGINGS	70x35	MERCH	1350mm
ROOF BATTENS	70x35	MGP10	330mm
ROOF TRUSSES	IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION @ 600 CRS. MAX.		
GARAGE PITCHING PLATE (BRICK AND PIER CONSTRUCTION ONLY)	100x75	F8	TIED DOWN INTO BRICKWORK MIN. 1500mm USING GALV. HOOP IRON STRAP

- SITE CUT / FILL RL:**
AHD :53.500
- HOUSE FFL:**
FFL:AHD 53.885
- SURVEY REF:**
27425-24
- PS NUMBER:**
PS 648743
- SITE CLASSIFICATION:**
P
- MELWAYS REF:**
TBC
- BUSH FIRE ATTACK LEVEL:**
BAL:N/A

DRAWING NAME: NOTE PAGE

	HERMITAGE BUILDING GROUP A.B.N. 79 150 694 572 CD8-U 75352 Level 3, 37 Dalmore Drive Scoresby, Victoria 3179 Ph: (03) 9213 0000 Fax: (03) 9213 0001 Email: admin@hermitagehomes.com.au W: www.hermitagegroup.com.au	PRINCIPAL ADDRESS LOT 122 SCENIC RISE PAKENHAM VIC, 3810 P.S. NUMBER: PS 848743	COPYRIGHT THESE DRAWINGS ARE THE SOLE PROPERTY OF HERMITAGE BUILDING GROUP NO OTHER PERSON OR ENTITY IS ALLOWED TO DUPLICATE THIS DOCUMENT FOR PURPOSES OF PRODUCTION OR CONSTRUCTION DRAWINGS AS IT WILL BE A BREACH OF COPYRIGHT. PLEASE NOTE ANY DISCREPANCIES IN THIS DOCUMENT SHOULD BE REFERRED BACK TO THE HEAD OFFICE OF HERMITAGE BUILDING GROUP	SIGNED OWNER: _____ DATE: _____ SIGNED OWNER: _____ DATE: _____ SIGNED BUILDER: _____ DATE: _____	JOB STATUS WORKING DRAWINGS	SCALE: N.T.S. HOUSE MODEL WENTWORTH 22 FACADE TYPE WATSON DRAWN: CTA CHECKED: -.-	JOB NUMBER 6602 ISSUE WDC ISSUE DATE 13/03/2025 PAGE: MR01
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SITE NOTES

NO PART OF THE BUILDING TO ENCROACH BOUNDARY

BUILDING ADJACENT TO EASEMENTS MUST CONSIDER OR ACCOMMODATE ANGLE OF REPOSE OF 45° FOR CLAY OR 30° FOR SAND AND PIPES BURIED IN THESE EASEMENTS

LEVELS SHOWN ARE AS PER SITE SURVEY UNLESS OTHERWISE STATED

ALL LEVELS ARE TO BE CONFIRMED PRIOR TO COMMENCEMENT OF WORK

CUT/FILL BATTERS AT 45° FOR CLAY, 30° FOR SAND OR 1:2 SLOPE FOR CLASS 'P' SOILS.

TEMPORARY DOWNPIPES TO BE USED UNTIL DOWNPIPES ARE CONNECTED TO AVOID WATER PONDING BY SLAB

100x50mm DOWN PIPES LOCATED AS PER ENGINEERING

SILT PIT WITH GRATED COVER

S.W. TO LEGAL DISCHARGE POINT OR TO SUPPLY TANK (IF SHOWN) TO THE SATISFACTION OF THE LOCAL AUTHORITY

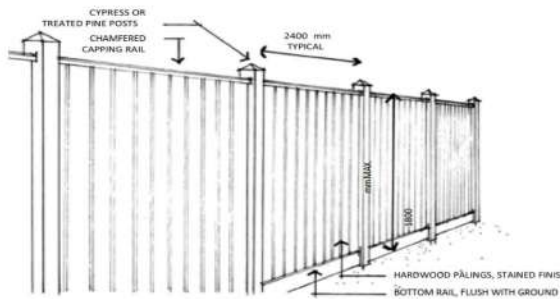
SITING SUBJECT TO THE APPROVAL OF THE DEVELOPER AND RELEVANT LOCAL AUTHORITY

PROPERTY INFORMATION NOT YET RECEIVED DETAILS OF ASSETS IN EASEMENTS NOT AVAILABLE AT TIME OF DRAFTING VERIFY ONSITE PRIOR TO COMMENCEMENT OF CONSTRUCTION

PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

FENCING TO BE COMPLETED PRIOR TO OCCUPANCY PERMIT

- SITE CUT / FILL RL:**
AHD :53.500
- HOUSE FFL:**
FFL:AHD 53.885
- SITE COVERAGE:**
42.31%
- PERMEABILITY AREA:**
51.31%
- GARDEN AREA:**
50.77%
- SURVEY REF:**
27425-24
- PS NUMBER:**
PS 848743
- SITE CLASSIFICATION:**
P
- BUSH FIRE ATTACK LEVEL:**
BAL:N/A



DRAINAGE NOTES

NOMINATED STORM WATER DRAINS ARE APPROXIMATIONS ONLY. SEE ENGINEERING FOR FINAL DRAINAGE PLANS, STRICTLY ADHERING TO AS2870/2011

NOTE: PROVIDE FIBRE OPTIC PACKAGE (OPTICOMM) AS REQUIRED BY ESTATE GUIDELINES.

REPORT & CONSENT NOTE - REG 130

REPORT AND CONSENT IS REQUIRED FOR REGULATION 130 BUILD OVER EASEMENT.

-SITE FILL OVER EASEMENT 3.25M2

NOTE: DRIVEWAYS MUST BE COMPLETED BEFORE OCCUPANCY OF DWELLING.

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SURVEY NOTES

ONLY VISIBLE SERVICES AT THE TIME OF SURVEY ARE SHOWN

FOR UNDERGROUND SERVICES, THE RELEVANT SERVICING AUTHORITIES SHOULD BE CONTACTED

ONLY HABITABLE WINDOWS WITHIN 2500mm ARE SHOWN

THIS SURVEY IS NOT A RE-ESTABLISHMENT SURVEY OF TITLE

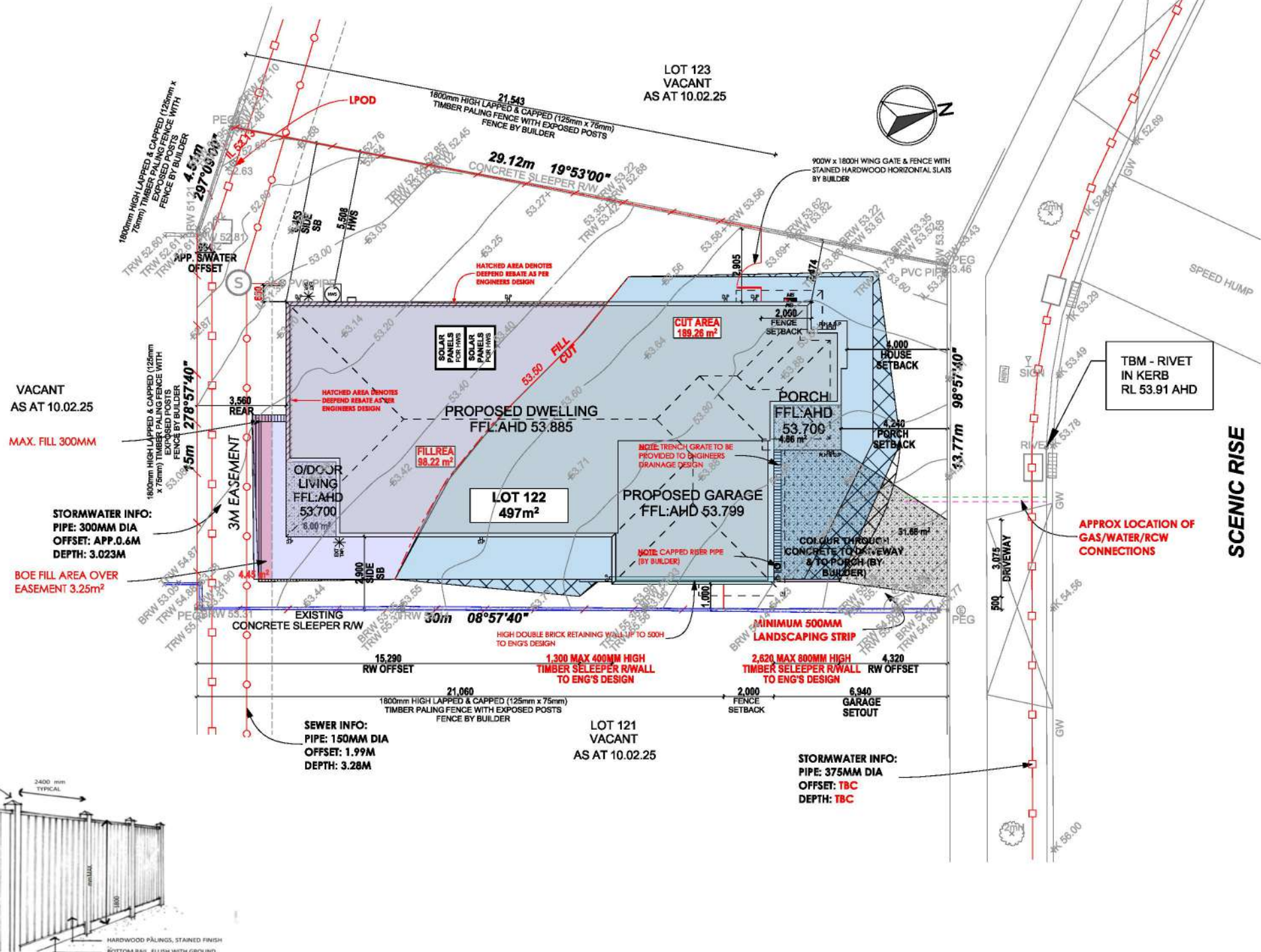
LEVELS ARE TO AN ARBITRARY DATUM

CONTOUR INTERVALS ARE 200mm

SETBACK DISTANCES, LOCATION AND SIZE OF TREES AND OTHER STRUCTURES AND SERVICES SHOWN ARE APPROXIMATE

PROPERTY BOUNDARIES ARE UNFENCED UNLESS OTHERWISE STATED OR SHOWN

LAND CONTOURS MAY HAVE VARIED DURING THE COURSE OF CONSTRUCTION. RETAINING WALLS AND BATTERS SHOULD BE CONFIRMED ON SITE TO AVOID UNNECESSARY SITE COSTS



LEGEND	
TBM	SITE LEVEL BENCHMARK
■	TITLE PEG
⊕	ELECTRICITY PIT
■	STOP VALVE
SEP	SIDE ENTRY PIT
⊠	STORMWATER JUNCTION PIT
■	GRATED PIT
□	UNCLASSIFIED PIT
⊙	PROPERTY INLET
■	FIRE HYDRANT
○	WATER METER
□	SEWER PIT
○	TELSTRA PIT
⊕	TREE
—	PROPOSED FENCE LINE
—	EXISTING FENCE LINE
W	WINDOW - GROUND FLOOR
W1	WINDOW - FIRST FLOOR
H	HABITABLE
NH	NON HABITABLE
D	DOOR
P.O.S.	PRIVATE OPEN SPACE
○EP	ELECTRICITY POLE
WG	WATER/GAS KERB MARKER
HDM	HOUSE DRAIN KERB MARKER
HD	HOUSE DRAIN OUTLET
—E—	POWERLINES
---	STORMWATER PIPES
---	AGI DRAINS
⊕	SILT PIT
—	RETAINING WALLS

DRAWING NAME: SITE PLAN



HERMITAGE BUILDING GROUP
A.B.N. 79 150 694 572
CDU-U 75352
Level 3, 3/ Dalmore Drive
Scoresby, Victoria 3179
Ph: (03) 9213 0000 Fax: (03) 9213 0011
Email: admin@hermitagehomes.com.au
W: www.hermitagegroup.com.au

ADDRESS
LOT 122 SCENIC RISE
PAKENHAM VIC, 3810
P.S. NUMBER: PS 848743








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DATE: _____
SIGNED OWNER: _____
DATE: _____
SIGNED BUILDER: _____
DATE: _____

JOB STATUS
WORKING DRAWINGS

SCALE: 1:200 @ A3
HOUSE MODEL
WENTWORTH 22
FAÇADE TYPE
WATSON
DRAWN: CTA
CHECKED: --

JOB NUMBER
6602
ISSUE
WDC
ISSUE DATE
13/03/2025
PAGE: MR02

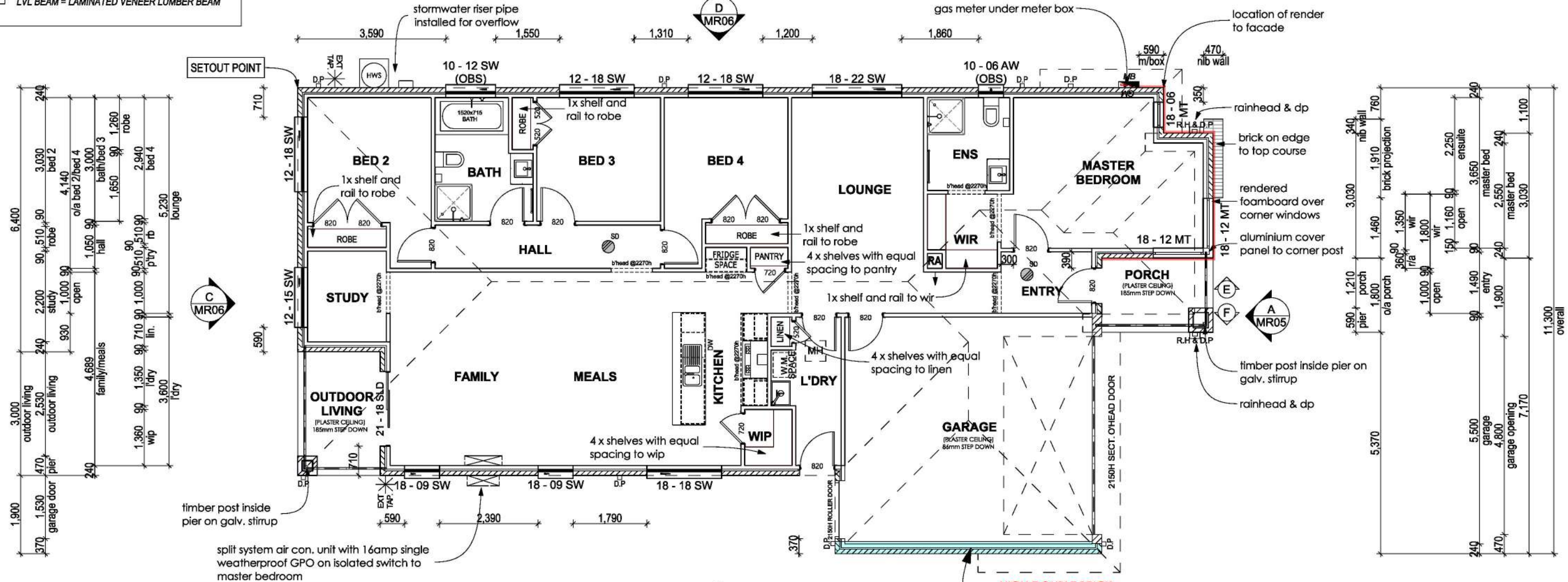
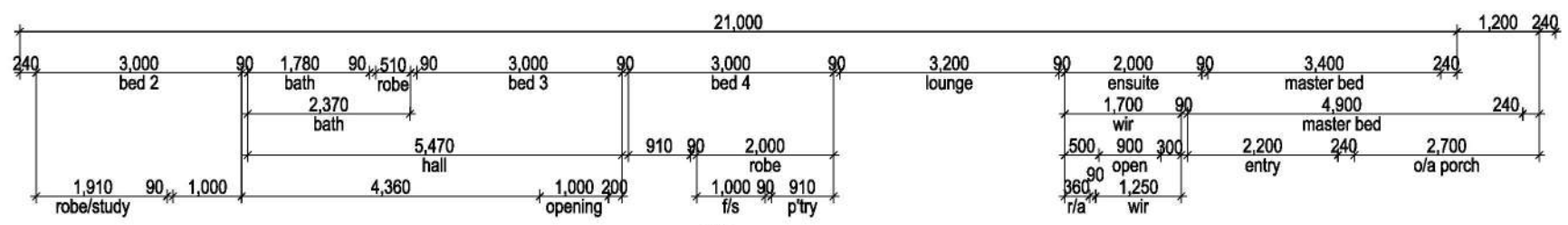
-  SMOKE ALARMS TO BE CONNECTED TO CONSUMER MAINS POWER TO COMPLY WITH AS:3786. (TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM)
-  CEILING EXHAUST FAN SWITCHED WITH LIGHT (SELF SEALING)
-  DOWNPIPE CONNECTED TO LPOD VIA 90mmØ UPVC PIPE AS PER LOCAL AUTHORITIES REQUIREMENTS
-  METER BOX
-  GAS METER
-  MAN HOLE TO CEILING ACCESS
-  T.BEAM = TIMBER BEAM
-  LVL BEAM = LAMINATED VENEER LUMBER BEAM

NOTE:
PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS

NOTE:
PROVIDE BARRIER DOOR TO ALL SLIDING GLASS DOORS

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FLOOR AREAS		AREA m
001	HOUSE	163.21
002	GARAGE	36.22
003	OUTDOOR LIVING	6.00
004	PORCH	4.86
		210.29 m²

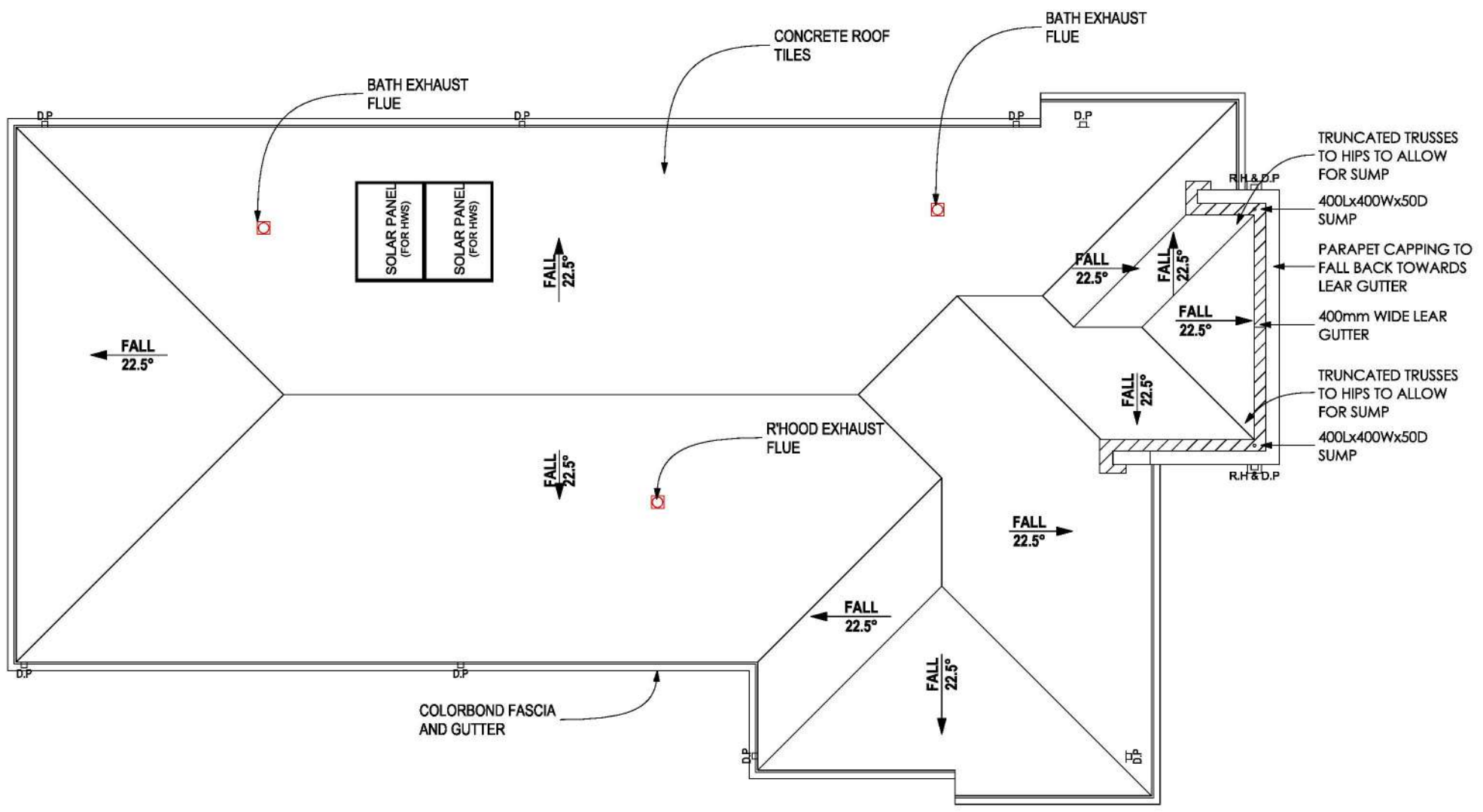


SITE CUT / FILL RL: AHD :53.500
HOUSE FFL: FFL:AHD 53.885
GARAGE FFL: FFL:AHD 53.799

SITE CLASSIFICATION: P
BUSH FIRE ATTACK LEVEL: BAL:N/A

<h1>HERMITAGE HOMES</h1>	HERMITAGE BUILDING GROUP A.B.N. 79 150 694 572 CDU-U 75352 Level 3, 37 Dalmore Drive Scoresby, Victoria 3179 Ph: (03) 9213 0000 Fax: (03) 9213 0001 Email: admin@hermitagehomes.com.au W: www.hermitagegroup.com.au	PRINCIPAL [REDACTED] ADDRESS LOT 122 SCENIC RISE PAKENHAM VIC, 3810 P.S. NUMBER: PS 848743	COPYRIGHT THESE DRAWINGS ARE THE SOLE PROPERTY OF HERMITAGE BUILDING GROUP NO OTHER PERSON OR ENTITY IS ALLOWED TO DUPLICATE THIS DOCUMENT FOR PURPOSES OF PRODUCTION OR CONSTRUCTION DRAWINGS AS IT WILL BE A BREACH OF COPYRIGHT. PLEASE NOTE ANY DISCREPANCIES IN THIS DOCUMENT SHOULD BE REFERRED BACK TO THE HEAD OFFICE OF HERMITAGE BUILDING GROUP	SIGNED OWNER: _____ DATE: _____ SIGNED OWNER: _____ DATE: _____ SIGNED BUILDER: _____ DATE: _____	JOB STATUS <h2>WORKING DRAWINGS</h2>	SCALE: 1:100, 1:1 @ A3 HOUSE MODEL WENTWORTH 22 FACADE TYPE WATSON DRAWN: CTA CHECKED: --	JOB NUMBER 6602 ISSUE WDC ISSUE DATE 13/03/2025 PAGE: MR03
	DRAWING NAME: FLOOR PLAN						

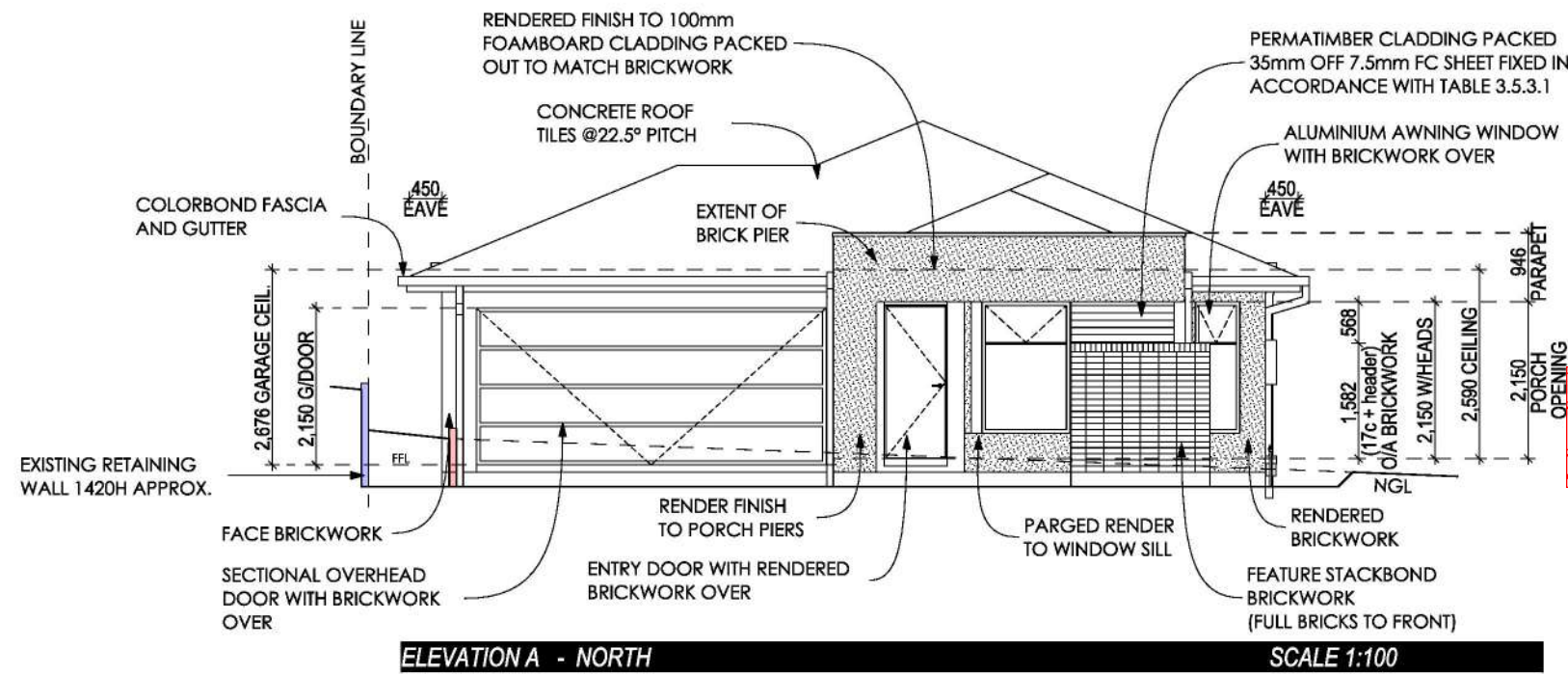
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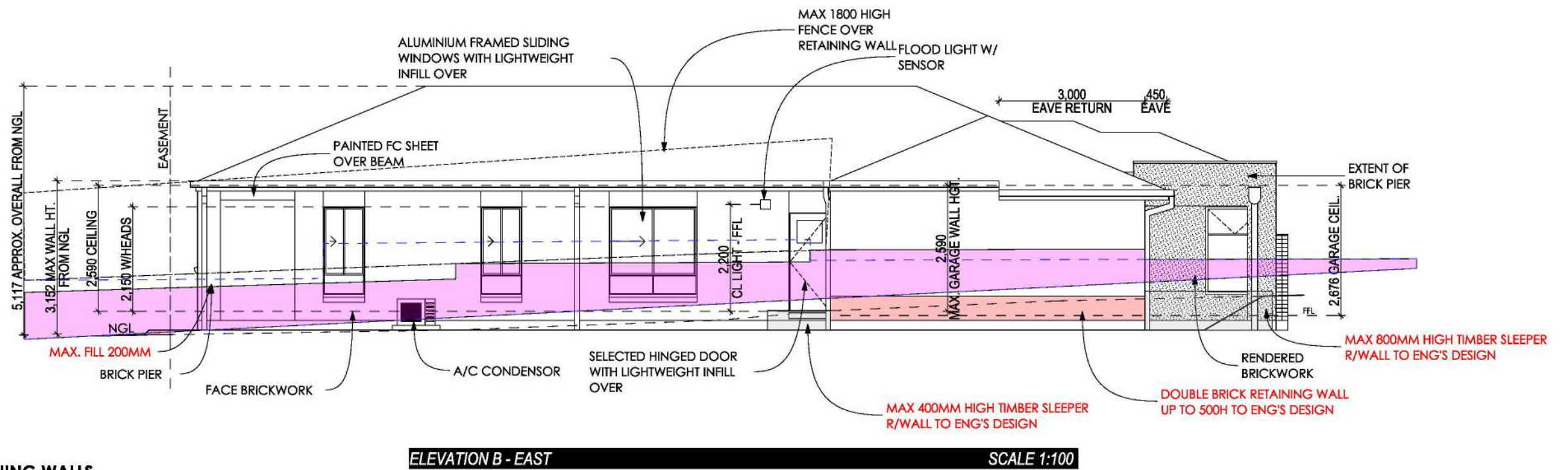
DRAWING NAME: ROOF PLAN

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--	--	--	---	--	---	--	--

MATERIAL CALCULATOR:	
BRICKWORK:	6.56m ² (45.42%)
RENDER:	7.88m ² (54.58%)
TOTAL:	14.44m ² (100%)




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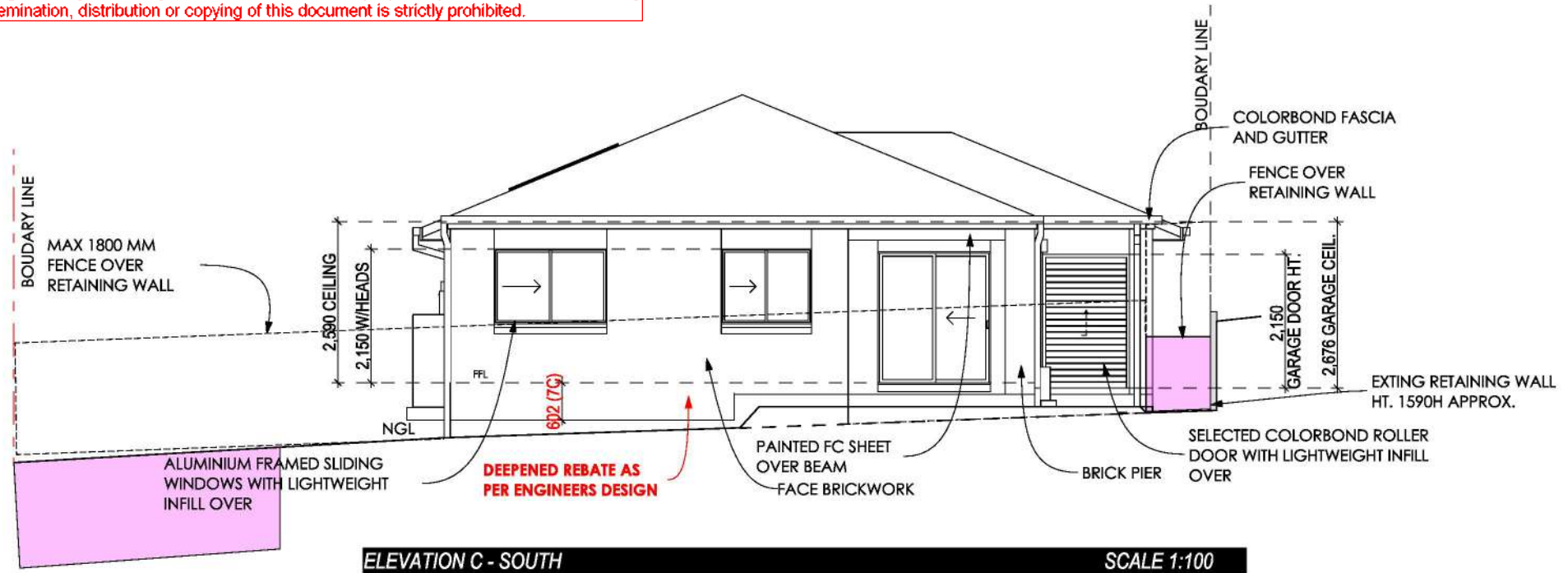
 EXISTING RETAINING WALLS

SITE CUT / FILL RL: AHD :53.500
HOUSE FFL: FFL:AHD 53.885
GARAGE FFL: FFL:AHD 53.799
SITE CLASSIFICATION: P
BUSH FIRE ATTACK LEVEL: BAL:N/A

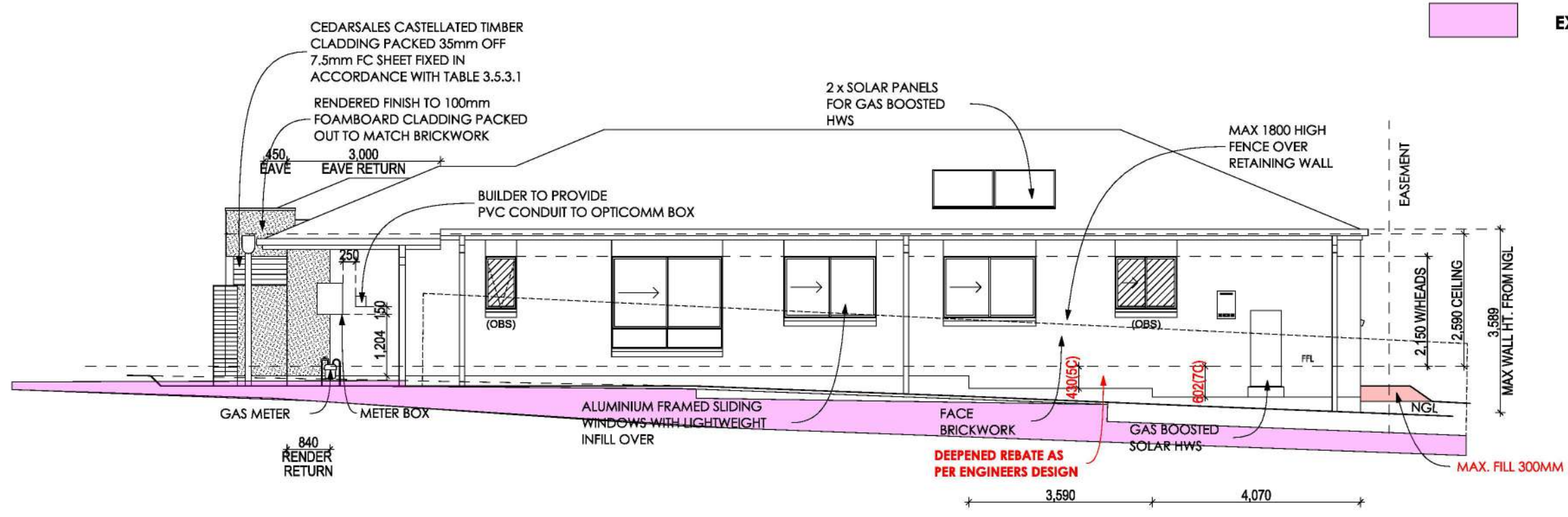
DRAWING NAME: ELEVATIONS 1

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ELEVATION C - SOUTH SCALE 1:100



ELEVATION D - WEST SCALE 1:100

EXISTING RETAINING WALLS

SITE CUT / FILL RL: AHD :53.500	HOUSE FFL: FFL:AHD 53.885
SITE CLASSIFICATION: P	GARAGE FFL: FFL:AHD 53.799
BUSH FIRE ATTACK LEVEL: BAL:N/A	

HERMITAGE HOMES

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DATE: _____
SIGNED OWNER: _____
DATE: _____
SIGNED BUILDER: _____
DATE: _____

JOB STATUS
WORKING DRAWINGS

SCALE: 1:100 @ A3
HOUSE MODEL: **WENTWORTH 22**
FACADE TYPE: **WATSON**
DRAWN: CTA
CHECKED: --
JOB NUMBER: **6602**
ISSUE: **WDC**
ISSUE DATE: 13/03/2025
PAGE: MR06

DRAWING NAME: ELEVATIONS 2

ELECTRICAL OBJECT LIST		
2D	Library Part Name	Quantity
⚡	L.E.D. DOWNLIGHTS	32
⊕	DOUBLE POWER POINT @300H	10
⊕	CEILING HEATING DUCT	8
⊕	DOUBLE POWER POINT @1100H	5
<2-WAY>	2-WAY SWITCH	3
⊕	TV COAXIAL POINT	2
⊕	DOUBLE POWER POINT @1350H	2
SD	SMOKE DETECTOR	2
⊕	CT-RH SINGLE GPO	2
⊕	EXHAUST FAN	2
▼	DATAPOINT	2
⊕	HEATING UNIT	1
⊕	THERMOSTAT	1
⊕	DW SINGLE GPO	1
▽	PHONE POINT	1
⊕	DIRECT WIRE APPLIANCE	1
⊕	SINGLE POWER POINT @1500H	1
⊕	DOUBLE WEATHERPROOF POWER POINT @750H	1
⊕	SINGLE WEATHERPROOF POWER POINT @750H	1
⊕	POWER POINT ON CEILING FOR REMOTE UNIT	1
⊕	DOUBLE POWER POINT @1500H	1
⊕	FLOOD LIGHT w-SENSOR	1
○	CEILING LIGHT BATTEN HOLDER	1

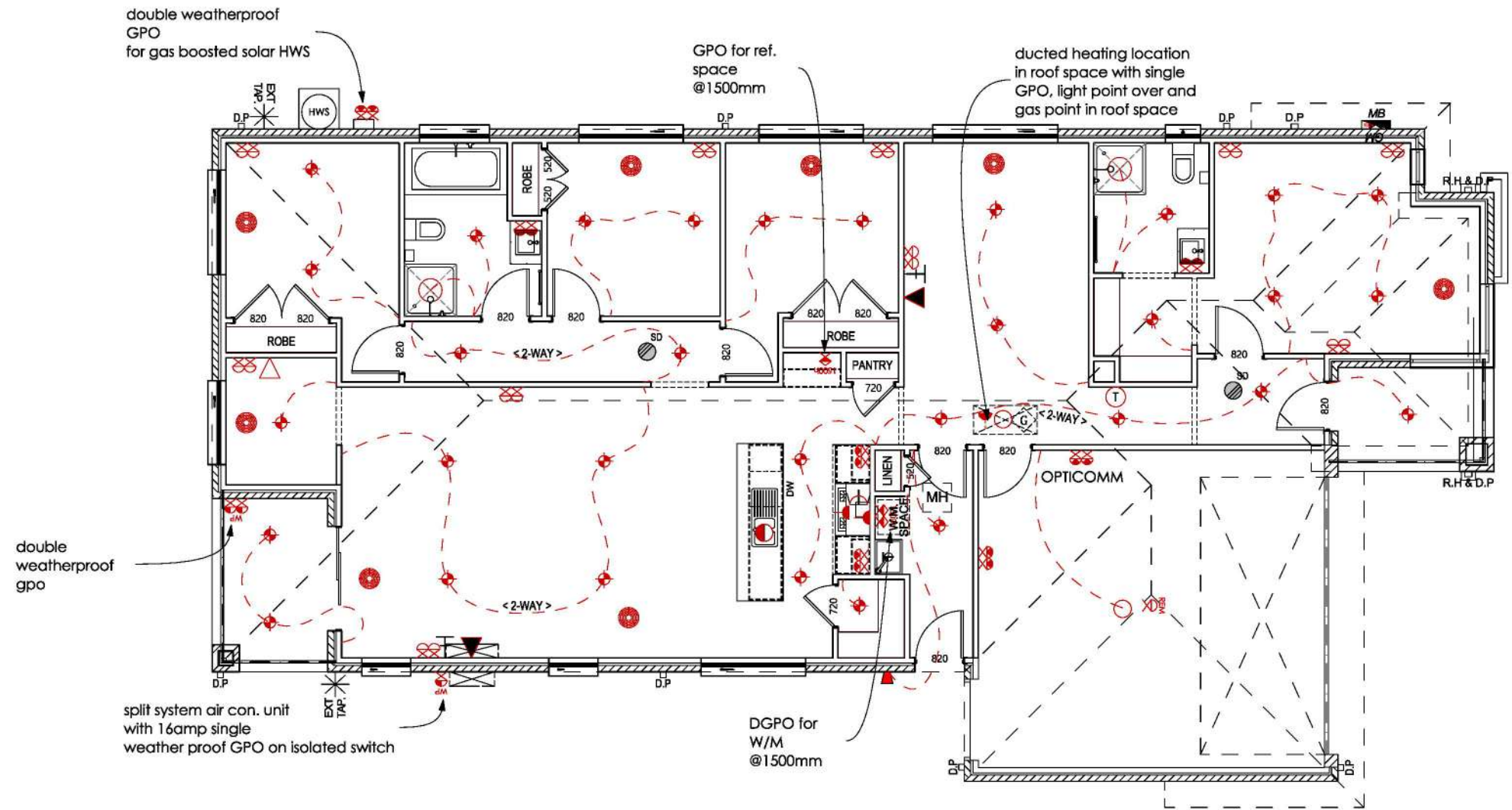
NOTE: ALL HEATING & COOLING OUTLET LOCATIONS ARE INDICATIVE. OUR PROFESSIONAL INSTALLERS WILL LOCATE THE DUCTS TO BE IN THE MOST EFFICIENT POSITIONS FOR THE MOST COVERAGE ACROSS THE HOME. ANY DEVIATION FROM THIS CAN ALTER THE EFFECTIVENESS OF THE PRODUCT.

OPTICOMM FIBRE ESTATE ENTRY LEVEL PACK

Pack includes :

- ✓ Upgrade to WSC - new Opticomm regulation effective 15/04/2013
 - ✓ Lead in cable for Opticomm fibre-optic from Meter Box to the Hub
 - ✓ One (1) x Double GPO for Optical Network Termination (ONT) Box
 - ✓ 1No. Phone Points (terminated at WSC) in lieu of standard
 - ✓ 2No. Data Point - CAT6 cable CAT 6 mech.
 - ✓ 2No. TV Points (terminated at WSC) in lieu of standard
- Note: Excludes connection.

Positions cannot be guaranteed due to structural and / or building regulations this will be determined by installing contractor Pack price does not include undergrounds.



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Email: admin@hermitagehomes.com.au
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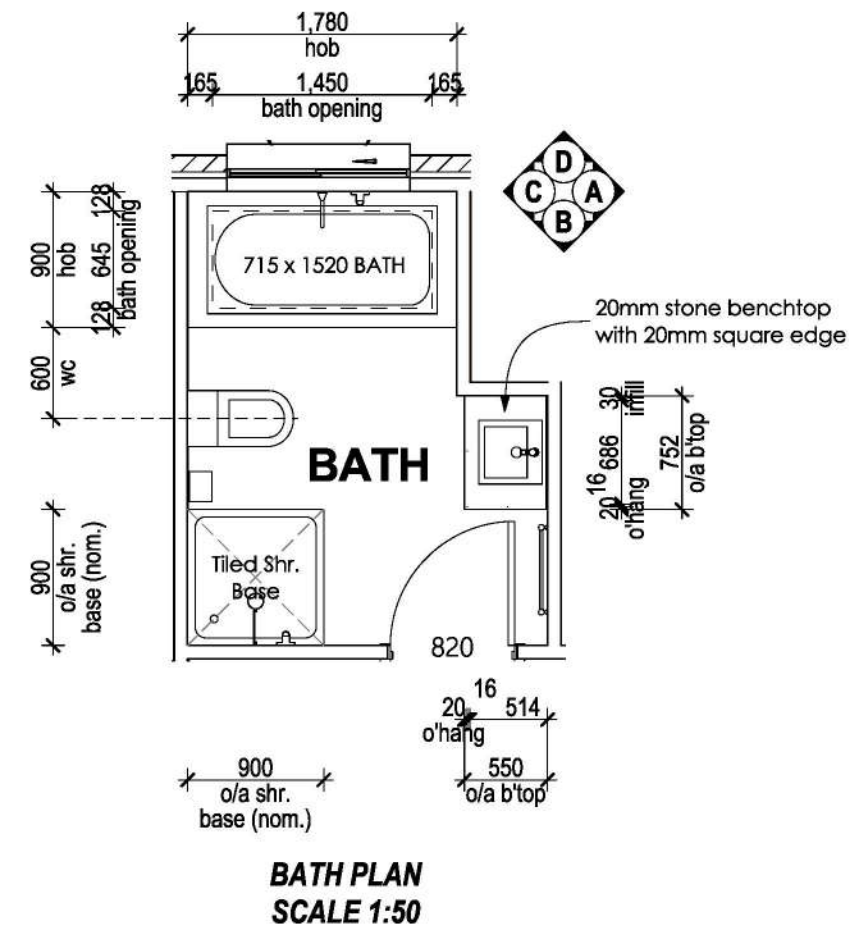
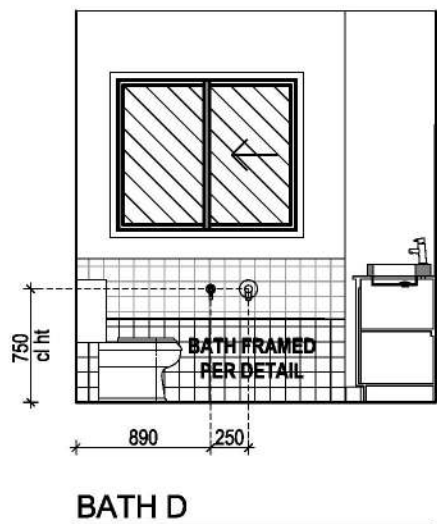
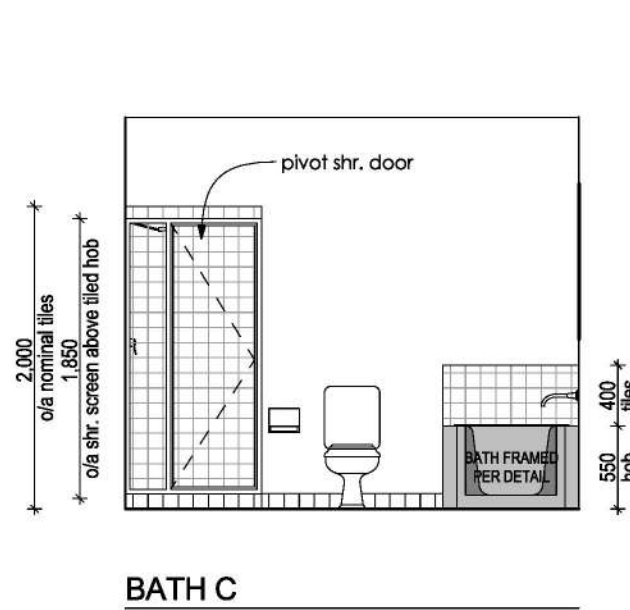
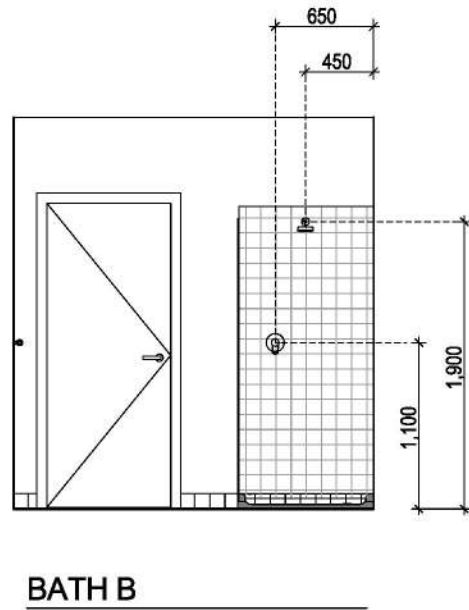
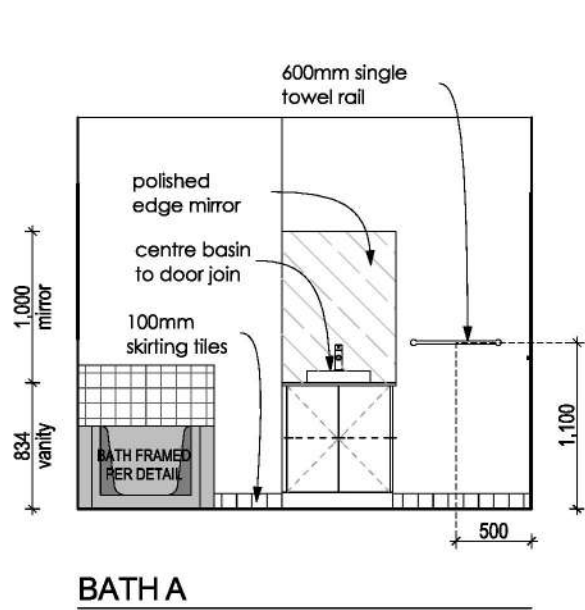
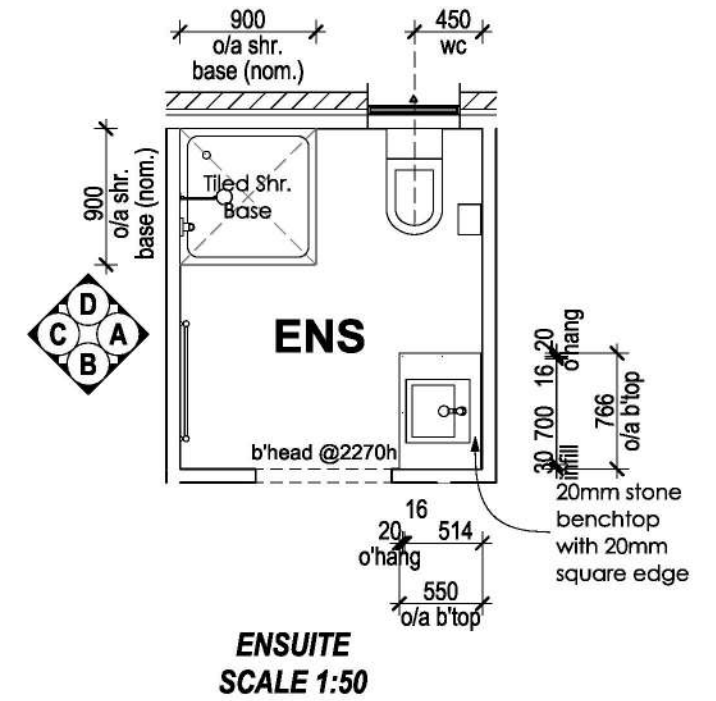
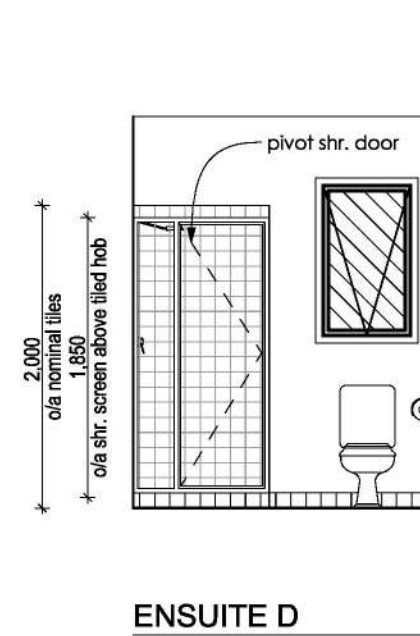
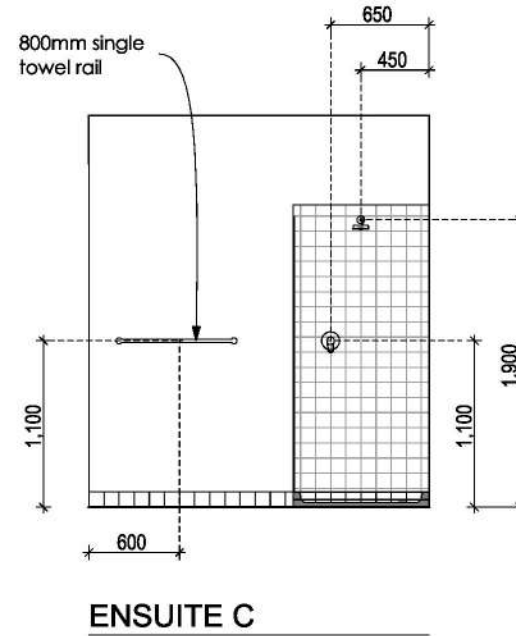
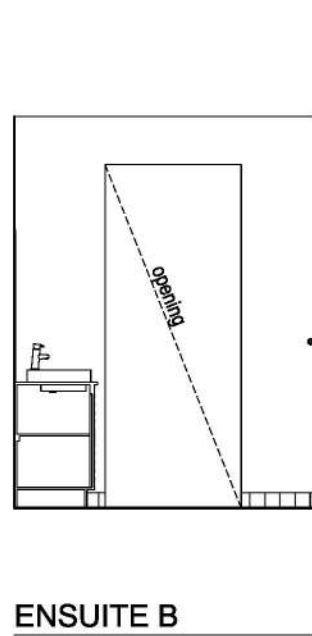
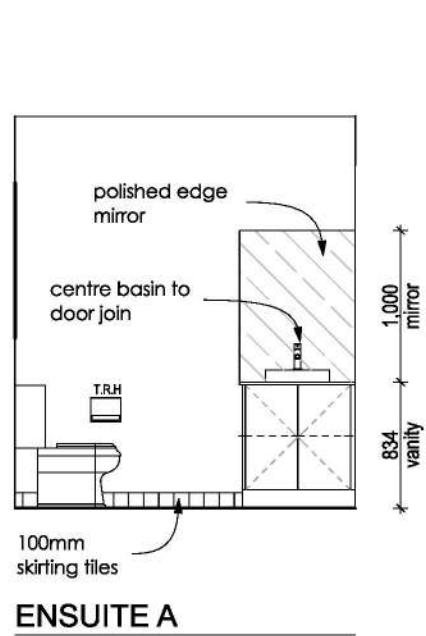
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DATE: _____
SIGNED OWNER: _____
DATE: _____
SIGNED BUILDER: _____
DATE: _____

JOB STATUS
WORKING DRAWINGS

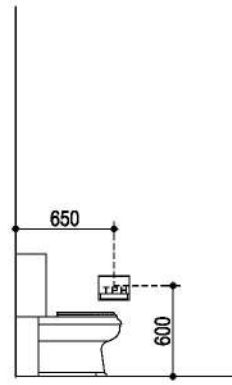
DRAWING NAME: ELECTRICAL & HEATING LAYOUT

SCALE: 1:100, 1:1 @ A3
HOUSE MODEL
WENTWORTH 22
FACADE TYPE
WATSON
DRAWN: CTA
CHECKED: --

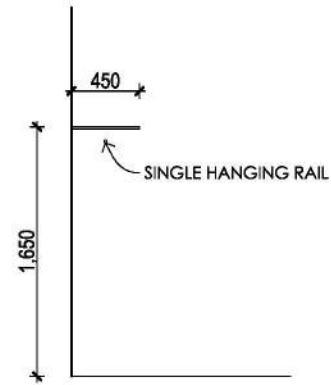
JOB NUMBER
6602
ISSUE
WDC
ISSUE DATE
13/03/2025
PAGE: MR07



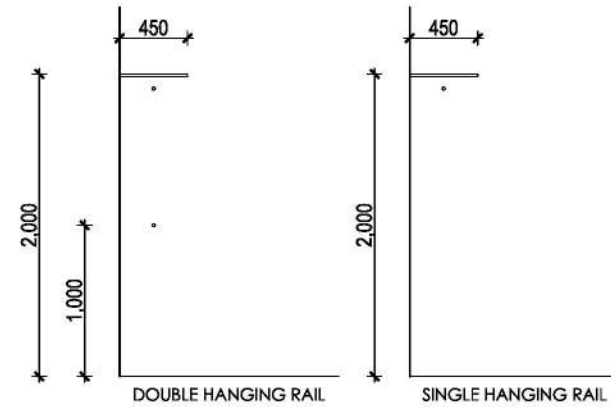
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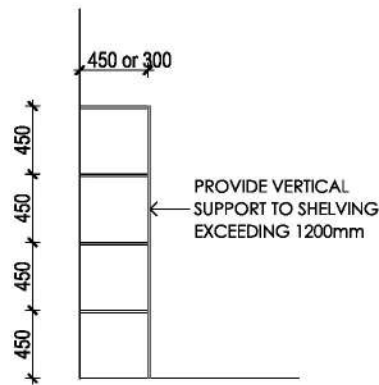
TYP. TPH DETAIL



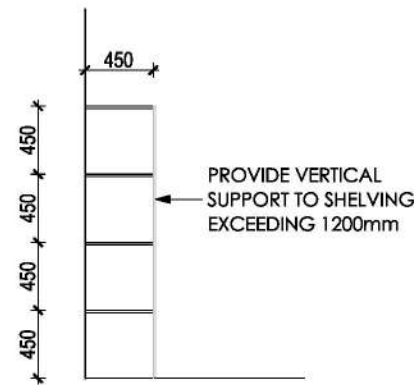
TYP. ROBE DETAIL



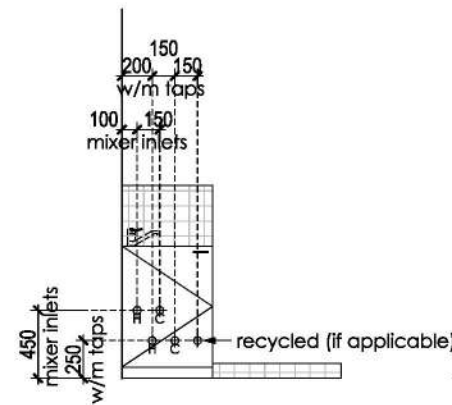
TYP. WIR DETAIL



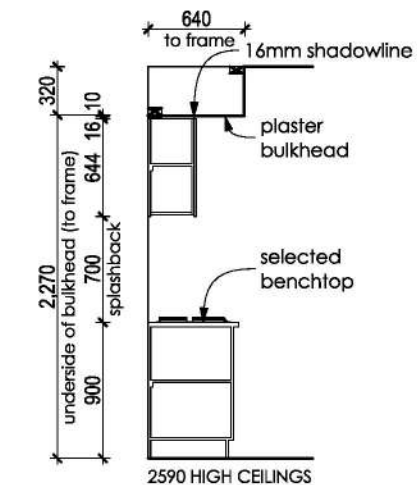
TYP. LINEN DETAIL



TYP. PANTRY/WIP DETAIL



TYP. LAUNDRY TAP DETAIL



TYP. KITCHEN DETAIL

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DRAWING NAME: TYPICAL DETAILS

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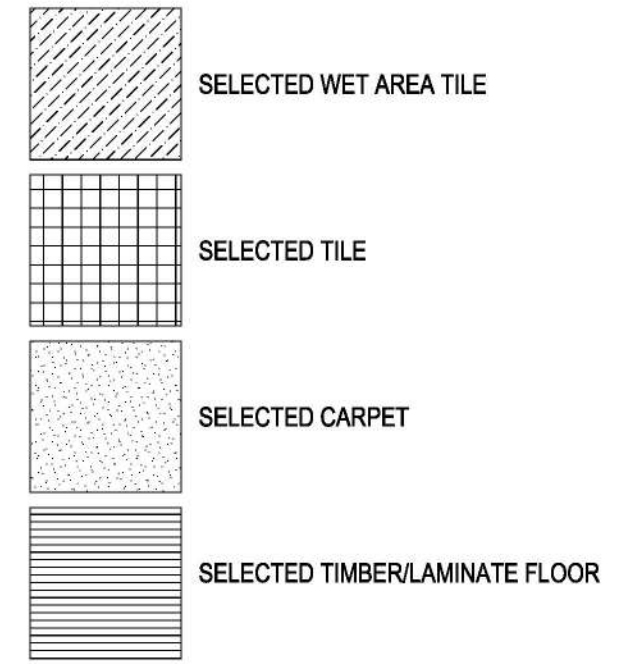
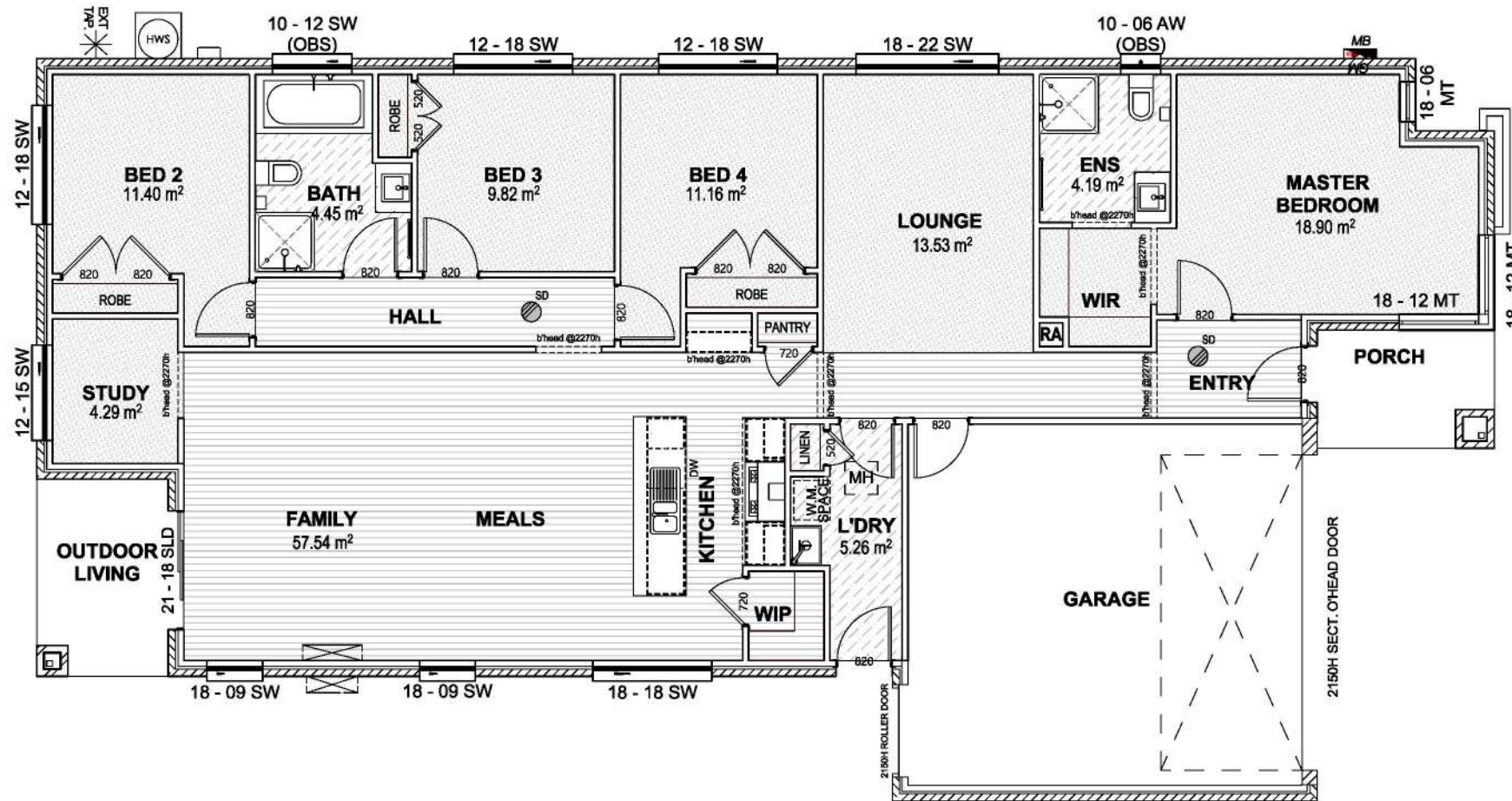
SIGNED OWNER: _____
DATE: _____
SIGNED OWNER: _____
DATE: _____
SIGNED BUILDER: _____
DATE: _____

JOB STATUS
WORKING DRAWINGS

SCALE: 1:50 @ A3
HOUSE MODEL
WENTWORTH 22
FACADE TYPE
WATSON
DRAWN: CTA
CHECKED: --

JOB NUMBER
6602
ISSUE
WDC
ISSUE DATE
13/03/2025
PAGE: MR10

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FLOOR COVERINGS	
MATERIAL	APPROX. AREA
SELECTED WET AREA TILES	13.90
SELECTED TIMBER/LAMINATE FLOOR	57.54
SELECTED CARPET	69.10
	140.54 m²

HERMITAGE HOMES

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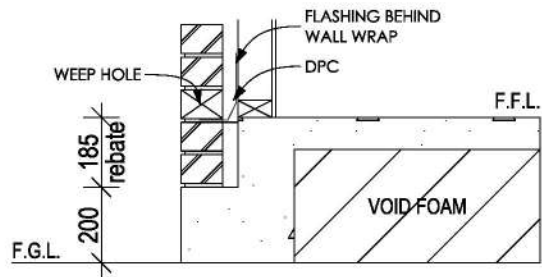
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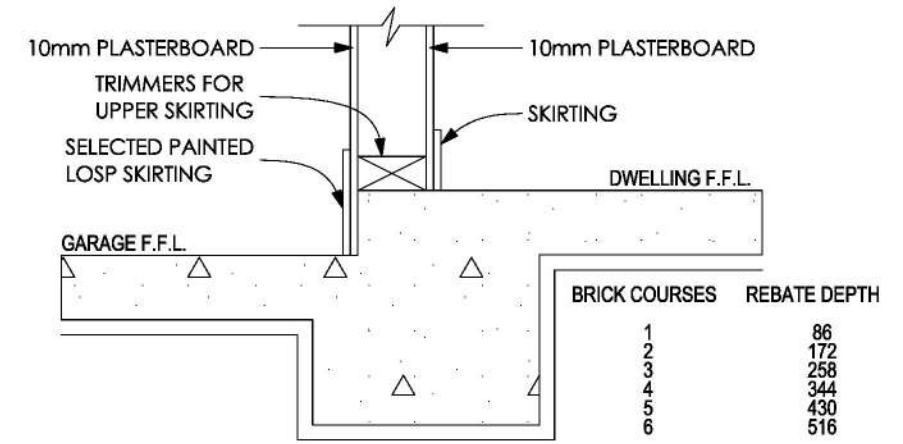
DRAWING NAME: FLOOR COVERINGS PLAN
 SCALE: 1:100, 1:1 @ A3
 HOUSE MODEL: **WENTWORTH 22**
 FACADE TYPE: **WATSON**
 DRAWN: CTA
 CHECKED: --
 JOB NUMBER: **6602**
 ISSUE: **WDC**
 ISSUE DATE: 13/03/2025
 PAGE: MR11

SITE CUT / FILL RL: AHD :53.500
HOUSE FFL: FFL:AHD 53.885
GARAGE FFL: FFL:AHD 53.799
SITE CLASSIFICATION: P
BUSH FIRE ATTACK LEVEL: BAL:N/A

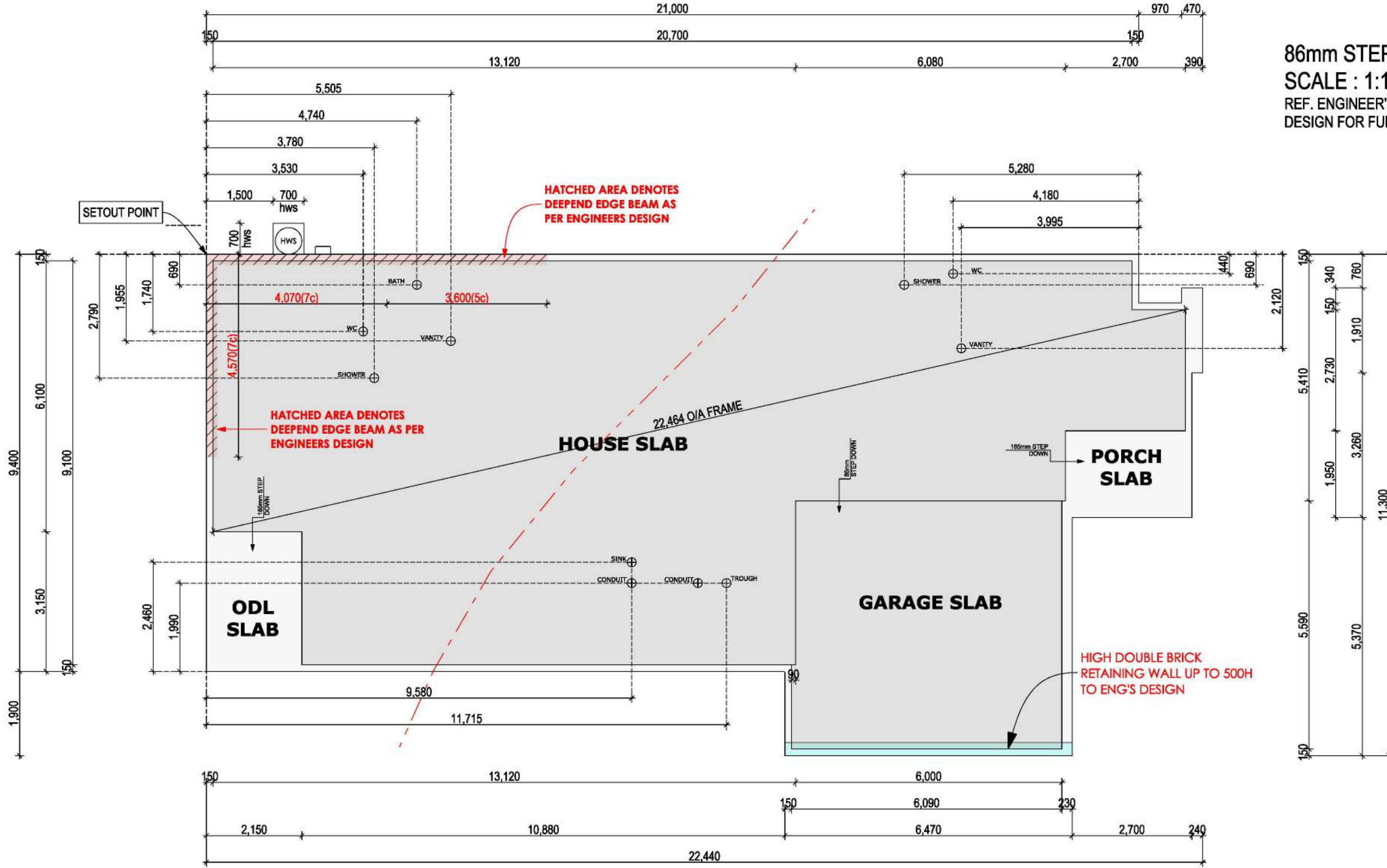


WEEP HOLE DETAIL - 385mm SLAB
SCALE 1:20

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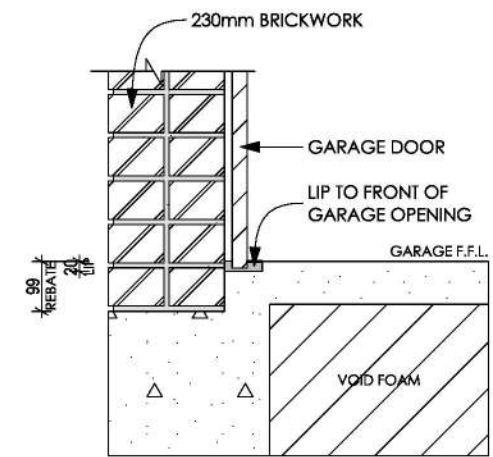


86mm STEPDOWN DETAIL
SCALE : 1:10
REF. ENGINEER'S
DESIGN FOR FULL DETAILS



NOTES:

- BATH WASTE POINTS TO BE CONFIRMED BY BUILDING SUPERVISOR
- SMART PANS TO BE USED FOR SHOWER AND BATH WASTE
- ALL WASTE POINT DIMENSIONS ARE TO CENTRE LINE
- CONCRETE WAFFLE POD SLAB AND FOOTINGS TO ENGINEER'S DESIGN AND SPECIFICATION
- ⊕ DENOTES FFL ABOVE SITE RL



GARAGE DOOR DETAIL (230mm REBATE)
SCALE 1:10

HERMITAGE HOMES

HERMITAGE BUILDING GROUP
A.B.N. 79 150 694 572
CD6-U 75382
Level 3, 31 Dalmore Drive
Scoresby, Victoria 3179
Ph: (03) 9213 0200 Fax: (03) 9213 0201
Email: admin@hermitagehomes.com.au
W: www.hermitagegroup.com.au

ADDRESS
LOT 122 SCENIC RISE
PAKENHAM VIC, 3810
P.S. NUMBER: PS 848743

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SIGNED OWNER: _____
DATE: _____
SIGNED OWNER: _____
DATE: _____
SIGNED BUILDER: _____
DATE: _____

JOB STATUS
WORKING DRAWINGS

SCALE: 1:100, 1:20, 1:30 @ A3
HOUSE MODEL
WENTWORTH 22
FACADE TYPE
WATSON
DRAWN: CTA
CHECKED: --

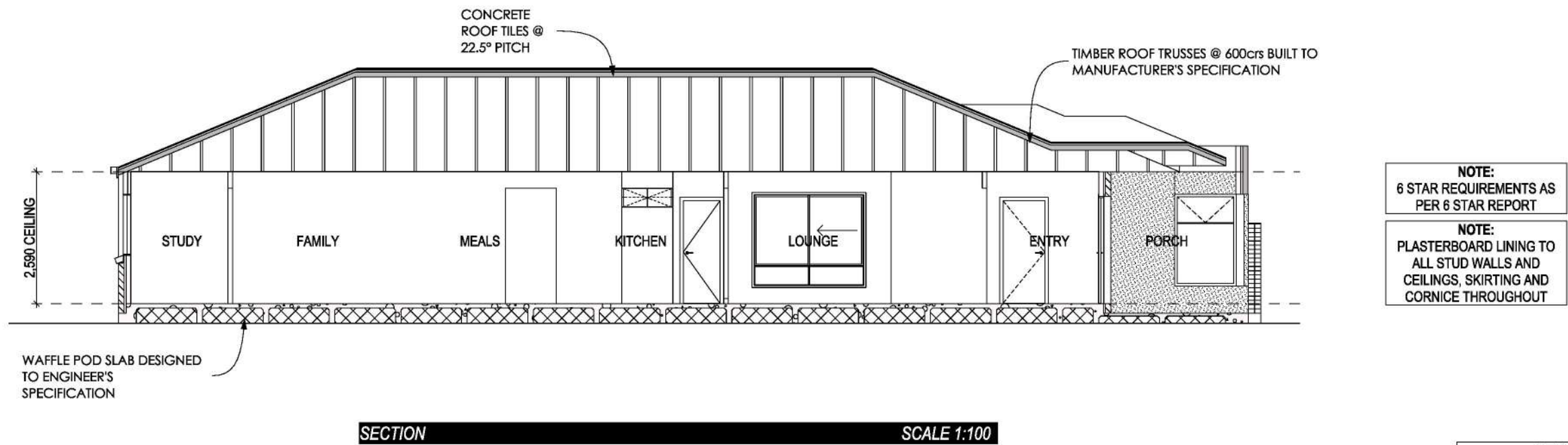
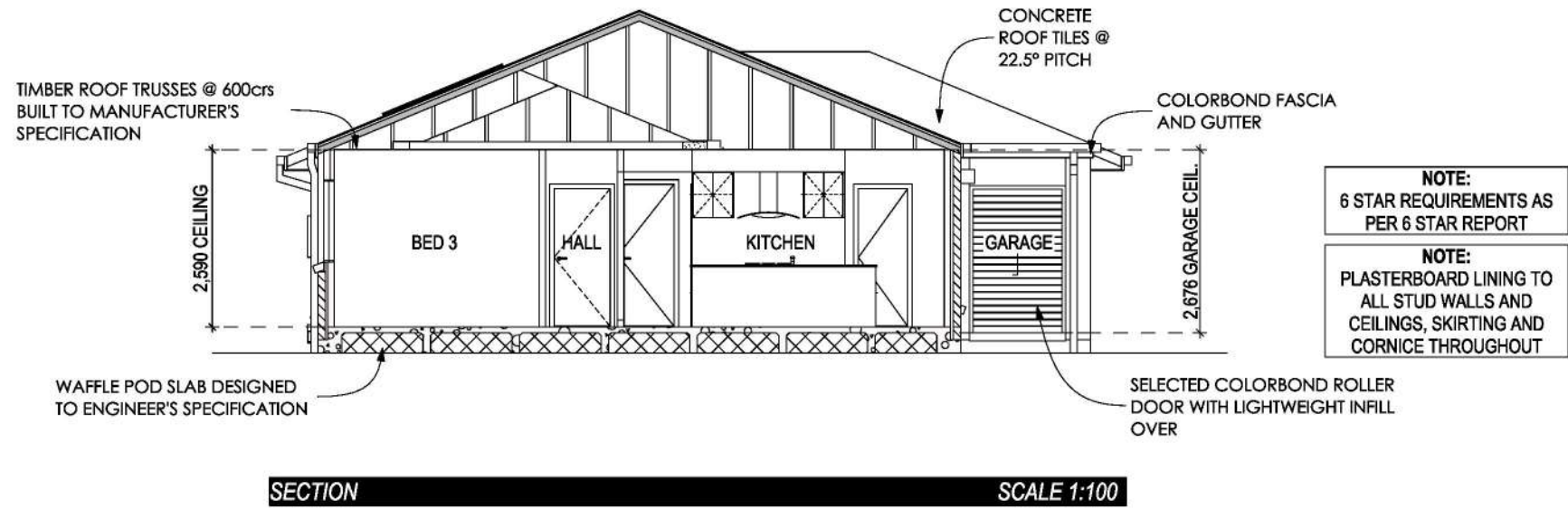
JOB NUMBER
6602
ISSUE
WDC
ISSUE DATE
13/03/2025
PAGE: MR12

DRAWING NAME: SETOUT PLAN

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SITE CLASSIFICATION:
P

BUSH FIRE ATTACK LEVEL:
BAL:N/A



NOTE:
6 STAR REQUIREMENTS AS PER 6 STAR REPORT

NOTE:
PLASTERBOARD LINING TO ALL STUD WALLS AND CEILINGS, SKIRTING AND CORNICE THROUGHOUT

SITE CUT / FILL RL:
AHD :53.500

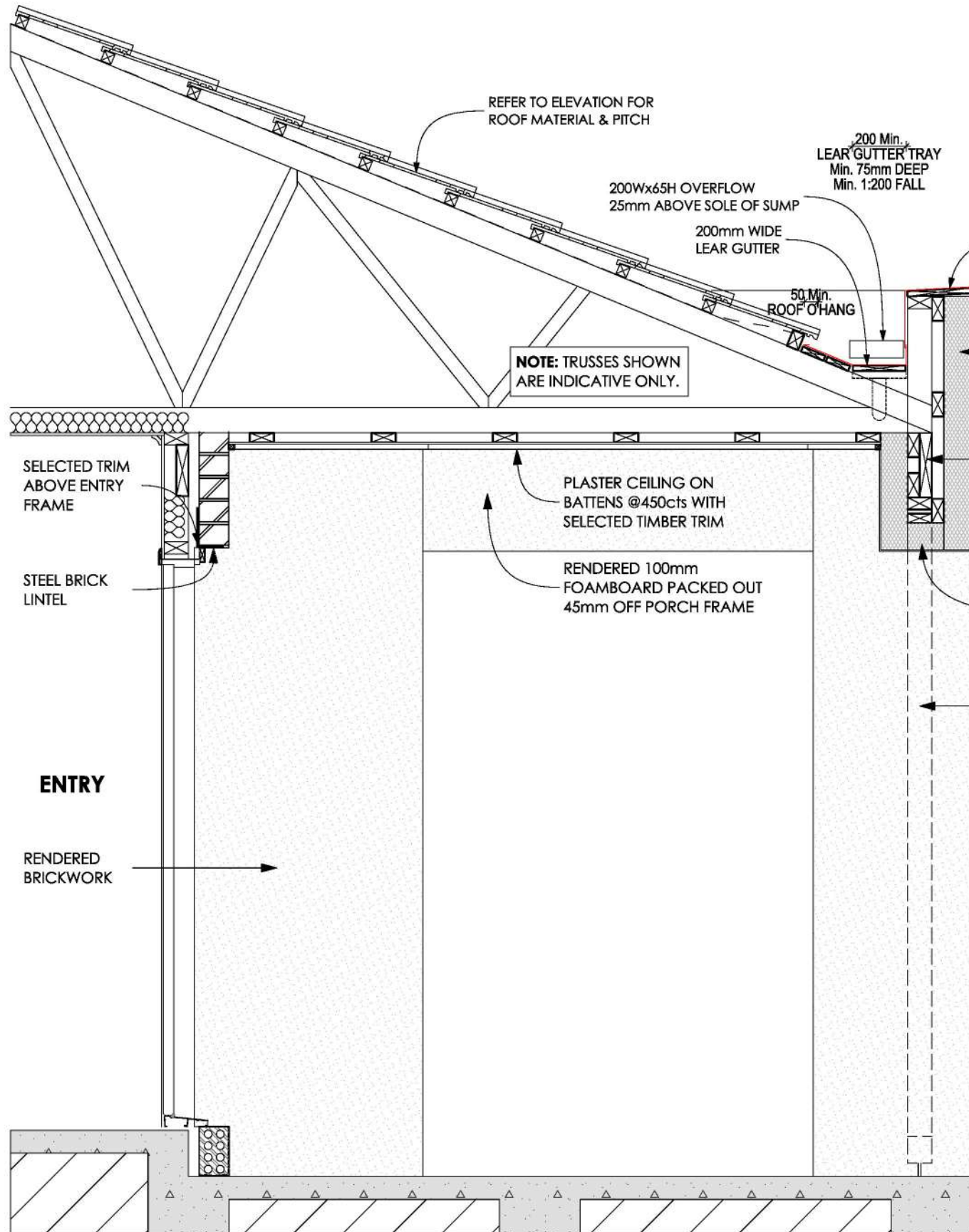
HOUSE FFL:
FFL:AHD 53.885

GARAGE FFL:
FFL:AHD 53.799

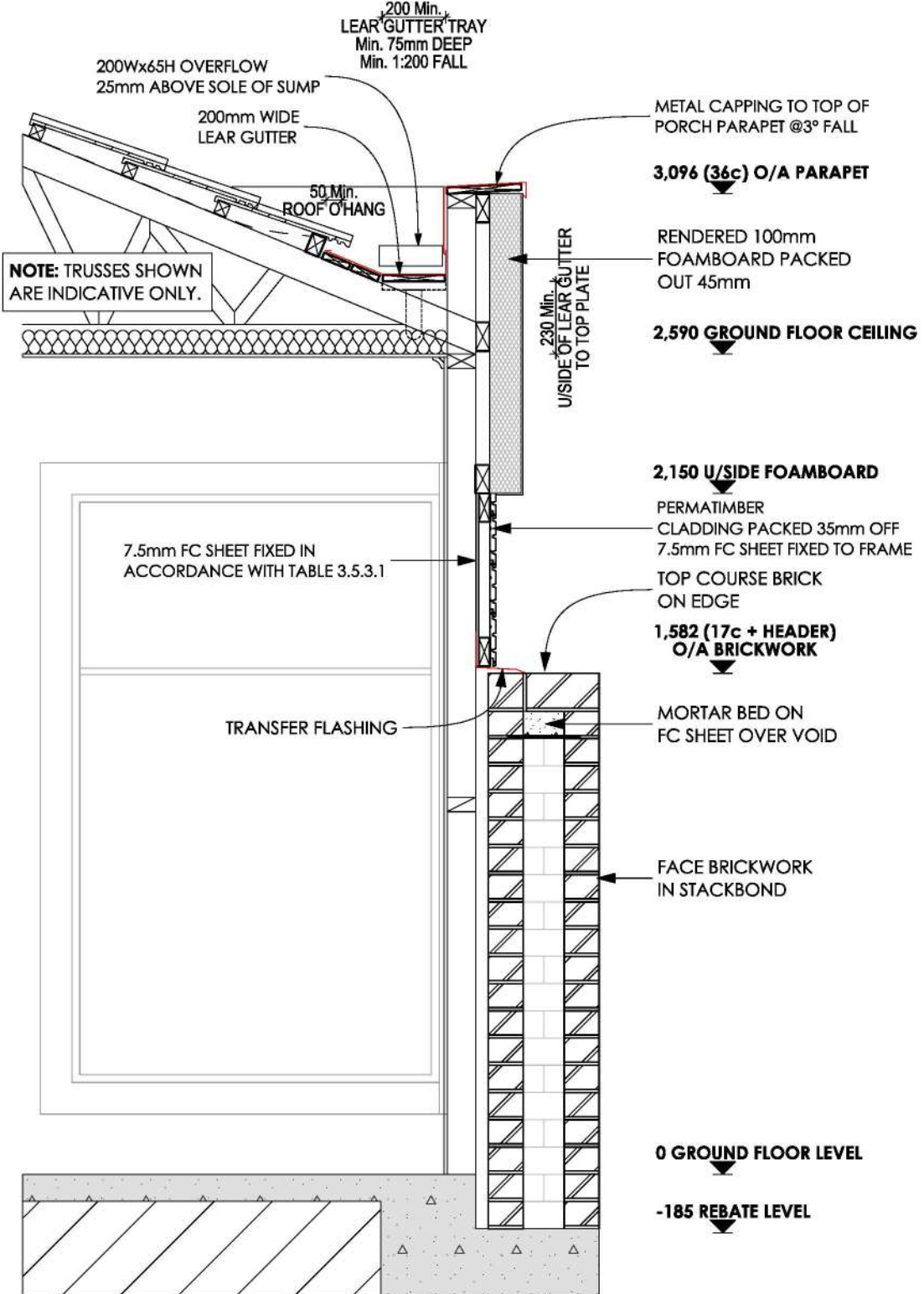
DRAWING NAME: SECTIONS

	HERMITAGE BUILDING GROUP A.B.N. 79 150 694 572 CD8-U 75382 Level 3, 37 Dalmore Drive Scoresby, Victoria 3179 Ph: (03) 9213 0000 Fax: (03) 9213 0001 Email: admin@hermitagehomes.com.au W: www.hermitagegroup.com.au	PRINCIPAL [REDACTED] ADDRESS LOT 122 SCENIC RISE PAKENHAM VIC, 3810 P.S. NUMBER: PS 848743	COPYRIGHT THESE DRAWINGS ARE THE SOLE PROPERTY OF HERMITAGE BUILDING GROUP. NO OTHER PERSON OR ENTITY IS ALLOWED TO DUPLICATE THIS DOCUMENT FOR PURPOSES OF PRODUCTION OR CONSTRUCTION DRAWINGS AS IT WILL BE A BREACH OF COPYRIGHT. PLEASE NOTE ANY DISCREPANCIES IN THIS DOCUMENT SHOULD BE REFERRED BACK TO THE HEAD OFFICE OF HERMITAGE BUILDING GROUP	SIGNED OWNER: _____ DATE: _____ SIGNED OWNER: _____ DATE: _____ SIGNED BUILDER: _____ DATE: _____	JOB STATUS WORKING DRAWINGS	SCALE: 1:100 @ A3 HOUSE MODEL WENTWORTH 22 FACADE TYPE WATSON DRAWN: CTA CHECKED: --	JOB NUMBER 6602 ISSUE WDC ISSUE DATE 13/03/2025 PAGE: MR13
	DRAWING NAME: SECTIONS						

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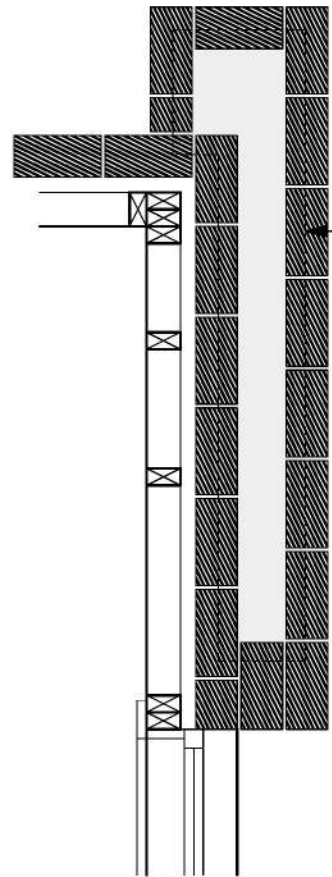
SECTION A



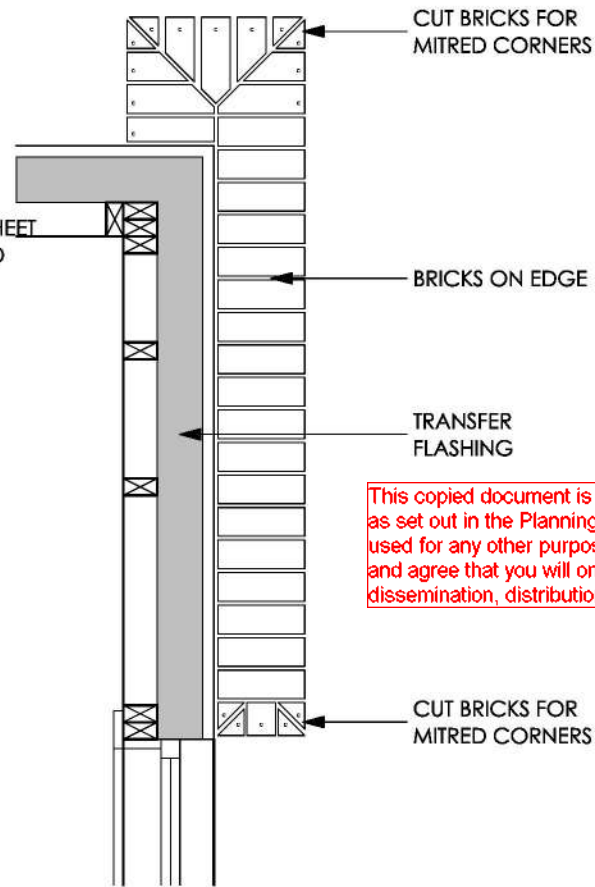
SECTION B

	HERMITAGE BUILDING GROUP A.B.N. 79 150 694 572 CD8-U 75382 Level 3, 37 Dalmore Drive Scoresby, Victoria 3179 Ph: (03) 9213 0000 Fax: (03) 9213 0001 Email: admin@hermitagehomes.com.au W: www.hermitagegroup.com.au	ADDRESS LOT 122 SCENIC RISE PAKENHAM VIC, 3810 P.S. NUMBER: PS 848743	COPYRIGHT THESE DRAWINGS ARE THE SOLE PROPERTY OF HERMITAGE BUILDING GROUP. NO OTHER PERSON OR ENTITY IS ALLOWED TO DUPLICATE THIS DOCUMENT FOR PURPOSES OF PRODUCTION OR CONSTRUCTION DRAWINGS AS IT WILL BE A BREACH OF COPYRIGHT. PLEASE NOTE ANY DISCREPANCIES IN THIS DOCUMENT SHOULD BE REFERRED BACK TO THE HEAD OFFICE OF HERMITAGE BUILDING GROUP	SIGNED OWNER: _____ DATE: _____ SIGNED OWNER: _____ DATE: _____ SIGNED BUILDER: _____ DATE: _____	JOB STATUS WORKING DRAWINGS	SCALE: 1:20 @ A3 HOUSE MODEL WENTWORTH 22 FACADE TYPE WATSON DRAWN: CTA CHECKED: --	JOB NUMBER 6602 ISSUE WDC ISSUE DATE 13/03/2025 PAGE: MR14
	DRAWING NAME: FACADE DETAIL 1						

BRICKWORK LAYOUT



HEADER COURSE LAYOUT



EXTENT OF FC SHEET SHOWN DASHED

CUT BRICKS FOR MITRED CORNERS

BRICKS ON EDGE

TRANSFER FLASHING

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CUT BRICKS FOR MITRED CORNERS

FEATURE BRICKWORK DETAIL

DRAWING NAME: FACADE DETAIL 2

HERMITAGE HOMES

HERMITAGE BUILDING GROUP
A.B.N. 79 150 694 572
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PRINCIPAL
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ADDRESS
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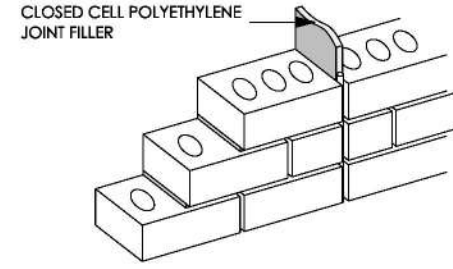
SIGNED OWNER: _____
DATE: _____
SIGNED OWNER: _____
DATE: _____
SIGNED BUILDER: _____
DATE: _____

JOB STATUS
WORKING DRAWINGS

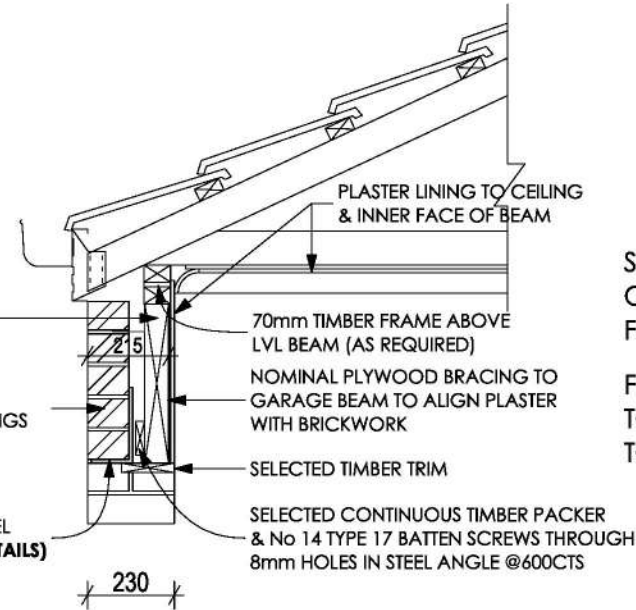
SCALE: 1:20 @ A3
HOUSE MODEL
WENTWORTH 22
FACADE TYPE
WATSON
DRAWN: CTA
CHECKED: --

JOB NUMBER
6602
ISSUE
WDC
ISSUE DATE
13/03/2025
PAGE: MR15

PROVIDE FULL HEIGHT ARTICULATION JOINT
(FOOTING TO EAVE) AT 6000mm MAX. CRS. (UNLESS
STATED IN SOIL REPORT - 27425-24)

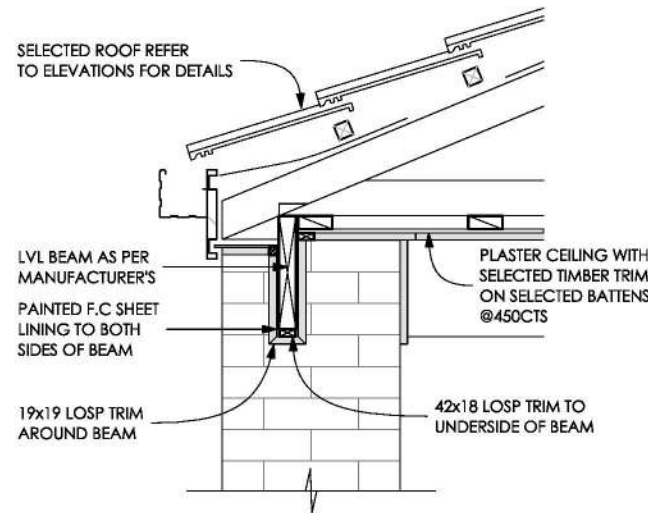


ARTICULATION JOINT DETAIL
SCALE : N.T.S.

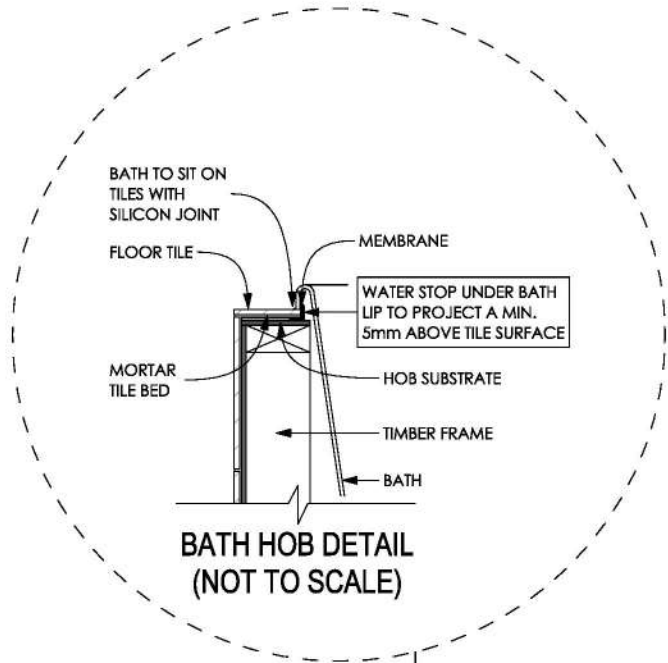


LVL BEAM DETAIL (BRICKWORK OVER)
SCALE 1:20

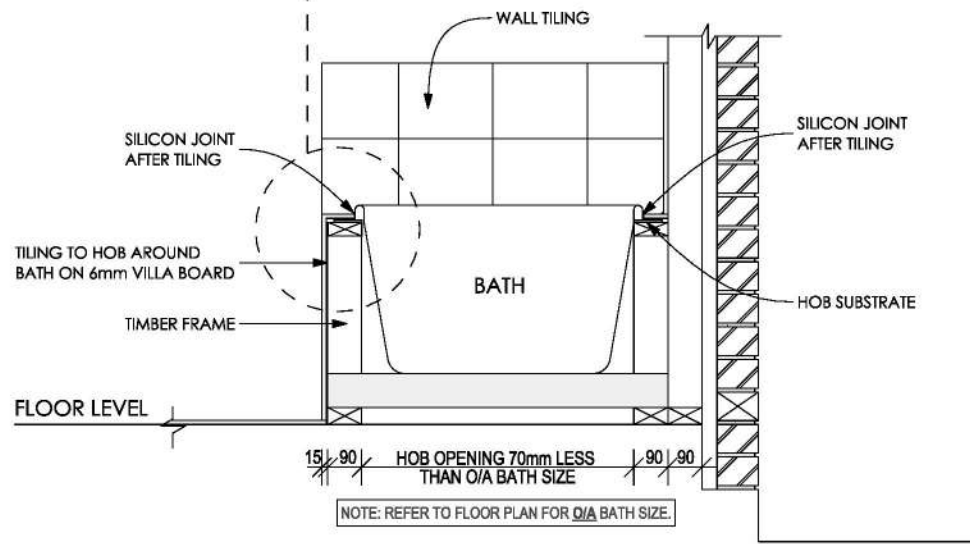
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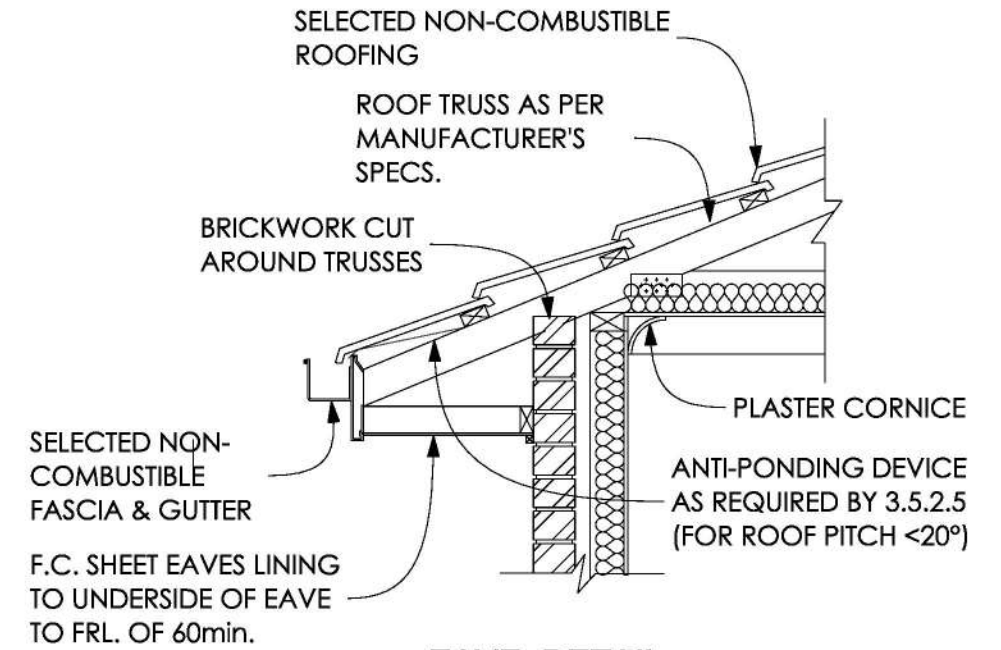
TYPICAL OUTDOOR LIVING BEAM DETAIL
SCALE 1:20



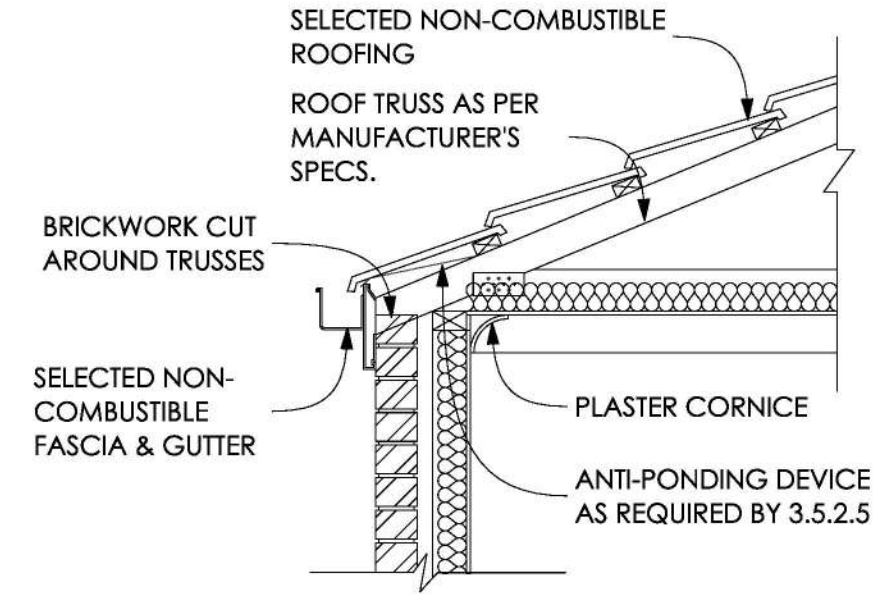
BATH HOB DETAIL
(NOT TO SCALE)



BATH HOB DETAIL
SCALE 1:20

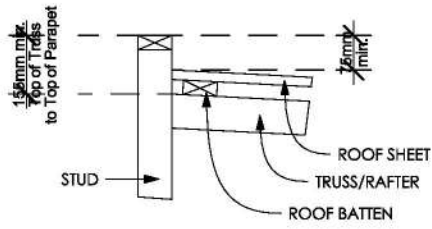


EAVE DETAIL
SCALE 1:20

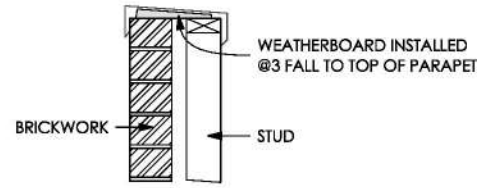


GUTTER DETAIL
SCALE 1:20

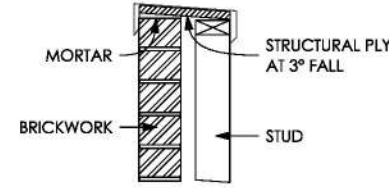
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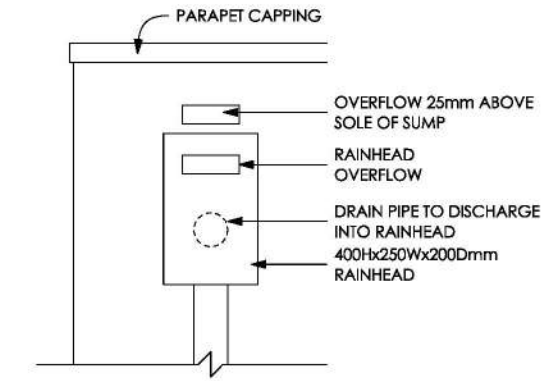
Minimum Parapet Heights



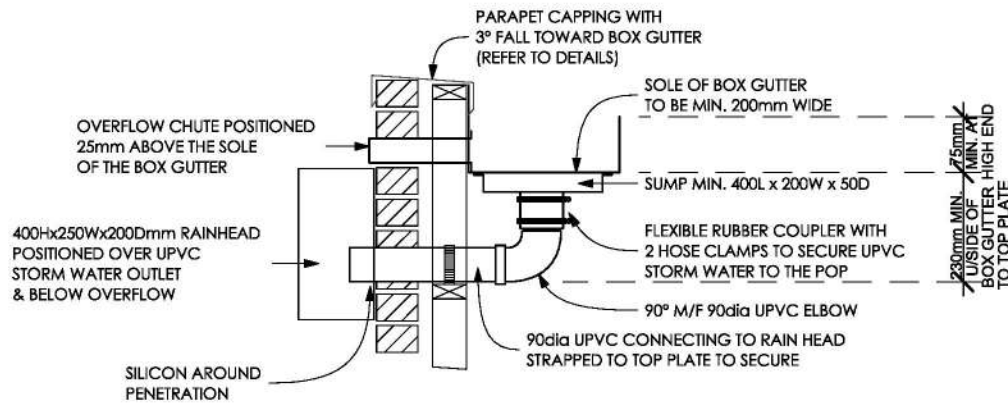
Standard Parapet Capping (up to 250mm in width)



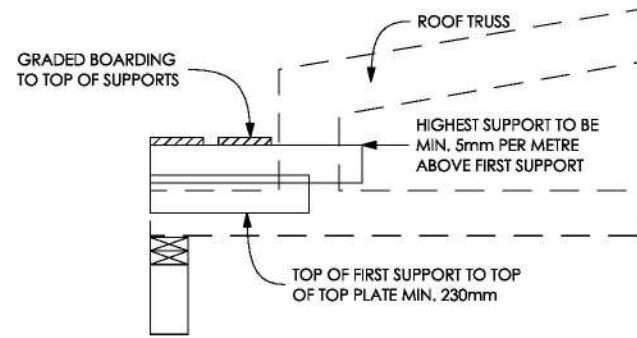
Standard Parapet Capping (over 250mm in width)



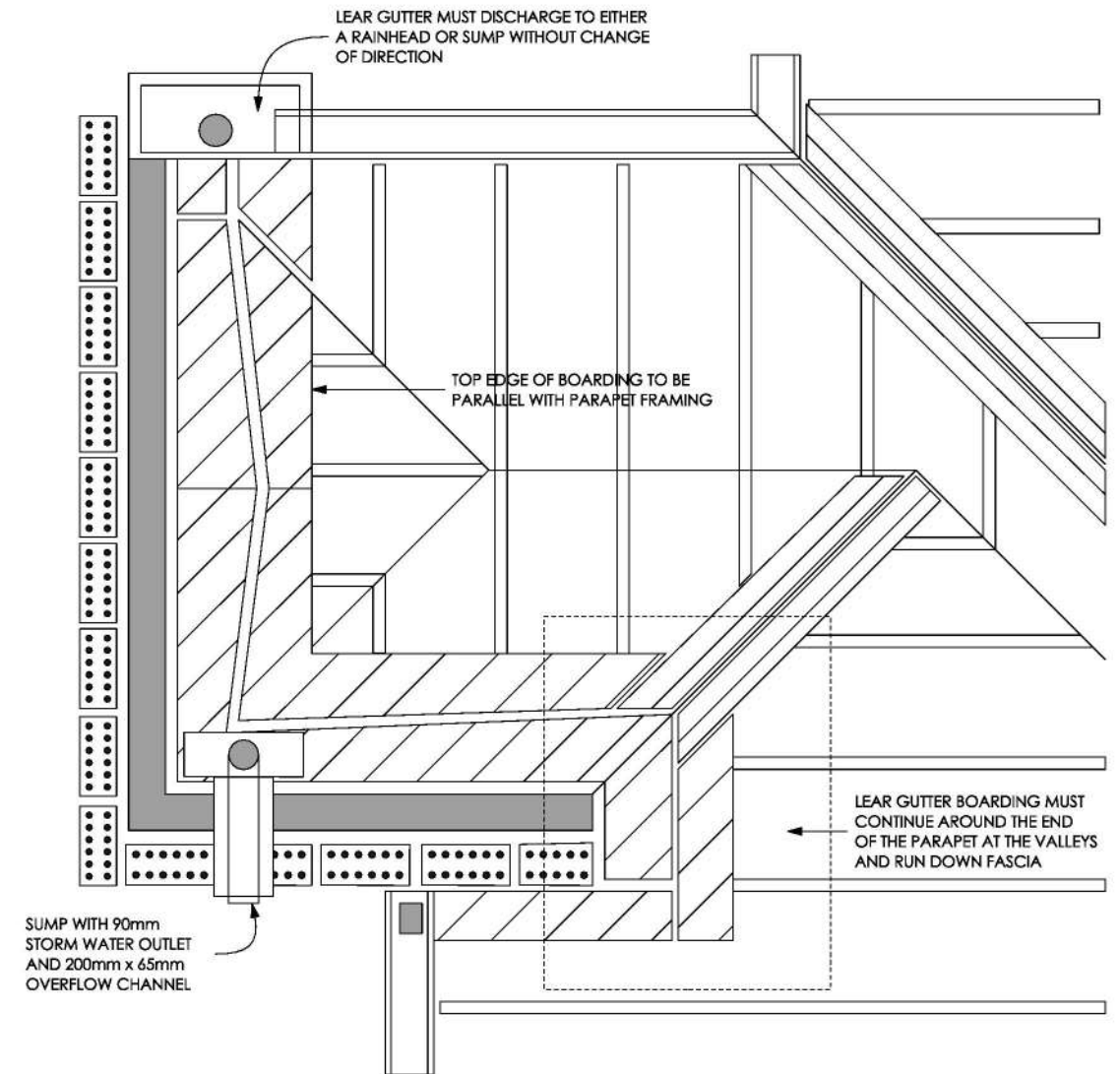
Typical Rain Head Elevation



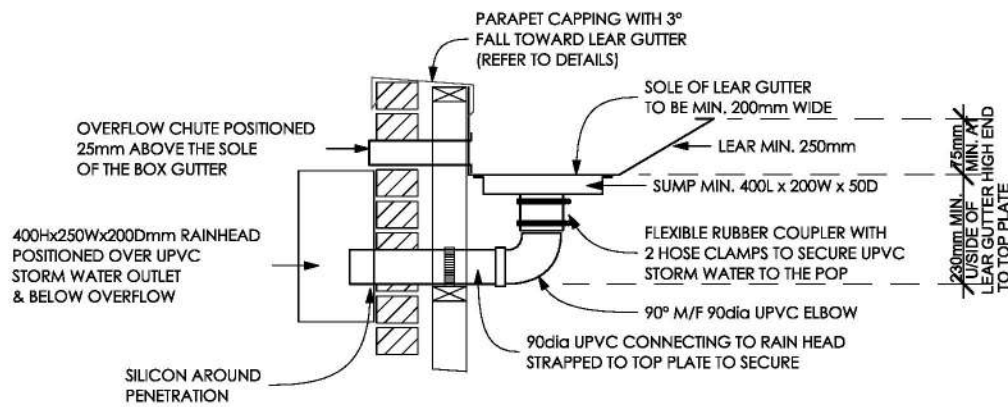
Box Gutter, Sump, Overflow & Storm Water Outlet



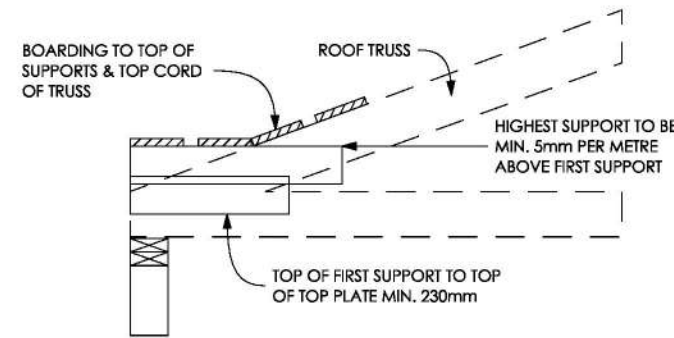
Box Gutter - End View Framing



Typical Lear Gutter Boarding - Plan View



Lear Gutter, Sump, Overflow & Storm Water Outlet



Lear Gutter - End View Framing

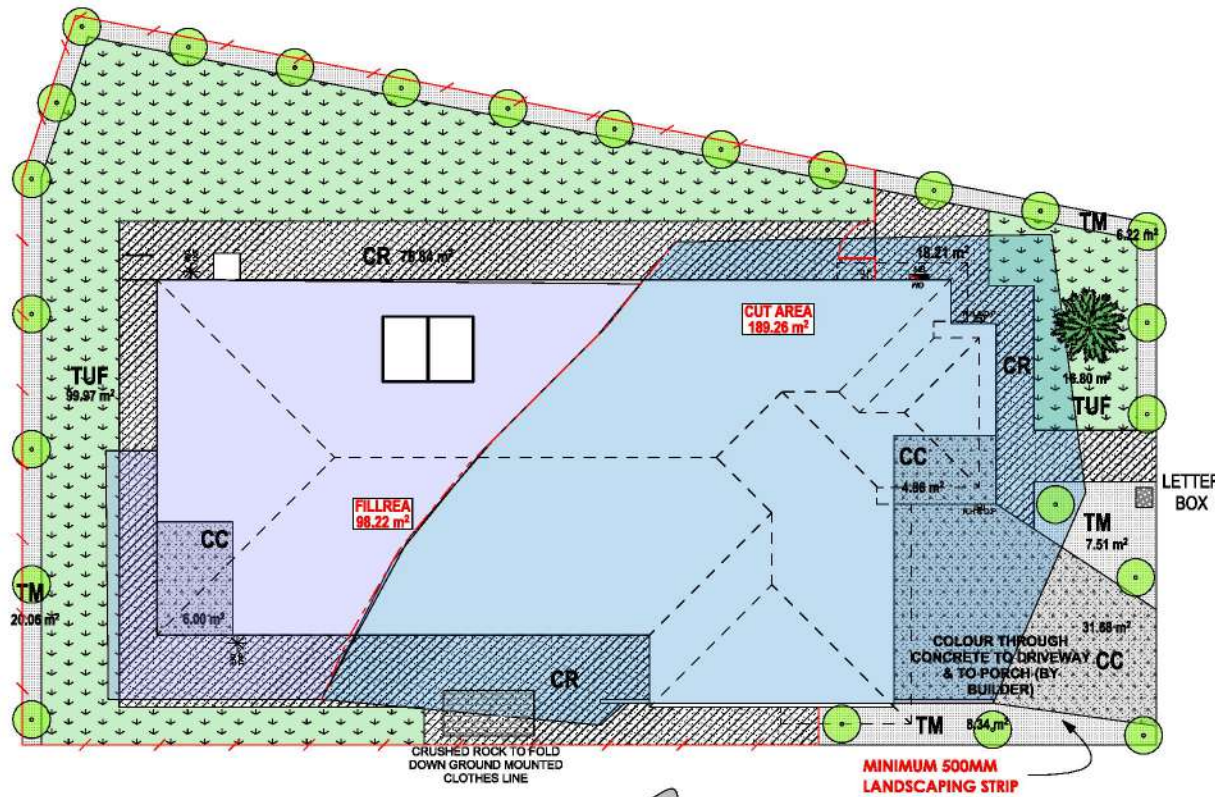
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- BM** BLACK GARDEN MULCH TO 100mm DEPTH TO BE COMPACTED SUFFICIENTLY TO MINIMISE ANY FUTURE MOVEMENT AND SINKING
- CR** CRUSHED ROCK - CRUSHED ROCK TO BE COMPACTED SUFFICIENTLY TO MINIMISE ANY FUTURE MOVEMENT AND SINKING
- TM** TAN GARDEN MULCH TO GARDEN BED WITH A MIN. 100mm COVER. GARDEN MULCH TO BE OF A KINDERGARTEN GRADE (FINE)
- CC** COLOUR THROUGH CONCRETE AREAS. TO BE POURED DURING LANDSCAPING & NOT PART OF THE SLAB

NOTE
 PROVIDE FRONT AND REAR LANDSCAPING IN ACCORDANCE WITH CURRENT WATER RESTRICTIONS. PROVIDE LETTERBOX TO DEVELOPER'S REQUIREMENTS. PROVIDE BOUNDARY FENCING TO DEVELOPER'S REQUIREMENTS

NOTE
 ALL LANDSCAPING DEPICTED AT 5 YEARS OF AGE.
GENERAL LANDSCAPING NOTES

PLANT LIST			
2D Symbol	ID	DESCRIPTION	QTY.
	Plants 01	TO BE NOMINATED BY LANDSCAPER	24
	Tree	TO BE NOMINATED BY LANDSCAPER	1
			25



CULTIVATION:
 REMOVE BUILDERS DEBRIS BY MECHANICAL MEANS, PRIOR TO THE COMMENCEMENT OF LANDSCAPING.

PLANTS & PLANTING:
 ALL PLANTS SHALL BE HEALTHY AND DISEASE FREE SPECIMENS. REFER TO PLANTING SCHEDULE FOR POT DIAMETER AND SIZE OF PLANT WHEN FULLY MATURED. OVER EXCAVATE ALL PLANT HOLES TO AT LEAST TWICE THE POT SIZE DIAMETER AND DEPTHS. APPLY OSMOCOTE FERTILISER TO EACH PLANT HOLE AND AVOID DIRECT ROOT CONTACT WITH FERTILISER. APPLY AT THE FOLLOWING RATES: 75g PER TREE, 50g PER LARGE SHRUB AND 25g PER SMALL SHRUB AND GROUND COVER. THOROUGHLY WATER IN PLANTS AT PLANTING. STAKE ALL TREES AND LARGE SHRUBS WITH 32x32 HW STAKES OF SUFFICIENT LENGTH TO ENABLE SECURE TIES OF FLEXIBLE RUBBER, CANVAS OR HESSIAN ALONG THE STEM OF PLANTS.

LAWN:
 TO AREAS OF GRASS TOP SOIL SHALL BE LIGHTLY ROLLED TO A COMPACTED DEPTH OF 100mm. TALL FESCUE TURF OR SOW BRUNNINGS FAST AND FREE OR SIMILAR SEED MIX AT A RATE OF 30g/m² AND LIGHTLY RAKE WHERE SEED IS USED TO BRING EVEN GERMINATION. AT SOWING APPLY A LAWN STARTER FERTILISER NPK 8:4:8.

LAWN / GARDEN PLINTH:
 AT INTERSECTION BETWEEN LAWN AND GARDEN BED INSTALL 100x25mm CCA PINE EDGE BOARDS PEG @ 1200mm CTS WITH HW STAKES. FIX WITH GALV. SCREWS.

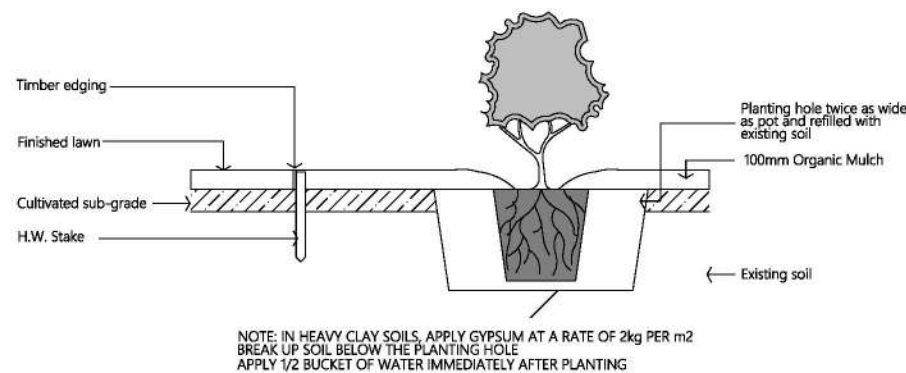
MULCH:
 SPREAD SHREDDED PINE AS A 100mm LAYER ABOVE TOP SOIL LEVEL. SEEK APPROVAL OF MULCH SAMPLE INTENDED FOR USE AT THE TIME OF TENDERING. NOTE: IN HEAVY CLAY SOILS APPLY GYPSUM AT A RATE OF 2kg/m² BREAK UP SOIL BELOW THE PLANTING HOLE. APPLY 1/2 A BUCKET OF WATER IMMEDIATELY AFTER PLANTING.

NOTE
 LANDSCAPE PLAN INDICATIVE ONLY & MAY CHANGE DUE TO SITE CONDITIONS.

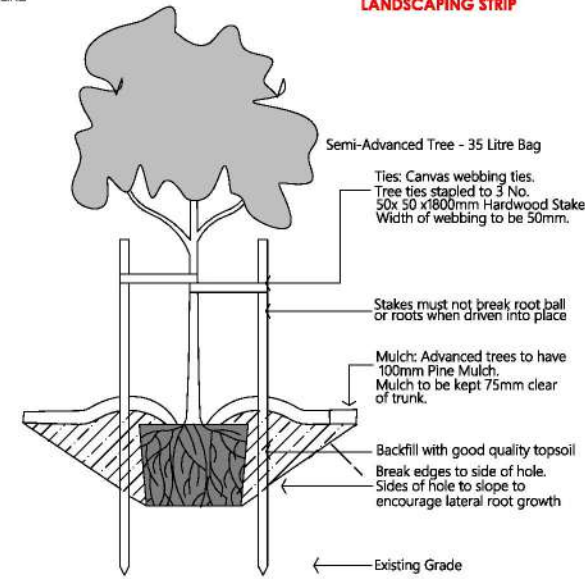
NOTE FOR IRRIGATION
 LANDSCAPER TO SUPPLY & INSTALL IRRIGATION TO SERVICE ALL GARDEN BEDS. WHERE TURF IS LAYED THIS SHOULD INCLUDE TECHLINE & 3 AUTOMATIC CONTROLLERS. 1 TO THE FRONT & 2 AT THE REAR OF THE SITE.

NATURE STRIPS
 LANDSCAPER IS REQUIRED TO CLEAN, LEVEL AND SEED THE NATURE STRIPS AT THE FINAL STAGE OF LANDSCAPING

GENERAL LANDSCAPE NOTE
 PROVIDE FRONT AND REAR LANDSCAPING IN ACCORDANCE WITH CURRENT WATER RESTRICTIONS. PROVIDE LETTERBOX TO DEVELOPER'S REQUIREMENTS. PROVIDE BOUNDARY FENCING TO DEVELOPER'S REQUIREMENTS



PLANTING SPECIFICATION & EDGE DETAIL FOR GARDEN BEDS



SEMI-ADVANCED TREE PLANTING DETAIL

LANDSCAPING AREA:

LOT SIZE:	-	497.00m²
DWELLING AREA	-	199.43m²
COLOUR THROUGH CONCRETE AREA	-	42.54m²
TOT. LANDSCAPE AREA	-	255.03m²

NOTE
 LANDSCAPERS TO ENSURE LANDSCAPING FALLS TOWARD GRATED SILT PITS TO COMPLY WITH AS2870