

Notice of Application for a Planning Permit

The land affected by the application is located at:	133 Quamby Road, Guys Hill VIC 3807 (L14 LP83659)
The application is for a permit to:	The use and development of the land for a dwelling, the construction of an outbuilding.

A permit is required under the following clauses of the planning scheme:

35.05-1	Use of the land for a Dwelling
35.05-5	Construct a building or construct or carry out works associated with a use in Section 2 (Dwelling)
44.06-2	Construct a building or construct or carry out works associated with accommodation

APPLICATION DETAILS

The applicant for the permit is:	Masters Design
Application number:	T240597

You may look at the application and any documents that support the application at the office of the responsible authority:

Cardinia Shire Council, 20 Siding Avenue, Officer 3809.

This can be done during office hours and is free of charge.

Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.



HOW CAN I MAKE A SUBMISSION?

This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:

11 April 2025

WHAT ARE MY OPTIONS?

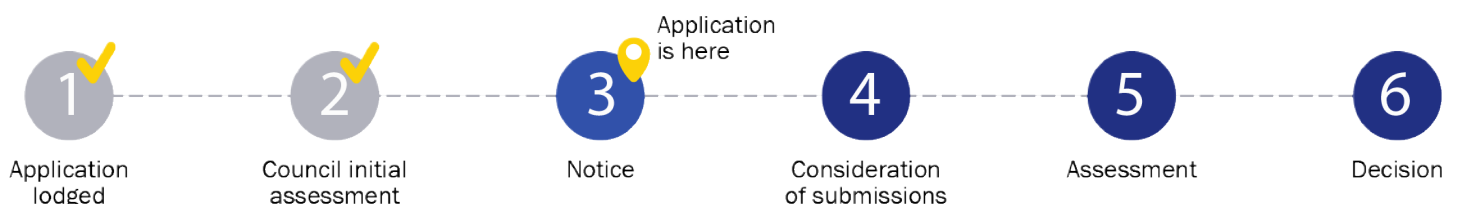
Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

If you object, the Responsible Authority will notify you of the decision when it is issued.

An objection must:

- be made to the Responsible Authority in writing;
- include the reasons for the objection; and
- state how the objector would be affected.

The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.



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Planning Enquiries
Phone: 1300 787 624
Web: www.cardinia.vic.gov.au

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

i Click for further information.

Clear Form

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 133	St. Name: QUAMBY ROAD
Suburb/Locality: GUYS HILL		Postcode: 3807

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.: 14	<input checked="" type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.: LP83659
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i For what use, development or other matter do you require a permit? *

Construction of a replacement dwelling, Swimming Pool, Large Shed and removal of trees

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⚠ Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

i Estimated cost of any development for which the permit is required *

Cost \$ 1,800,000	⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.
If the application is for land within metropolitan Melbourne (as defined in section 3 of the <i>Planning and Environment Act 1987</i>) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.	

Existing Conditions i

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Single storey dwelling, swimming pool, sheds

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Provide a plan of the existing conditions. Photos are also helpful.

Title Information i

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (if 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:			
[Redacted]			
Organisation (if applicable): MASTERS DESIGN			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.: S1, L1	St. No.: 315	St. Name: MAIN STREET	
Suburb/Locality: MORNINGTON		State: VIC	Postcode: 3931

Please provide at least one contact phone number *

Contact information for applicant OR contact person below	
Business phone:	Email: voykan@mastersdesign.com.au
Mobile phone: 0400 140 966	Fax:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*			Same as applicant <input checked="" type="checkbox"/>
Name:			
Title:	First Name:	Surname:	
Organisation (if applicable):			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.:	St. No.:	St. Name:	
Suburb/Locality:		State:	Postcode:

Owner *


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		Same as applicant <input type="checkbox"/>
[Redacted]		
Owner's Signature (Optional):	Date:	
	day / month / year	

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant, and that all the information in this application is true and correct; and that I am the applicant of the permit application.

Signature: 

Date: 13-11-2024

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

No Yes

If 'Yes', with whom?:

Date:


day / month / year

Checklist

Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site.

A plan of existing conditions.

Plans showing the layout and details of the proposal.

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant council planning permit checklist?

Signed the declaration?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact information:

Telephone: 1300 787 624

Email: mail@cardinia.vic.gov.au

DX: 81006

Deliver application in person, by post or by electronic lodgement.

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MASTERS DESIGN & DRAFTING

BUILDING DESIGN - DRAFTING - HOUSE ENERGY RATING

CARDINIA SHIRE COUNCIL
TOWN PLANNING DEPARTMENT
20 SIDING AVE, OFFICER 3807

28th October 2024

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DESIGN RESPONSE REPORT

CLAUSES: 35.05 GREEN WEDGE A ZONE_(SCHEDULE 2)
42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY_(SCHEDULE 1)
44.06 BUSHFIRE MANAGEMENT OVERLAY

ADDRESS: 133 QUAMBY ROAD GUYS HILL 3807

PROPOSAL: CONSTRUCTION OF A SINGLE STOREY DWELLING, SWIMMING POOL & SHED

Dear Sir/ Madam,

The subject property at **133 QUAMBY ROAD GUYS HILL 3807** is a large irregularly shaped parcel of land with area of 13,722msq, currently occupied by a single storey dwelling, swimming pool, detached garages, and couple of storage sheds. The property has pretty constant fall from front to rear and a few groups of trees, mainly at front art of the property and lots of grassed paddocks.

Existing dwelling is a single storey, brick veneer with pitched tiled roof and large verandahs, built in approximately 1.8m deep cut. This existing dwelling together with associated garages and sheds will be removed. The adjacent dwelling (No:125) on the south side has been built 1.5m off the boundary and will be approximately 17m away from the proposed dwelling. The adjacent dwelling on the north side (No: 135) is more than 10m away from the boundary and approximately 20m away from the proposed dwelling.

The proposed replacement dwelling will be located at the same location as the existing dwelling and the new large shed will be located 5.6m off the south boundary and 110m from front (east) boundary.

The proposed dwelling will be a single storey weatherboard cladded dwelling with the pitched roof of various angles, from 11 to 30 degrees. The dwelling will be well articulated and pretty much all external colours will be in shades of white. The proposed shed will be weatherboard cladded with pitched gable roof at 30 degrees and maximum building height of 6.9m above natural ground level.

The dwelling will be partially visible from the street due to the existing land cut and the distance from the street. Maximum building height at any point above natural ground level will be 6.2m.

The garage will be located on the south side of the dwelling and will be also partially visible from the street.

Swimming pool will be located at rear of the dwelling.

MASTERS DESIGN & DRAFTING

BUILDING DESIGN - DRAFTING - HOUSE ENERGY RATING

Front setback of the proposed dwelling will be 46.9m, side setback to northern boundary will be 7.1m, and to the south boundary will be 11.2m. Distances to the dwellings on the adjacent properties are more than 10m.

Coverage by all buildings will be 5.3% only, while coverage by driveways and pathways and other impervious surfaces will be 6.3% making it total of 11.3% of hard cover of the land.

There is no reticulated sewer connection for the subject site, so the waste water will be treated using secondary treatment septic system with shallow sub-surface irrigation covering the area of minimum 720msq which will replace the existing old fashioned septic tank currently being in use on this property. Waste water will be contained on site. All other services available on site.

Stormwater will be discharged to the Legal point of discharge via existing stormwater drains to satisfaction of Cardinia Shire Council.

There will be very small cut, maximum 300mm in front of the proposed shed and there will be maximum 1m of fill at rear of the proposed shed. There will be no additional cuts of fills around the proposed dwelling.

Total of six (6) trees are proposed for removal from the subject site due to Bushfire Management Plan requirements. Arborist report and Bushfire Management Statement are provided with the Application.

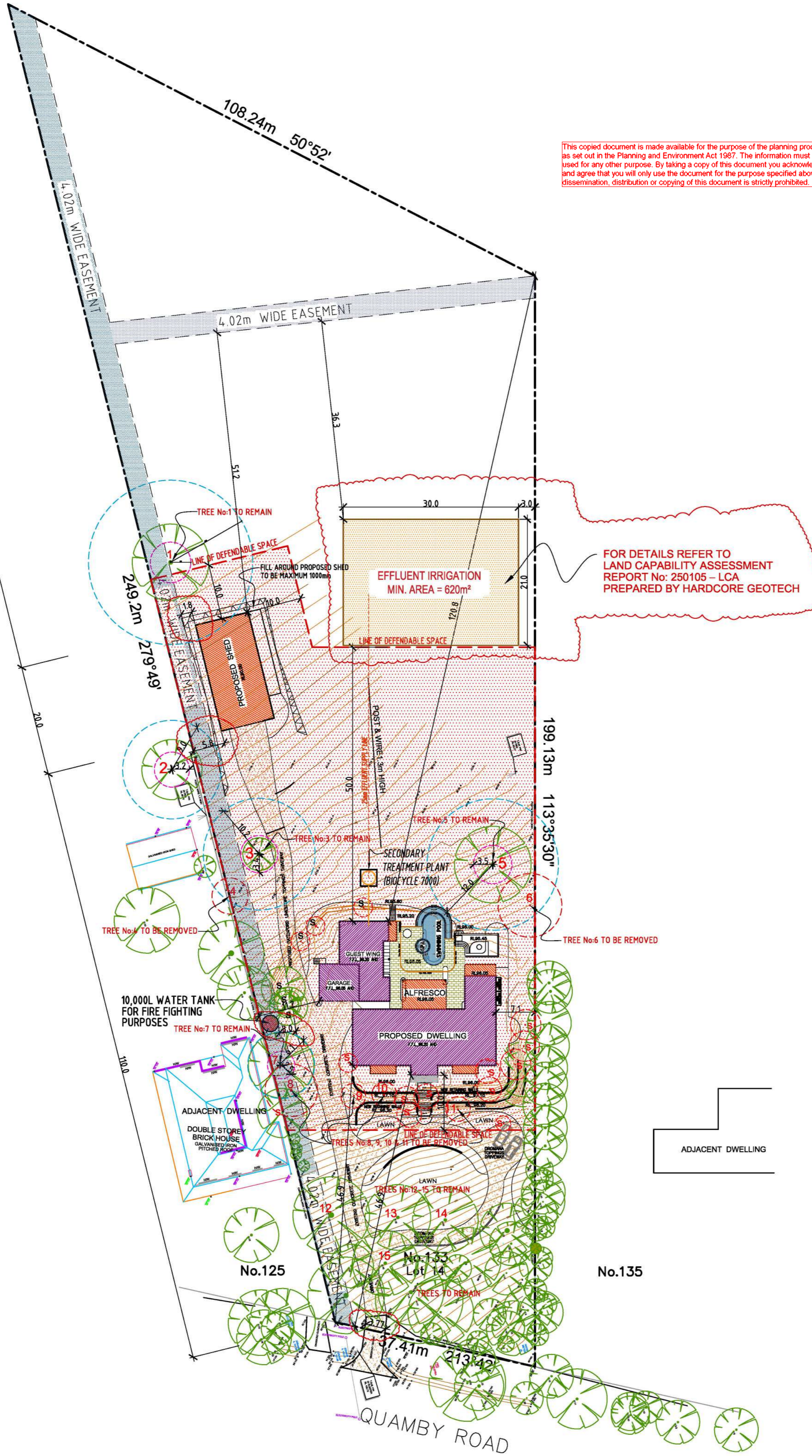
It is considered that the subject site represents a suitable opportunity to provide comfortable living for the occupants of the land. The design of this proposed dwelling satisfies all objectives and standards of PLANNING AND ENVIRONMENT ACT 1987 - Section 54, STATE PLANNING POLICY FRAMEWORK, LOCAL PLANNING POLICY FRAMEWORK, MUNICIPAL STRATEGIC STATEMENT and CARDINIA PLANING SCHEME and is respectful of character of the area without causing a loss of amenity to adjoining or near by properties or causing any major impact to the Environmental values in the area.

I look forward to your favorable response, contact me anytime if you require additional information or further assistance.

Best regards,

[REDACTED]
Building Designer
[REDACTED]

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BUSHFIRE MANAGEMENT NOTES:

- The dwelling must meet or exceed BAL 29 construction standards.
- A 10,000L non-combustible static water supply is required with access for emergency services to within 4m of the water supply outlet.
- Access for emergency vehicles to the dwelling and to within 4m of the water supply outlet is required to meet the specifications on page 16 of the Bushfire Management Statement Report.
- Defendable Space must be maintained in accordance with the defendable space requirements around the dwelling. Ten meters are required around the shed.

FOR MORE DETAILS REFER TO BUSHFIRE MANAGEMENT STATEMENT PREPARED BY "FIREFRONT CONSULTANCIES" DATED 26-08-2024

"The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed."

WASTE WATER NOTES:

ALL WASTE WATER TO BE TREATED AND CONTAINED ON SUBJECT SITE USE SECONDARY TREATMENT SEPTIC SYSTEM WITH SHALLOW SUB-SURFACE IRRIGATION (MIN. 720msq) INSTALLED IN ACCORDANCE WITH CARDNIA WASTEWATER MANAGEMENT POLICY AND TO SATISFACTION OF LOCAL ENVIRONMENT PROTECTION AUTHORITY

VEGETATION SHOULD BE MAINTAINED AROUND DISPOSAL FIELD AT ALL TIMES

FOR SOIL PROFILE DETAILS REFER TO LAND CAPABILITY ASSESSMENT REPORT

STORM WATER NOTES:

ALL STORM WATER FROM DWELLING AND OUTBUILDING ROOFS TO BE CONNECTED TO A WATER STORAGE SYSTEMS (WATER TANKS) WITH A MINIMUM STORAGE CAPACITY OF 500 LITRES FOR EVERY 50msq OF ROOF AREA, AND THIS WATER TANKS TO BE PLUMBED FOR LAUNDRY USE AND FOR FLUSHING EVERY TOILET IN THE DWELLING

TOTAL ROOF CATCHMENTS AREA FOR THE SITE IS 817msq
MINIMUM STORAGE CAPACITY FOR STORMWATER TANKS TO BE 8,500L

LOCATION OF WATER TANKS SHOWN ON PARTIAL SITE PLAN (sheet 2)

ALL ACCESS (OVERFLOW) OF STORMWATER TO BE DISCHARGED TO LEGAL POINT OF DISCHARGE TO SATISFACTION OF LOCAL AUTHORITY

AREAS :

LIVING (exc. Guest Wing):	312.0msq
GUEST WING:	101.0msq
TOTAL LIVING:	413.0msq
GARAGE:	49.1msq
ALFRESCO:	43.2msq
VERANDAHS:	26.0msq
SHED:	200.0msq
TOTAL DWELLING:	531.3msq (57.2 SQ)
TOTAL BUILDINGS:	731.3msq (78.7 SQ)
SITE AREA:	13,722msq
TOTAL COVER BY BUILDINGS:	731.3msq (5.3%)
POOL & PAVING:	157.2msq
DRIVEWAYS:	702.0msq
COVER BY IMPERVIOUS SURFACES:	859.2msq (6.3%)
TOTAL HARD COVER:	1,590.5msq (11.6%)

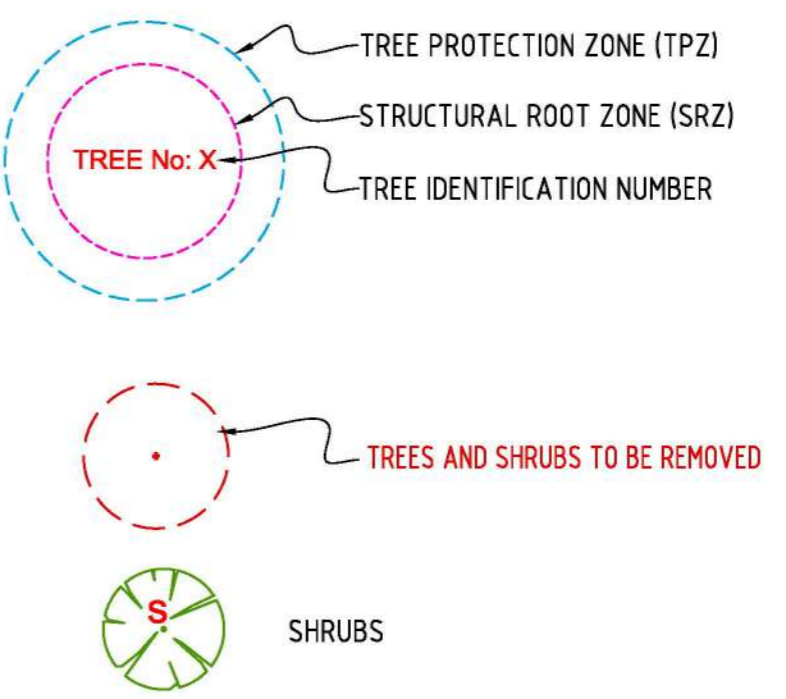
NOTES:

ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM
LEVEL DATUM BASED ON GPSNET CORRECTED RTK GNSS OBSERVATIONS

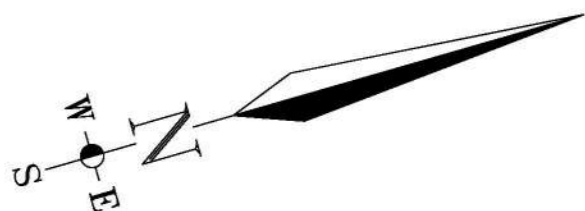
VEGETATION REMOVAL:

SIX (6) TREES TO BE REMOVED FROM SUBJECT SITE FOR FIRE FIGHTING PURPOSES (CROWN SEPARATION) TREES TO BE REMOVED AS NUMBERED IN ARBORIST REPORT ARE: 4, 6, 8, 9, 10 & 11. FOR DETAILS REFER TO ARBORIST REPORT PREPARED BY TABITHA BARCLAY DATED: OCTOBER 2024

TREE LEGEND:



SITE PLAN



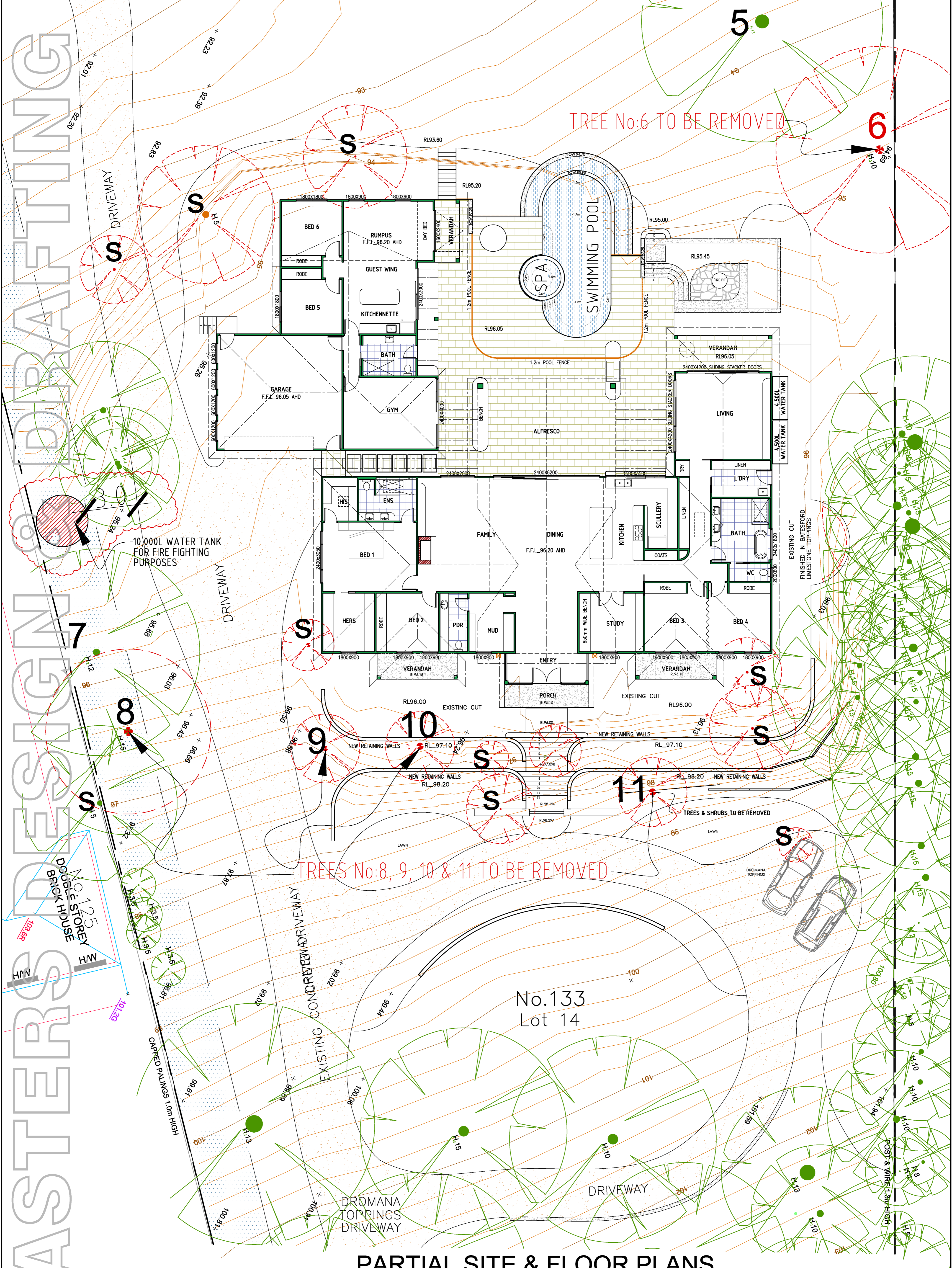
MASTERS DESIGN & DRAFTING
BUILDING DESIGN - DRAFTING - HOUSE ENERGY RATING

SUITE 1, LEVEL 1, 315 MAIN STREET MORNINGTON, VICTORIA 3931 PH: 0400 140 966 E-MAIL: voykan@mastersdesign.com.au

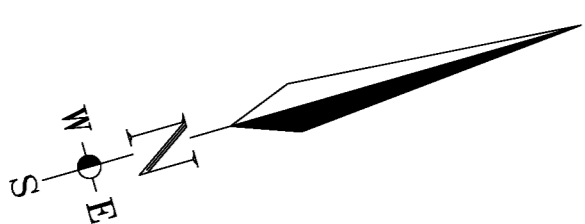
Amended: 04-02-2025

date:	13-11-2024	sheet:	1
scales:	1:500 @ A1	DWG. No:	21/0504
drawn:			

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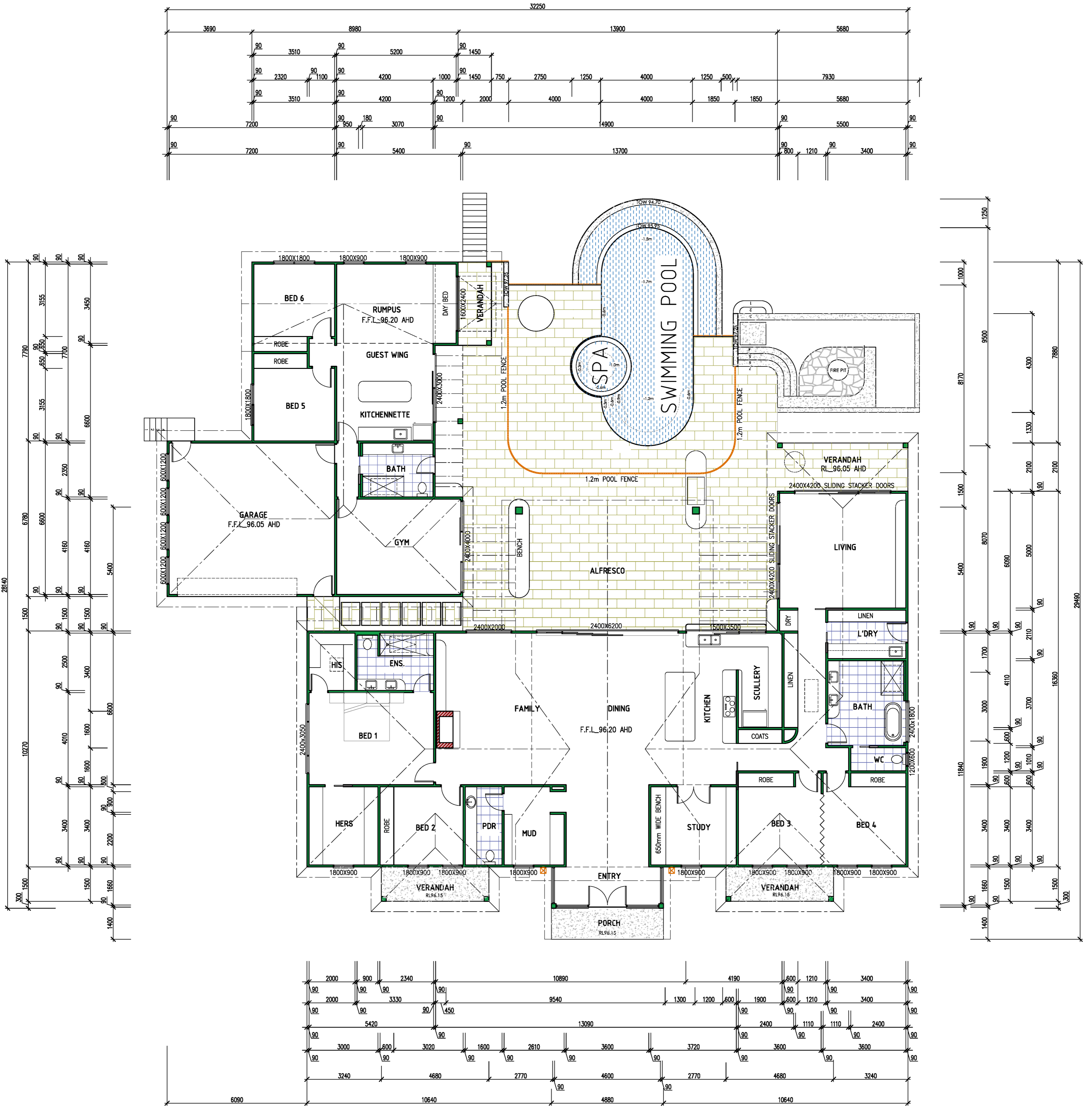
PARTIAL SITE & FLOOR PLANS



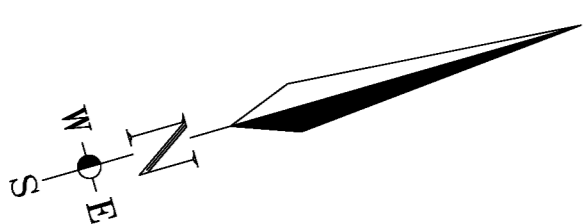
MASTERS DESIGN & DRAFTING
 BUILDING DESIGN - DRAFTING - HOUSE ENERGY RATING
 SUITE 1, LEVEL 1, 315 MAIN STREET MORNINGTON, VICTORIA 3931
 PH: 0400 140 966
 E-MAIL: voykan@mastersdesign.com.au

Amended: 04-02-2025		
date: 13-11-2024	sheet: 2	
scales: 1:100 @ A1	DWG. No:	
		21/0504

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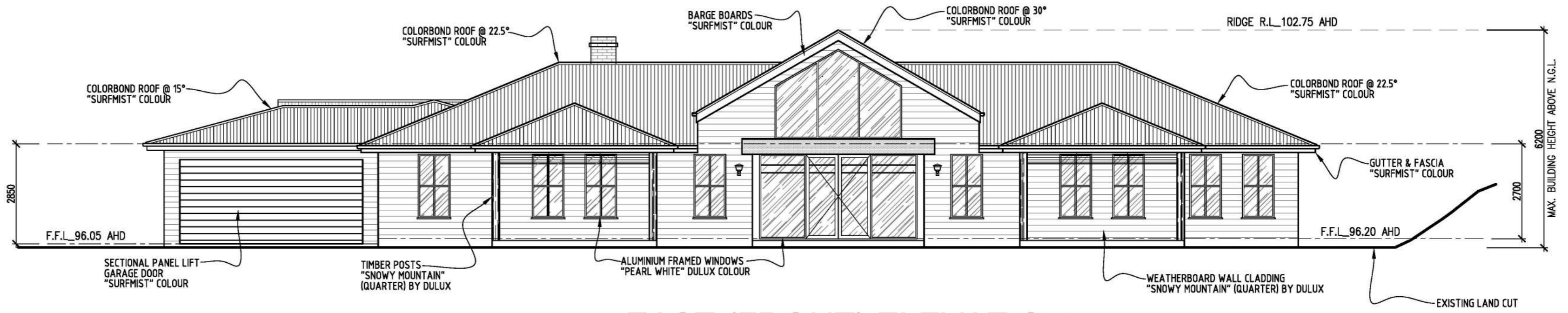
FLOOR PLAN



Amended: 04-02-2025

MASTERS DESIGN & DRAFTING
 BUILDING DESIGN - DRAFTING - HOUSE ENERGY RATINGS
 SUITE 1, LEVEL 1, 315 MAIN STREET MORNINGTON, VICTORIA 3931
 PH: 0400 140 000
 E-MAIL: voykan@mastersdesign.com.au

Sheet: 3
 DWG. No: 21/0504

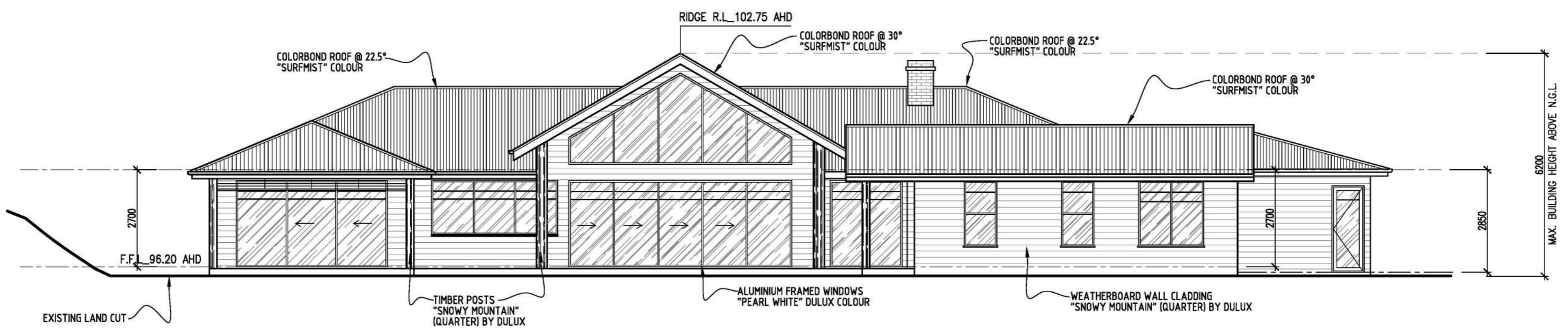


EAST (FRONT) ELEVATION

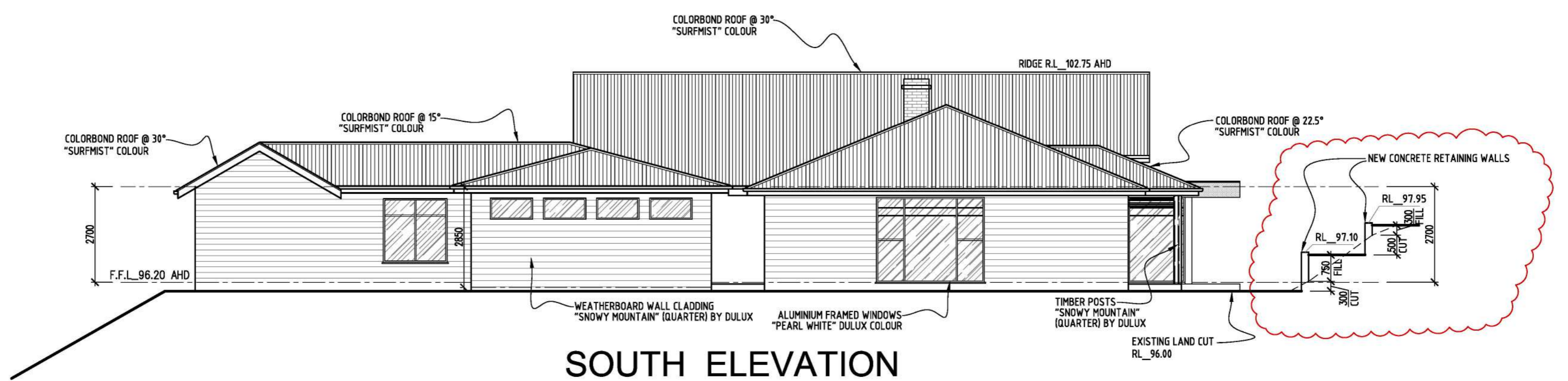


NORTH ELEVATION

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WEST ELEVATION



SOUTH ELEVATION

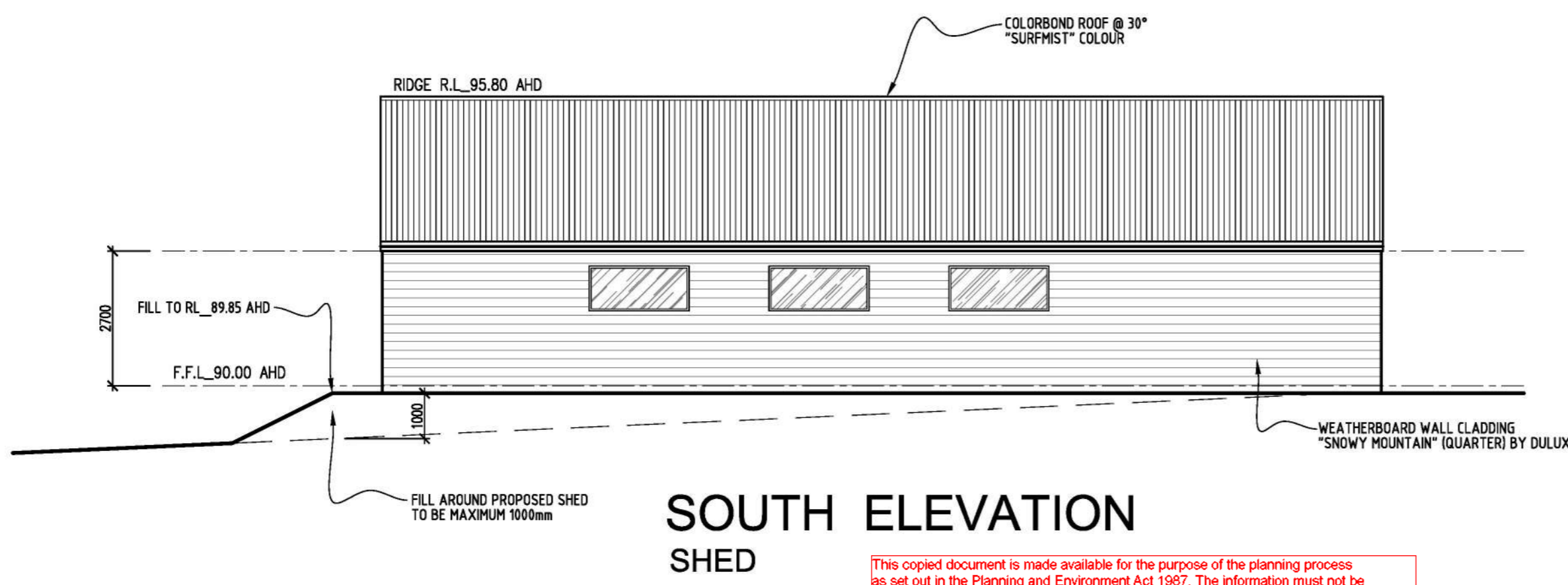
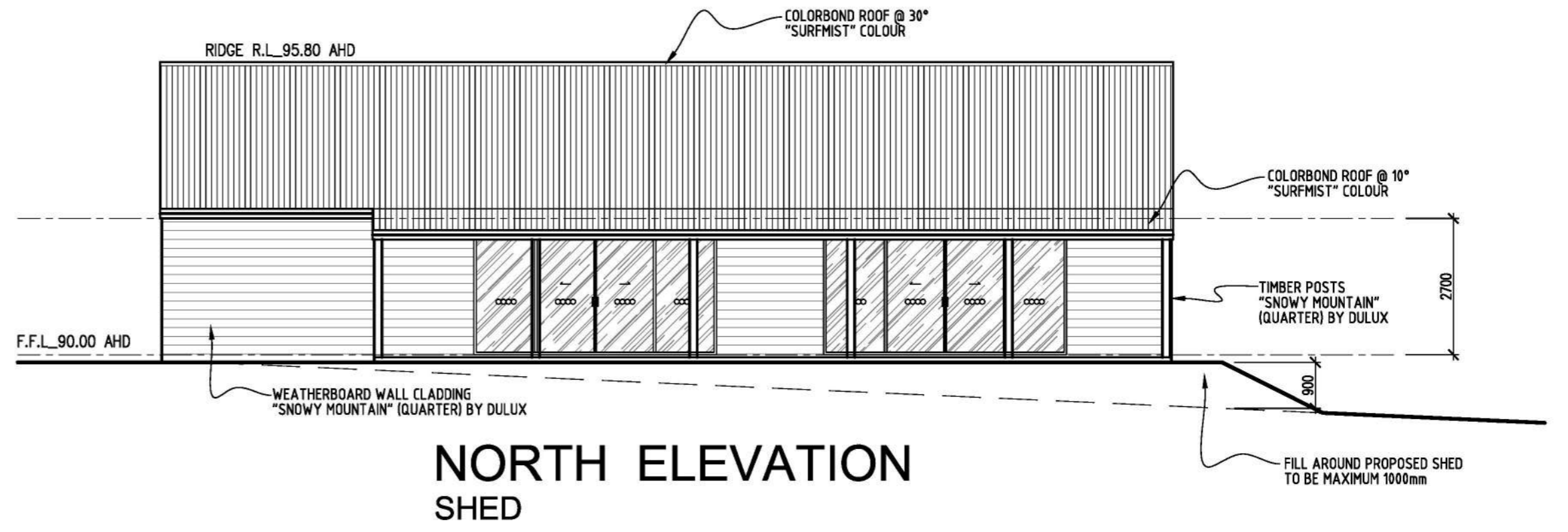
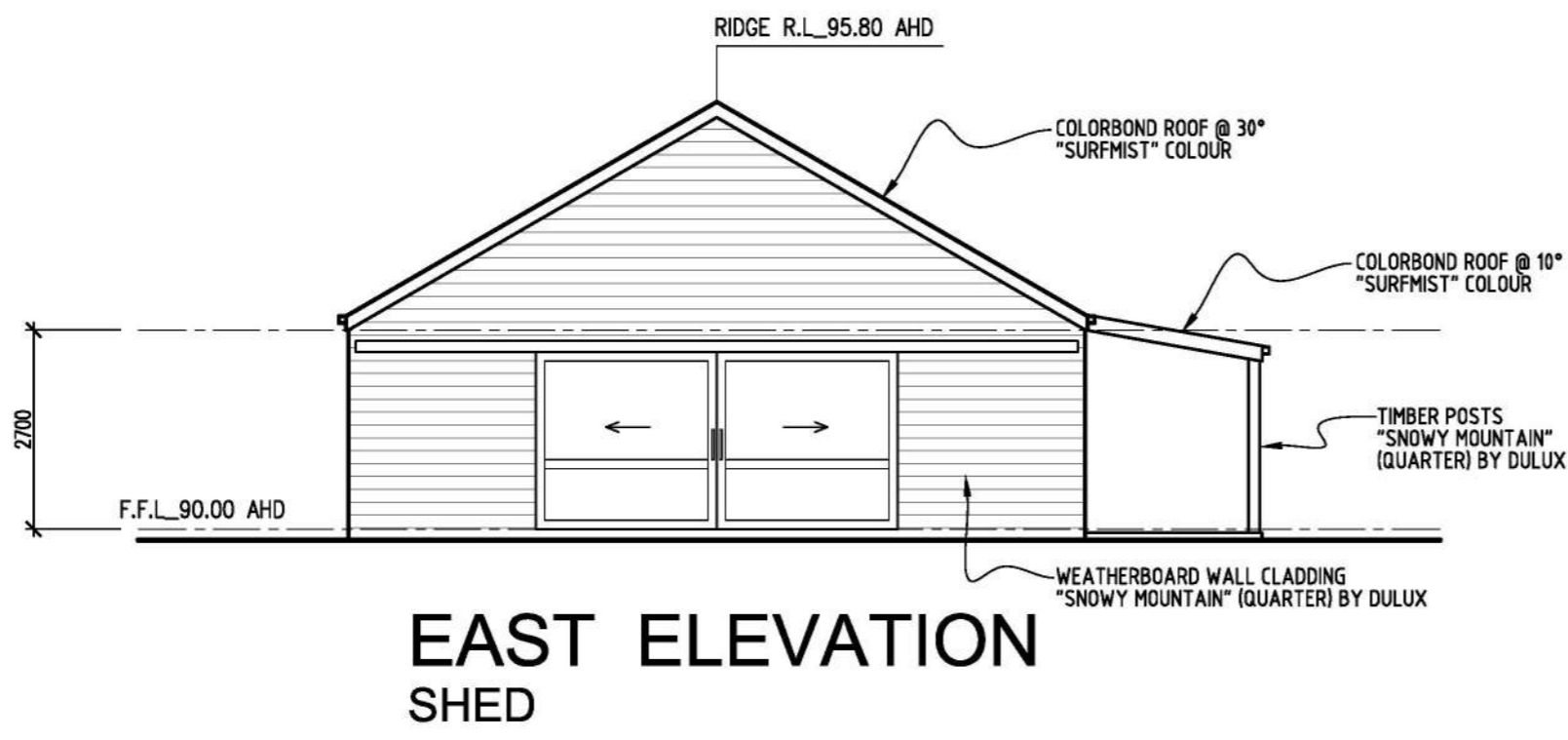
EXTERNAL MATERIALS AND COLOURS



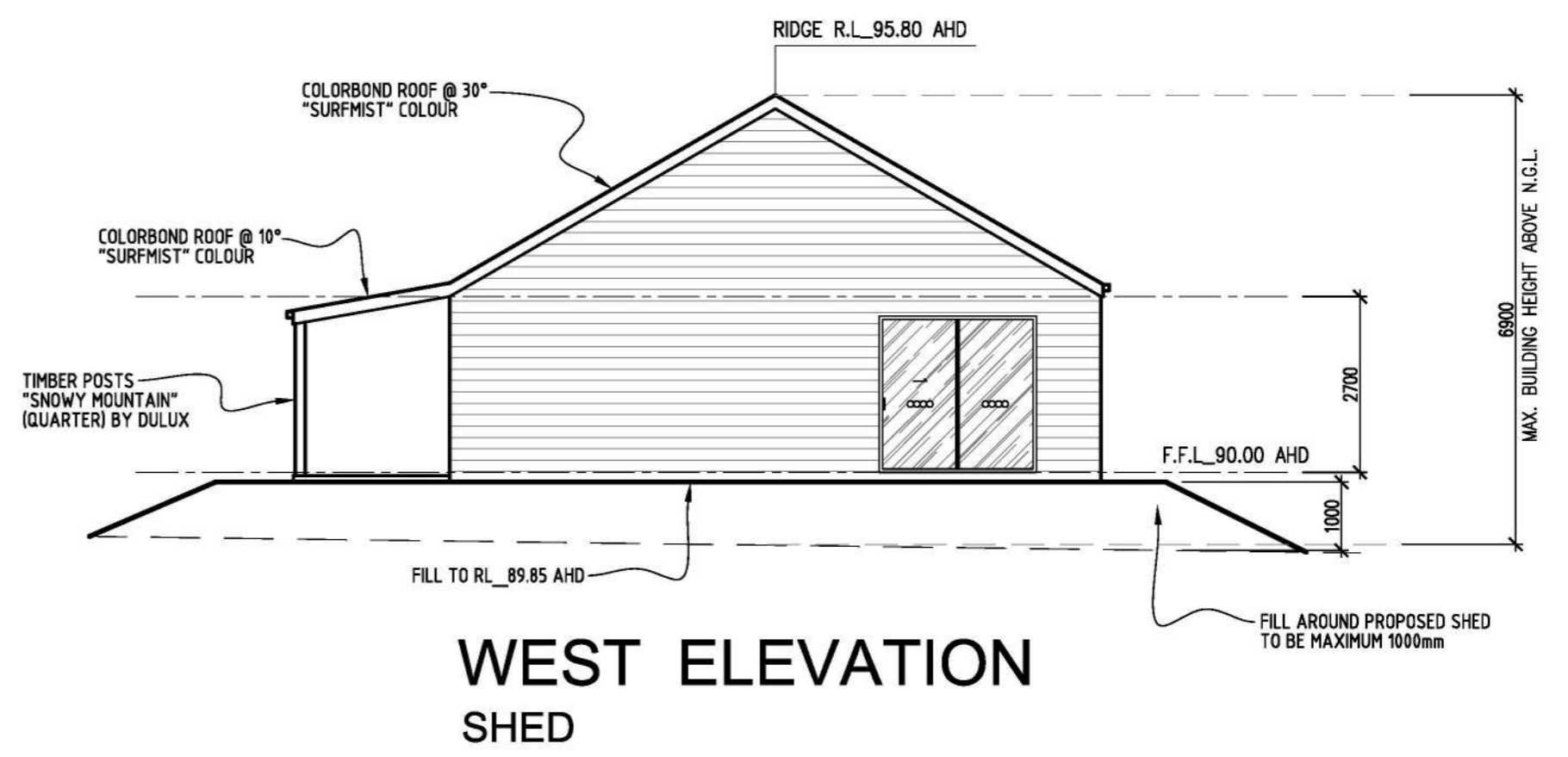
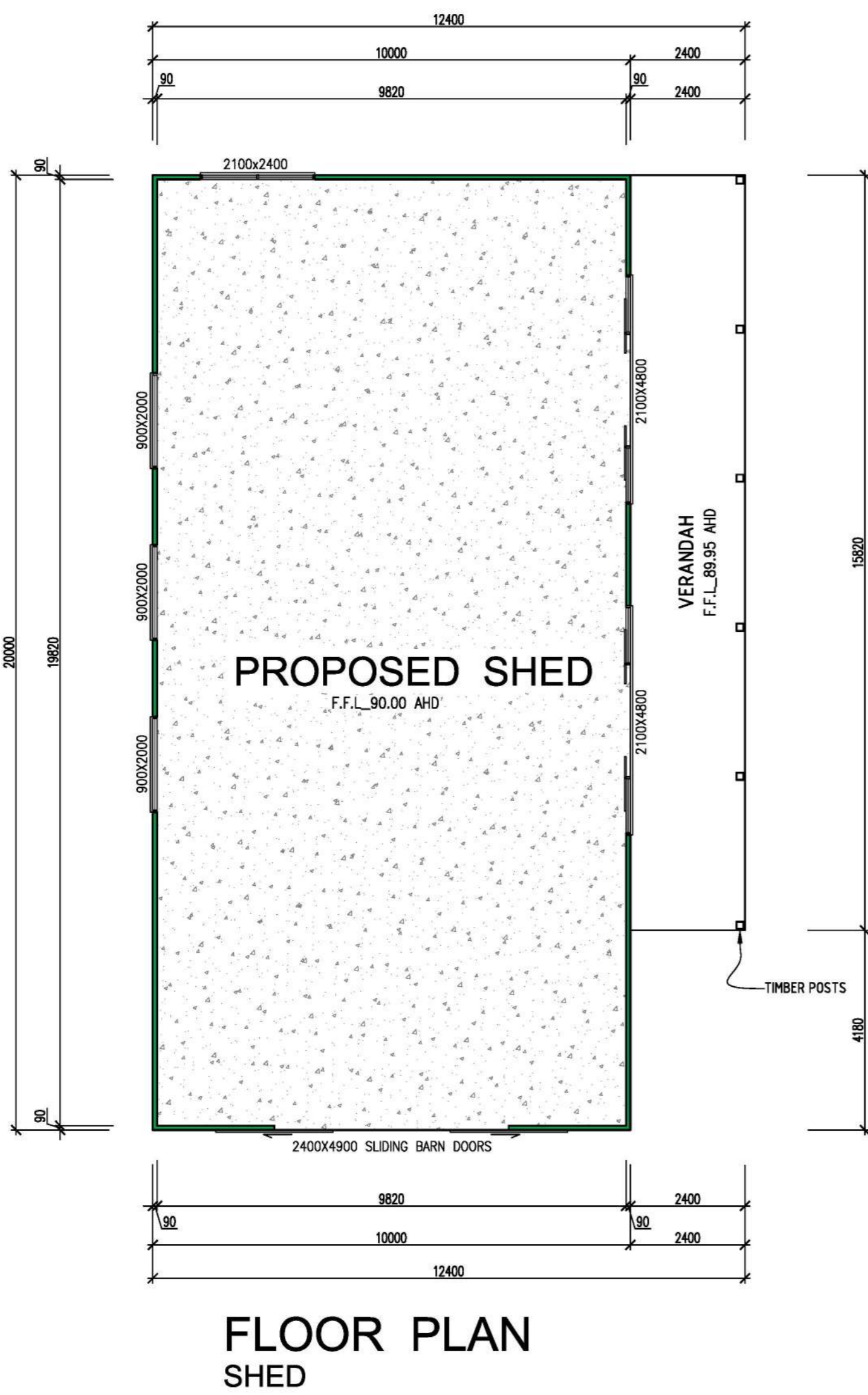
COLORBOND SHEET ROOFING,
TRIMMING, DOWNPIPES
"SURFMIST" COLORBOND COLOUR



WEATHERBOARD WALL CLADDING,
POSTS & FRATWORK
"SNOWY MOUNTAIN" (QUARTER) BY DULUX

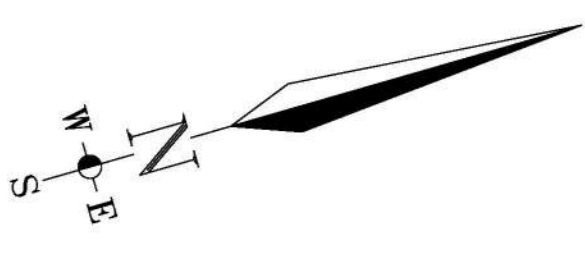


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EXTERNAL MATERIALS AND COLOURS

<p style="font-size: 8px;">COLORBOND SHEET ROOFING, TRIMMING, DOWNPIPES "SURFMIST" COLORBOND COLOUR</p>	<p style="font-size: 8px;">WEATHERBOARD WALL CLADDING, POSTS & FRATWORK "SNOWY MOUNTAIN" (QUARTER) BY DULUX</p>
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ARTISTS'S IMPRESSION 3D IMAGES

Amended: 04-02-2025

MASTERS DESIGN & DRAFTING
BUILDING DESIGN - DRAFTING - HOUSE ENERGY RATING

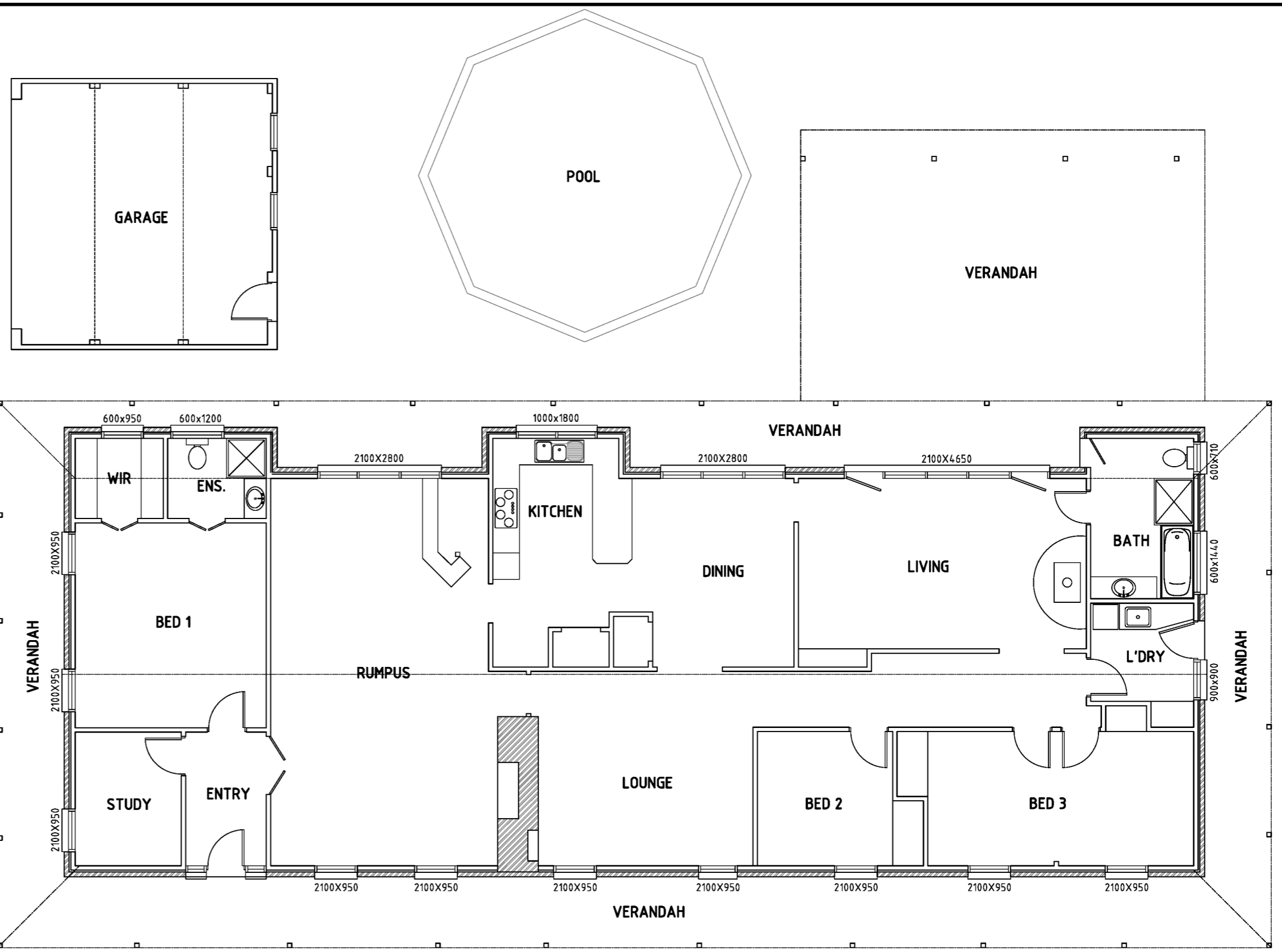
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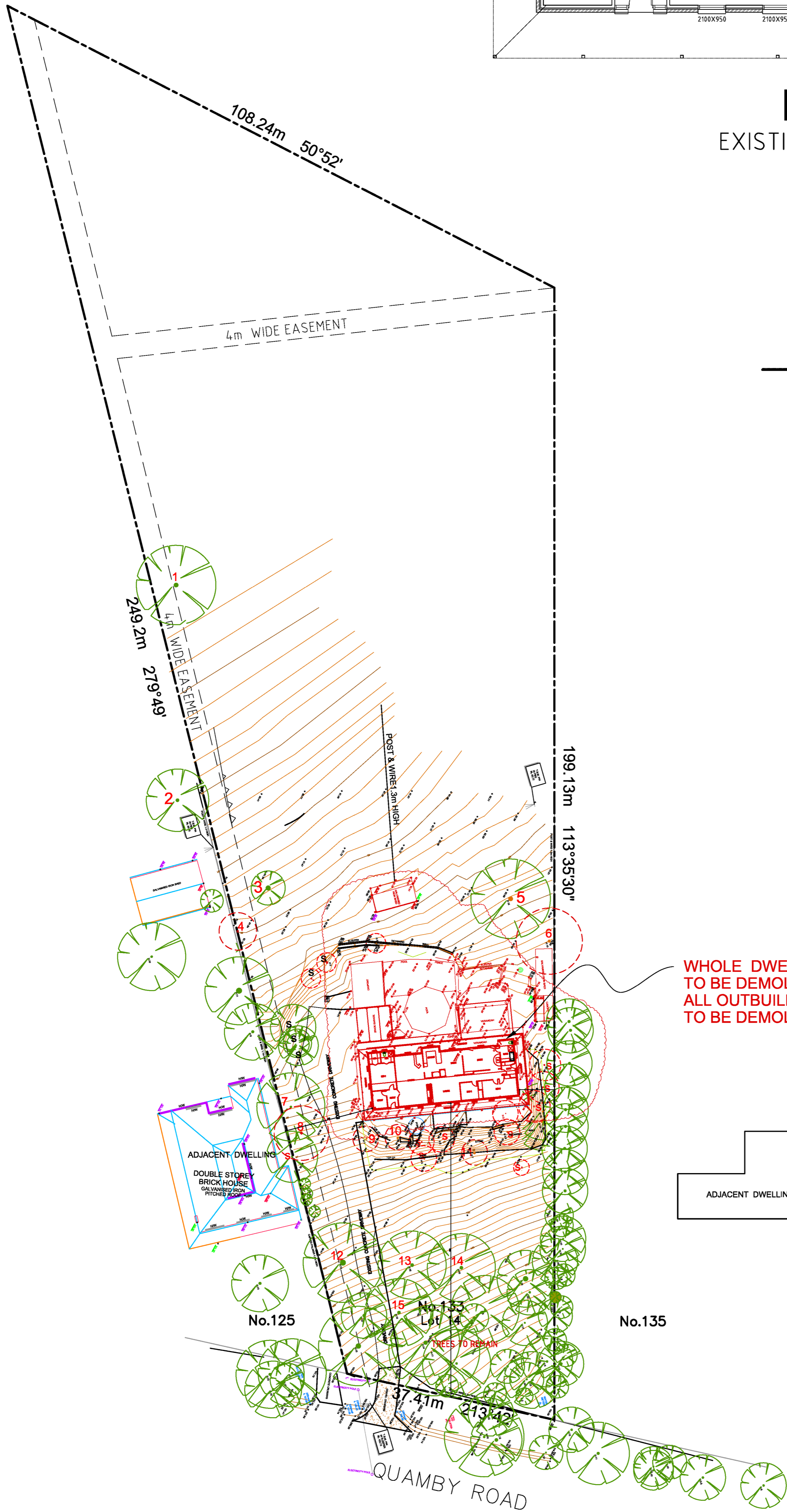
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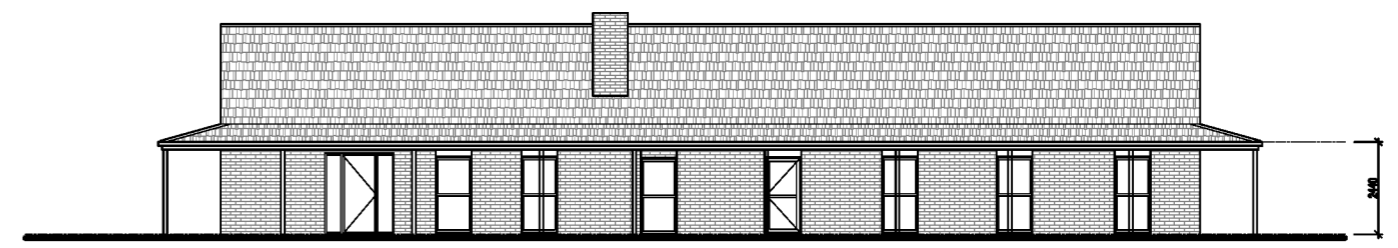
21/0504



FLOOR PLAN
EXISTING DWELLING TO BE DEMOLISHED



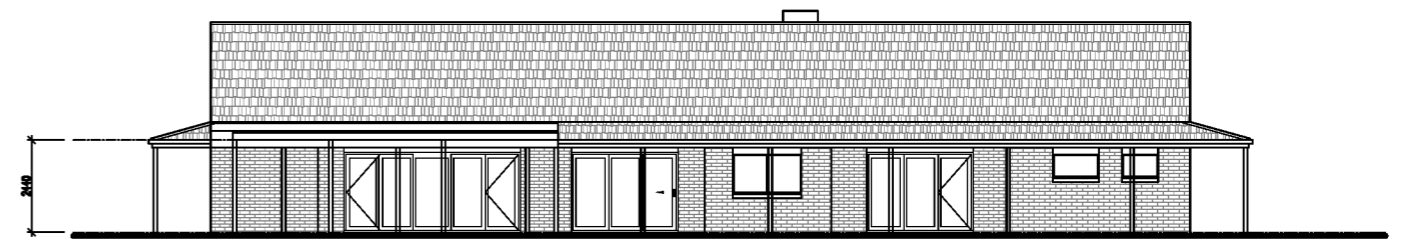
DEMOLITION PLAN



EAST (FRONT) ELEVATION
EXISTING DWELLING TO BE DEMOLISHED



SOUTH ELEVATION
EXISTING DWELLING & GARAGE TO BE DEMOLISHED

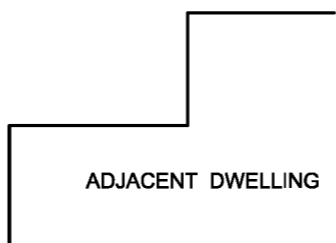


WEST ELEVATION
EXISTING DWELLING TO BE DEMOLISHED



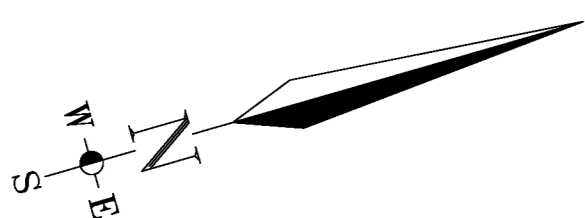
NORTH ELEVATION
EXISTING DWELLING TO BE DEMOLISHED

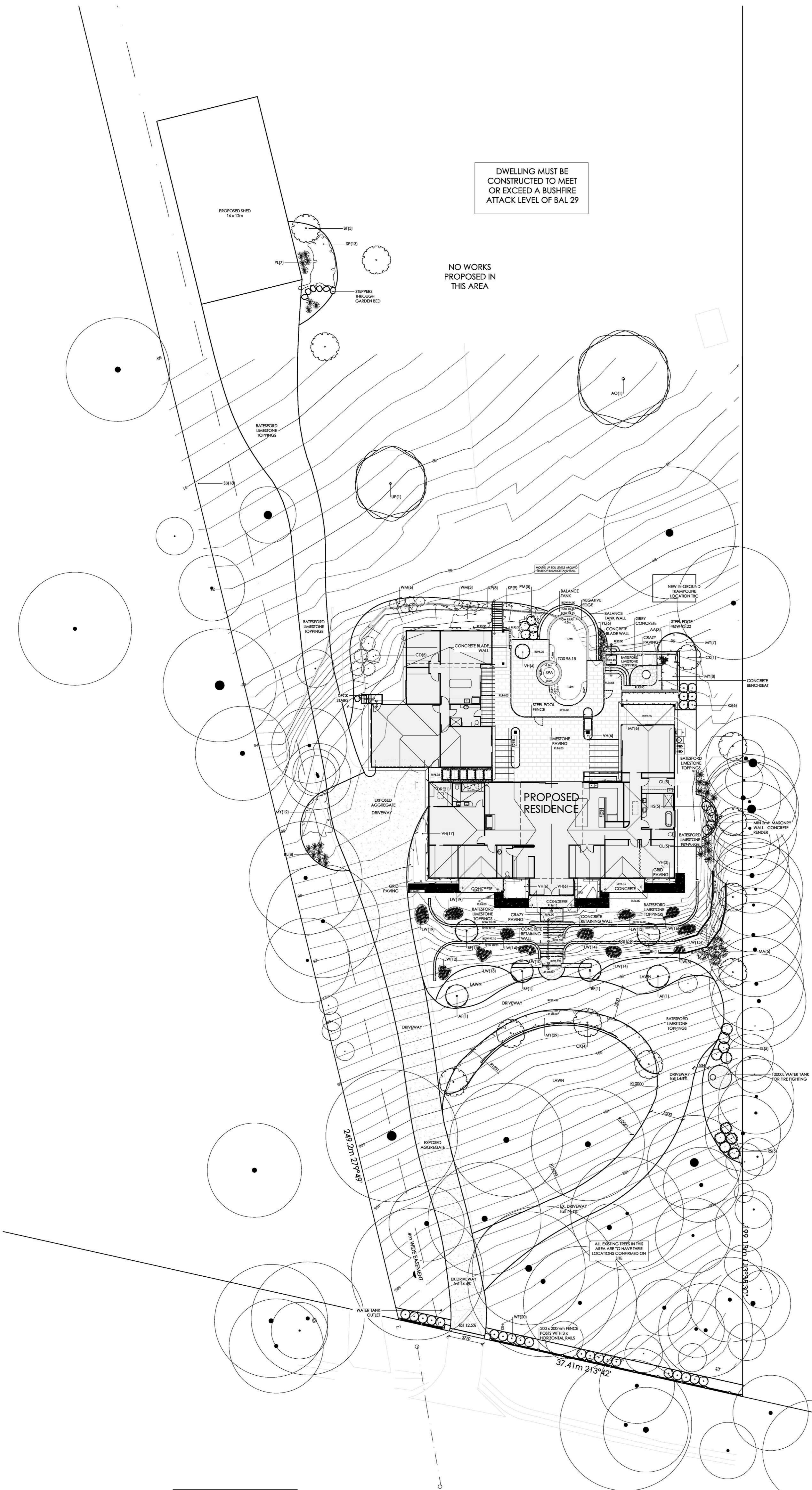
**WHOLE DWELLING TO BE DEMOLISHED
ALL OUTBUILDINGS AND POOL TO BE DEMOLISHED**



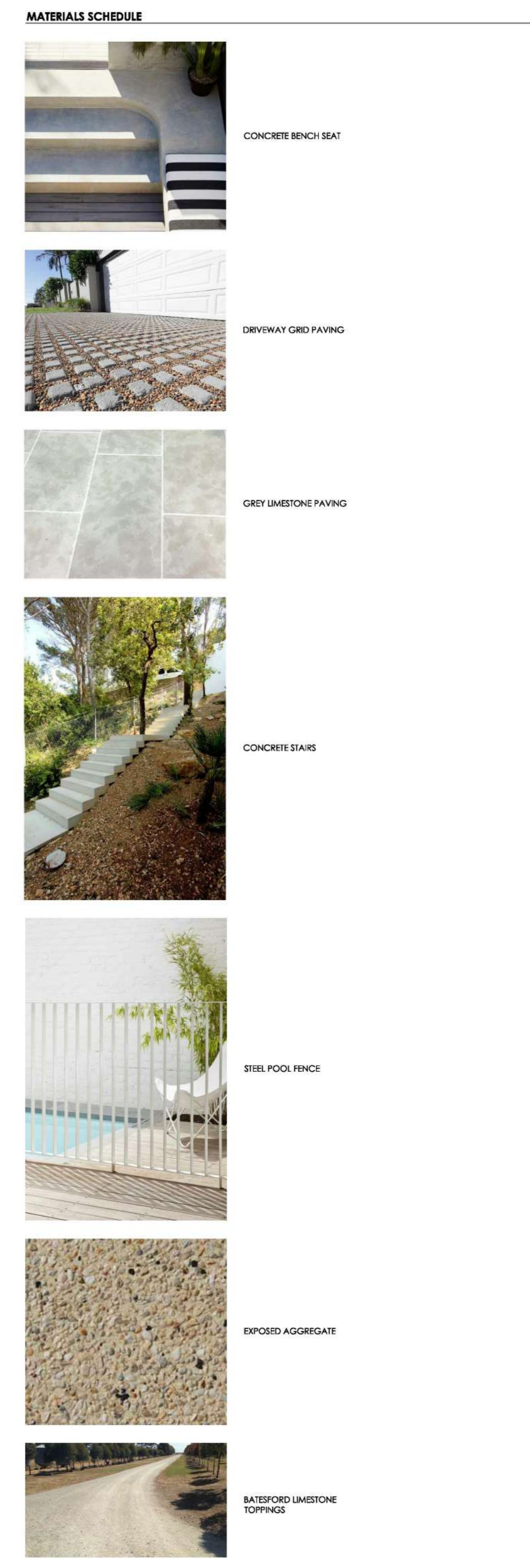
ADJACENT DWELLING

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- NOTES**
- Grass must be short cropped and maintained during the declared fire danger period
 - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period
 - Within 10m of a building, flammable objects must not be located close to the vulnerable parts of the building
 - Items greater than 100mm in height must not be placed within 3m of a window or glass feature of the building
 - Shrubs must not be located under canopy trees
 - Trees must not overhang or touch any elements of the building
 - There must be a clearance of at least 2m between the lowest tree branches and ground level
 - Minimum trafficable width of 3.5m
 - Curves in driveway must have minimum inner radius of 10m
 - A minimum of 10,000 litres of on-site static storage must be provided on the lot and be maintained solely for firefighting
 - Tank must be above ground constructed of concrete or metal
 - Water pipes and fittings must be above ground and made of corrosion resistant metal
 - Separate outlet for occupation use
 - Tank to have clear and appropriate identification signage to the satisfaction of the fire authority
 - Outlet of water tank must be located within 4m of the accessway and unobstructed



PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	POT	HxW	QTY
GROUND COVERS					
DR	Dichondra repens	Kidney Weed	140mm	0.1 x 1.0m	21
KP	Kenelea prostrata	Running Postman	140mm	0.02 x 1.0m	17
MY	Myoporum 'Yarema'	Yarema Creeping Boabialla	140mm	0.1 x 1.0m	59
SP	Scaevola 'Purple Fusion'	Purple Fusion Fan Flower	140mm	0.2 x 1.5m	13
VH	Viola hederacea	Native Violet	140mm	0.1 x 0.2m	42
WM	Westringia 'Mundi'	Groundcover Coastal Rosemary	140mm	0.45 x 1.5m	9
GRASSES AND STRAPPY LEAVES					
AA	Agave attenuata	Century Plant	200mm	0.2 x 0.4m	3
LW	Lomandra 'Wingara'	Wingara Lomandra	200mm	0.4 x 0.6m	164
MA	Miscanthus ostia	Feather Grass	200mm	1.5 x 1.0m	5
OL	Oenothera lindheimeri	White Gaura	200mm	0.4 x 0.4m	10
PL	Poa labillardieri	Tussock Grass	200mm	0.8 x 0.8m	21
SHRUBS					
CI	Cornus 'Dusky Bell'	Dusky Bell Cornus	200mm	0.8 x 2.0m	5
HS	Hydrangea paniculata 'Sundae Fraise'	Sundae Fraise Hydrangea	200mm	1.2 x 1.2m	5
PM	Pittosporum 'Miss Mufflet'	Miss Mufflet Pittosporum	200mm	1.0 x 1.0m	5
RS	Rhaphiophila 'Spring Peart'	Spring Peart Indian Hawthorn	200mm	1.0 x 1.0m	11
SB	Syzygium 'Backyard Bliss'	Lily Lilly	300mm	3.0 x 1.0m	18
SL	Salvia leucantha	Mexican Bush Sage	140mm	1.0 x 1.0m	5
WR	Westringia fruticosa	Coast Rosemary	200mm	1.5 x 1.5m	20
TREES					
AF	Acer rubrum 'Fairview Flame'	Maple	300mm	8.0 x 4.0m	2
AO	Acer rubrum 'October Glory'	October Glory Maple	300mm	10 x 7.0m	1
BF	Betula 'Fastigata'	Fastigiate Birch	300mm	10 x 4.0m	7
CK	Carpinus betulus 'Fastigiata'	Fastigiate Hornbeam	300mm	10.0 x 4.0m	5
UP	Ulmus parvifolia 'Toda'	Chinese Elm	300mm	10 x 8.0m	1

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Bushfire Management Plan - 133 Quamby Road, Guys Hill

Version 2- 26/08/2024

Vegetation Management for Defendable Space

Defendable space is required to be maintained around the dwelling for 50m or to the property boundaries whichever is the lesser distance to the north, 10m to the east and south and around the shed and 25m to the west.

Where vegetation and other flammable materials will be modified and managed in accordance with the following requirements;

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Access

The following design and construction requirements apply from the property boundary to the dwelling and to within 4m of the water supply outlet to allow Emergency Vehicle access.

- All Weather construction
- A load limit of at least 15 tonnes
- Provide a minimum trafficable width of 3.5m
- Be clear of encroachments for at least 0.5m on either side and at least 4m vertically.
- Curves in driveway must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle

Water Supply



A minimum of 10,000 litres of on-site static storage must be provided on the lot and be maintained solely for firefighting.

The water supply must:

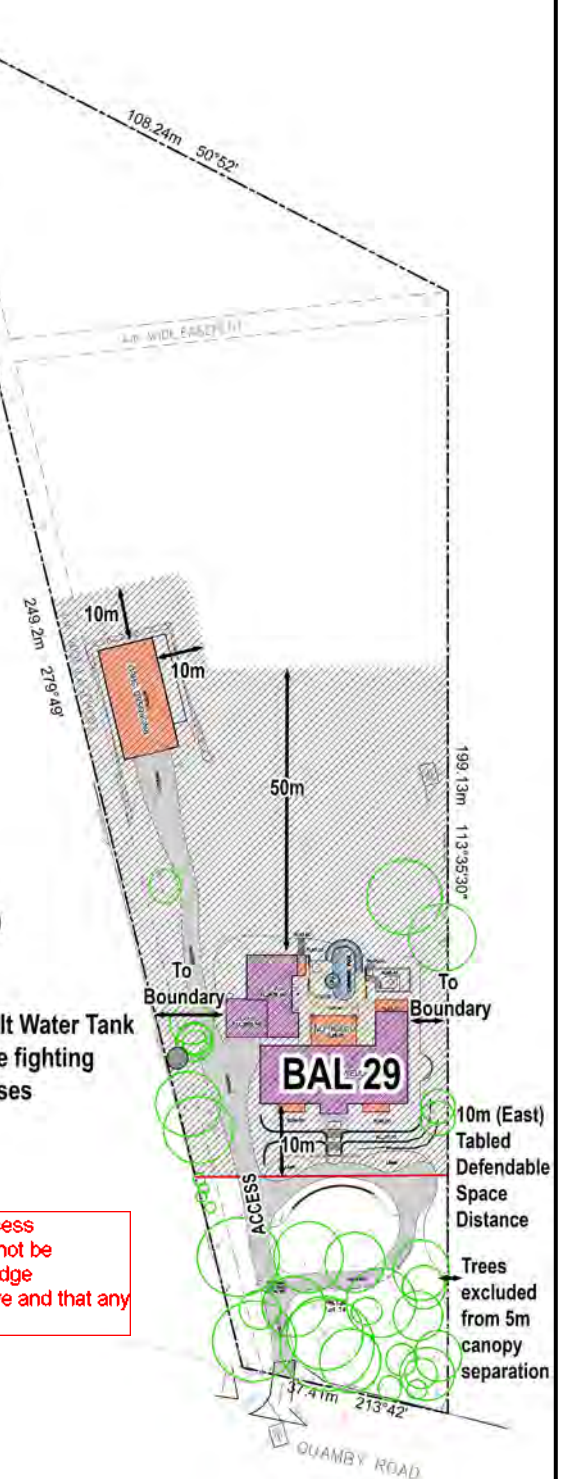
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

Construction Standards

Dwelling must be constructed to meet or exceed a Bushfire Attack Level of BAL 29

-  Defendable Space (without canopy separation)
-  Defendable Space

10,000lt Water Tank for Fire fighting Purposes



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Bushfire Management Statement

Construction of a replacement Dwelling
and construction of a shed in a Bushfire
Management Overlay

17/08/2024

Version 2- 26/08/2024



133 Quamby Road, Guys Hill

PREPARED FOR:	
Client name	
Contact	

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1 Introduction

This Bushfire Management Statement has been prepared to respond to the requirements of Clause 44.06 Bushfire Management Overlay, and associated Clause 53.02 Bushfire Protection: Planning Requirements. The statement contains three components:

- **A Bushfire Hazard Site Assessment** provides factual information on the bushfire hazard within 150m of the development, provides the defensible space and building construction requirements of Clause 53.02 and is informed by the site assessment methodology contained in Australian Standard AS3959.
- **A Bushfire Hazard and Landscape Assessment (not required for dwellings in existing settlements)** provides information on the bushfire hazard more than 150m away from the development and factual information on the bushfire hazard. It also provides information on key features of the general locality that are relevant to better understanding the protection provided by the location and contextual information on the site.
- **A Bushfire Management Statement** shows how proposal has responded to the bushfire hazard site assessment and bushfire hazard landscape, documents how approved measures in Clause 53.02 have been applied, justifies any alternative measures, responds to the relevant decision guidelines and demonstrates to council that a permit should be granted.

1.1 Project Description

The proposal is for the construction of a replacement dwelling and construction of a shed at 133 Quamby Road, Guys Hill. As the shed is further than 10m from a dwelling there are no BMO construction requirements. Ten meters of defensible space is required around the shed. The site has been assessed and the BMO requirements addressed in this report. The property is in a Green Wedge A Zone and a Pathway 2 report has been prepared that includes a Bushfire Hazard Site Assessment, a Bushfire Hazard Landscape Assessment and a Bushfire Management Statement. The site was inspected on 25th July, 2024.

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1.2 Relevant Objectives

The checklist below identifies those objectives that are applicable to this bushfire management statement.

Objectives and Approved/Alternative Measures	Applicable	Provide justification for any objectives which are considered not applicable.
53.02- 3 Dwellings in Existing Settlements	No	Proposal is for the additions and alterations to a dwelling in a Green Wedge A Zone
AM 1.1 Siting	No	
AM 1.2 Defendable Space and Construction	No	
AM 1.3 - Water Supply and Access	No	
53.02- 4 All Other Development	Yes	Proposal is for the additions and alterations to a dwelling in a Green Wedge A Zone
53.02 – 4.1 Landscape, Siting and Design	Yes	
AM2.1 Broader Landscape	Yes	
AM2.2 Siting	Yes	
AM2.3 Building Design	Yes	
53.02- 4.2 Defendable Space and Construction	Yes	
AM3.1 Defendable space for a Dwelling a Dependent Persons unit, Industry office or retail premises	Yes	Proposal is for the additions and alterations to a dwelling in a Green Wedge A Zone
AM3.2 - Defendable space for other buildings and works	No	Proposal is for the additions and alterations to a dwelling in a Green Wedge A Zone
AltM3.3 - Defendable Space on Adjoining Land	No	
AltM3.4 - Defendable Space Calculation using Method 2 of AS3959	No	
AltM3.5 –Dwellings Subject to Direct Flame Contact	No	
AltM3.6 – Integrated decision making for development occupied by more vulnerable development	No	Proposal is for the additions and alterations to a dwelling in a Green Wedge A Zone
53.02 – 4.3 Water and Access Objective	Yes	
AM4.1 - A building used for a Dwelling a Dependent Persons unit, Industry office or retail premises	Yes	
AM4.2 - A building used for accommodation (other than a dwelling or dependent persons unit), childcare center, education center, hospital, leisure and recreation or place of assembly.	No	Proposal is for the additions and alterations to a dwelling in a Green Wedge A Zone

2 Bushfire Hazard Site Assessment

Description of the bushfire hazard within 150m of the proposed development prepared in accordance with sections 2.2.3 to 2.2.5 of AS3959:2009 Construction of Buildings in Bushfire Prone Areas (Standards Australia) excluding paragraph (a) of Section 2.2.3.2.

2.1 The Site

2.1.1	Site shape, dimensions, size and planning controls
The shape of the site is:	Irregular (see Attachment 1)
The dimensions of the site are:	See Attachment 1
The site has a total area of:	~1.4ha
The zoning of the site is:	Green Wedge A Zone – Schedule 2 (GWAZ2)
The overlays that apply to the site are:	Bushfire Management Overlay (BMO) Environmental Significance Overlay – Schedule 1 (ESO1)

2.1.2	Existing use and development on the site
The current use of the site is:	Developed and occupied
The buildings or works located on the site are:	Dwelling, outbuildings, internal and boundary fencing, driveway.

2.1.4	Existing vegetation
The property has scattered native trees with some garden plants around the dwelling and along the fence lines.	

2.1.3	Existing access arrangements
The site is accessed via the existing access off Quamby Road.	

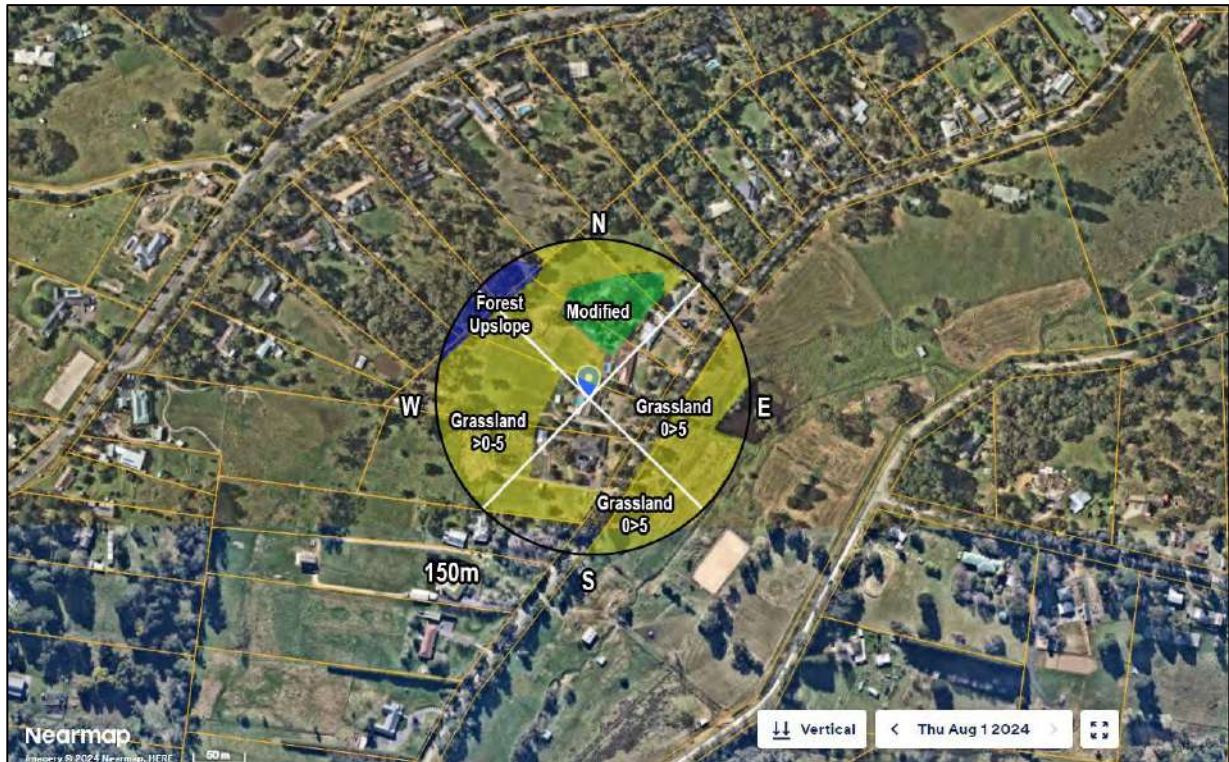


Figure 1. 150m Bushfire Site Assessment.

2.2 SITE ASSESSMENT

	North	South	East	West
Vegetation Type	Forest	Forest	Forest	Forest
	Woodland	Woodland	Woodland	Woodland
	Shrubland	Shrubland	Shrubland	Shrubland
	Scrub	Scrub	Scrub	Scrub
	Mallee/Mulga	Mallee/Mulga	Mallee/Mulga	Mallee/Mulga
	Rainforest	Rainforest	Rainforest	Rainforest
	Grassland	Grassland	Grassland	Grassland
	Low Threat	Low Threat	Low Threat	Low Threat
	Modified	Modified	Modified	Modified
	Excludable	Excludable	Excludable	Excludable

Slope Under Vegetation	North	South	East	West
Flat/Upslope	Yes	Yes	Yes	Yes - Forest
Downslope	>0-5°	>0-5°	>0-5°	>0-5°- Grassland
	>5-10°	>5-10°	>5-10°	>5-10°
	>10-15°	>10-15°	>10-15°	>10-15°
	>15-20°	>15-20°	>15-20°	>15-20°
	N/A	N/A	N/A	N/A

	North	South	East	West
Distance to Vegetation	Modified - N/A Forest – 114m	97m	56m	Forest- 118m Grassland - >22m

	North	South	East	West
Corresponding BAL	29	12.5	12.5	12.5

BAL for Site : BAL 29

	North	South	East	West
Tabled Defendable Space for BAL 29	Forest - 25m 50m or to property boundary whichever is the lesser	10m	10m	Forest – 25m Grassland – 10m
Proposed Defendable Space	50m or to property boundary whichever is the lesser	10m	10m	25m

Tabled defendable space is available within the property boundaries on all aspects.

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3 Bushfire Hazard Landscape Assessment

3.1 Broader Landscape

3.1.1 Vegetation in the Broader Locality

The site is cleared of vegetation with the exception of some scattered trees and shrubs. The larger properties in the area are hobby farm sized and generally have stock or horses grazing on them. Some of these properties within the immediate landscape have patches of somewhat discontinuous forest vegetation that are modified to varying degrees and some are grazed with very minimal understory.

Further northwest and southeast in the broader landscape there are more continuous larger patches of forest. The landscape is gently to moderately sloping.

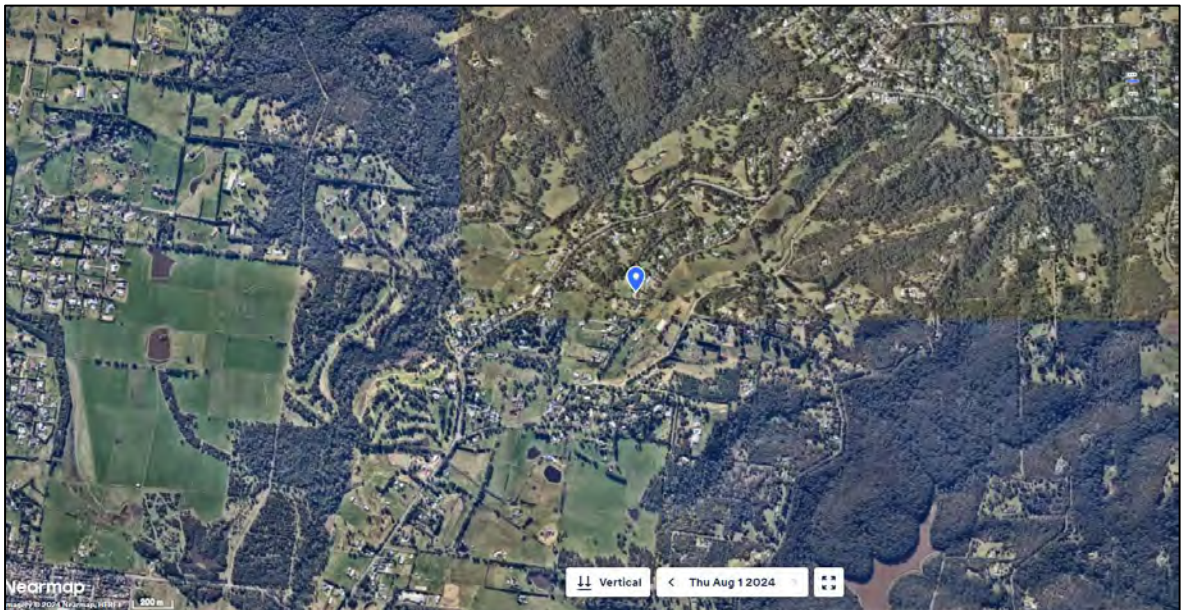


Figure 2. Broader Landscape

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3.1.2 Existing Road Networks

The property is on Quamby Road which is a gravel road in good trafficable condition. Quamby Road joins Beaconsfield - Emerald Road to the north which runs from Emerald in the north to Beaconsfield south of the site.

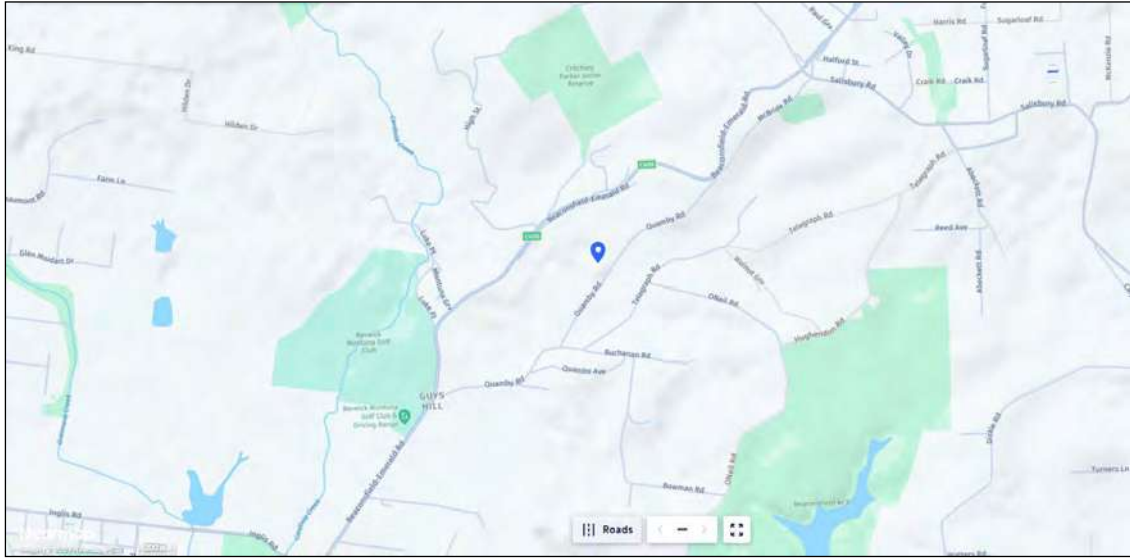


Figure 3. Road Network.

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3.1.1 Bushfire History of the Area

The most recent fires were the Ash Wednesday Fires in 1983 which burnt the entire area of Beaconsfield Upper and Guys Hill. There have been no other significant fires recorded in close proximity of the site since 1983. The extent of the 1983 fire can be seen shaded in pink below.

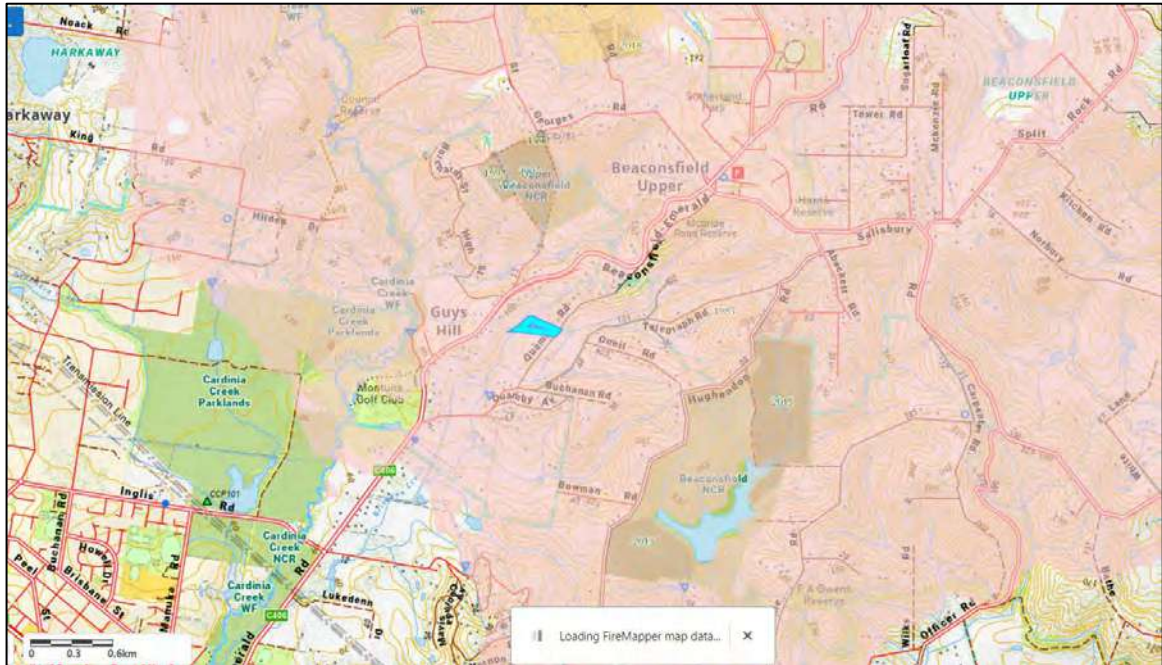


Figure 4. Wildfire History

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3.1.3 Relevant Regional Bushfire Planning Assessment

There are no fuel reduction burns planned adjoining the site in the latest Joint Fuel Management Plan (JFMP), nor have there been any recent burns conducted near the site. There is a burn planned in the Upper Beaconsfield Nature Reserve, 500m north of the site in the JFMP.

3.1.4 Proximity of site to Areas of managed fuel

There are large cleared areas south of the site and in and around the township of Upper Beaconsfield.

3.1.5 Proximity to Declared shelter options

There is no declared Neighbourhood Safer Place (NSP) in Guys Hill.

3.1.6 Likely Bushfire Scenarios

There are discontinuous runs through high risk and modified vegetation within the landscape. Vegetation along roadsides and in private properties could also carry a fire. The topography is undulating and there are steep slopes throughout the region. Occupants should be prepared for a fire approaching from the northwest or southeast and that a fire may approach from any direction. The site could experience, ember attack and thick smoke before, during and after a fire front. Occupants should be constantly monitoring any fire in the area.



Figure 5. Possible Fire Runs

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3.2 Landscape Type

The landscape would be best described as a Type 3 Landscape:

- The type and extent of the vegetation located more than 150m from the site may result in neighbourhood-scale destruction as it interacts with the bushfire hazard on and close to the site.
- Bushfire can approach from more than one aspect.
- The site is located in an area that is not managed in a minimum fuel condition
- Access to an appropriate place that provides shelter from bushfire is not certain.

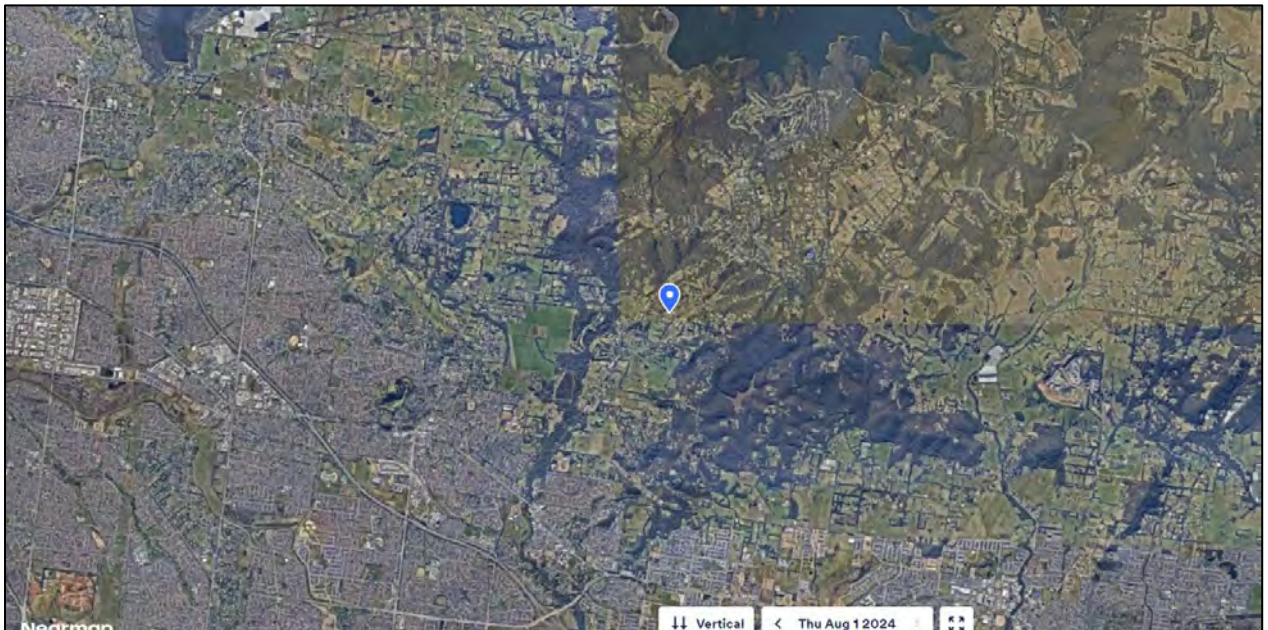


Figure 6. Landscape Type.

The area has the features of a Type 3 landscape. There are Type 2 landscapes to the south of the site. Residents in this area should have a bushfire safety plan and should be prepared for thick smoke and heavy ember attack. Leaving early before fire threatens is the only safe option. Travelling during a fire event is not always an option as roads are likely to be untrafficable. Occupants should have a plan to enable them to shelter in place should they be caught out.

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4 Bushfire Management Statement

4.1 All other Developments – Bushfire Protection Objective

Landscape Siting and Design Objectives 53.02- 4.1	
	RESPONSE / COMMENTS
<p>Approved Measure 2.1 – Broader Landscape The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.</p> <p>Approved Measure 2.2 – Siting A building is sited to ensure the site best achieves the following: The maximum separation distance between the building and the bushfire hazard. The building is in close proximity to a public road.</p> <p>Access can be provided to the building for emergency service vehicles.</p> <p>Approved Measure 2.3 – Building Design A building is designed to reduce the accumulation of debris and entry of embers.</p>	<p>The surrounding landscape presents a high risk to development in the area. BAL 29 construction has been proposed.</p> <p>The siting is fixed as this is an alteration and addition to the existing dwelling. The dwelling is sited near the front of the property enabling close access to the road.</p> <p>The dwelling will meet the standards for BAL 29 construction. The roof is colorbond and cladding is boards (BAL 29 compliant). Window frames will be aluminum.</p>

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Defendable Space and Construction Objective 53.02- 4.2

	RESPONSE / COMMENTS										
<p>Approved Measure 3.1 - Defendable Space for a dwelling, a dependent persons unit, industry, office or retail premises.</p> <p>A building used for a dwelling (including an extension or alteration to a dwelling), a dependent person’s unit, industry, office or retail premises is provided with defendable space in accordance with:</p> <ul style="list-style-type: none"> • Column A, B or C of Table 2 to Clause 53.02-5 wholly within the title boundaries of the land; or • If there are significant siting constraints, Column D of Table 2 to Clause 53.02-5. <p>The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5</p>	<p>The Dwelling requires defendable space to be managed to the distances set out in the table below. Defendable Space can also be seen in Attachment 4.</p> <table border="1" data-bbox="826 609 1401 815"> <thead> <tr> <th colspan="2">Defendable Space</th> </tr> </thead> <tbody> <tr> <td>North</td> <td>50m or to property boundary whichever is the lesser</td> </tr> <tr> <td>South</td> <td>10m</td> </tr> <tr> <td>East</td> <td>10m</td> </tr> <tr> <td>West</td> <td>25m</td> </tr> </tbody> </table> <p>The dwelling must meet or exceed BAL 29 standards. Defendable space can be contained within the property boundaries and easily accessed and managed by the occupants.</p> <p>Ten meters of defendable space is required around the shed.</p>	Defendable Space		North	50m or to property boundary whichever is the lesser	South	10m	East	10m	West	25m
Defendable Space											
North	50m or to property boundary whichever is the lesser										
South	10m										
East	10m										
West	25m										

Water Supply and Access Objective 53.02- 4.3

Approved Measure 4.1 -A building used for a dwelling (including an extension or alteration to a dwelling), a dependent person's unit, industry, office or retail premises is provided with:

A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5.

The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies (See Figure 8).

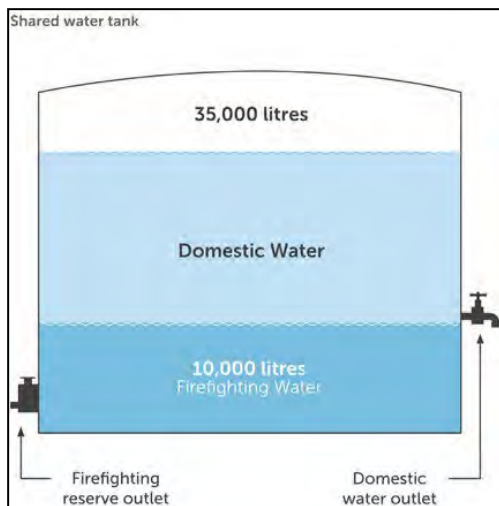


Figure 8. Water supply outlet example

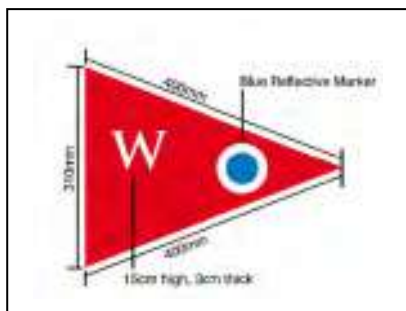


Figure 9. Signage

RESPONSE / COMMENTS

A dedicated static water supply for the dwelling will need to be provided and meet the following requirements:

- A minimum of 10,000 litres of on-site static storage must be provided on the lot and be maintained solely for firefighting.
- CFA access and couplings (Figure 7) are mandatory as the lot is greater than 1000m²

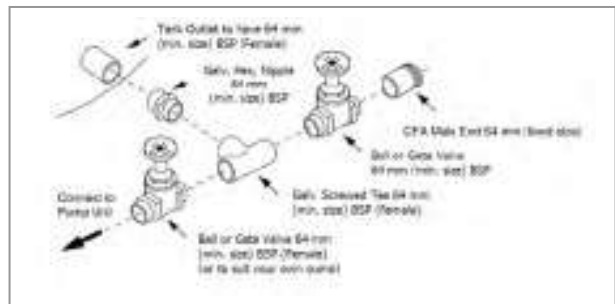


Figure 7 . CFA Compliant Fittings

The water supply must:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.

Fire authority fittings and access must be provided as follows:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority (Figure 9).
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02

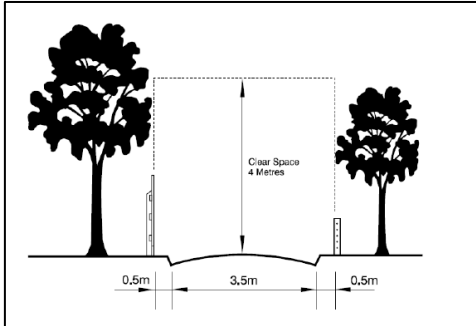


Figure 10: Overhead clearance and widths on road access

Access to site

The following design and construction requirements will apply from the road to the dwelling and to within 4m of the water supply outlet to allow Emergency Vehicle access.

The minimum design requirements are as follows:

- All Weather construction
- A load limit of at least 15 tonnes
- Provide a minimum trafficable width of 3.5m
- Be clear of encroachments for at least 0.5m on either side and at least 4m vertically.
- Curves in driveway must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle (see Figure 10).

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5 Summary

- The dwelling must meet or exceed BAL 29 construction standards.
- A 10,000lt non-combustible static water supply is required with access for emergency services to within 4m of the water supply outlet.
- Access for emergency vehicles to the dwelling and to within 4m of the water supply outlet is required to meet the specifications on page 16.
- Defendable Space must be maintained in accordance with the defendable space requirements around the dwelling. Ten meters are required around the shed.

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Attachment 1 – Site Plan and Elevations



Figure 1. Proposed Dwelling

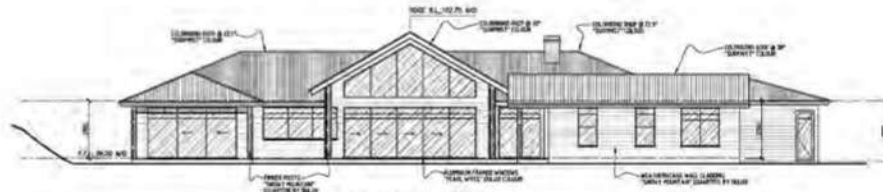
MASTERS DESIGN & DRAFTING



EAST (FRONT) ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

MASTERS DESIGN & DRAFTING
BUILDING DESIGN - DRAFTING - HOUSE ENERGY RATING

SUITE 4, 38 ROSS SMITH AVE.
FRANKSTON, VICTORIA 3199
E-MAIL: myke@mastersdesign.com.au

PH: 03 9181 9530
MOB: 0420 148 966

Figure 2. Elevations

Attachment 2 – Site Photos



Figure 1. Looking North



Figure 2. Looking East



Figure 3. Looking South



Figure 4. Looking West

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Attachment 3 – Bushfire Management Plan

Bushfire Management Plan - 133 Quamby Road, Guys Hill

Version 2 - 26/08/2024

Vegetation Management for Defendable Space

Defendable space is required to be maintained around the dwelling for 50m or to the property boundaries whichever is the lesser distance to the north, 10m to the east and south and around the shed and 25m to the west.

Where vegetation and other flammable materials will be modified and managed in accordance with the following requirements;

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Access

The following design and construction requirements apply from the property boundary to the dwelling and to within 4m of the water supply outlet to allow Emergency Vehicle access.

- All Weather construction
- A load limit of at least 15 tonnes
- Provide a minimum trafficable width of 3.5m
- Be clear of encroachments for at least 0.5m on either side and at least 4m vertically.
- Curves in driveway must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle

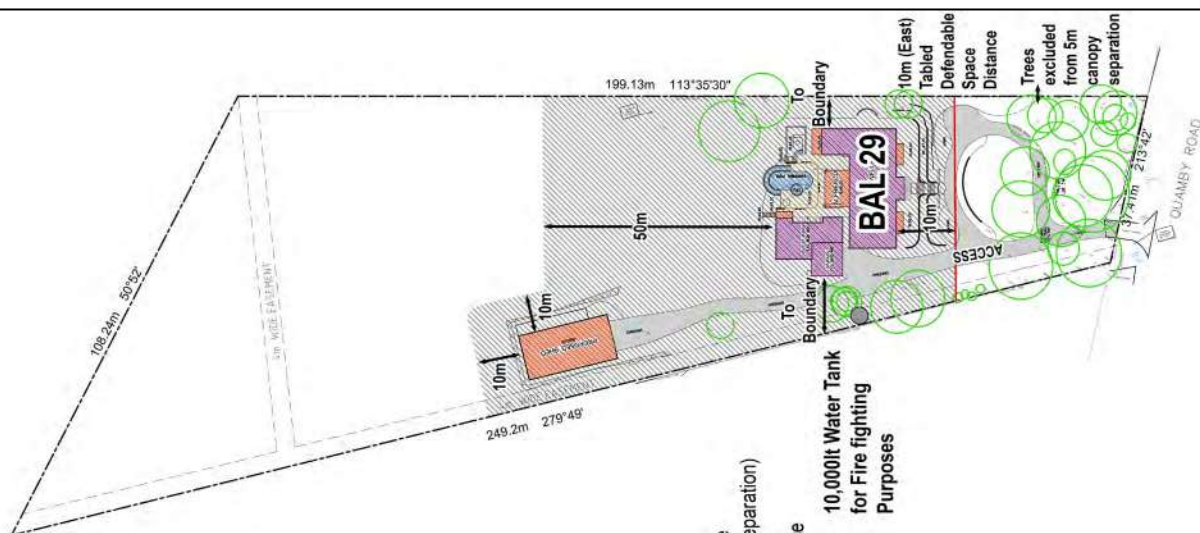
Water Supply

A minimum of 10,000 litres of on-site static storage must be provided on the lot and be maintained solely for firefighting. The water supply must:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

Construction Standards

Dwelling must be constructed to meet or exceed a Bushfire Attack Level of BAL 29



Defendable Space
(without canopy separation)

Defendable Space

10,000L Water Tank
for Fire fighting
Purposes

FIREFRONT CONSULTANCIES
 AGN: 2308554132
 www.firefrontreports.com.au

Prepared By:
 Fire Front Consultancies
 0409027450 firefrontconsultancies@gmail.com
 BPAD Registration BPAD29087

Attachment 4 - Vegetation modifications and management required for defensible space.

The vegetation within the Defensible space must be modified and managed to ensure that it mitigates a bushfire as it approaches the structure. The following management prescriptions should be applied to any planning permit issues containing defensible space.

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 meters of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimeters in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. meters in area and must be separated by at least 5 meters. Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 meters.
- There must be a clearance of at least 2 meters between the lowest tree branches and ground level

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Arboricultural Report

133 QUAMBY ROAD, GUYS HILL, 3807



October 2024



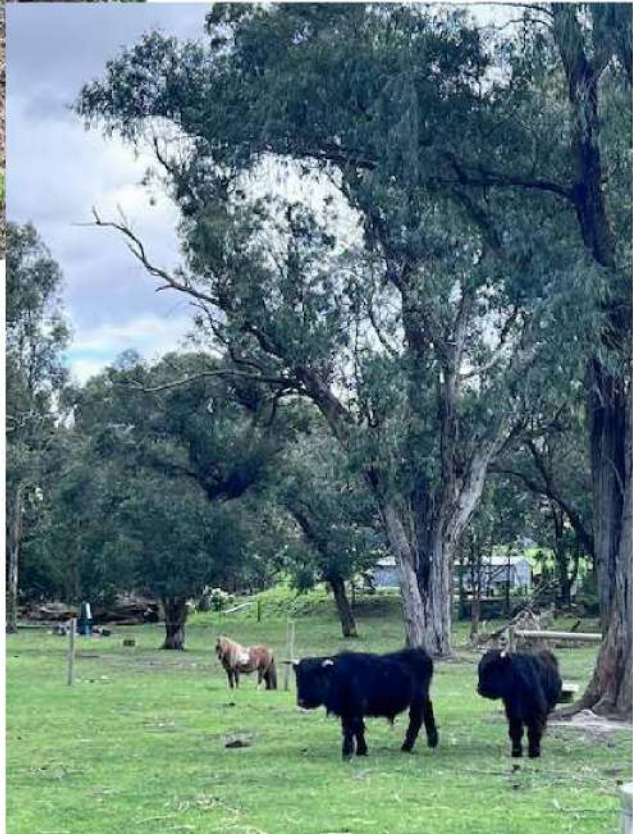
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Healesville Plants

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ABN 189 89 339 382



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Introduction

This arboricultural report has been prepared by [REDACTED] (*BaAppSc (hort)*) under instructions by the owner of 133 Quamby Rd, Guys Hill, located in the Cardinia Shire Council, where an on-site assessment of the trees is required to ascertain the impact of a proposed new dwelling (to replace an older one), new shed construction, driveway extension and defendable space.

There were 15 trees to be addressed, 14 on the subject property and one on the neighbouring property to the south. Trees were assessed and are numbered on the Site Plan and onsite. The size, health and any particular issues for each tree were noted. The general health of the trees assessed varied with some deadwood, and minor signs of stress, i.e. epicormic growth. Of the trees assessed, 7 are indigenous species, 2 are planted native species and 6 are exotic species (3 of which are considered environmental weeds in Cardinia Shire Council, therefore these were not fully assessed). Several trees were exempt from requiring a permit to remove under Cl. 52.12 Bushfire protection.

Site description 2.0

[REDACTED] undertook this tree assessment in September 2024. Inspection was made at ground level and observations, recommendations and conclusions reached in light of our experience.

Council Property Number: 1706500900
Lot and Plan Number: Lot 14 LP83659
SPI (Standard Parcel Identifier): 14\LP83659
Directory Reference: Melway 212 E3

The ~3.4-acre property is located on 133 Quamby Rd, Guys Hill, a quiet bitumen road, the owners have owned the property since 2021. It is ~90m ASL with a westerly aspect and currently consists of a single storey dwelling with shed, pool, garden & lawn areas with fenced paddocks at the rear with treed areas at the front & rear, a tributary to Brisbane Creek is noted at the back of the block. This property is located in a well - established residential area, with rural residential and small farm properties further afield in Guys Hill and Beaconsfield. There is a mix of smaller and larger properties in the immediate surrounds, with fragmented treed areas.



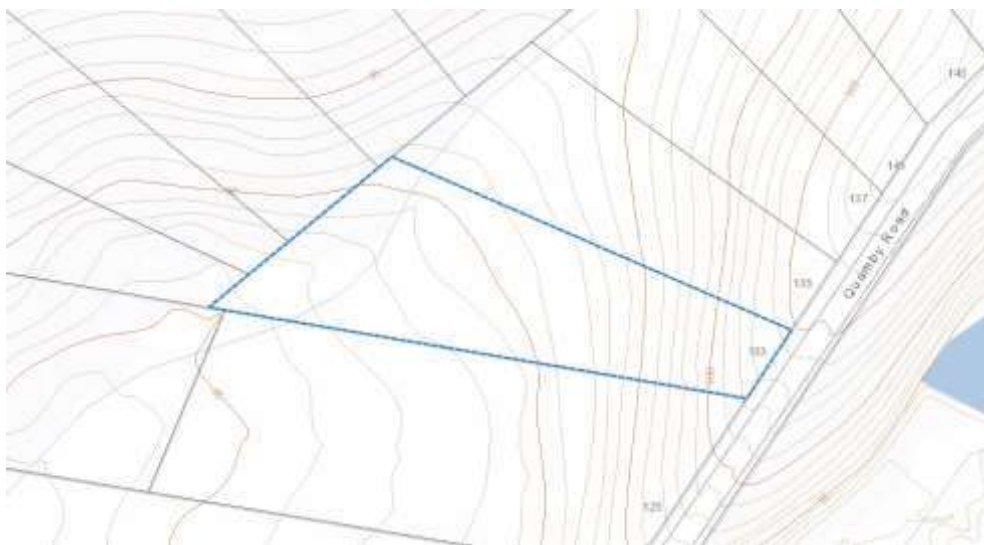
Map 1. Aerial image (Source CSC Pozi mapping, 2024)



Map 1a). Close up aerial image of property (Source CSC Pozi mapping, 2024)

The site is zoned Green Wedge Zone – Schedule 2 (GWZ2) with the planning overlays; Bushfire Management Overlay (BMO) and an Environmental Significance Overlay – Schedule 1 (ESO1), there is and ‘Area of Cultural Heritage Sensitivity’ in the front section of the property associated with Brisbane Creek.

The original indigenous vegetation expected is Highlands Southern Fall EVC 128 Grassy Forest where *E. radiata*, *E. obliqua* & *E. goniocalyx* are the expected canopy species and EVC 937 Swampy Woodland at the front of the block with *E. radiata*, *E.camphora* ssp. *humeana*, *E. ovata* and *E. cephalocarpa* are expected. The Cardinia vegetation zoning is Zone 2, Damp Forest where *Allocasuarina littoralis*, *Eucalyptus baxteri*, *E. cypellocarpa*, *E. fulgens*, *E. obliqua*, *E. ovata*, *E. radiata* and *E. viminalis* ssp. *viminalis* are expected. There are canopy species present with some understorey species on the property, and the species identified onsite are most consistent with the mapped EVC 128.



Map 2. Contour map (Source VicPlan 2024)



Map 3. Location map (Source CSC Pozi mapping, 2024)

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Map 4. Site map including tree locations and TPZ, proposed Tree Management (remove/retain)

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Bushfire Management Plan - 133 Quamby Road, Guys Hill

Version 2- 26/08/2024

Vegetation Management for Defendable Space

Defendable space is required to be maintained around the dwelling for 50m or to the property boundaries whichever is the lesser distance to the north, 10m to the east and south and around the shed and 25m to the west.

Where vegetation and other flammable materials will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Access

The following design and construction requirements apply from the property boundary to the dwelling and to within 4m of the water supply outlet to allow Emergency Vehicle access.

- All Weather construction
- A load limit of at least 15 tonnes
- Provide a minimum trafficable width of 3.5m
- Be clear of encroachments for at least 0.5m on either side and at least 4m vertically.
- Curves in driveway must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle

Water Supply

A minimum of 10,000 litres of on-site static storage must be provided on the lot and be maintained solely for firefighting.

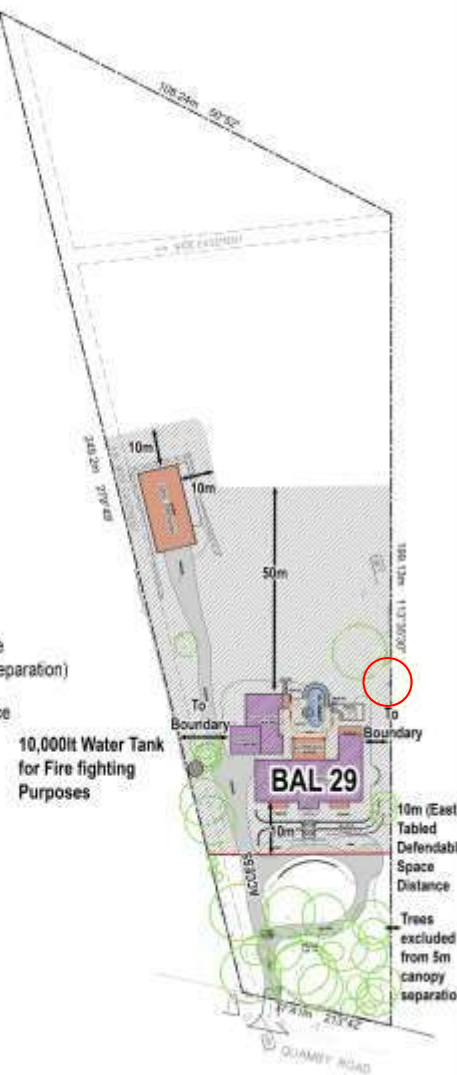
The water supply must:

- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 80 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP) 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

Construction Standards

Dwelling must be constructed to meet or exceed a Bushfire Attack Level of BAL 29

- Defendable Space (without canopy separation)
- Defendable Space



Prepared By:
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Map 5. BMP

Table 1. Tree List 133 Quamby Rd, Guys Hill

No.	Species	DBH cm	TPZ m	SRZ m	Hgt- m	Wth- m	L.S.	Sig.	ULE yrs	Struct	Roots	Cpy	Ret Value	R/ Ret	Notes
1	<i>Eucalyptus fulgens</i> (Green Scentbark)	129	15.0	3.7	18	N-S 20 E-W 14	Mat	High	10+ (with work)	3	3	3	High	Ret	Growing in paddock, fence within SRZ, NDS shed & drainage line within TPZ, exposed & damaged SR, repeated bifurcation with included bark, crossing scaffold limbs, overextended N & S, upper branches bent W, lost limbs, hanger in canopy, mature & young epicormics, large & fine deadwood, large W limb broken off, dry rot & decomposers present, peripheral dieback, lifting bark, active hollows in upper limbs. Targeted dead-wooding prune as begins to retrench.
2	<i>Eucalyptus globulus</i> (Blue Gum)	75	9.0	3.2	22	N-S 15 E-W 15	Mat	High	15+	4	3	4	High	Ret	NDS. Growing on a mound – altered NGL, fence within SRZ, retaining wall & building material within TPZ, repeated bifurcation up high, large & fine deadwood, mature & young epicormics.
3	<i>Eucalyptus obliqua</i> (Messmate)	48+ 49+ 50= 85	10.2	3.4	20	N-S 9 E-W 8	Mat	High	10+	3	3	3	High	Ret	Multi-trunks are lignotubers from an old stump, exposed & damaged SR, ground on a mound – altered NGL, fence within SRZ, existing driveway within TPZ, repeated bifurcation, N co-dependant dead

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No.	Species	DBH cm	TPZ m	SRZ m	Hgt- m	Wth- m	L.S.	Sig.	ULE yrs	Struct	Roots	Cpy	Ret Value	R/ Ret	Notes
															long ago, large & fine deadwood, mature & young epicormics, crossing limbs, insect damage, unusual form.
4	<i>Fraxinus angustifolia</i> (Desert Ash)													R	Listed as an environmental weed in CSC, can be removed without a permit.
5	<i>Eucalyptus obliqua</i>	100	12.0	3.5	22	N-S 18 E-W 16	Mat	High	12+	3	3	4	High	Ret	Growing in lawn area, exposed & damaged SR – good response growth, fence within SRZ, in-ground trampoline & chicken house within TPZ, main trunk on slight lean S, repeated bifurcation, large & fine deadwood, mature & young epicormics, ~90° angle branching – unusual branching structure, upper canopy branch rubbing, lower S limb overextended SW, superficial ~90% ringbarking – wire was around trunk ~1m up.
6	<i>Alnus jorullensis</i> (Evergreen Alder)	61	7.3	2.8	17	N-S 12 E-W 12	Mat	Low	7+	3	2	3	Low	R	Fence & woodshed within SRZ, slight lean W – self-corrected, exposed & damaged SR, adventitious growth on trunk, mature & young epicormics, large & fine deadwood, broken limbs – dry rot, canopy thinning, had some pruning – moderate response growth.

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No.	Species	DBH cm	TPZ m	SRZ m	Hgt- m	Wth- m	L.S.	Sig.	ULE yrs	Struct	Roots	Cpy	Ret Value	R/ Ret	Notes
7	<i>Cedrus atlantica</i> (Atlas Cedar)	51	6.1	2.5	24	N-S 10 E-W 10	Mat	Mod	15+	3	3	4	Mod	Ret	Growing on a mound – altered NGL, fence within SRZ, existing concrete driveway & NDS house within TPZ, 1-sided S&W – allelopathic effect #8, high asymmetrical bifurcation – repeated, large & fine deadwood.
8	<i>Grevillea robusta</i> (Silky Oak)	41												R	Within 10m of ND house – can be removed without a permit under Clause 52.12-1
9	<i>Fraxinus angustifolia</i> (Desert Ash)													R	Listed as an environmental weed in CSC, can be removed without a permit.
10	<i>Malus domestica</i> (Apple)													R	Within 10m of house – can be removed without a permit under Clause 52.12-1
11	<i>Prunus cerasifera</i> (Cherry Plum)													R	Listed as an environmental weed in CSC, can be removed without a permit.
12	<i>Eucalyptus radiata</i> (Narrow-leaf Peppermint)	76	9.1	3.1	22	N-S 14 E-W 11	Mat	High	12+	3	3	3	High	Ret	Exposed, buttressed & damaged SR, repeated bifurcation, included bark bull-nosed bulge at initial union on both sides, large & fine deadwood, peripheral dieback, mature & young epicormics, had mistletoe – now dead, limb loss in upper canopy – good response growth, hanger in canopy, insect damage, hollows in canopy.
13	<i>Eucalyptus radiata</i>	65	7.8	3.0	20	N-S 9 E-W 9	Mat	High	10+	2	3	3	Mod	Ret	Growing in lawn, exposed & damaged SR, on ~45° lean E,

No.	Species	DBH cm	TPZ m	SRZ m	Hgt- m	Wth- m	L.S.	Sig.	ULE yrs	Struct	Roots	Cpy	Ret Value	R/ Ret	Notes
															hollowing at base E side, good buttressing W side, existing concrete driveway within TPZ, lost large limbs, wide asymmetrical bifurcation up high, top S co-dependant bent W, N co-dependant overextended E, large & fine deadwood, low LCR, peripheral dieback.
14	<i>Eucalyptus fulgens</i>	59	7.1	2.8	14	N-S 9 E-W 12	Mat	High	7+	3	3	2	Mod	Ret	Growing in lawn, exposed & damaged SR, existing gravel driveway within SRZ, repeated asymmetrical bifurcation, large & fine deadwood, mature & young epicormics, low LCR, thin canopy, canopy bent W, peripheral dieback, shed some mistletoe, twisted form, peripheral dieback.
15	<i>Eucalyptus obliqua</i>	74	8.9	3.1	25	N-S 9 E-W 9	Mat	High	7+	2	2	4	Mod	Ret	Existing concrete & gravel driveways within SRZ, exposed & damaged SR, amin trunk ~60° S, high wide bifurcation – repeated, large & fine deadwood, low LCR, limb rubbing in upper canopy, limb loss – moderate response growth, narrow crown.

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Legend:

DBH = Diameter at Breast Height, in centimetres, BH=Breast Height L.O.T.= Large Old Tree, 70cm in EVC 128, 60cm in EVC 937 TPZ = Tree Protection Zone SRZ = Structural Root Zone SR = Structural Roots Hgt = Height, measured in metres Wth = Width, measured in metres L.S. = Life stage: Young, Mat = Mature, Sen = Senescing Sig. = Significance, assessed as high, moderate or low ULE = Useful Life Expectancy, estimated in years Struct. = Structure, scored out of 5	Roots = root environment health, scored out of 5 Cpy = Canopy health, scored out of 5 Ret Value = Retention Value R/Ret = tree proposed to be R=Removed/Ret=Retained NGL = Natural Ground Level NS = Naturestrip ND = Next Door property TOB = Top of Bank DS = Defendable Space CS = Canopy Separation LCR = Live Crown Ratio
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

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Pictorial Assessment



Tree 1 root zone



Tree 1 canopy



Tree 1 scarring east side



Tree 1 broken west limb

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Tree 2 root zone



Tree 2 canopy



Tree 3 root zone



Tree 3 canopy

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Tree 3 & 4 root zone



Tree 4 canopy



Tree 5 root zone



Tree 5 canopy

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Tree 6 root zone



Tree 6 canopy



Tree 7 root zone



Tree 7 canopy

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Tree 8 root zone



Tree 8 canopy



Tree 9



Tree 10

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Tree 11



NDN trees to be removed as discussed with neighbour



Tree 12 root zone



Tree 12 canopy

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Tree 13 root zone



Tree 13 canopy



Tree 14 root zone



Tree 14 canopy

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Tree 15 root zone



Tree 15 canopy



Shrubs to be maintained within the defensible space to 5x5m clumps

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Shrubs to be maintained within the defensible space to 5x5m clumps



Shrubs to be maintained within the defensible space to 5x5m clumps

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Shrubs to be maintained within the defensible space to 5x5m clumps



Rear of current dwelling



Rear paddock areas.



Front of current dwelling, existing concrete & gravel driveways



Existing accessways to rear yard, facing E. Existing concrete driveway from road.

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Existing accessway to proposed shed site. Proposed shed site

Recommendations & Conclusions

4.0

It is concluded that the proposed new dwelling construction (to replace an existing dilapidated one with significant damp issues) will have minimal impact on the existing trees assessed for retention. Additionally, a new shed is proposed for construction and both the new dwelling and shed will have designated defendable space around them (Map 5. BMP).

There will be some tree loss due to the designated defendable space (DS), most of which is exempt under Cl.52.12 Bushfire Protection and no indigenous vegetation will be lost (or require removal, having been preferred for retention), therefore no offset is required.

Trees proposed for removal Exempt from permit requirement

Tree #4 is a Desert Ash (*Fraxinus angustifolia*), a species which is listed as an environmental weed in CSC, and therefore can be removed without a permit.

Tree #6 is an Evergreen Alder (*Alnus jorullensis*) that is in very poor health, and it is located within 1m of the northern boundary fence and can therefore be removed without a permit under Clause 52.12-2 *Bushfire Protection: Exemptions*. It is more desirable to retain #5 an indigenous Messmate that is a L.O.T as a stand alone tree within the defendable space area.

Tree #8 a Silky Oak (*Grevillea robusta*) that is in poor health that cannot be retained with #7, a specimen in better health. It is within 10m of the neighbouring house to the south and can therefore be removed without a permit under Clause 52.12-1.

Tree #9 is a Desert Ash (*Fraxinus angustifolia*), a species which is listed as an environmental weed in CSC, and therefore can be removed without a permit.

Tree #10 an Apple Tree (*Malus domestica*), that is past its best useful life and will be affected by excavation works from the new build. It is within 10m of the current dwelling that was built prior to September 2009, therefore can be removed without a permit under Clause 52.12-1.

Tree #11 a Cherry Plum (*Prunus cerasifera*) is listed as an environmental weed in CSC, and therefore can be removed without a permit.

Trees proposed for removal

Permit required

None

Trees proposed for retention

Onsite within proposed development zone and defensible space

Tree #1 is a Green Scentbark (*Eucalyptus fulgens*) considered a L.O.T. that is located to the north-west of the proposed shed and will fall within the standard 10m defensible space. This tree is currently a stand-alone specimen, it has several health issues such as broken limbs, rot & decomposers present and dieback, however it is very valuable habitat with some active hollows. To increase its life and viability into the future some targeted pruning to remove deadwood as it begins to retrench would be of benefit. There will be less than 10% encroachment into TPZ from the proposed shed development, this is deemed acceptable under AS4970 (2009). This tree will be a stand-alone tree within the shed defensible space.

Tree #3 is a Messmate (*Eucalyptus obliqua*), located to the east of the proposed shed, and has some existing encroachment into the SRZ/TPZ from the current gravel driveway. This accessway will be extended to lead to the proposed shed, however, there will be less than 10% encroachment into TPZ from the proposed driveway development, this is deemed acceptable under AS4970 (2009). It is an unusual form as it is several lignotubers that have developed after a main trunk died long ago. It would benefit from a prune to remove deadwood and works to construct the driveway should be made at or above natural grade and remain as a permeable surface. This tree will be a stand-alone tree within the house defensible space.

Tree #5 is a Messmate (*Eucalyptus obliqua*), considered a L.O.T. that appears to have no existing or proposed encroachment into its TPZ, however some new (replacement) development is quite close to the edge of its TPZ, therefore it is recommended that this tree have TPZ protection fencing installed around it to prevent any incursion via materials or ancillary works which may extend within the TPZ area. This tree has had wire around the trunk, it is worth monitoring that is not causing long term damage. A structural prune would improve its viability into the future. This tree can be retained as a stand-alone tree within the house defensible space.

Tree #7 is an Atlas Cedar (*Cedrus atlantica*), located along the south-west property boundary which provides some softening and screening from the neighbouring buildings. This tree has a <10% TPZ encroachment from the current driveway and the next-door house, no new impact is anticipated, and this tree can be retained as a stand-alone tree within the defensible space of the house.

Tree #12 is a Narrow-leaf Peppermint (*Eucalyptus radiata*) located alongside the driveway in the front yard of the subject property. This tree will have no new incursion from works and can be retained within the defensible space.

Tree #13 is a Narrow-leaf Peppermint (*Eucalyptus radiata*) located alongside the driveway in the front yard of the subject property. This tree will have no new incursion from works and can be retained within the defensible space.

Tree #14 is a Green Scentbark located alongside the driveway in the front yard of the subject property. This tree will have no new incursion from works and can be retained within the defensible space.

Tree #15 is a Messmate located alongside the driveway in the front yard of the subject property. This tree will have no new incursion from works and can be retained within the defensible space.

Trees proposed for retention On neighbouring properties

Tree #2 is a Blue Gum (*Eucalyptus globulus*) located on the neighbouring property to the south-west and required assessment for potential impact from the proposed shed development. There is a very small encroachment from the excavations for the shed that may impinge in the TPZ, however, it will be less than 10% encroachment into TPZ from the proposed shed development, this is deemed acceptable under AS4970 (2009).

Cluster of trees on neighbouring property to the north:

This row of conifers would potentially have some impact from the proposed development and being located on the north side have contributed to the damp environment of the existing dwelling, however through discussions with the neighbour these will be removed, see Appendices – email correspondence.

Defendable space

Trees #1, 3, 5 & 7 can be retained as Stand-Alone specimens. There are several existing shrubs that are going to be managed to comply with the defensible space criteria, whereby they will be clumps of no more than 5m tall and 5m². Some shrubs will be removed where they are too close to the proposed development works.

Trees #12,13, 14 & 15 will be retained in the front yard with existing managed grassy lawn understorey and exempt from canopy separation requirements (refer Map 5. BMP).

Offset- Native Vegetation

No native vegetation is being removed; therefore, no offset or NVR report is required.

Tree Protection

To protect trees onsite whilst demolition, and construction takes place, Tree Root Protection Zones (TPZ) should be fenced off and a thick layer of protective mulch applied to 100mm depth and to be placed to the drip-line of trees. Tree protection zones are marked on the site plan. Fencing must comply with the Shire's specifications for TPZ and AS4970-2009. Construction zone fencing will suffice for protection of many of the retained trees, however it is recommended that specific TPZ fencing is erected to protect Tree #5 due to its close proximity to works for

demolition and construction.

Tree Pruning

Some trees have been flagged as requiring pruning to remove deadwood, shape or reduce canopy or create canopy separation. All pruning should be undertaken by a professional person (AQF lvl 5 minimum) and comply with AS4373 (2007).

Of course, it is imperative to watch and maintain the health of all remaining trees, during and post works. The integrity of the trees may be altered through this development process and some may thrive, while others may decline, regular professional monitoring is essential.

References

5.0

Cardinia Shire Council:

<https://www.cardinia.vic.gov.au>

Cardinia Shire Council (2017) *Pozi*. Aerial imagery, mapping

<https://cardinia.pozi.com>

DECCA (Department of Environment and Climate Action) *Naturekit*.

<http://maps.biodiversity.vic.gov.au/viewer/?viewer=NatureKit>

DTP (Department Transport and Planning) *Vicplan*

<https://mapshare.vic.gov.au/vicplan/>

Standards Australia. (2009) AS 4970-2009 *Protection of Trees on Development Sites*.

Treetec (2014) *TPZ/SRZ Calculator*. www.treetec.net.au

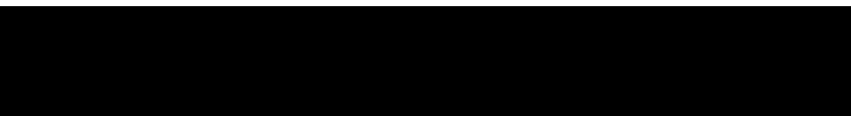
Voykan, T. (2024) *Proposed Shed dwelling site plans 133 Quamby Rd, Guys Hill, 3807, DWG No: 21/0504*. Masters Design & Drafting, Frankston, 3199.

Appendix

6.0

Correspondence of neighbour regarding removal of conifers on northern boundary.

Begin forwarded message:



Subject: Boundary trees between 135 and 133 Quamby rd



As discussed, our understanding is that, for you to proceed with your building permit the trees on our shared side boundary fence are within 15m of you new build and would need removal or be individually assessed for you to proceed.

If the trees were to be removed, we understand that you replanting evergreen trees on your side would serve as a screen between the two houses and be a suitable replacement.

We are not opposed to the trees being removed but would request that during the time period in which the new tree screen takes to be re established, some sort of screen should be installed in the meantime until the new plants grow.

We can discuss the different screens options and work on something that mutually suits both of us.

Happy to discuss further.



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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 08770 FOLIO 077

Security no : 124119820860N
Produced 13/11/2024 06:59 PM

LAND DESCRIPTION

Lot 14 on Plan of Subdivision 083659.
PARENT TITLE Volume 03096 Folio 030
Created by instrument LP083659 14/04/1969

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP083659 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 133 QUAMBY ROAD GUYS HILL VIC 3807

ADMINISTRATIVE NOTICES

NIL



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LP 83659
EDITION 1
APPROVED 4 / 3 / 69

COLOUR CONVERSION
E-1 = BLUE
R1, R2 & R3 = BROWN

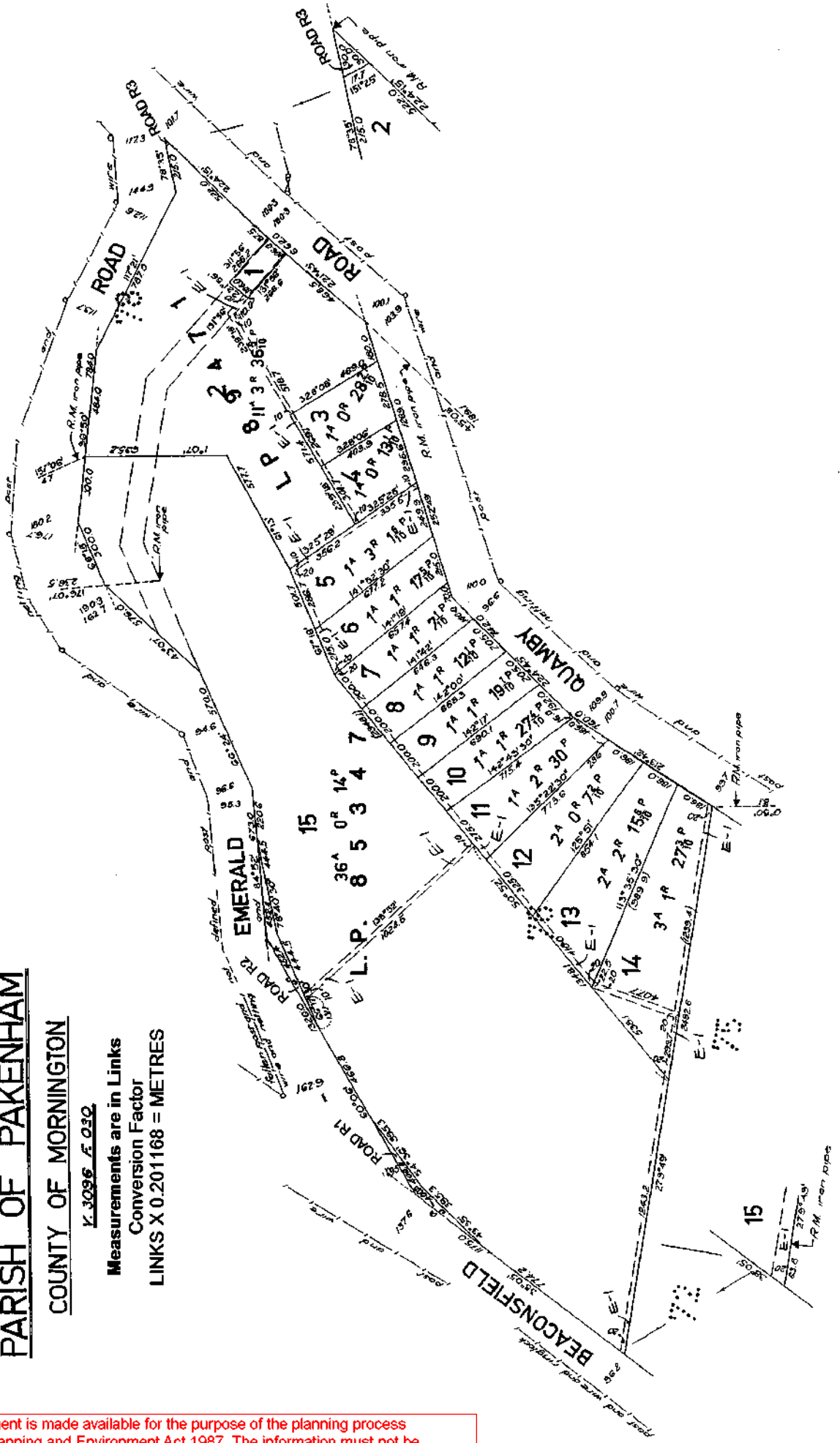
APPROPRIATIONS
BROWN - WAY & DRAINAGE
BLUE - DRAINAGE

PLAN OF SUBDIVISION OF
CROWN ALLOTMENT 76 AND
PART OF CROWN ALLOTMENT 78 AND
PART OF FORMER GOVERNMENT ROAD
PARISH OF PAKENHAM

COUNTY OF MORNINGTON

V. 3096 F. 030

Measurements are in Links
Conversion Factor
LINKS X 0.201168 = METRES



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