
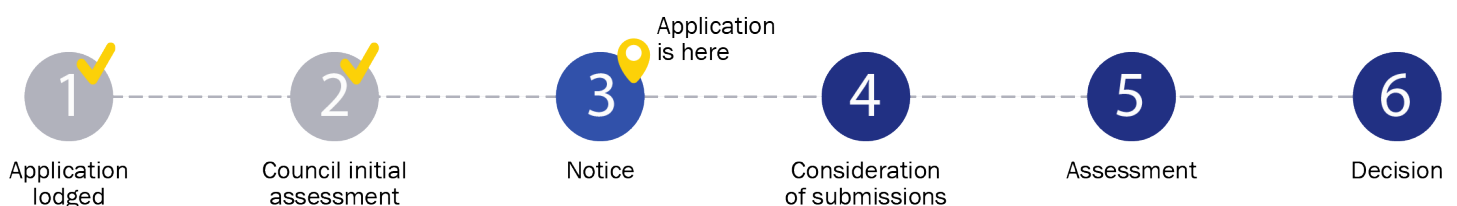


Notice of Application for a Planning Permit

The land affected by the application is located at:	L110 PS848743 V12580 F400 13 Scenic Rise, Pakenham VIC 3810	
The application is for a permit to:	Buildings and Works (Construction of a Dwelling and a Fence)	
A permit is required under the following clauses of the planning scheme:		
42.01-2	Construct a building or construct or carry out works	
42.01-2	Construct a fence	
APPLICATION DETAILS		
The applicant for the permit is:	Carlisle Homes	
Application number:	T240638	
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
HOW CAN I MAKE A SUBMISSION?		
<p>This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:</p>		03 April 2025
<p>WHAT ARE MY OPTIONS?</p> <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none"> • be made to the Responsible Authority in writing; • include the reasons for the objection; and • state how the objector would be affected. 	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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ePlanning

Application Summary

Portal Reference A424896H

Basic Information

Proposed Use	Proposed dwelling of approximately 230.51 square metres on a lot size of 420 square metres. General Residential Zone "Schedule 1 Pursuant to Clause 32.08-2, a planning permit is not required for the use of a dwelling. Additionally, as per Clause 32.08-5, a planning permit is not required for the construction of one dwelling on a lot of 300 square metres or more. Environmental Significance Overlay "Schedule 4 Pursuant to Clause 42.01-2, a planning permit is required to construct a building or construct or carry out works, including a fence. Conclusion: Based on the information provided, and pursuant to the above provisions of the Cardinia Planning Scheme, a planning permit is required for a single dwelling
Current Use	Vacant
Cost of Works	\$317,599
Site Address	13 Scenic Rise Pakenham 3810

Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope? No such encumbrances are breached

Note: During the application process you may be required to provide more information in relation to any encumbrances.

Contacts

Type	Name	Address	Contact Details
Applicant	Janelle Trifunovska Carlisle Homes	631 Springvale Road, Mulgrave VIC 3170	W: 03-8561-4198 E: janelle.trifunovska@carlislehomes.com.au
Owner	[REDACTED]	[REDACTED]	[REDACTED]
Preferred Contact	Janelle Trifunovska Carlisle Homes	631 Springvale Road, Mulgrave VIC 3170	W: 03-8561-4198 E: janelle.trifunovska@carlislehomes.com.au

Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 8 VicSmart application more than \$10, 000	\$473.60	100%	\$473.60
Total			\$473.60



Civic Centre
20 Siding Avenue, Officer, Victoria

Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VC, 3810

Email: mail@cardinia.vic.gov.au

Monday to Friday 8.30am–
5pm

Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784

Documents Uploaded

Date	Type	Filename
29-11-2024	A Copy of Title	Title - 2024-11-29T135057.423.pdf
29-11-2024	Site plans	J1028223 - PRODUCTION BV3.pdf
29-11-2024	Overlay Requirements	Planning - 2024-11-29T131454.979.pdf
29-11-2024	Additional Document	J1028223Soil.pdf

Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

Lodged By

Site User	Janelle Trifunovska Carlisle Homes	631 Springvale Road, Mulgrave VIC 3170	W: 03-8561-4198 E: janelle.trifunovska@carlislehomes.com.au
Submission Date	29 November 2024 - 01:56:PM		

Declaration

By ticking this checkbox, I, Janelle Trifunovska, declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



Civic Centre
20 Siding Avenue, Officer, Victoria
Council's Operations Centre (Depot)
Purton Road, Pakenham, Victoria

Postal Address
Cardinia Shire Council
P.O. Box 7, Pakenham VIC, 3810
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Phone: 1300 787 624
After Hours: 1300 787 624
Fax: 03 5941 3784



Request to amend a current planning permit application

This form is used to request an amendment to an application for a planning permit that has already been lodged with Council, but which has not yet been decided. This form can be used for amendments made before any notice of the application is given (pursuant to sections 50 / 50A of the *Planning and Environment Act 1987*) or after notice is given (section 57A of the Act).

PERMIT APPLICATION DETAILS

Application No.:	
Address of the Land:	

APPLICANT DETAILS

Name:	
Organisation:	
Address:	
Phone:	
Email:	

AMENDMENT TYPE


Under which section of the Act is this amendment being made? (select one)	
Section 50 – Amendment to application at request of applicant before notice:	
Section 50A - Amendment to application at request of responsible authority before notice:	
Section 57A – Amendment to application after notice is given:	

AMENDMENT DETAILS

What is being amended? (select all that apply)		
What is being applied for	Plans / other documents	Applicant / owner details
Land affected	Other	
Describe the changes. If you need more space, please attach a separate page.		

Specify the estimated cost of any development for which the permit is required:		
Not applicable	Unchanged	New amount

DECLARATION

I declare that all the information in this request is true and correct and the owner (if not myself) has been notified of this request to amend the application.	
Name:	
Signature:	
Date:	

LODGEMENT

<p>Please submit this form, including all amended plans/documents, to mail@cardinia.vic.gov.au</p> <p>You can also make amendments to your application via the Cardinia ePlanning Portal at https://eplanning.cardinia.vic.gov.au/</p> <p>If you have any questions or need help to complete this form, please contact Council's Statutory Planning team on 1300 787 624.</p>
--

IMPORTANT INFORMATION

<p>It is strongly recommended that before submitting this form, you discuss the proposed amendment with the Council planning officer processing the application.</p> <p>Please give full details of the nature of the proposed amendments and clearly highlight any changes to plans (where applicable). If you do not provide sufficient details or a full description of all the amendments proposed, the application may be delayed.</p> <p>No application fee for s50/s50A requests unless the amendment results in changes to the relevant class of permit fee or introduces new classes of permit fees. The fee for a s57A request is 40% of the relevant class of permit fee, plus any other fees if the amendment results in changes to the relevant class (or classes) of permit fee or introduces new classes of permit fees. Refer to the <i>Planning and Environment (Fees) Regulations 2016</i> for more information.</p> <p>The amendment may result in a request for more under section 54 of the Act and/or the application requiring notification (or re-notification). The costs associated with notification must be covered by the applicant.</p> <p>Council may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.</p> <p>Any material submitted with this request, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the <i>Planning and Environment Act 1987</i>.</p>
--

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18th February 2025

To Cardina Shire Council,

The attached stamped plans and approval letter from the Developer confirm that the proposed design complies with all requirements outlined in The Rise (Pakenham) Estate guidelines.

Regarding Restriction 'A' on the title of the subject site (Covenant PS848743W), the attached Developer Approval provides confirmation.

With respect to Restriction 'B', no party walls are included in the proposed design.

It is important to note that no outbuildings are proposed, and therefore, these details are not included on the plans.

We confirm acceptance of the changes to the permit description and have included the relevant Section 50 form.

Additionally, items 3 and 4 of the preliminary assessment comments are acknowledged, and relevant actions will be taken if or when required.

Kind Regards,

Georgie Costa

Permits Co-ordinator Easy Living

Carlisle Homes

631 Springvale Rd Mulgrave, Victoria 3170

T 03 8561 0830 | F 03 9561 5320

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

VOLUME 12580 FOLIO 400

Security no : 124120260739J
Produced 29/11/2024 01:32 PM

LAND DESCRIPTION

Lot 110 on Plan of Subdivision 848743W.
PARENT TITLE Volume 12330 Folio 801
Created by instrument PS848743W 31/10/2024

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

[REDACTED]

ENCUMBRANCES, CAVEATS AND NOTICES

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

DIAGRAM LOCATION

SEE PS848743W FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
PS848743W (B)	[REDACTED]	Registered	31/10/2024
AY595106F (E)	[REDACTED]	Registered	14/11/2024
AY595107D (E)	[REDACTED]	Registered	14/11/2024
AY595108B (E)	[REDACTED]	Registered	14/11/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 13 SCENIC RISE PAKENHAM VIC 3810

ADMINISTRATIVE NOTICES

NIL

[REDACTED]

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 2 of 2

DOCUMENT END

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

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Status	Registered	Dealing Number	AY595107D
Date and Time Lodged	14/11/2024 02:16:26 PM		

Lodger Details

Lodger Code	16667Y
Name	GADENS LAWYERS
Address	
Lodger Box	
Phone	
Email	
Reference	

TRANSFER

Jurisdiction VICTORIA

Privacy Collection Statement

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Land Title Reference

12580/400

Transferor(s)

Name	[REDACTED]
ACN	640125686

Estate and/or Interest being transferred

Fee Simple

Consideration

\$AUD 382000.00

Transferee(s)

Tenancy (inc. share)	Joint Tenants
Given Name(s)	[REDACTED]
Family Name	[REDACTED]
Address	
Street Number	[REDACTED]
Street Name	[REDACTED]
Street Type	[REDACTED]

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Locality [REDACTED]
State [REDACTED]
Postcode [REDACTED]

Given Name(s) [REDACTED]
Family Name [REDACTED]
Address
Street Number [REDACTED]
Street Name [REDACTED]
Street Type [REDACTED]
Locality [REDACTED]
State [REDACTED]
Postcode [REDACTED]

Duty Transaction ID

6127785

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	[REDACTED]
Signer Name	CIN DY WONG
Signer Organisation	HWL EBSWORTH LAWYERS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	14 NOVEMBER 2024

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Execution

- 1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
- 2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
- 3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
- 4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	[Redacted]
Signer Name	[Redacted]
Signer Organisation	HEMAN LAWYERS
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	14 NOVEMBER 2024

File Notes: NIL

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Status	Registered	Dealing Number	AX385769J
Date and Time Lodged	25/10/2023 12:57:26 PM		

Lodger Details

Lodger Code	21884L
Name	[REDACTED]
Address	
Lodger Box	
Phone	
Email	
Reference	Cardinia (12330/801)

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

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Estate and/or Interest

FEE SIMPLE

Land Title Reference

12330/800
12330/801

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	CARDINIA SHIRE COUNCIL
Address	
Property Name	CARDINIA SHIRE OFFICE
Street Number	20
Street Name	SIDING
Street Type	AVENUE
Locality	OFFICER
State	VIC

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Department of Environment, Land, Water & Planning

Electronic Instrument Statement

Postcode 3809

Additional Details

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CARDINIA SHIRE COUNCIL
Signer Name	[REDACTED]
Signer Organisation	DYE & DURHAM LEGAL PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	25 OCTOBER 2023

File Notes:

NIL

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Document Assembled	29/11/2024 13:32

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HWL
EBSWORTH
LAWYERS

Deed of Agreement

Under s173 of the
Planning and Environment Act 1987

Cardinia Shire Council

and



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Ref: DV:NB:1050250

Doc ID 1115801193/v1

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PO Box 3, Collins Street West VIC 8007 Australia
DX 564 Melbourne

Telephone +61 3 8644 3500
Facsimile 1300 365 323 (Australia) +61 3 9034 3257 (International)
hwlebsworth.com.au

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Deed of Agreement

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Date 06/10/2023

Parties

Cardinia Shire Council

of 20 Siding Avenue, Officer 3809

(Council)



(Owner)

Recitals

- A. Council is the Responsible Authority pursuant to the Act for the administration and enforcement of the Planning Scheme, which applies to the Subject Land.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land, which is the land over which this Agreement is intended to be registered.
- C. On 19 December 2017 Council issued Planning Permit No. T160690 (**Planning Permit**), which allows for the subdivision of the Subject Land, associated works, fencing, removal of native vegetation and altering access to a road in a Road Zone Category 1, generally in accordance with the approved plans.
- D. On 9 June 2021 Council amended the Planning Permit (T160690-2) (**Amended Planning Permit**).
- E. Condition 41 of the Amended Planning Permit provides that:

Prior to the issuing of a Statement of Compliance for each stage, the owner must enter into an agreement pursuant to Section 173 of the Planning and Environment Act 1987 to provide for the following:

- a) *A plan of subdivision to show the location and dimensions of the plantation reserve as well as the building envelopes.*
- b) *A requirement that each land owner must maintain the*

plantation reserve in perpetuity at the owner's cost. A separate maintenance/weed control schedule is required.

- c) *A requirement that any fencing within the plantation reserve must be wire or similar material to the satisfaction of the Responsible Authority.*
- d) *A requirement that each lot affected by the plantation reserve must comply with the relevant Building Design Guidelines registered on title.*

- F. The Parties have agreed to enter into this Agreement:
- (a) to give effect to the requirements of the Amended Planning Permit;
 - (b) that the Building Envelopes referred to in this Agreement relate only to the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land; and
 - (c) to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

This deed witnesses that in consideration of, among other things, the mutual promises contained in this deed the parties agree as follows:

1. Definitions and interpretation clauses

1.1 Definitions

In this deed the following definitions apply:

Act means the *Planning and Environment Act 1987* (Vic).

Agreement means this Deed of Agreement and any Agreement executed by the Parties expressed to be supplemental to this Agreement.

Building Design Guidelines means the Building Design Guidelines required by conditions 6 and 7 of the Planning Permit.

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Building Envelopes	means the building envelopes for the lots abutting the plantation reserve on the eastern boundary of the Subject Land.
Building Envelope Plan	means the plan showing the location and dimensions of the Building Envelopes attached at Schedule 1.
Business Day	means a day that is not a Saturday, Sunday or public holiday in Melbourne.
Claim	means any claim, action, proceeding or demand made against the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Council	means Cardinia Shire Council in its capacity as responsible authority.
Development	means the buildings and works authorised under the Planning Permit.
Endorsed Plans	means the plans and/or other documents that are endorsed pursuant to the Planning Permit from time to time.
Loss	means any loss, damage, cost, expense or liability incurred by the person concerned, however it arises and whether it is present or future, fixed or unascertained, actual or contingent.
Owner	means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple in the Subject Land or any part of it and includes a Mortgagee-in-possession.
Party or Parties	means the Owner and Council under this Agreement as appropriate.
Planning Permit	means Planning Permit No. T160690 issued by Council on 19 December 2017 referred to in Background C of this Agreement, and as amended from time to time (currently T160690-2 issued on 9 June 2021) and including any Endorsed Plans.

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- Planning Scheme** means the Cardinia Planning Scheme and any other Planning Scheme which applies to the Subject Land.
- Plantation Reserve** means the area marked 'plantation reserve' forming part of the Subject Land as detailed in the Building Envelope Plan.
- Subject Land** means Volume 12330 Folio 801 (Lot 3 on Plan of Subdivision 6710) and Volume 12330 Folio 800 (Lot 2 on Plan of Subdivision 86652). Any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.
- VCAT** means the Victorian Civil and Administrative Tribunal.
- Vegetation Plan** means the vegetation plan attached at Schedule 2..

1.2 Interpretation

- (a) In this document, unless the context otherwise requires:
- (i) The singular includes the plural and vice versa.
 - (ii) A reference to a gender includes a reference to each other gender.
 - (iii) A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
 - (iv) If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
 - (v) A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
 - (vi) A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
 - (vii) The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
 - (viii) Headings are for guidance only and do not affect the interpretation of this Agreement.

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- (b) The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
 - (i) bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Subject Land; and
 - (ii) if the Subject Land is subdivided further, this Agreement must be read and applied so that each subsequent Owner of a lot is only responsible for those covenants and obligations which relate to that Owner's lot.

2. Owner's obligations

2.1 Plans showing the location of the Plantation Reserve and the Building Envelopes

The Owner covenants and agrees that the Building Envelope Plan shows the location and dimensions of the Plantation Reserve, as well as, the relevant Building Envelopes.

2.2 Maintenance of the Plantation Reserve

The Owner covenants and agrees that it will maintain the plantation reserve:

- (a) in perpetuity;
- (b) at the its own cost; and
- (c) in accordance with the Vegetation Plan.

2.3 Fencing within the Plantation Reserve

The Owner covenants and agrees to construct all fencing within the Plantation Reserve of wire or similar material to the satisfaction of the Responsible Authority.

2.4 Building Design Guidelines

The Owner covenants and agrees that the construction of buildings on each lot affected by the Plantation Reserve must comply with the Building Design Guidelines.

3. Further obligations

3.1 Notice and registration

The Owner will bring this Agreement to the notice of all prospective purchasers, Mortgagees, lessees, charges, transferees and assigns of the Subject Land.

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3.2 Giving effect to this Agreement

The Owner will do all things necessary to give effect to this Agreement, including executing any further documents and will comply with its obligations under this Agreement.

3.3 Recording by Registrar of Titles

The Owner will consent to Council making application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with s181 of the Act and do all things necessary to enable Council to do so including signing any further agreement, acknowledgement or document or procuring the consent to this Agreement of any Mortgagee or caveator to enable the recording to be made in the Register under that section.

3.4 Council's costs to be paid

- (a) The Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.
- (b) If in dispute, Council may have the costs assessed by the Law Institute of Victoria Costing Service and the Parties will be bound by any assessment, and the cost of any assessment will be paid equally by the Parties.

3.5 Mortgagee to be Bound

The Owner covenants to obtain the consent of any Mortgagee to be bound by the covenants in this Agreement if the Mortgagee becomes Mortgagee in possession of the Subject Land.

3.6 Covenants run with the Subject Land

The Owner's obligation in this Agreement are intended to take effect as covenants which shall be annexed to and run at law and in equity with the Subject Land and every part of it, and bind the Owner and its successors, assignees and transferees, the registered proprietor or proprietors for the time being of the Subject Land and every part of the Subject Land.

4. Agreement under Section 173 of the Act

Council and the Owner agree without limiting or restricting their respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

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5. Owner's warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person which has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

6. Successors in title

6.1 Successors in title

Without limiting the operation or effect which this Agreement has, the Owner must ensure that until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- (a) give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- (b) execute a deed agreeing to be bound by the terms of this Agreement.

7. Notices

7.1 Service

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- (a) by delivering it personally to that Party;
- (b) by sending it by prepaid post addressed to that Party at the address set out in this Agreement or subsequently notified to each Party from time to time; or
- (c) by sending it by electronic mail to that Party using the email address set out in this Agreement or subsequently notified to each Party from time to time.

7.2 Time of service

A notice or other communication is deemed served:

- (a) if delivered, on the following business day;
- (b) if posted, on the expiration of two business days after the date of posting; or
- (c) if emailed, when the electronic communication becomes capable of being retrieved by the addressee at an electronic address designated by the addressee.

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8. Miscellaneous

8.1 Commencement of Agreement

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

8.2 Default

- (a) If the Owner fails to comply with the provisions of this Agreement, Council may serve a notice on the Owner specifying the works, matters and things in respect of which the Owner is in default.
- (b) If the alleged default continues for 30 days after the service of such notice, Council may, by its officers, employees, agents and contractors, enter the Subject Land and ensure that the works, matters and things are carried out.
- (c) The costs incurred by the Council in undertaking the works as a result of the Owner's default will be payable by the Owner.

8.3 Ending of Agreement

This Agreement ends:

- (a) on the date that the Council confirms in writing that this Agreement can be ended; or
- (b) otherwise in accordance with the Act.

8.4 Application to Registrar

As soon as reasonably practicable after the Agreement has ended, Council will, at the request and at the cost of the Owner make application to the Registrar of Titles under s183(2) of the Act to cancel the recording of this Agreement on the register.

8.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

8.6 No waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.7 Severability

- (a) If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.
- (b) Clause 8.7(a) will not apply if to do so will materially affect the commercial arrangement formed by this Agreement.

8.8 Proper law

This Agreement is governed by and the Owner submits to the laws of the State of Victoria.

8.9 Counterparts

This Agreement may be executed in counterparts, and is binding on the parties upon the counterparts being exchanged. A copy of the original executed counterpart sent by email is to be treated as an original counterpart for all intents and purposes.

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Schedule

Mortgagee's Consent

████████████████████ as Mortgagee of registered Mortgage No AW944856J consents to the Owner entering into this Agreement and agrees to be bound by the terms and conditions of this Agreement as if it were the Owner of the Subject Land.

████████████████████)
in accordance with s 127(1) of the)
Corporations Act 2001:

████████████████████
.....

Signature of Director
Secretary

████████████████████
████████████████████
████████████████████

████████████████████
.....

Print full name

████████████████████
████████████████████

Print full name

AX3857

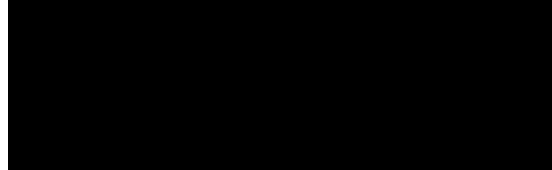
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Executed as a deed

Signed, sealed and delivered as a deed by the parties

Signed sealed and delivered by **Luke Connell**,)

Manager Planning and Design, on behalf of)
Cardinia Shire Council in the exercise of a)
Power conferred by an Instrument of Delegation)
in the presence of:)

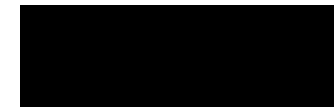


Signature of witness

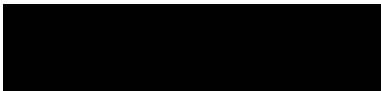
The execution of this document has been witnessed by me in accordance with the requirements for witnessing by audio-visual link under section 12 of the Electronic Transactions (Victoria) Act 2000.
(Strike out if inapplicable)



Name of witness
(BLOCK LETTERS)



Signature of Director and Company Secretary



Full name (print)



Signature of Director



Full name (print)

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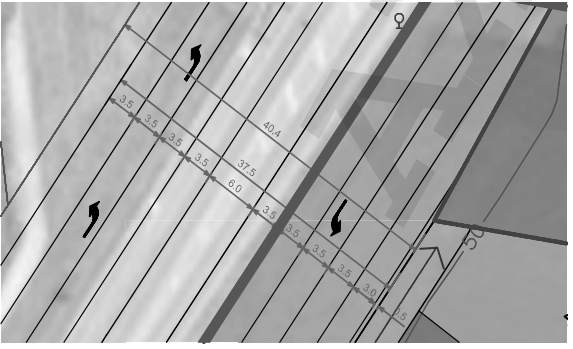
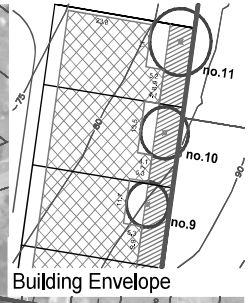
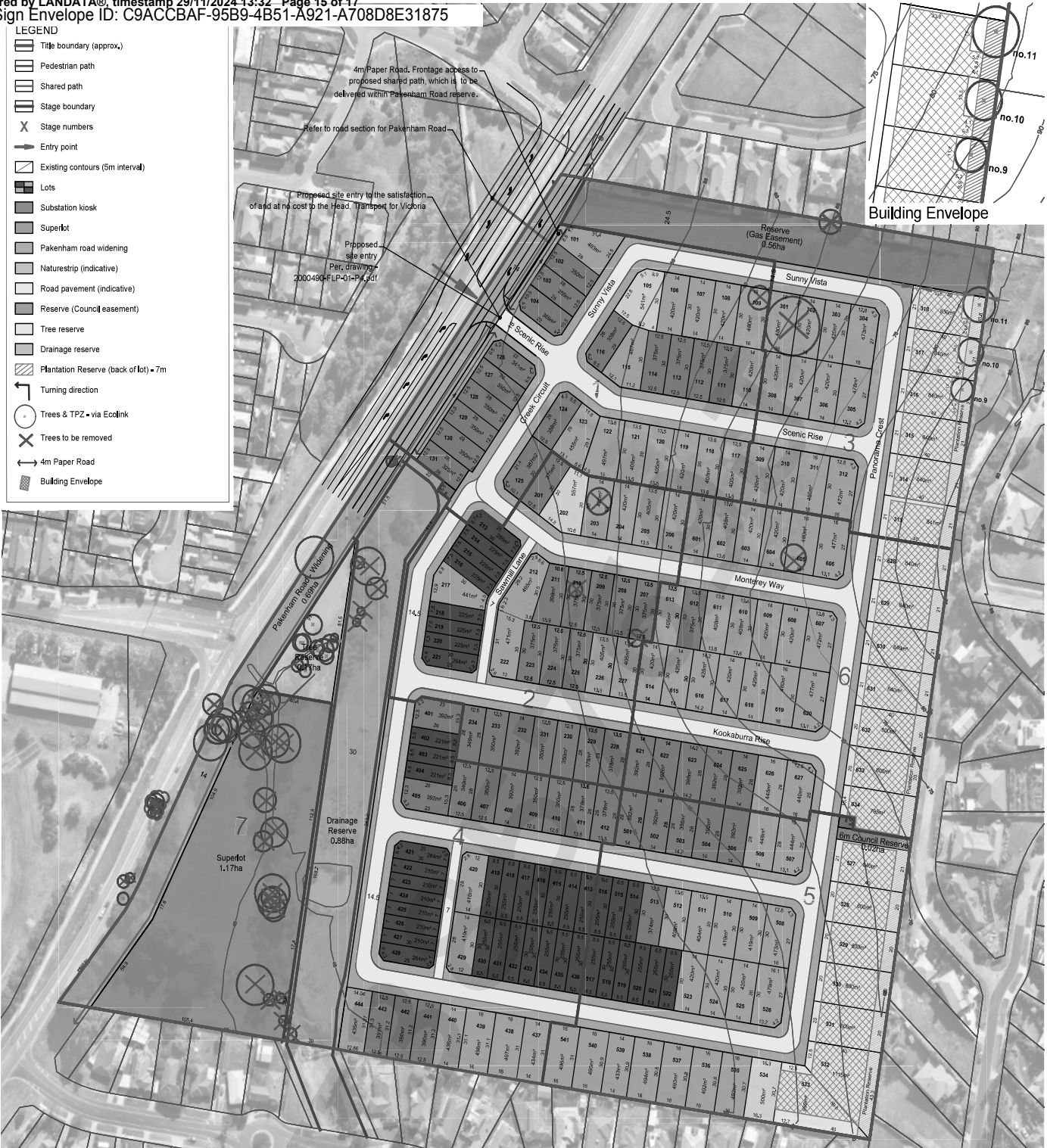
Schedule 1

Building Envelope Plan

AX385769J

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- LEGEND**
- Title boundary (approx.)
 - Pedestrian path
 - Shared path
 - Stage boundary
 - Stage numbers
 - Entry point
 - Existing contours (5m interval)
 - Lots
 - Substation kiosk
 - Superlot
 - Pakenham road widening
 - Naturestrip (indicative)
 - Road pavement (indicative)
 - Reserve (Council easement)
 - Tree reserve
 - Drainage reserve
 - Plantation Reserve (back of lot) 7m
 - Turning direction
 - Trees & TPZ - via Ecolink
 - Trees to be removed
 - 4m Paper Road
 - Building Envelope



Pakenham Road - Cross Section

Total number of lots	203
Stage 1	31
Stage 2	34
Stage 3	18
Stage 4	44
Stage 5	41
Stage 6	34
Stage 7*	1

* Stage includes 1 Superlot

Lot Size	Number of Lots	%
0-299m ²	42	20.8
300-399m ²	56	27.7
400-499m ²	81	40.1
500-599m ²	3	1.5
600-699m ²	0	0.0
700m ² +	20	9.9
Total	202	100

Site (Approx.)	15,307 ha
* Standard Density Lots	7,515 ha
* Medium Density Lots	1,021 ha
* Superlot	1,168 ha
* Kiosk	0,009 ha
* Tree Reserve	0,165 ha
* Non-Arterial Roads	3,274 ha
Arterial Roads (Pakenham road widening)	0,693 ha
Reserve (Council Easement)	0,580 ha
Drainage Reserve	0,884 ha
Net Developable Area	13,150 ha
Lot Yield (Standard Density)	160 lots 470m ² average lot size
Lot Yield (Medium Density)	42 Lots 243m ² average lot size
** Lot Yield (Overall)	202 lots @ 16.9 lots per ha 423m ² average lot size
Superlot	1
Total Number of Lots (Inc. 1 superlot)	203

* Indicates inclusion in NDA

Notes:

- This plan is subject to Council approval.
- All dimensions and areas are subject to survey and final computations.
- The drainage reserve shown has been preliminarily sized for the treatment and detention of detail design and Council approval.
- Road pavement is indicative only and subject to detailed engineering design.
- Dimensions are shown for reference only.

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Beveridge Williams
 110 Pakenham Road, Pakenham
 [Redacted]
 Delivered from the LANDATA® System by PSI Global Pty Ltd at 29 Nov 2024

APPROVED AMENDED PLAN
 PLANNING AND ENVIRONMENT ACT 1987
 CARDINIA PLANNING SCHEME
 PERMIT No.: T160690-2
 SHEET 1 OF 1
 APPROVED BY: Dean Haeusler
 CARDINIA SHIRE COUNCIL

12	Pakenham road layout	KT	KT	Date: 01.09.2022
13	Added building envelopes	KT	KT	Version No: 16
14	Updated road and staging boundary	KT	KT	Job No: 2000490
15	Updated staging boundary	KT	KT	Scale (A1): 1:1000
16	Updated lot numbers, building envelope and trees	OX	KT	(A3): 1:2000

Version Date Description Drafted Approved
 29 Nov 2024

Schedule 2

Vegetation Plan

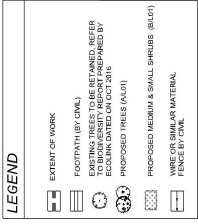
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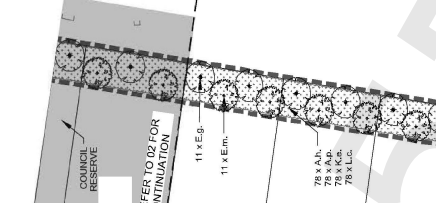
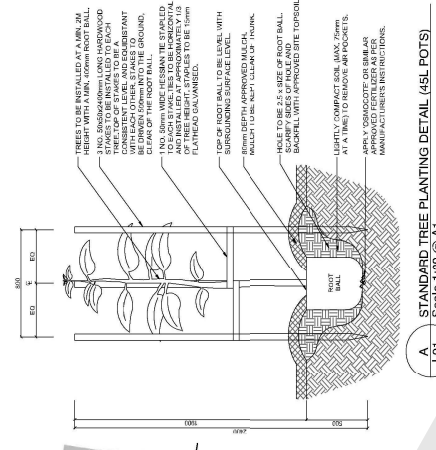


CODE	BOTANICAL NAME	COMMON NAME	NATURE RESERVE	INSTALLED POT SIZE	INSTALLED MIN. HEIGHT (M)	QTY
L.1	<i>Leucadendron arborescens</i>	Leucadendron	1578 x 620	45 L	3.0m - 3.0m min. Ht.	33
L.2	<i>Leucadendron arborescens</i>	Leucadendron	1578 x 620	45 L	3.0m - 3.0m min. Ht.	33
S.1	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.2	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.3	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.4	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.5	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.6	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.7	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.8	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.9	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200
S.10	<i>Scaevola taccada</i>	Scaevola	240 x 240	100mm dia	1.0m - 1.0m min. Ht.	200

CODE	BOTANICAL NAME	COMMON NAME	DBH (mm)	H (m)
01	<i>Scaevola taccada</i>	Scaevola	50	5.0
02	<i>Scaevola taccada</i>	Scaevola	50	5.0
03	<i>Scaevola taccada</i>	Scaevola	50	5.0
04	<i>Scaevola taccada</i>	Scaevola	50	5.0
05	<i>Scaevola taccada</i>	Scaevola	50	5.0
06	<i>Scaevola taccada</i>	Scaevola	50	5.0
07	<i>Scaevola taccada</i>	Scaevola	50	5.0
08	<i>Scaevola taccada</i>	Scaevola	50	5.0
09	<i>Scaevola taccada</i>	Scaevola	50	5.0
10	<i>Scaevola taccada</i>	Scaevola	50	5.0



NOTES
 1. Existing trees and shrubs to be retained as per EVC Number 128, Grassy Forest (Highlands - Southern Fall Bioregion)
 2. Plant densities for trees, medium shrubs and small shrubs have been calculated in accordance with the DSE Native Revegetation Planning Standards



MAINTENANCE / WEED CONTROL SCHEDULE

SHORT TERM (1-2 years) - Lot Owner's Responsibility

1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Ensure plants are establishing with an 80% survival rate.
3. Replace dead or dying plants on an as needed basis during favourable planting conditions (not in summer or mid-winter).

MEDIUM TERM (3-5 years) - Lot Owner's Responsibility

1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Monitor natural regeneration and remove any weeds posing a threat of crowding out native plants.
3. Undertake litter planting/replacement at 1% p.a.

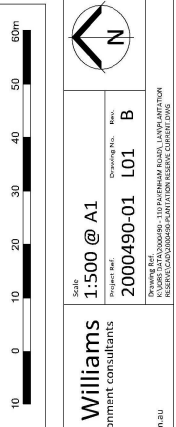
LONG TERM (5yrs +) - Lot Owner's Responsibility

1. Carry out regular maintenance for litter removal and weeding to <1%.
2. Monitor natural regeneration and remove any weeds posing a threat of crowding out native plants.

*Each land owner must maintain the plantation reserve in perpetuity at the owner's cost.

GENERAL NOTES

1. The Contractor must verify all dimensions on site and immediately report any discrepancies to the Project Manager.
2. The site is to be cleared of all debris and builder's rubble.
3. All weed species on site shall be eradicated.
4. All plants shall be installed in accordance with the written consent of the Landscape Architect.
5. All plant species shall be true to type and there shall be no alterations or substitutions of nominated species or cultivars without the written consent of the Landscape Architect.
6. All plant stock must be checked by the Contractor and must be healthy and disease free.
7. Planting must be undertaken in accordance with sound horticultural practices.
8. Supply and install 20mm diameter 80mm depth approved fine grade eucamulch to all tree watering bowls.
9. All plants must be thoroughly hand watered immediately after planting. The Contractor must check current water restrictions and ensure there is an adequate supply of water suitable for plants.



FOR APPROVAL

Project Name: The Rise - Pakenham
 Drawing Title: Plantation Reserve Landscape Plan
 Date: 17/10/2024

01 NORTHERN PLAN (01)
 Scale 1:350 @ A1

02 MIDDLE PLAN (02)
 Scale 1:350 @ A1

03 SOUTHERN PLAN (03)
 Scale 1:350 @ A1

Scale: 1:500 @ A1
 Drawing No.: 2000490-01
 Project Ref.: L01
 Revision: B

Client: Beveridge Williams
 Development & Environment Consultants
 1 Glenferrie Road
 Ph: 03 9524 8888
 www.beveridgewilliams.com.au

Author: [Name]
 Designer: [Name]
 Checker: [Name]
 Date: 17/10/2024

Project Name: The Rise - Pakenham
 Drawing Title: Plantation Reserve Landscape Plan
 Date: 17/10/2024

04 SOUTHERN PLAN (04)
 Scale 1:350 @ A1

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Document Identification	PS848743W
Number of Pages (excluding this cover sheet)	4
Document Assembled	29/11/2024 13:32

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PLAN OF SUBDIVISION	EDITION 1	PS848743W
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LOCATION OF LAND PARISH: NAR NAR GOON TOWNSHIP: PAKENHAM SECTION: — CROWN ALLOTMENT: 32(PT) & 33(PT) TITLE REFERENCE: VOL. 12230 FOL. 801 LAST PLAN REFERENCE: LP6710 (LOT 3) POSTAL ADDRESS: 110 PAKENHAM ROAD (at time of subdivision) PAKENHAM 3810 MGA CO-ORDINATES: E: 366 250 ZONE: 55 (of approx centre of land N: 5 786 580 GDA 2020 in plan)	Council Name: Cardinia Shire Council Council Reference Number: S21-146 Planning Permit Reference: T160690-2 SPEAR Reference Number: S182115M Certification This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6 of the Subdivision Act 1988: 21/04/2023 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification Digitally signed by: Fiona Shadforth for Cardinia Shire Council on 30/05/2024 Statement of Compliance issued: 28/10/2024 Public Open Space A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance
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VESTING OF ROADS AND/OR RESERVES	NOTATIONS
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IDENTIFIER	COUNCIL/BODY/PERSON	NOTATIONS
ROAD R1 ROAD R2 RESERVE No.1	CARDINIA SHIRE COUNCIL HEAD TRANSPORT FOR VICTORIA AUSNET ELECTRICITY SERVICES PTY LTD	LOTS 1 TO 100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE RESTRICTIONS. FOR DETAILS OF RESTRICTIONS INCLUDING BURDENED LOTS & BENEFITING LOTS, SEE CREATION OF RESTRICTIONS ON SHEET 4. WARNING: The restrictive covenant(s)/restriction(s) in this plan may have been varied or removed. For current information, please refer to the relevant folio(s) of the Register, noting section 88(3) of the Transfer of Land Act 1958

NOTATIONS	
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DEPTH LIMITATION: DOES NOT APPLY This is a SPEAR plan. STAGING: This is not a staged subdivision. Planning Permit No. T160690 SURVEY: This plan is based on survey. This survey has been connected to permanent marks No(s). 89, 199, 213, 285, 286, 287, 295, 319, 320, 354, 355, 363, 674, 675 Estate: The Rise - Pakenham Phase No.: 01 No. of Lots: 31 + Lot A PHASE AREA: 2.142ha	
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EASEMENT INFORMATION

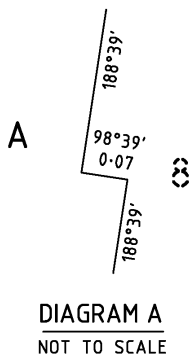
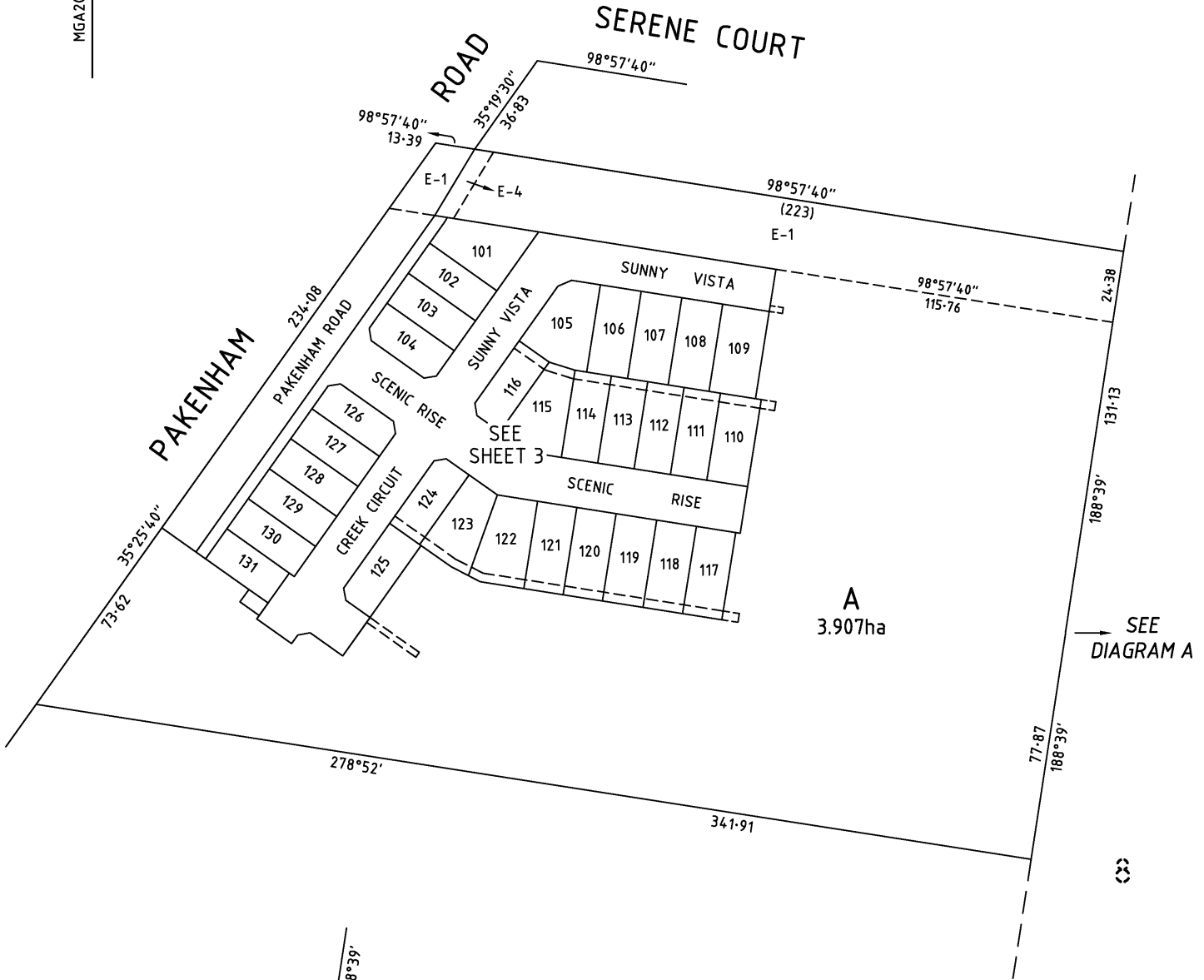
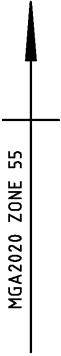
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-4	PIPELINE	24.38	INST. D613929	VICTORIA PIPELINES COMMISSION
E-2 E-2, E-3	DRAINAGE SEWERAGE	3 SEE DIAG.	THIS PLAN THIS PLAN	CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION
E-4	SUPPLY OF WATER (THROUGH UNDERGROUND PIPES)	6	THIS PLAN	SOUTH EAST WATER CORPORATION

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PS848743W



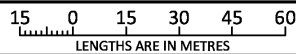
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SURVEYORS REF
2000490/01

SCALE
1 : 1500



ORIGINAL SHEET
SIZE: A3

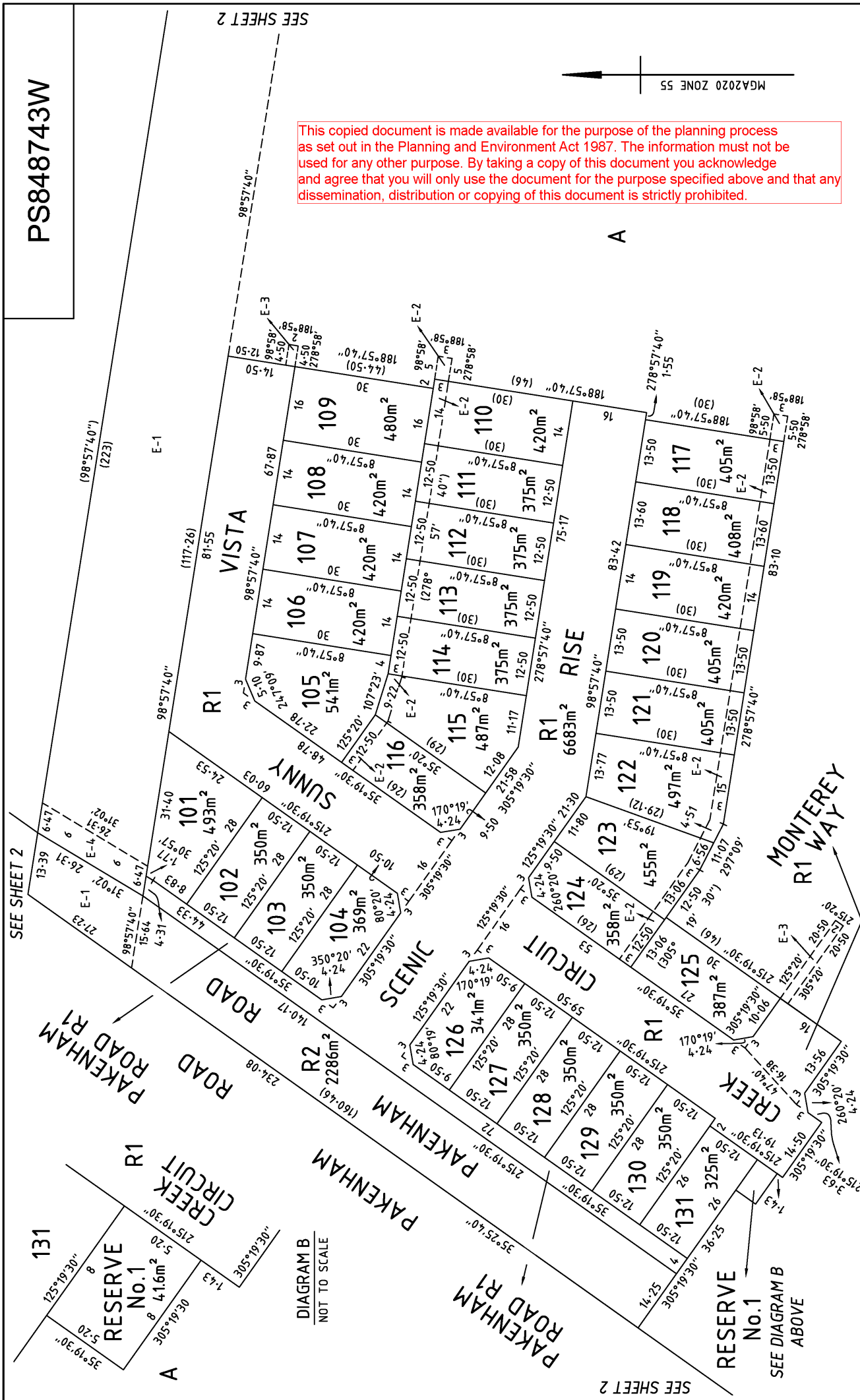
SHEET 2


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 Beveridge Williams development & environment consultants Melbourne ph : 03 9524 8888 www.beveridgewilliams.com.au	SURVEYORS REFERENCE 2000490 /01	SCALE 1 : 750	LENGTHS ARE IN METRES 7.5 0 7.5 15 22.5 30	ORIGINAL SHEET SIZE: A3	SHEET 3
	Digitally signed by: ADRIAN JAMES FREEMAN, Licensed Surveyor, Surveyor's Plan Version (11), 24/05/2024, SPEAR Ref: S182115M Digitally signed by: Cardinia Shire Council, 30/05/2024, SPEAR Ref: S182115M				

SUBDIVISION ACT 1988

CREATION OF RESTRICTION 'A'

PS848743W

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- (1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE OTHER THAN A BUILDING OR STRUCTURE THAT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RISE (PAKENHAM) ESTATE DESIGN GUIDELINES AS AMENDED FROM TIME TO TIME.

A COPY OF THE DESIGN GUIDELINES AND BUILDING ENVELOPE PLAN IS AVAILABLE at <http://www.beveridgewilliams.com.au/design-application/>

- (2) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE ON THE LOT PRIOR TO:
 - (A) COPIES OF BUILDING PLANS, ELEVATION, ROOF PLANS, SITE PLANS (INCORPORATING SETBACKS FROM ALL BOUNDARIES, EXISTING CONTOURS, PROPOSED FINISHED FLOOR LEVELS AND SITE LEVELS, ALL PROPOSED DRIVEWAYS AND PATHS, DETAILS OF FENCES AND OUTBUILDINGS AND LANDSCAPING) AND SCHEDULES OF EXTERNAL COLOURS AND MATERIALS HAVE BEEN SUBMITTED VIA THE DESIGN PORTAL AT THE ABOVE ADDRESS OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME;
 - (B) THE DESIGN ASSESSMENT PANEL OR SUCH OTHER ENTITY AS MAY BE NOMINATED BY THE DESIGN ASSESSMENT PANEL FROM TIME TO TIME HAVE GIVEN ITS WRITTEN APPROVAL TO THE PLANS PRIOR TO THE COMMENCEMENT OF WORKS.

VARIATION:

ANY VARIATION TO CONDITIONS 1 AND 2 OF RESTRICTION 'A' WILL REQUIRE THE CONSENT OF THE DESIGN ASSESSMENT PANEL.

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

CREATION OF RESTRICTION 'B'

THE REGISTERED PROPRIETORS OF THE BURDENED LAND COVENANT WITH THE REGISTERED PROPRIETORS OF THE BENEFITED LAND AS SET OUT IN THE RESTRICTION WITH THE INTENT THAT THE BURDEN OF THE RESTRICTION RUNS WITH AND BINDS THE BURDENED LAND AND THE BENEFIT OF THE RESTRICTION IS ANNEXED TO AND RUNS WITH THE BENEFITED LAND.

LAND TO BENEFIT & TO BE BURDENED:

BURDENED LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)
 BENEFITING LAND: LOTS 101 TO 131 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THE PLAN OF SUBDIVISION SHALL NOT:

- 1) CONSTRUCT OR ALLOW TO BE CONSTRUCTED ANY BUILDING OR STRUCTURE WITH PARTY WALLS UNLESS THE PARTY WALLS ARE CONSTRUCTED SIMULTANEOUSLY WITH THE ABUTTING LOTS

EXPIRY:

THIS RESTRICTION CEASES TO HAVE EFFECT FOLLOWING AFTER EITHER;

- (i) THE ISSUE OF AN OCCUPANCY PERMIT UNDER THE BUILDING ACT 1993 (OR SIMILAR) IN RESPECT OF A BUILDING ON EVERY RESIDENTIAL LOT ON THIS PLAN.
- (ii) 31 DECEMBER 2039.

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SURVEYORS REF 2000490/01			ORIGINAL SHEET SIZE: A3	SHEET 4
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LOT 110, SCENIC RISE PAKENHAM

BEAUMONT 25 MK2 - LH

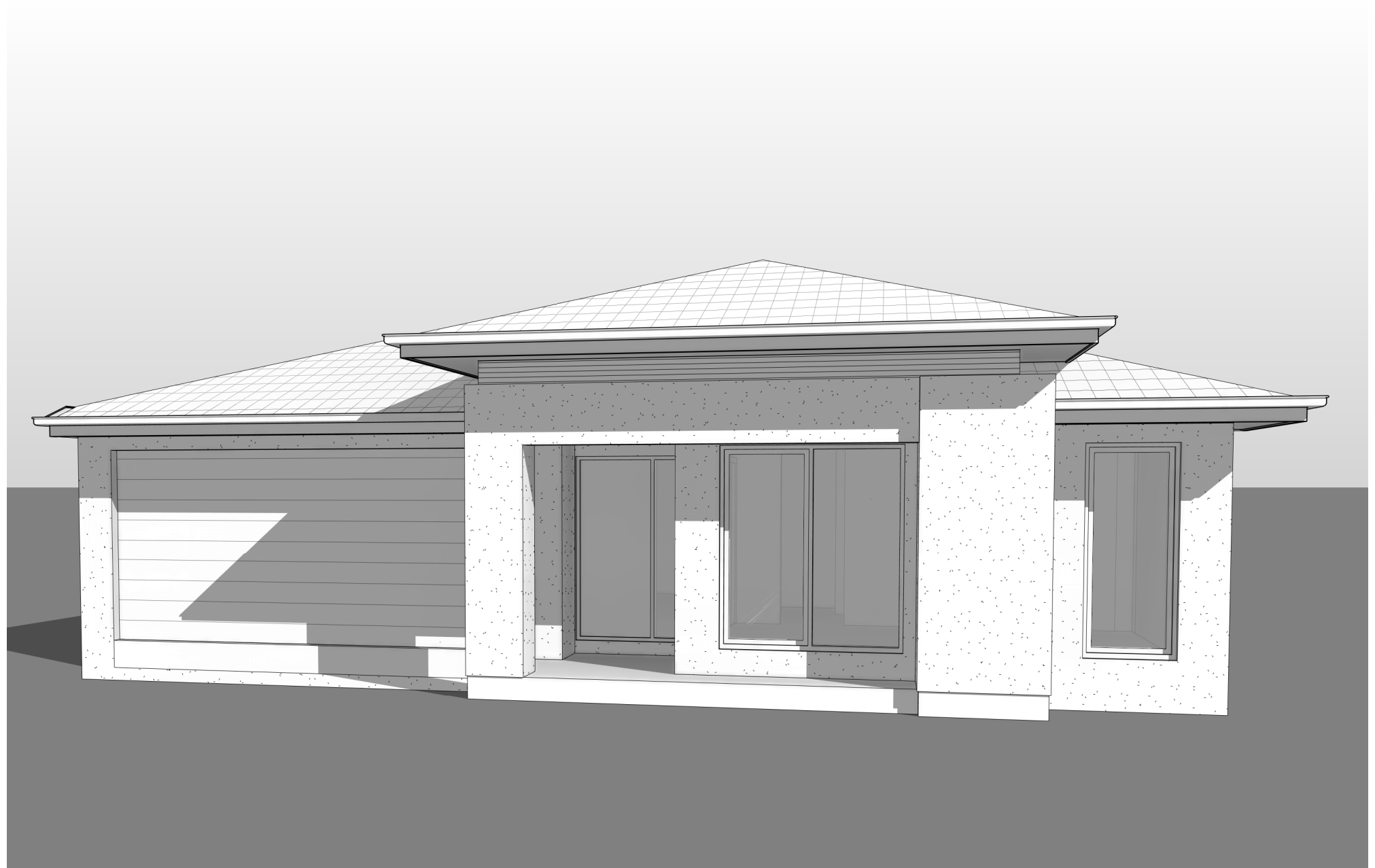
HARCOURT (H)

JOB No: J1028223

TOTAL SHEET No. 18



No.	SHEET NAME	No.	SHEET NAME
0	COVER PAGE		
0A	GENERAL SPECIFICATION		
1	SITE PLAN		
1A	LANDSCAPING PLAN		
1B	SLAB PLAN		
2	FLOOR PLAN		
3	ELEVATIONS		
3A	ELEVATIONS		
4	SECTION		
4A	TYPICAL FENCING DETAIL		
5	ELECTRICAL PLAN		
6	KITCHEN INTERNALS		
6A	KITCHEN ELEVATIONS		
6B	KITCHEN ELEVATIONS		
6C	KITCHEN DETAILS		
7	INTERNAL ELEVATIONS		
7A	INTERNAL ELEVATIONS		



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FRAMING SPECIFICATIONS

PREFAB FRAMING SCHEDULE

- AS SPECIFIED IN THE MANUFACTURERS PREFAB FRAME DESIGN, IF APPLICABLE OR...

SINGLE STOREY FRAMING SCHEDULE

- 90 X 35 MGP10 PINE BOTTOM PLATE (CONCRETE SLAB)
- 90 X 35 F5 STUDS @ 450 CTS - NOT NOTCHED FOR BRACING - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 PINE TOP PLATE - TRUSSES TO SIT DIRECTLY OVER STUD SUPPORT

DOUBLE STOREY FRAMING SCHEDULE

- GROUND FLOOR
- 90 X 35 MGP10 BOTTOM PLATE (CONCRETE SLAB)
 - 90 X 35 F5 STUDS @ 450 CTS - NOT NOTCHED FOR BRACING - MAX. STUD HEIGHT 2700MM
 - 90 X 35 MGP10 TOP PLATE - FLOOR JOIST TO SIT DIRECTLY OVER STUD SUPPORT
- FIRST FLOOR
- 90 X 35 MGP10 BOTTOM PLATE (HYJOIST RIMBOARD TO PERIMETER)
 - 90 X 35 F5 STUDS @ 600 CTS - MAX. STUD HEIGHT 2700MM
 - 90 X 35 MGP10 TOP PLATE - TRUSSES TO SIT DIRECTLY OVER STUD SUPPORT
 - NOGGINS 70 X 35 MERCH. PINE

STUDS FOR CONCENTRATED POINT LOADS

- GIRDER TRUSSES - 3/90 X 45 F5 PINE
- STEEL BEAMS - BY ENGINEER - 90 X 45 F5 PINE OR F17 KDHW WHERE REQUIRED
- FLOOR BEAMS - FLOOR, ROOF & POINT LOAD - BY ENGINEER - 90 X 45 F5 PINE OR F17 KDHW WHERE REQUIRED
- FLOOR BEAMS - FLOOR LOAD ONLY - 90 X 35 F5 PINE

LINTELS

F17 KDHW OR EQUIVALENT & SMARTFRAME LVL - 3MM MAX. LONG TERM DEFLECTION

FLOOR BEAMS

SMARTFRAME LVL TO BE SPECIFIED FOR BEAMS IN FOOR SPACE SUPPORTING FLOOR JOIST

GARAGE BEAM

- SMARTFRAME LVL 15 400MM X 58MM
- STUDS AT SIDES OF OPENINGS - GUIDE ONLY, SUBJECT TO RLW & TRUSS DESIGN - AUTOBEAM TO CONFIRM
- UP TO 1800MM - 2/90 X 35 F5
- 1800MM - 2700MM - 3/90 X 35 F5
- 2700MM - 3000MM - 4/90 X 35 F5 OR 3/90 X 45 F5/F17 KDHW

PORCH BEAMS

AS ABOVE, BUT LONG TERM DEFLECTION INCREASED TO 10MM MAX.

ALFRESCO BEAMS

- SUPA 17 - LIMITED TO 190, 240 OR 290 X 45MM BEAMS - 10MM MAX. LONG TERM DEFLECTION
- LVL 14 - REFER TO MATERIAL GUIDES FOR SIZE, 10mm MAX. LONG TERM DEFLECTION.
- GL13 TREATED - WHERE SPANS EXCEED THE ABOVE BEAM LIMITATIONS

FRAMING BRACKETS

- DUNNINGS BCA44 GALVANISED HEAVY DUTY ANGLE 100 X 100 X 140 X 3MM THICK
- WITH 2 M10 BOLTS TO EACH SIDE - OR
- SPLIT HANGER SPH180 W/- 4 NO. NO. 14 X 30MM TYPE 17 HEX HEAD SCREWS

ALL FRAMING TO COMPLY & BE INSTALLED IN ACCORDANCE WITH AS1684. ROOF TRUSSES TO BE INSTALLED IN ACCORDANCE WITH AS4440.

GENERAL SPECIFICATIONS

GENERAL

- ALL BUILDINGS AND WORKS TO BE IN ACCORDANCE WITH THE BUILDING ACT 1993, BUILDING REGULATIONS 2018, BUILDING CODE OF AUSTRALIA 2019 (BCA) AND ALL BCA ADOPTED AUSTRALIAN STANDARDS.
- BUILDING/S ON ALLOTMENTS WITHIN THE DESIGNATED BUSHFIRE AREA TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959 FOR THE APPROPRIATE BAL LEVEL CALCULATED FOR THE SITE.
- THE FFL TO AHD OF A DWELLING IS TO BE CONFIRMED BY A LICENSED LAND SURVEYOR PRIOR TO THE FRAME INSPECTION FOR ALLOTMENTS DESIGNATED LAND LIABLE TO FLOOD &/OR DESIGNATED LAND - OVERLAND FLOW.
- BUILDINGS MUST COMPLY WITH CLAUSE 3.10.3 BCA AND ABCB FLOOD HAZARD MANAGEMENT STANDARD WHEN A SITE IS DESIGNATED AS LAND LIABLE TO FLOOD.
- PERFORMANCE SOLUTIONS PURSUANT TO PART 2 BCA APPLY WITH THE CONSTRUCTION OF THIS BUILDING AS AN ALTERNATIVE TO THE DEEMED TO SATISFY REQUIREMENTS OF THE BCA.
- DOORWAYS TO SANITARY COMPARTMENTS WHERE THE DOOR IS WITHIN 1200MM OF THE PAN MUST BE FITTED WITH LIFT OFF HINGES.
- ANTI-PONDING DEVICE/BOARDS TO BE INSTALLED PURSUANT TO CLAUSE 3.5.2.5, BCA.
- BALCONIES TO HAVE A MINIMUM STEP DOWN OF 50mm FROM FIRST FLOOR LEVEL TO BALCONY FINISHED SURFACE LEVEL.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.

SITE WORKS/SITING

- BUILDINGS AND ALL SITE WORKS TO BE CONSTRUCTED AND MAINTAINED WITHIN THE TITLE BOUNDARIES.
- EARTHWORKS (UN-RETAINED) SHALL NOT EXCEED 2000MM MAX.
- SLOPE RATIOS FOR EARTHWORKS

SOIL CLASS	SITE CUT MAX RATIO	SITE FILL MAX RATIO
STABLE ROCK - CLASS A	8:1	2:3
SAND - CLASS A	1:2	1:1
FIRM CLAY - CLASS M-E	1:1	1:2
SOFT CLAY - CLASS M-E	2:3	NOT SUITABLE

- SLOPE RATIOS FOR FILLED SOFT CLAY (CLASS M-E) AND ALL EARTHWORKS FOR CLASS P SITES MUST BE SPECIFIED BY THE DESIGNING ENGINEER AND NOMINATED ON THE SITE PLAN.

TERMITE TREATMENT

- TERMITE TREATMENT TO BE PROVIDED WHERE NOMINATED BY THE RELEVANT MUNICIPALITY AS AN AFFECTED AREA PURSUANT TO PART 3.1.4 BCA AND AS3660.

DRAINAGE

- SURFACE DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.3 BCA
- STORMWATER DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.5 BCA AND CONNECTED TO THE RELEVANT MUNICIPALITY'S APPROVED LEGAL POINT OF DISCHARGE.
- STEP DOWNS/FREEBOARD
 - STEP DOWNS ABOVE EXTERNAL CONCRETE OR BALCONIES THAT ARE SLOPED AWAY FROM THE DWELLING TO BE 50MM MIN.
 - STEP DOWNS ABOVE ALL OTHER SURFACES TO BE 150MM

FOUNDATIONS

- ALL FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S CERTIFIED DESIGN, PART 2.3 BCA AND AS 2870.
- CONCRETE TO BE MANUFACTURED TO AS 3600

WALL CLADDING

- BRICKWORK TO COMPLY WITH PART 3.3 BCA, AS 3700 & AS 4773
- ARTICULATION JOINTS WITH A MIN WIDTH OF 10MM TO BE PROVIDED AS SPECIFIED IN THE ENGINEER'S DESIGN AND CLAUSE 3.3.5.13 BCA.
- HEBEL PANELS TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- FOAMBOARD WALL CLADDING TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- ANGLE LINTELS

SPAN	MIN. END BEARING (MM)	4 COURSES (MM)	FULL WALL OR GABLE (MM)
2000	115	76 x 76 x 5	76 x 76 x 5
2000 - 3000	130	76 x 76 x 6.5	102 x 76 x 6.5
3000 - 4000	150	152 x 102 x 10	152 x 102 x 10

NOTE: IN CAVITY BRICKWORK, A SEPARATE LINTEL WILL BE REQUIRED FOR EACH SKIN OF BRICKWORK.

GLAZING

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREENS, BALUSTRADES AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 3.6 BCA AND AS 1288.

GUTTERS & DOWNPIPES

- ALL GUTTERS AND DOWNPIPES ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3500.3
- PLUMBERS FOR GUTTERS AND DOWNPIPES TO CLEARLY SPECIFY COMPLIANCE TO AS 3500.3 IN THE PLUMBING COMPLIANCE CERTIFICATE.

WATERPROOFING

- ALL WET AREAS TO COMPLY WITH CLAUSE 3.8.1.2 BCA AND AS 3740
- BALCONY WATERPROOFING TO BE PROVIDED PURSUANT TO CLAUSE 3.8.1.3, BCA AND AS 4654 PARTS 1 & 2.
- ALL FLOOR WATERPROOFING IN WET AREAS TO TERMINATE AT A WATERSTOP IN ACCORDANCE WITH AS3740.

SMOKE ALARMS

- INTERCONNECTED CEILING MOUNTED SMOKE ALARMS WIRED DIRECTLY TO MAINS WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH PART 3.7.5 BCA AND AS 3886
- SMOKE DETECTORS TO BE 300mm CLEAR OF WALLS, DOORS & BULKHEADS.

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GLAZING

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREENS, BALUSTRADES AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 3.6 BCA AND AS 2047.

STAIRS

- STEP SIZES
 - RISERS - 115MM MIN & 190MM MAX.
 - GOING - 240MM MIN & 355MM MAX
- OPEN RISERS - 125MM MAX GAP BETWEEN TOP OF TREAD TO UNDERSIDE OF TREAD ABOVE.
- MAX. NUMBER OF RISERS IN A STAIRWAY BEFORE REQUIRING A LANDING - 18 RISERS
- DOORWAY THRESHOLDS - 230MM MAX TO ADJOINING SURFACE.
- SLIP-RESISTANCE - TREADS AND LANDINGS MUST HAVE A SURFACE OR NOSING STRIP WITH A SLIP RESISTANCE OF NOT LESS THAN THAT SPECIFIED IN CLAUSE 3.9.1.4, BCA.
- HEADROOM HEIGHT ABOVE STAIRS TO BE 2000MM MIN.

LANDINGS

- MIN. LENGTH - 750MM
- LANDING REQUIRED WHERE A DOORWAY THRESHOLD OPENS ONTO A STAIRWAY THAT EXCEEDS 3 RISERS OR 570MM IN HEIGHT.

BALUSTRADES (BARRIERS) & HANDRAILS

- BALUSTRADES TO BE PROVIDED WHERE ADJOINING FLOOR OR GROUND LEVEL DIFFERS MORE THAN 1000MM OR 5 RISERS IN HEIGHT.
- BALUSTRADE HEIGHT ABOVE LANDINGS/BALCONIES/DECKS - 1000MM
- BALUSTRADE HEIGHT ABOVE STAIR NOSINGS - 865MM
- OPENINGS IN BALUSTRADE - 125MM MAX.
- HANDRAILS MUST BE LOCATED ALONG AT LEAST ONE SIDE OF A STAIRWAY AND BE CONTINUOUS ALONG THE LENGTH OF THE STAIRWAY AND HAVE NO OBSTRUCTIONS AS TO BREAK A HANDHOLD EXCEPT FOR A NEWEL POST.
- FIRST FLOOR BEDROOM WINDOWS WITHIN 1700MM OF THE FFL TO BE RESTRICTED TO A MAX OPENING OF 125MM.
- TOP HANDRAIL REQUIRED TO ALL GLASS BALUSTRADE.

ENERGY EFFICIENCY

- DWELLING AND GARAGE TO COMPLY WITH PART 3.12, BCA AND THE SITE SPECIFIC 6 STAR ENERGY REPORT.
- DOOR FROM THE DWELLING TO THE GARAGE TO BE FITTED WITH SEAL TO RESTRICT AIR INFILTRATION IN ACCORDANCE WITH PART 3.12.3.3 OF THE BCA 2019 VOL.2.
- THE DWELLING IS TO BE PROVIDED WITH A 2000 LITRE WATER TANK CONNECTED TO THE SANITARY FLUSHING SYSTEMS OF THE BUILDING OR A SOLAR WATER HEATER SYSTEM INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS PURSUANT TO CLAUSE 3.12.0(A), BCA.

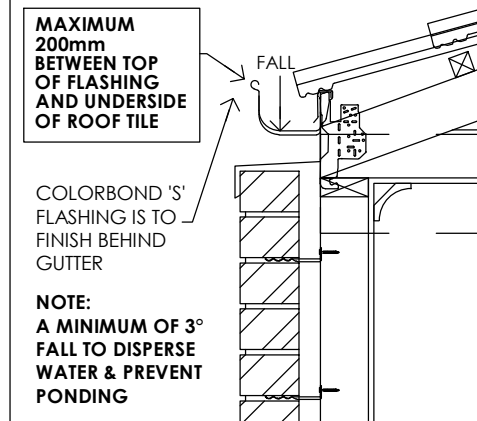
CONDENSATION MANAGEMENT

- PLIABLE BUILDING MEMBRANE - WALL SISALATION TO BE A VAPOUR PERMEABLE MEMBRANE TO COMPLY WITH AS 4200.1 AND INSTALLED PURSUANT TO AS 4200.2.
- ALL EXHAUST FANS SHOWN ON THE PLANS ACHIEVE A MIN 40L/S FLOW RATE.
- EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY TO A ROOF VENT. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE.

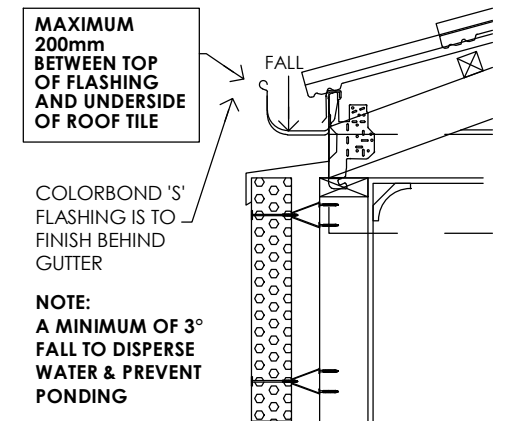
APPLIANCES NOTE

- APPLIANCES SHOWN IN THE DRAWINGS ARE GENERIC ONLY. FINAL APPEARANCE OF APPLIANCES MAY VARY.

GENERIC BRICK VENEER 'S' FLASHING DETAIL



GENERIC HEBEL 'S' FLASHING DETAIL



IMPORTANT NOTE:

GENERAL SPECIFICATIONS TO COMPLY WITH **NCC (BCA 2019)** .

PRODUCTION DRAWINGS

TENDER No: - BV6

DRAFTSPERSON: - BS

DATE: - 10.02.2025

CLIENT SIGNATURE:

CLIENT SIGNATURE:

BUILDER:

DATE:

DRAWING TITLE:

GENERAL SPECIFICATION

HOUSE: **BEAUMONT 25 MK2-LH**

FACADE: ALL

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CLIENT:

ADDRESS:
LOT 110, SCENIC RISE
SUBURB: PAKENHAM

JOB DATE: 20.11.2024 MASTER DATE: 18.04.2023

DRAWN: TF(FW) CHECKED: AM(FW)

JOB No: J1028223 ISSUE: PRODUCTION

SCALE: SHEET No: 0A

631 Springvale Road Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320

**IMPORTANT NOTE
RENDERED AAC CLADDING CONSTRUCTION**

- TRUSSES TO BE PITCHED 115mm FROM OUTSIDE OF FRAME (NO EAVES)
- SLAB REBATE WIDTH TO BE 95mm
- REFER TO SHEET 1E FOR SLAB LAYOUT
- REFER TO ADDITIONAL SHEETS FOR GENERIC RENDERED AAC DETAILS
- DETAILS TO BE READ IN CONJUNCTION WITH MANU. SPEC'S
- CANNOT BACKFILL MORE THAN 50mm ABOVE BASE OF RENDERED AAC
- T.O.S. = TOP OF SLAB

******* IMPORTANT NOTE *****
RENDERED AAC PANELS OVERHANG SLAB
EDGE BY 15mm**

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SITE PLAN INFORMATION:

SITE AREA: 420 m ²	MELWAYS: 3170 C3
POS: 181.40 m ²	PERMEABILITY: 46.10%
CONC. AREA: 0.00 m ²	CONC. AREA: 0.00%
BUILDING AREA: 226.39 m ²	SITE COVERAGE: 53.90%

HOUSE INFORMATION:
HOUSE FFL: 65.385 AHD
SLAB TYPE: WAFFLE SLAB HEIGHT: 385mm

GARDEN AREA:
AREA TOTALS: 166.80 m² 39.71%
NOTE: GARDEN AREA DOES NOT INCLUDE A DRIVEWAY, ANY AREA SET ASIDE FOR CAR PARKING, ANY BUILDING OR ROOFED AREA AND ANY AREA THAT HAS A DIMENSION OF LESS THAN 1 METRE
400 - 500 SQM: MINIMUM PERCENTAGE OF GARDEN AREA REQUIRED IS 25%

DRIVEWAY IMPORTANT NOTE:
DRIVEWAY SHOWN ON PLAN IS INDICATIVE ONLY. THE DRIVEWAY IS THE RESPONSIBILITY OF THE OWNER AND IS NOT INCLUDED IN THE CONTRACT BUILDING WORKS BY THE BUILDER

SITE CUT & FILL NOTE
PROVIDE SITE CUT OF 600mm and FILL 700mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE A 63mm STEPDOWN
NOTE: 1:4 H/L BATTER ANGLE
NOTE: REFER TO NOTES & CONDITIONS OF TENDER DOCUMENT FOR FURTHER REFERENCE CLASS P SOIL CLASSIFICATION: UNPROTECTED BATTER SLOPES TO BE 1:4 FOR COMPACTED CLAY FILL
IF SITE CUT IS GREATER THAN 300mm RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER.
WHERE RETAINING WALLS ARE REQUIRED/PROVIDED, AG. DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS.

STORMWATER LAYOUT
STORMWATER DRAIN LAYOUTS IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.
SWD TO BE 100mm DIAMETER PVC

DRAINAGE NOTES

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 DRAINAGE AND AS 3500 PLUMBING AND DRAINAGE CODE
- GRADE SURFACE AWAY FROM FOOTINGS AT 1:20 MIN FALL
- PROVIDE CUT TOE OR SPOON DRAINS AS NECESSARY TO COLLECT AND CHANNEL WATER RUN-OFF AWAY FROM THE BUILDING DURING CONSTRUCTION
- TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM SHALL BE INSTALLED AS SOON AS THE ROOF CLADDING IS COMPLETED. FROM TIME TO TIME TEMPORARY DOWNPIPES MAY BE EXCLUDED OR REMOVED FOR OPERATIONAL REASONS.
- ALL STORMWATER DRAINS SHALL BE DIRECTED TO THE COUNCIL NOMINATED LEGAL POINT OF DISCHARGE
- DOWNPIPES, RAIN HEADS, OVERFLOWS AND SPREADERS ARE INDICATIVE LOCATIONS ONLY.

BUSHFIRE ATTACK LEVEL:- (BAL)
BAL NIL
ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

WIND SPEED ASSESSMENT:
MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: **N2 -26m/s**
IMPORTANT NOTE:
THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)
STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

BOUNDARY FENCE(S) REQUIRED
OWNER TO PROVIDE PERIMETER FENCING TO A MINIMUM HEIGHT OF 1800MM TO ANY UNFENCED BOUNDARIES PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY PERMIT.

DEEPENING OF FOOTINGS
DEEPENING OF FOOTINGS MAY BE REQ'D DUE TO ADJOINING EASEMENTS. SITING IS SUBJECT TO OBTAINING ALL RELEVANT PIPE DETAILS

TERMITE TREATMENT REQUIRED
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

CROSSING RELOCATION
PROVISION OR RELOCATION OF THE DRIVEWAY CROSSING TO ALLOW VEHICLE ACCESS TO THE GARAGE IS THE RESPONSIBILITY OF THE OWNER

OptiComm HOUSE TO BE CONNECTED TO OptiComm
TOWN PLANNING REQUIRED
SITING SUBJECT TO TOWN PLANNING APPROVAL

BUILD OVER EASEMENT
SITING IS SUBJECT TO OBTAINING APPROVAL FROM RELEVANT AUTHORITIES TO BUILD OVER AN EASEMENT

RESCODE - REPORT & CONSENT
REPORT & CONSENT REQUIRED FOR GARAGE WALL HEIGHT NOT COMPLYING WITH RESCODE BUILDING REGULATION - reg. 80

SCENIC RISE

1000mm WIDE CRUSHED ROCK PATH (BY CLIENT)

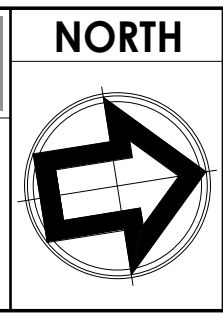
- DEEPENED REBATE (ENG DESIGNED)
- 1:1 SITE CUT BATTER AREA
- 1:4 SITE CUT BATTER AREA
- EXCAVATION/BENCHED AREA
- PROPOSED RETAINING WALL
- FILL BATTER AREA

DRAWING LEGEND:

	METER BOX		P.O.S. PRIVATE OPEN SPACE
	TREE TO BE RETAINED		DOWN PIPE LOCATIONS
	TREE TO BE REMOVED		ELECTRICITY PIT
	HABITABLE WINDOW		LEGAL POINT OF DISCHARGE
	NON-HABITABLE WINDOW		STORM WATER PIT
	SURVEY PEG		GAS - WATER - TELSTRA
			NEIGHB'S APP'X SETBACKS

PRODUCTION DRAWINGS

TENDER No: - BV6
DRAFTSPERSON: - BS
DATE: - 10.02.2025



CLIENT SIGNATURE: _____
CLIENT SIGNATURE: _____
BUILDER: _____
DATE: _____

DRAWING TITLE:
SITE PLAN
HOUSE: **BEAUMONT 25 MK2-LH**
FACADE: **HARCOURT (H)**
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CLIENT: _____
ADDRESS: _____
LOT 110, SCENIC RISE
SUBURB: PAKENHAM

JOB DATE: 20.11.2024	MASTER DATE: 18.04.2023
DRAWN: TF(FW)	CHECKED: AM(FW)
JOB No: J1028223	ISSUE: PRODUCTION
SCALE: 1 : 200	SHEET No: 1 TOTAL No: 18

- LANDSCAPE NOTES:**
- GARDEN LAYOUTS SHOULD LIMIT THE AMOUNT OF IMPERVIOUS SURFACES TO A MAXIMUM OF 40%.
 - DESIGN SHOULD ENCOURAGE RAIN WATER TO INFILTRATE INTO THE GARDEN RATHER THAN DRAINING OUT TO THE STORMWATER SYSTEM.
 - DESIGN SHOULD CREATE A UNITY BETWEEN HOUSE AND GARDEN THROUGH THE SELECTION OF MATERIALS THAT COMPLEMENT THE FAÇADE.
 - PLANTING SHOULD ALSO CONSIDER THE VIEW FROM THE STREET AND INSIDE THE HOME.
 - GARDEN BEDS ARE TO BE EDGED AND MULCHED.
 - A MINIMUM OF ONE CANOPY TREE IS TO BE PLANTED TO THE FRONT AND ONE IN THE REAR OF THE PROPERTY. A SPECIES LIST CAN BE MADE AVAILABLE TO HELP YOU WITH YOUR SELECTION. YOU ARE RESPONSIBLE FOR THE SELECTION OF AN APPROPRIATE TREE THAT WILL NOT IMPACT ON THE STRUCTURAL INTEGRITY OF YOUR HOME OR OUTBUILDINGS.
 - ESTABLISHMENT OF GRASS TO THE NATURE STRIP/S ADJACENT TO YOUR ALLOTMENT, AND ONGOING MAINTENANCE OF THE NATURE STRIP IS YOUR RESPONSIBILITY.
 - LANDSCAPE REBATES (IF APPLICABLE) WILL BE ISSUED UPON THE SATISFACTORY COMPLETION OF YOUR LANDSCAPING WORKS. LANDSCAPING WORKS MUST BE COMPLETED WITHIN THE OUTLINED TIMEFRAME TO BE ELIGIBLE FOR THE REBATE.
 - PEBBLES OR CRUSHED ROCK IF USED SHOULD BE LIMITED A SMALL PROPORTION OF THE OVERALL GARDEN AREA. THEY MAY ALSO BE USED AS AN ALTERNATIVE GARDEN PATH. COLOURS MUST COMPLEMENT THE COLOUR SCHEME OF THE DWELLING AND MUST NOT BE STARK SUCH AS WHITE. VARIATIONS TO THESE REQUIREMENTS CAN BE APPROVED BY THE ALCDP.

FRONT GARDEN AREA
IMPERMEABLE HARD SURFACE MATERIALS MUST NOT EXCEED **40%**

AREA TYPE	AREA m ²	%
IMPERMEABLE SURFACES	23.27 m ²	34.72 %
PERMEABLE SURFACES	43.75 m ²	65.28 %
TOTAL AREA	67.02 m ²	

500mm MINIMUM GARDEN BED (BY CLIENT) BETWEEN BOUNDARY & DRIVEWAY. MADE UP WITH A MIXTURE OF CRUSHED ROCK AND PLANTS



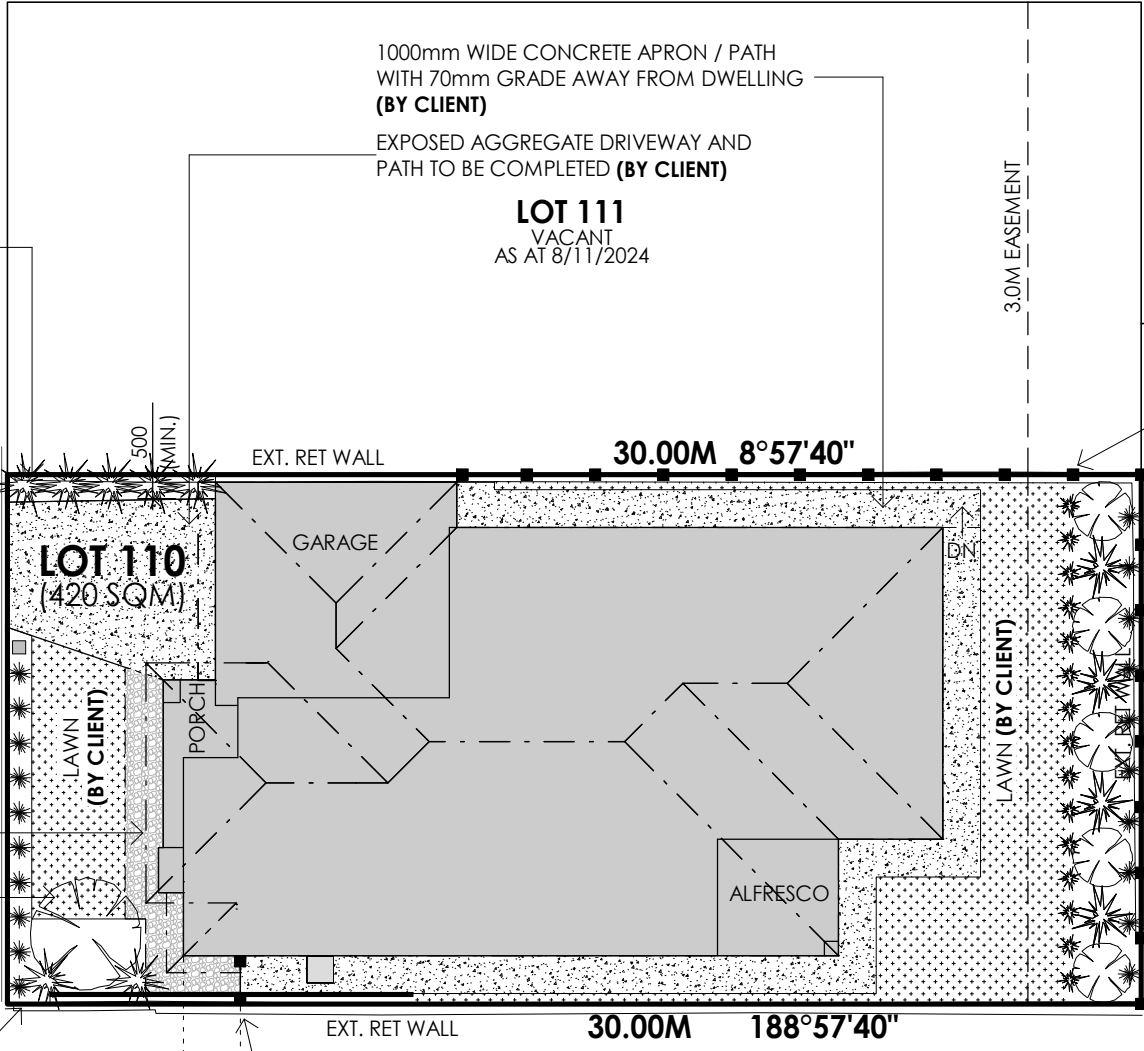
LETTER BOX 350D x 350W x 600H (BY CLIENT) LETTER BOXES MUST BE POSITIONED ON THE FRONT BOUNDARY AND PURPOSE BUILT TO COMPLIMENT THE STYLE OF THE DWELLING

1000mm WIDE CRUSHED ROCK PATH (BY CLIENT)

PROVIDE 1NO. CANOPY TREE (BY CLIENT)

COMBINATION OF SMALL AND MEDIUM TREES & SHRUBS (BY CLIENT) TO SUIT DEVELOPERS GUIDELINES

SCENIC RISE



TYPICAL FENCING EXAMPLE

SIDE AND REAR BOUNDARY FENCING MUST BE MAX. 1.8M HIGH ABOVE NGL, CAPPED AND LAPPED TIMBER PALING FENCE WITH EXPOSED POSTS. (BY CLIENT)

LOT 109 VACANT AS AT 8/11/2024

VACANT AS AT 8/11/2024

1000mm WIDE CONCRETE APRON / PATH WITH 70mm GRADE AWAY FROM DWELLING (BY CLIENT)
EXPOSED AGGREGATE DRIVEWAY AND PATH TO BE COMPLETED (BY CLIENT)

LOT 111 VACANT AS AT 8/11/2024

SIDE GATES & MATCHING WING SCREENS MUST BE STAINED HARDWOOD WITH HORIZONTAL SLATING (BY CLIENT)

NOTE: FRONT FENCING NOT APPLICABLE

PLANT SCHEDULE

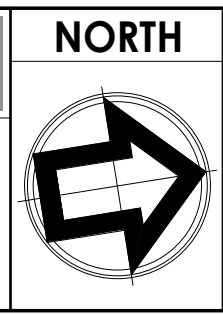
LEGEND	QTY	SIZE (W x H)	PLANT SPECIES
SILVER WATTLE	1	6-30m x 5-10m	• ACACIA DEALBATA
MUTTONWOOD	5	2-4m x 3-10m	• RAPANEA HOWITTIANA
HOP WATTLE	20	2-5m x 2-4m	• ACACIA STRICTA
KANGAROO GRASS	11	UP TO 0.4m x 0.75m, STEMS 0.7m-1m HIGH	• THEMEDA TRIANDRA
PINK-BELLS	15	0.3m-0.6m x 0.3m-0.6m	• TETRATHECA CILIATA
KIKUYU GRASS			• CENCHRUS CLANDESTINUS

DRAWING LEGEND:

	METER BOX		P.O.S. PRIVATE OPEN SPACE
	TREE TO BE RETAINED		DP DOWN PIPE LOCATIONS
	TREE TO BE REMOVED		HD LEGAL POINT OF DISCHARGE
	HAB HABITABLE WINDOW		S/W PIT STORM WATER PIT
	NH NON-HABITABLE WINDOW		G.W.T. GAS - WATER - TELSTRA
	SURVEY PEG		NEIGHB'S APPX SETBACKS

PRODUCTION DRAWINGS

TENDER No: - BV6
DRAFTSPERSON: - BS
DATE: - 10.02.2025



CLIENT SIGNATURE: _____
CLIENT SIGNATURE: _____
BUILDER: _____
DATE: _____

DRAWING TITLE:
LANDSCAPING PLAN
HOUSE: BEAUMONT 25 MK2-LH
FAÇADE: HARCOURT (H)

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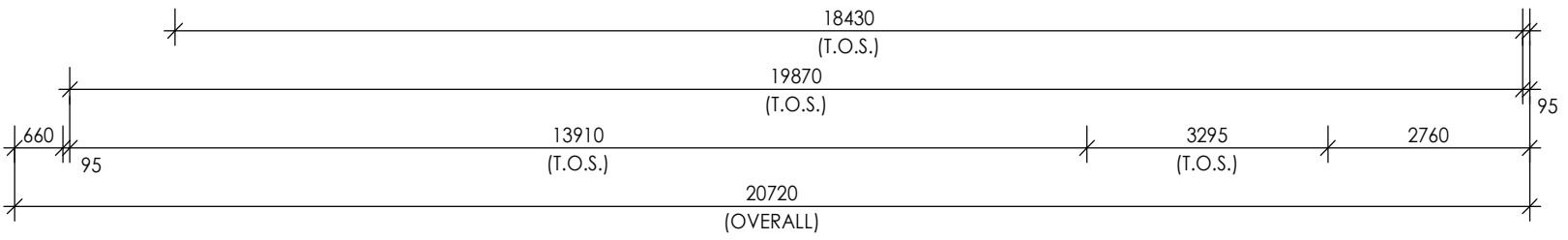
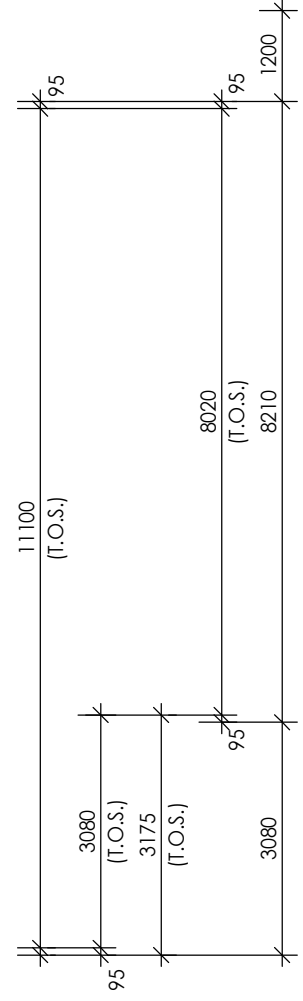
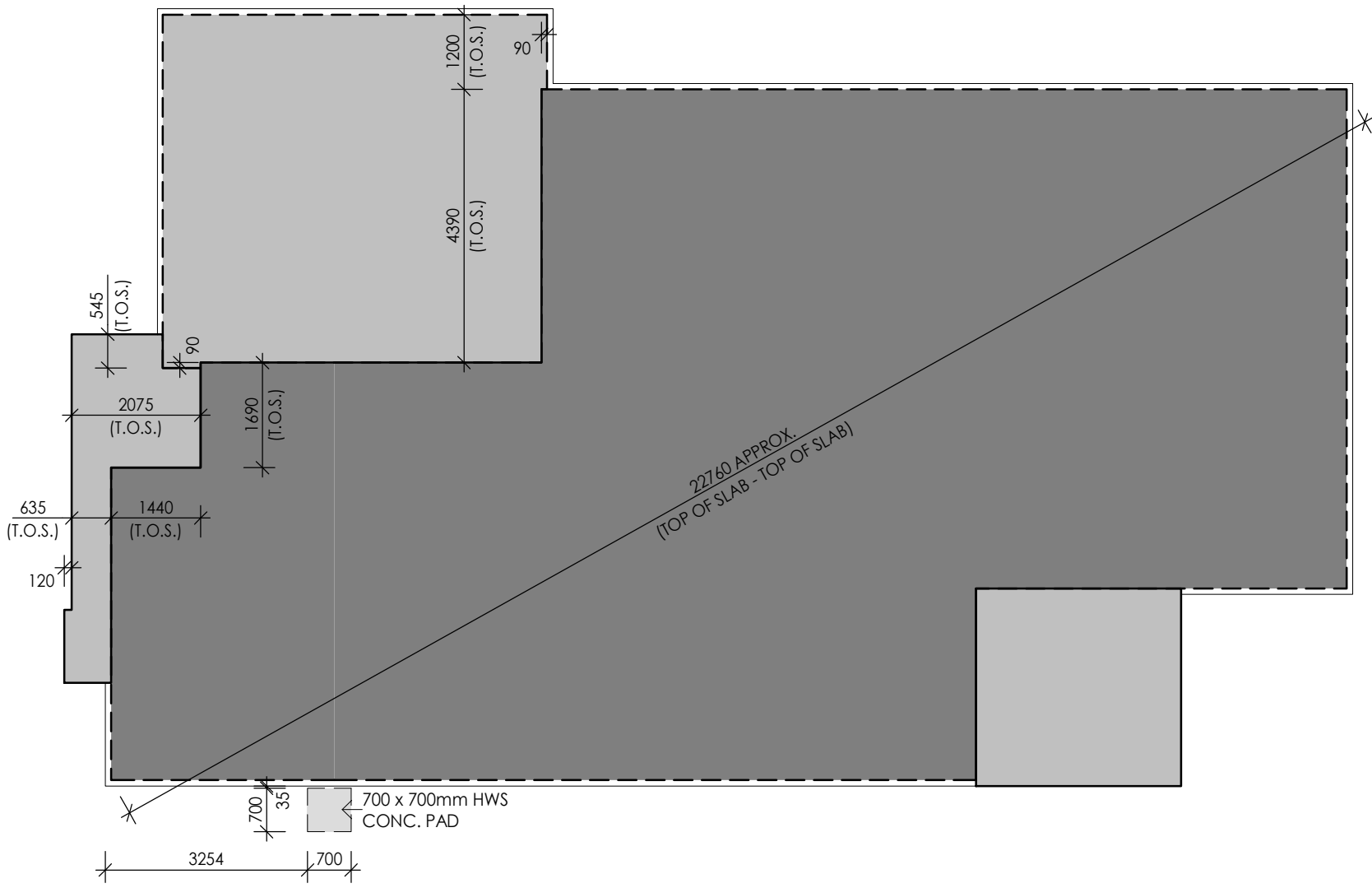
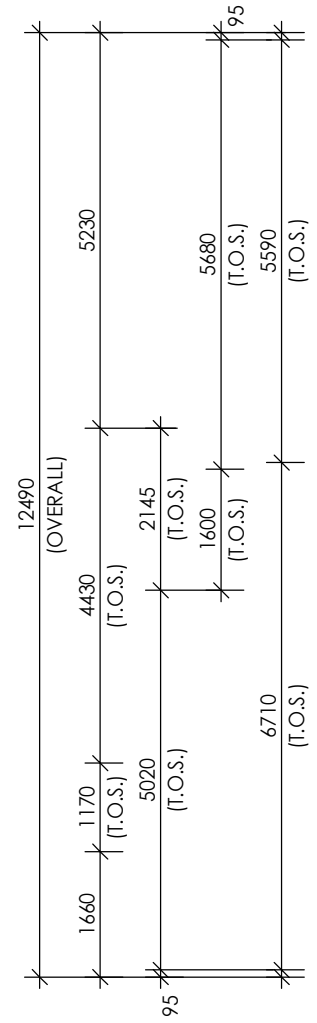
easy
LIVING
BY CARLISLE

CLIENT: _____
ADDRESS:
LOT 110, SCENIC RISE
SUBURB: PAKENHAM

JOB DATE: 20.11.2024 **MASTER DATE:** 18.04.2023
DRAWN: TF(FW) **CHECKED:** AM(FW)
JOB No: J1028223 **ISSUE:** PRODUCTION
SCALE: 1 : 200 **SHEET No:** 1A

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IMPORTANT NOTE
RENDERED AAC CLADDING CONSTRUCTION

- TRUSSES TO BE PITCHED 115mm FROM OUTSIDE OF FRAME (NO EAVES)
- SLAB REBATE WIDTH TO BE 95mm
- REFER TO SHEET 1E FOR SLAB LAYOUT
- REFER TO ADDITIONAL SHEETS FOR GENERIC RENDERED AAC DETAILS
- DETAILS TO BE READ IN CONJUNCTION WITH MANU. SPEC'S
- CANNOT BACKFILL MORE THAN 50mm ABOVE BASE OF RENDERED AAC
- T.O.S. = TOP OF SLAB

******* IMPORTANT NOTE *******
RENDERED AAC PANELS OVERHANG SLAB EDGE BY 15mm

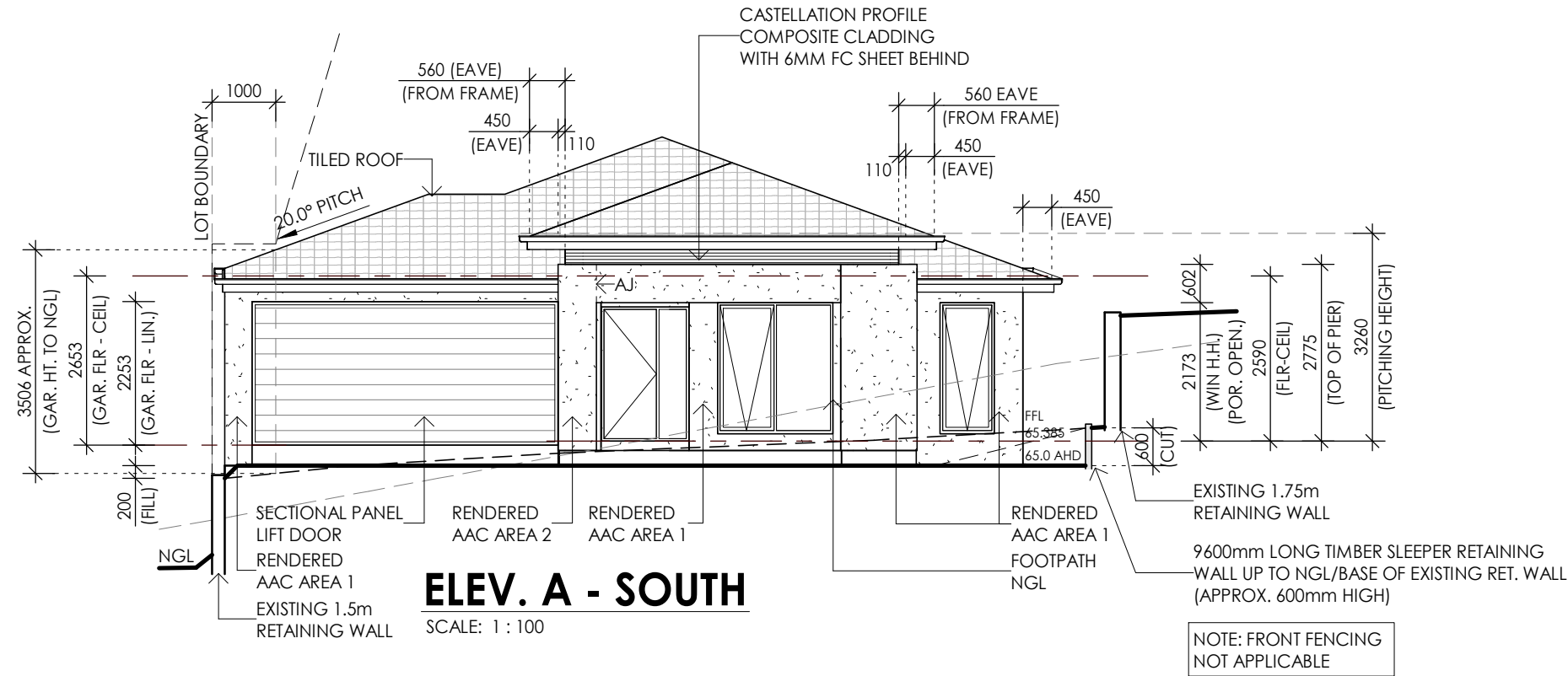
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	TENDER No: - BV6	CLIENT SIGNATURE:		
DRAFTSPERSON: - BS	BUILDER:	HOUSE: BEAUMONT 25 MK2-LH		LOT 110, SCENIC RISE
DATE: - 10.02.2025	DATE:	FACADE: HARCOURT (H)		SUBURB: PAKENHAM
		<small>THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD.</small>		JOB DATE: 20.11.2024 MASTER DATE: 18.04.2023
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				SCALE: 1 : 100 SHEET No: 1B

NOTE: ALUMINIUM FRAMED WINDOWS TO FRONT FACADE (UNLESS NOTED OTHERWISE).

RENDERED AAC



TYPICAL FENCING EXAMPLE



IMPORTANT NOTE:
REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT

BUSHFIRE ATTACK LEVEL:- (BAL)
BAL NIL

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

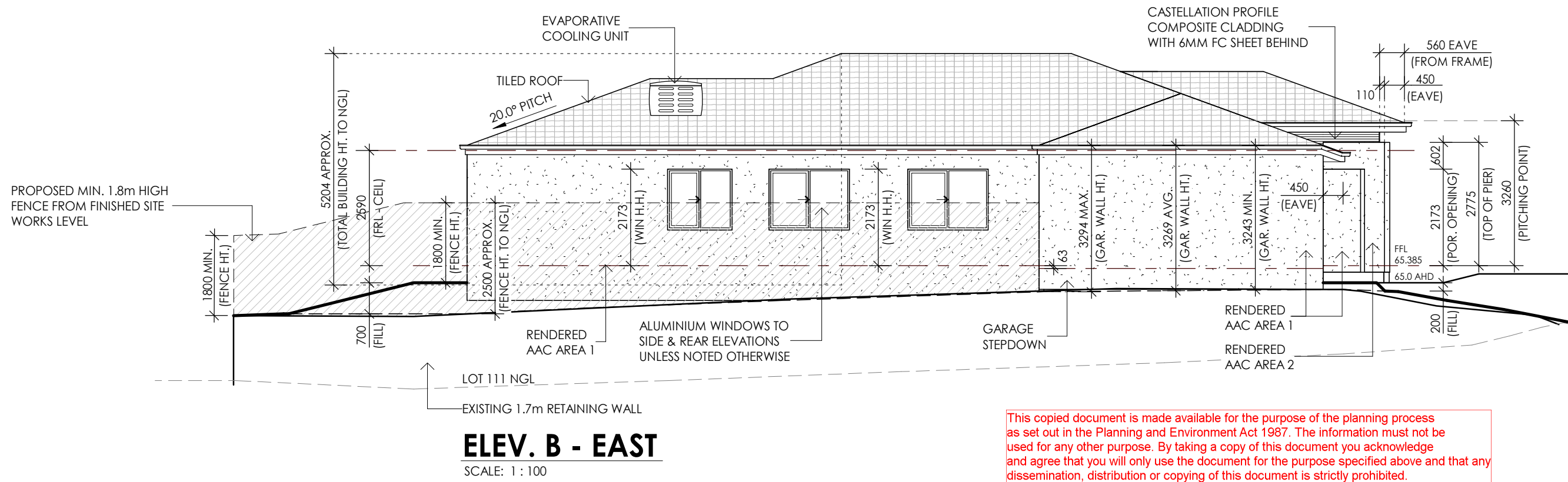
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******* IMPORTANT NOTE *******
RENDERED AAC PANELS OVERHANG SLAB EDGE BY 15mm

FACADE MATERIAL COVERAGE

MATERIAL NAME	AREA m ²	%
COMPOSITE CLADDING	1.20 m ²	7.50 %
RENDER AAC AREA 1	10.76 m ²	67.17 %
RENDER AAC AREA 2	4.06 m ²	25.34 %

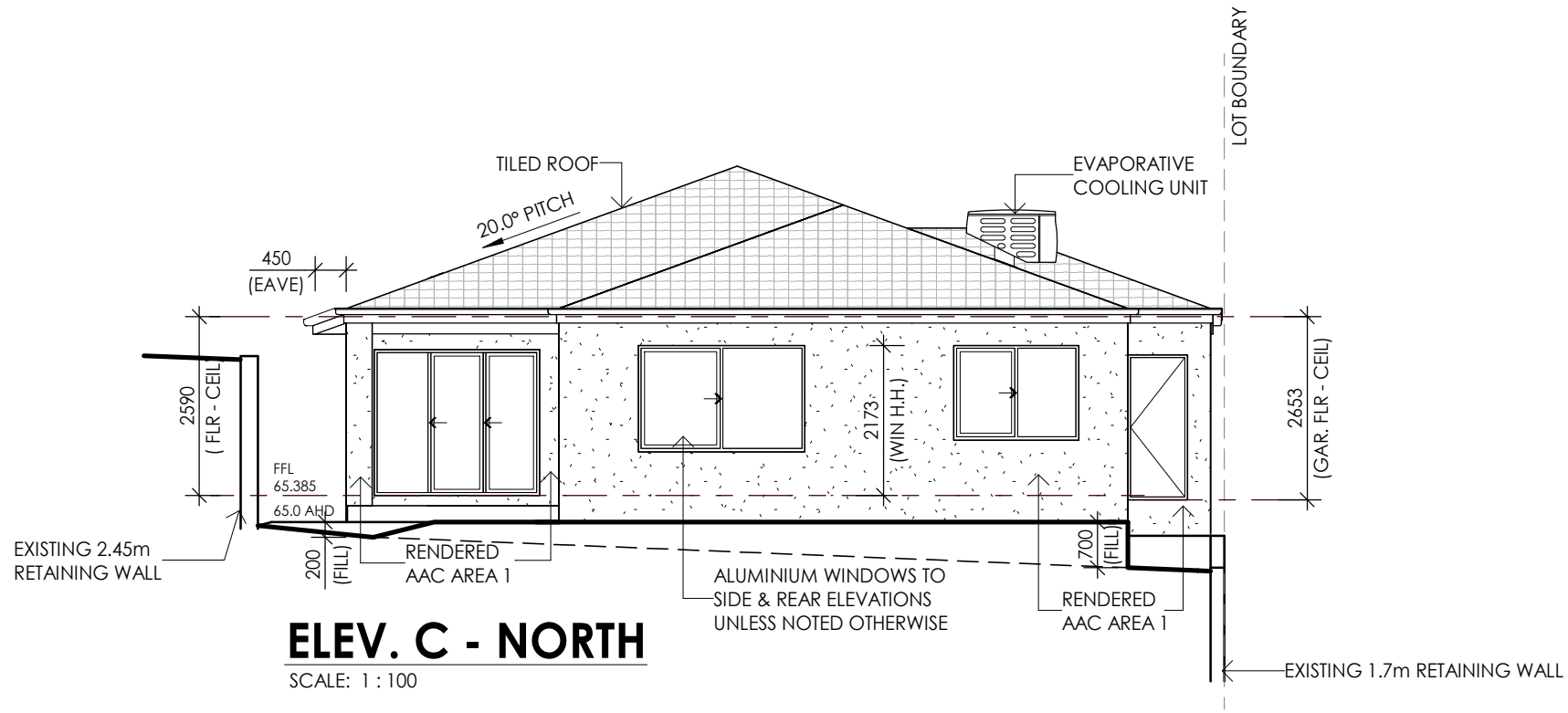


<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> • ALL FIRST FLOOR WINDOWS TO BE RESTRICTED TO A MAXIMUM 125mm OPENING • DOORS TO WC, POWDER ROOM WC, & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 3.8.3 • WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE) • ALL GLAZING TO COMPLY WITH AS 1288-2006 (Amdt 1-2008) (REFER TO ENERGY RATING FOR ALL GLAZING VALUES) • FOAM SYSTEM REFER TO ATTACHED SPECIFICATIONS (WHERE APPLICABLE) <p>* DENOTES DOUBLE GLAZED WINDOWS & DOORS</p>	<p>PRODUCTION DRAWINGS</p> <p>TENDER No: - BV6</p> <p>DRAFTSPERSON: - BS</p> <p>DATE: - 10.02.2025</p>	<p>CLIENT SIGNATURE:</p> <p>CLIENT SIGNATURE:</p> <p>BUILDER:</p> <p>DATE:</p>	<p>DRAWING TITLE:</p> <p>ELEVATIONS</p> <p>HOUSE: BEAUMONT 25 MK2-LH</p> <p>FACADE: HARCOURT (H)</p> <p><small>THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p> <p>© COPYRIGHT 2017</p>	<p>CLIENT:</p> <p>ADDRESS:</p> <p>LOT 110, SCENIC RISE</p> <p>SUBURB: PAKENHAM</p> <p>JOB DATE: 20.11.2024 MASTER DATE: 18.04.2023</p> <p>DRAWN: TF(FW) CHECKED: AM(FW)</p> <p>JOB No: J1028223 ISSUE: PRODUCTION</p> <p>SCALE: 1 : 100 SHEET No: 3</p>
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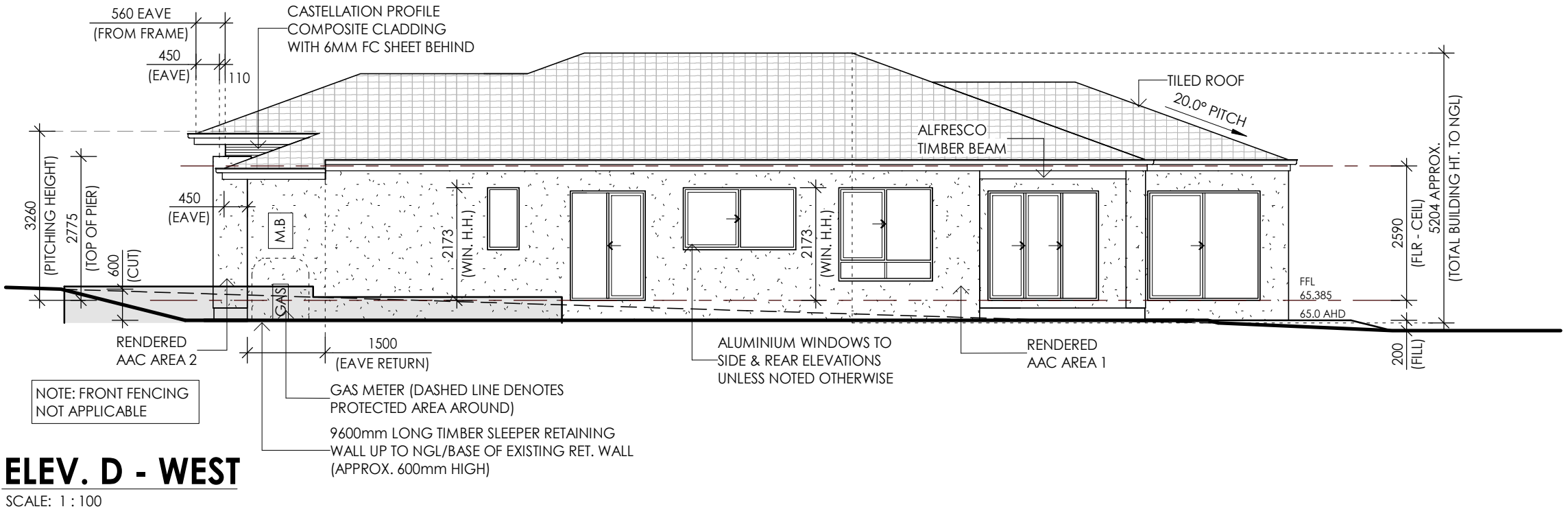
RENDERED AAC



TYPICAL FENCING EXAMPLE



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IMPORTANT NOTE:
REFER TO ENGINEERS DESIGN FOR ARTICULATION JOINT LAYOUT

BUSHFIRE ATTACK LEVEL:- (BAL)
BAL NIL

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

IMPORTANT NOTE
RENDERED AAC CLADDING CONSTRUCTION

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******* IMPORTANT NOTE *******
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GENERAL NOTES:

- ALL FIRST FLOOR WINDOWS TO BE RESTRICTED TO A MAXIMUM 125mm OPENING
- DOORS TO WC, POWDER ROOM WC, & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 3.8.3
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
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- * DENOTES DOUBLE GLAZED WINDOWS & DOORS

PRODUCTION DRAWINGS

TENDER No: - BV6

DRAFTSPERSON: - BS

DATE: - 10.02.2025

CLIENT SIGNATURE: _____

CLIENT SIGNATURE: _____

BUILDER: _____

DATE: _____

DRAWING TITLE:
ELEVATIONS

HOUSE: **BEAUMONT 25 MK2-LH**

FAÇADE: **HARCOURT (H)**

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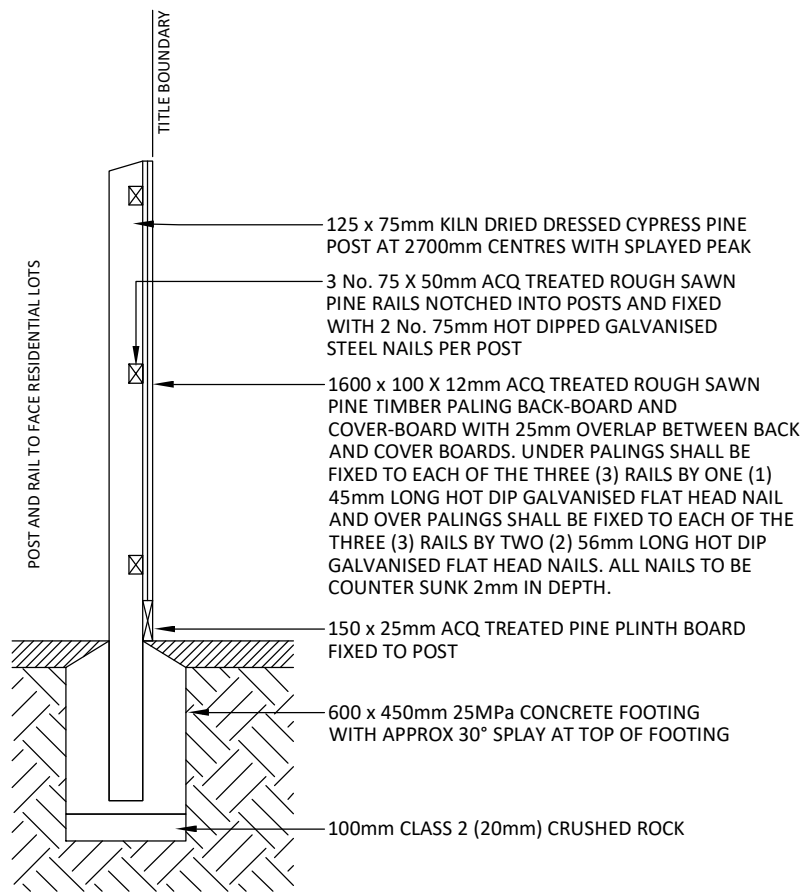
ADDRESS: _____
LOT 110, SCENIC RISE
SUBURB: PAKENHAM

JOB DATE: 20.11.2024 MASTER DATE: 18.04.2023

DRAWN: TF(FW) CHECKED: AM(FW)

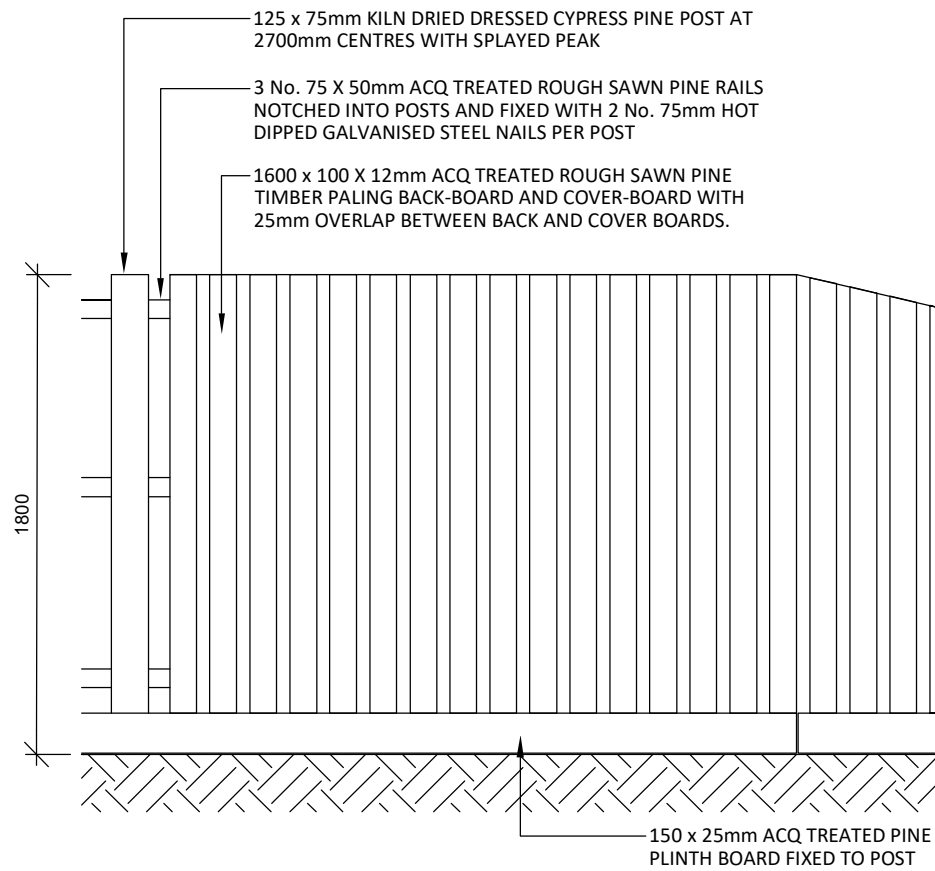
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SCALE: 1 : 100 SHEET No: 3A



01 TREATED PINE POST - SECTION

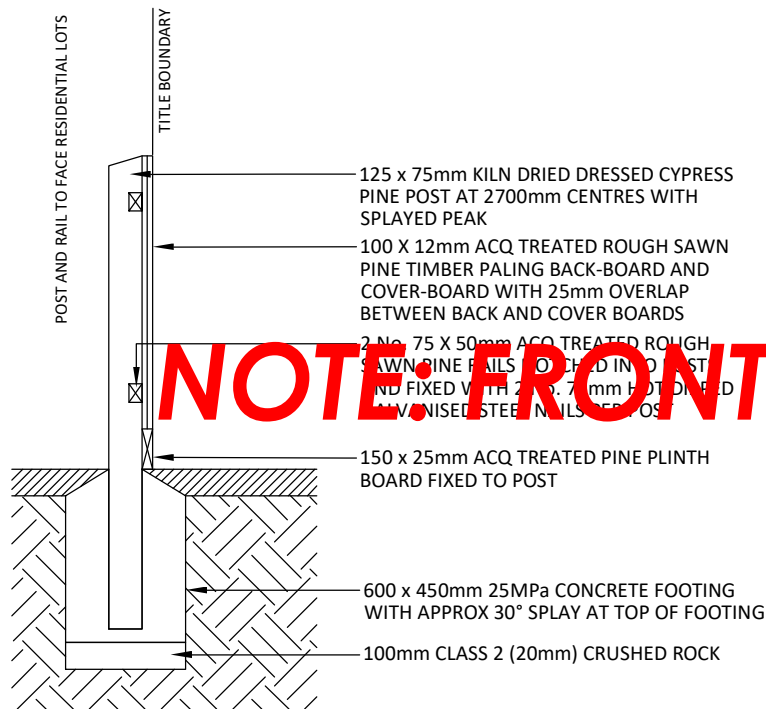
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02 TIMBER PALING FENCE - SECTION A

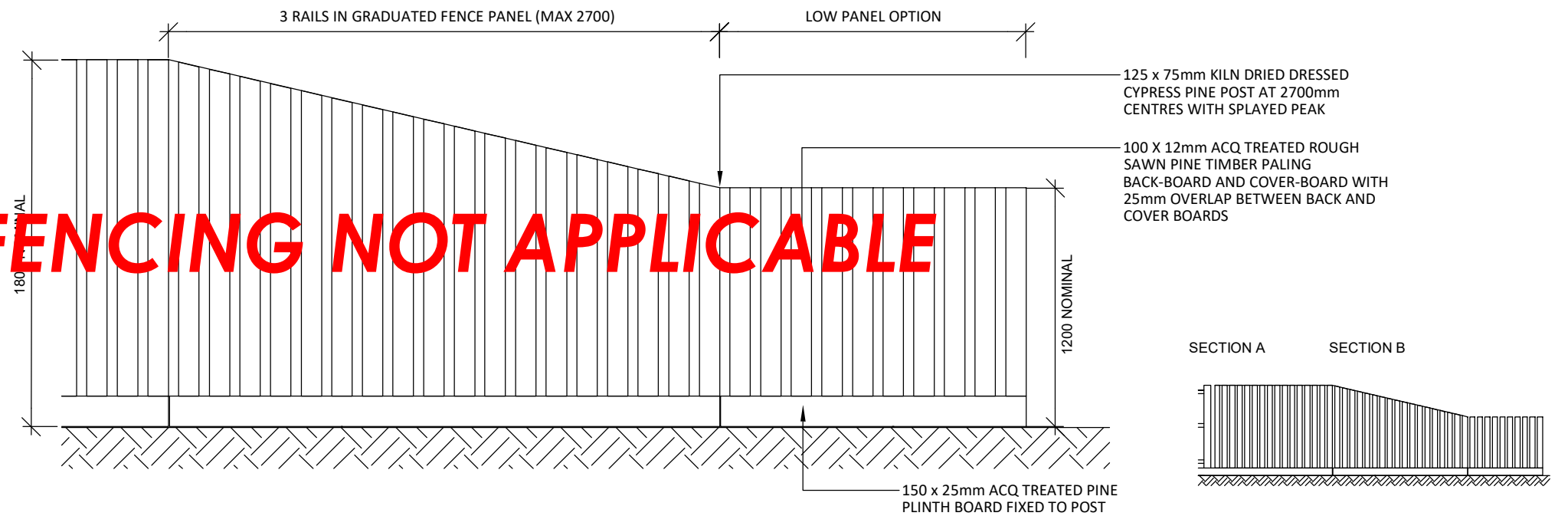
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03 TREATED PINE POST - SECTION

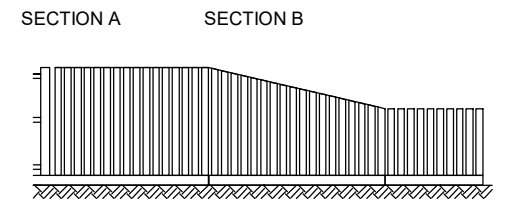
SCALE: 1:40 @ A4



04 TIMBER PALING FENCE - SECTION B

SCALE: 1:40 @ A4

NOTE: FRONT FENCING NOT APPLICABLE



CLIENT SIGNATURE: CLIENT SIGNATURE: BUILDER: DATE:	DRAWING TITLE: TYPICAL FENCING DETAIL		CLIENT: [REDACTED]
	HOUSE: BEAUMONT 25 MK2-LH FACADE: ALL <small>THIS WORK IS EXCLUSIVELY OWNED BY CARLISLE HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF CARLISLE HOMES PTY LTD. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS.</small> © COPYRIGHT 2017		ADDRESS: LOT 110, SCENIC RISE SUBURB: PAKENHAM JOB DATE: 20.11.2024 MASTER DATE: 18.04.2023 DRAWN: TF(FW) CHECKED: MT JOB No: J1028223 ISSUE: PRODUCTION SCALE: 1:1 SHEET No: 4A