
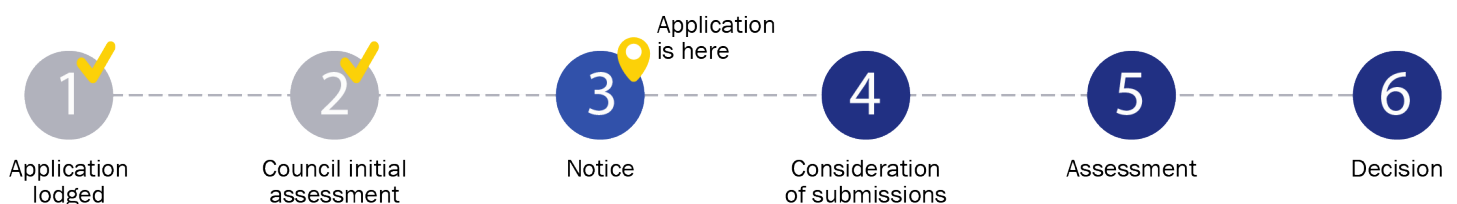


# Notice of Application for a Planning Permit

The land affected by the application is located at:	L1 LP203189 V9682 F446 22 Home Road, Nar Nar Goon VIC 3812
The application is for a permit to:	Buildings and works (Alterations and Additions to an Existing Dwelling)
A permit is required under the following clauses of the planning scheme:	
43.02-2	Construct a building or construct or carry out works
<b>APPLICATION DETAILS</b>	
The applicant for the permit is:	3D DESIGN GROUP
Application number:	T250037
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at <a href="http://cardinia.vic.gov.au/advertisedplans">cardinia.vic.gov.au/advertisedplans</a> or by scanning the QR code.</p>	
	
<b>HOW CAN I MAKE A SUBMISSION?</b>	
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:	
<b>18 April 2025</b>	
<b>WHAT ARE MY OPTIONS?</b> Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority. If you object, the Responsible Authority will notify you of the decision when it is issued.	<p>An objection must:</p> <ul style="list-style-type: none"><li>• be made to the Responsible Authority in writing;</li><li>• include the reasons for the objection; and</li><li>• state how the objector would be affected.</li></ul> <p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>





## ePlanning

### Application Summary

Portal Reference A12530LU

### Basic Information

Proposed Use	BUILDINGS AND WORKS FOR ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING
Current Use	SINGLE STOREY DWELLING AND ASSOCIATED OUTBUILDINGS
Cost of Works	\$840,000
Site Address	22 Home Road Nar Nar Goon 3812

### Covenant Disclaimer

Does the proposal breach, in any way, an encumbrance on title such as restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	Not Applicable, no such encumbrances apply.
---	---

### Contacts

Type	Name	Address	Contact Details
Applicant	3D DESIGN GROUP	42B MAIN STREET, PAKENHAM VIC 3810	W: 03-5941-4717 E: pakenham@3dds.com.au
Owner			
Preferred Contact	3D DESIGN GROUP	42B MAIN STREET, PAKENHAM VIC 3810	W: 03-5941-4717 E: pakenham@3dds.com.au

### Fees

Regulation Fee Condition	Amount	Modifier	Payable
9 - Class 5 More than \$500,000 but not more than \$1,000,000	\$1,535.00	100%	\$1,535.00
Total			\$1,535.00

### Documents Uploaded

Date	Type	Filename
28-01-2025	A Copy of Title	Title.pdf
28-01-2025	Site plans	
28-01-2025	Alteration statement	2025.01.28_Cover Letter.pdf



**Civic Centre**  
20 Siding Avenue, Officer, Victoria

**Council's Operations Centre (Depot)**  
Purton Road, Pakenham, Victoria

**Postal Address**  
Cardinia Shire Council  
P.O. Box 7, Pakenham VIC, 3810

**Email:** mail@cardinia.vic.gov.au

Monday to Friday 8.30am–5pm  
**Phone:** 1300 787 624  
**After Hours:** 1300 787 624  
**Fax:** 03 5941 3784

☐ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit

## Lodged By

Site User	3D DESIGN GROUP	42B MAIN STREET, PAKENHAM VIC 3810	W: +61-3-5941-4717 E: pakenham@3dds.com.au
Submission Date	28 January 2025 - 02:56:PM		

## Declaration

☒ By ticking this checkbox, I, [REDACTED] declare that all the information in this application is true and correct; and the Applicant and/or Owner (if not myself) has been notified of the application.



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20 Siding Avenue, Officer, Victoria

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Purton Road, Pakenham, Victoria

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 09682 FOLIO 446

Security no : 124121527710R  
Produced 28/01/2025 02:44 PM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 203189L.  
PARENT TITLE Volume 09572 Folio 654

**REGISTERED PROPRIETOR**

AV140337/L 15/12/2021

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP203189L FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 22 HOME ROAD NAR NAR GOON VIC 3812

**ADMINISTRATIVE NOTICES**

NIL

DOCUMENT END

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Document Identification	<b>LP203189L</b>
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Document Assembled	<b>28/01/2025 14:44</b>

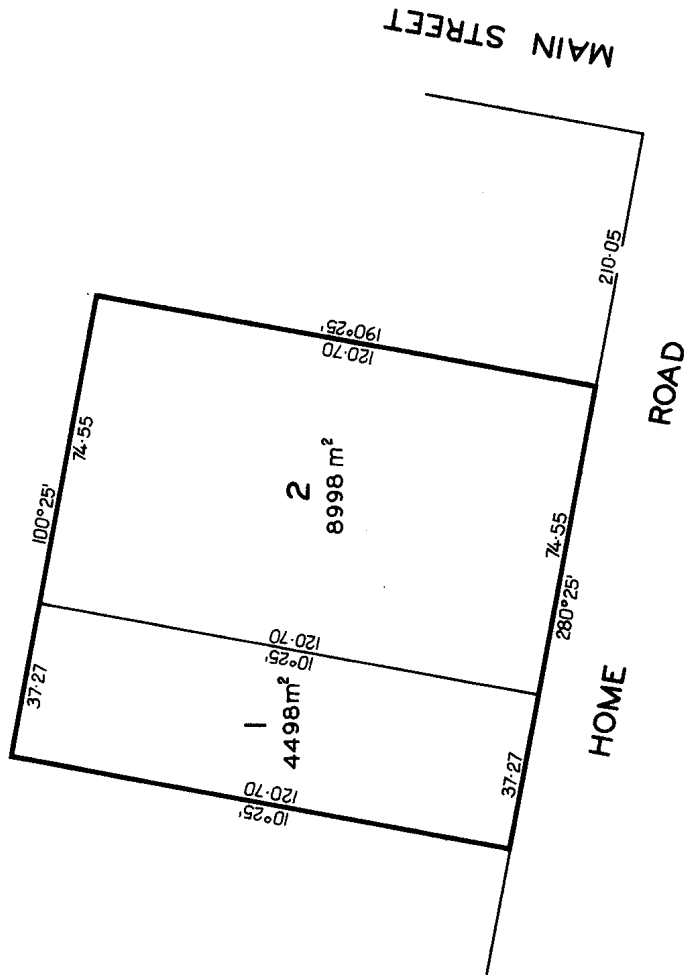
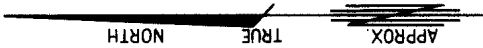
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NOTATIONS

THE CONNECTION IS NOT TO SCALE.

TO BE COMPLETED WHERE APPLICABLE  
THIS SURVEY HAS BEEN CONNECTED TO PERMANENT  
MARKS NOS:  
IN PROCLAIMED SURVEY AREA NO. 71

THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED  
BY THICK LINES  
TITLE REF: VOL. 9572, FOL. 654  
LAST PLAN REF: LOT 1 L.P.133610

PLAN OF SUBDIVISION

COUNTY MORNINGTON  
PARISH NAR - NAR - GOON  
CROWN ALLOTMENT 79A (PART)

NUMBER OF SHEETS IN PLAN  
NUMBER OF THIS SHEET

SCALE  
125 0 125 25 37.5 50  
LENGTHS ARE IN METRES  
ORIGINAL  
SCALE  
1:1250  
SHEET  
SIZE  
A3

PLAN APPROVED  
AT  
ON

5.6.86

LP203189L

VICTORIA

(ASSISTANT) REGISTRAR OF TITLES

CERTIFICATION BY SURVEYOR

CERTIFICATE OF MUNICIPAL CLERK

MUNICIPALITY COUNCIL REF.

CERTIFICATE A  
THIS PLAN ACCORDS WITH A PLAN  
SEALD BY THE COUNCIL UNDER SECTION 569B OF THE LOCAL  
GOVERNMENT ACT 1958 ON  
CONFIRMED BY THE PLANNING APPEALS BOARD ON  
AND A REQUIREMENT/NO REQUIREMENT PURSUANT TO  
SECTION 569E OF THE LOCAL GOVERNMENT ACT 1958 HAS  
BEEN MADE

DATE MUNICIPAL CLERK

CERTIFICATE B  
THIS PLAN ACCORDS WITH A PLAN EXEMPTED FROM SUBDIVISION  
(3) OF DIVISION (9) OF PART XIX OF THE LOCAL GOVERNMENT ACT  
1958 BY  
THE COUNCIL ON  
THE PLANNING APPEALS BOARD ON

DATE

MUNICIPAL CLERK

AMENDMENTS  
203189L

CLIVE SINGLETON & ASSOCIATES PTY. LTD.

SURVEYORS & ENGINEERS  
574A NORTH ROAD  
ORMOND, VIC 3204  
PHONE (03) 578 8554

SURVEYORS REF

85303

28<sup>th</sup> January 2025

Cardinia Shire Council  
Planning Department  
PO Box 7,  
PAKENHAM VIC 3810

To whom it may concern,

Please see attached application for a Planning Permit at the below address. A description of the works is detailed below.

**Proposal:** Proposed Additions & Alterations to Existing Dwelling

**Applicant:** 3D Design Group

**Client:** [REDACTED]

**Address:** [REDACTED]

**Lot:** Lot 1 LP 203189L

**Zone:** Low Density Residential Zone (Schedule LDRZ2)

**Overlays:** Design and Development Overlay (DD01)

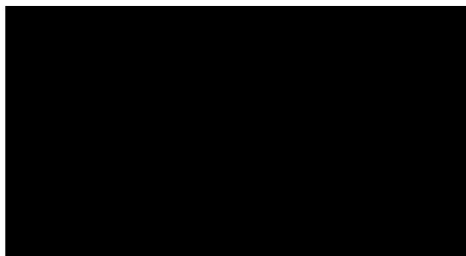
**Project description:**

Proposed Additions to Existing Dwelling as detailed on Drawing Issue Prelim Rev D dated 28.01.25.

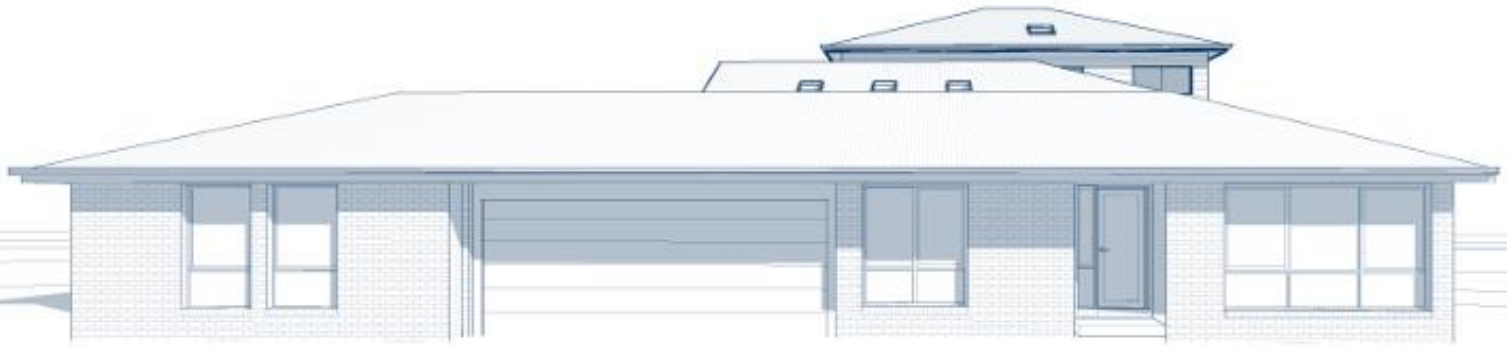
The trigger for a planning permit under the DDO is ***"Buildings and works – a permit is required to construct a building or carry out works if the height of the building exceeds 7 metres above natural ground level"***.

Should you have any questions please do not hesitate to contact me.

Kind Regards,



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Street View 1

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## Planning Submission

# 22 Home Road, Nar Nar Goon

Version 1 – March 2025

### Application for Planning Permit:

Alterations and additions to an existing dwelling.

**Planning Scheme:** Cardinia

**Zone:** Low Density Residential Zone, Schedule 2 (LDRZ2)

**Overlays:** Design and Development Overlay, Schedule 1 (DDO1)

Vegetation Protection Overlay, Schedule 1 (VPO1)

# EXECUTIVE SUMMARY

## Introduction

This report has been prepared on behalf of the landowner in support of the proposal at **22 Home Road, Nar Nar Goon** (*the subject site*).

## What the permit seeks

Alterations and additions to an existing dwelling.

## Project team

**Planning:** Nepean Planning Consultants

**Design:** 3D Design Group

## Planning permit triggers:

### Clause 43.02 Design and Development Overlay – Schedule 1: Low Density Residential

- Building height exceeds 7 metres above natural ground level.

## Conclusion

This report addresses the key relevant planning considerations and concludes that the proposal will deliver a thoughtful proposal that is site responsive and entirely worthy of Council support.

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**Prepared by:**

– Town Planning Consultant and Luke Dowdle – Town Planning Consultant / Director  
Nepean Planning Consultants

Suite 1, Level 1 /315 Main Street, Mornington VIC 3931

T: (03) 5986 1323 | E: [luke@nepeanplanning.com.au](mailto:luke@nepeanplanning.com.au) and [kilian@nepeanplanning.com.au](mailto:kilian@nepeanplanning.com.au)

**Version**

Version	Date	Details
1	March 2025	Original Version

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## Contents

Executive Summary .....	2
Introduction .....	2
1 The Proposal .....	5
1.1 Development .....	5
2 Planning Controls & Permit Triggers .....	11
2.1 Zone .....	11
Clause 32.03 Low Density Residential Zone – Schedule 2.....	11
2.2 Overlays .....	12
3 The Site and Surrounds .....	15
3.1 Title particulars .....	15
Figure 7 - Plan of Subdivision extract .....	15
3.2 Subject site .....	15
3.3 Surrounds .....	18
4 Consideration .....	23
4.1 Relevant Planning Policies and Responses .....	23
Conclusion: .....	24
4.2 Local Planning Policy Framework .....	24
Response:.....	24
4.3 Planning Provisions Response .....	25
Clause 43.02 – Design and Development Overlay – Schedule 1 (DDO1).....	25
5 Expectations .....	27
5.1 Advertising.....	27
5.2 Referrals.....	27
5.3 Timing for Decision .....	27



6	Conclusion .....	28
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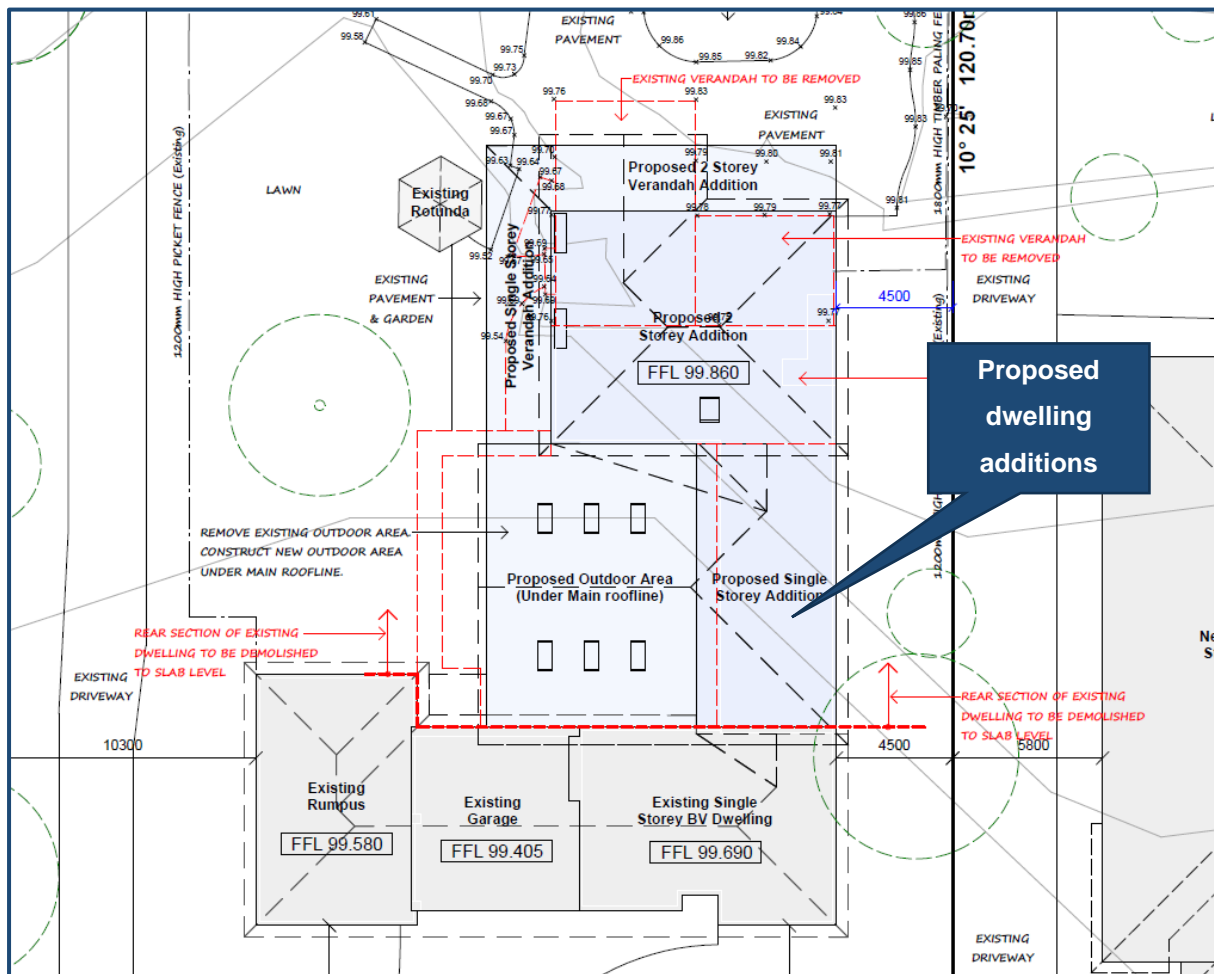


# 1 THE PROPOSAL

## 1.1 Development

This application seeks approval for alterations and additions to an existing dwelling.

Figure 1 – Extract from Site Plan showing additions and alterations to existing dwelling.



### Existing Dwelling Context

The single storey dwelling is designed around a covered alfresco area. There is an open plan kitchen, pantry and dining room, leading to a separate living room and master bedroom with ensuite and robe room. There is 5 bedrooms in the existing dwelling. The main bathroom and laundry room is sited between bedroom 2 and bedroom 3.

The 'western wing' rumpus room of the dwelling includes bedroom 4 and bedroom 5 with a bathroom and kitchenette. There is a double garage built into the dwelling. The current dwelling is single storey.

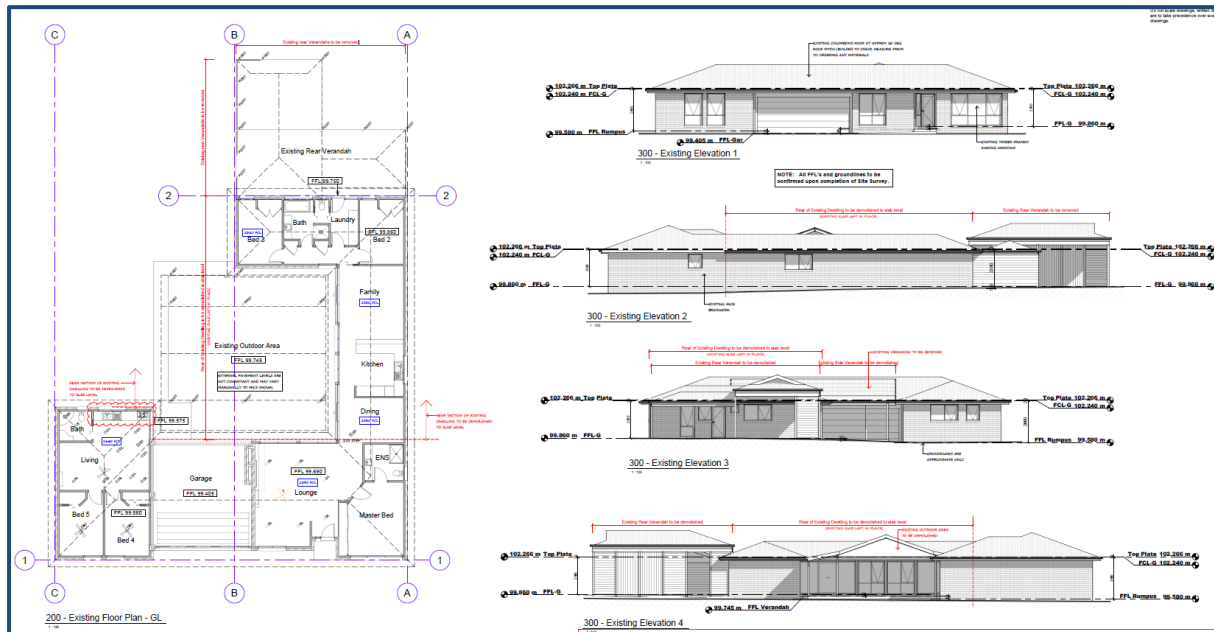
## Site Context

The existing dwelling has a generous front setback of 28.8 metres to Home Road and nearly 60 metres from the rear setback. There is an existing shed, rotunda and vegetable garden on the property. While there used to be a pool on site, this has since been filled with lawn. Scattered vegetation is found throughout the site. The driveway has a horseshoe shape, with two crossovers and lawn in the centre.

The site plan for Subject Site No. 22 is enclosed in a red dashed line. It shows the following details:

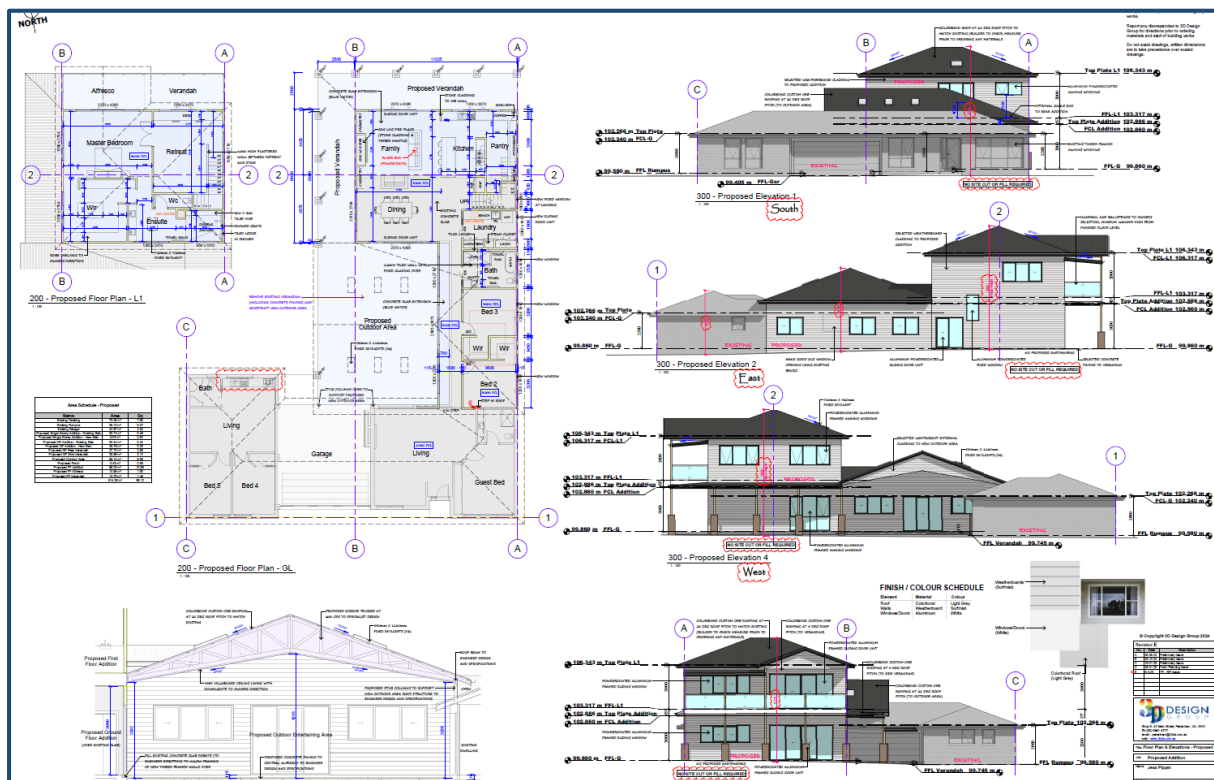
- Property Information:**
  - Number: 22
  - Lot: 1
  - LP: 203189L
  - Area: 4438m<sup>2</sup>
- Existing Structures and Features:**
  - Existing Shed (top left)
  - Existing Vegetable Garden (top center)
  - Existing Rotunda (center left)
  - Existing Single Storey BV Dwelling, Garage & Rumpus (center bottom)
  - Neighbouring Shed (top right)
  - Neighbouring Single Storey BV Dwelling (right)
- Proposed Structures and Features:**
  - Proposed 2 Storey Addition (center, highlighted in blue)
  - Proposed Outdoor Area (Under Main roofline) (below the 2-storey addition)
- Setbacks and Dimensions:**
  - Top boundary: 100° 25' 37.27m
  - Left boundary: 10° 25' 120.70m
  - Right boundary: 10° 25' 120.70m
  - Bottom boundary: 280° 25' 37.27m
  - Internal setbacks and dimensions include 5400, 4081, 9203, 678, 3000, 19230, 4500, 9500, 10300, 28000, 23900, 30000, and 24.6m.
- Other Features:**
  - EXISTING DRIVEWAY (left)
  - 24.6m TO MAIN STREET (NEAREST INTERSECTION) (bottom right)

Figure 3 – Extract of existing elevations and floor plan.



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Figure 4 – Extract of proposed elevations and floor plan.



### Proposed Additions and Alterations (Existing ground floor and garden)

The internal configuration of the dwelling will be re-arranged. Part of the eastern and northern section of the existing dwelling will be demolished to slab level and re-built, and the northern section of the

dwelling will be extended. The northern section of the dwelling will be the primary living area, with an open plan kitchen, dining room, and pantry. There will be sliding doors in the dining area that lead to the outdoor alfresco area. This area will also have a stairwell that leads to the new proposed upper floor of the dwelling.

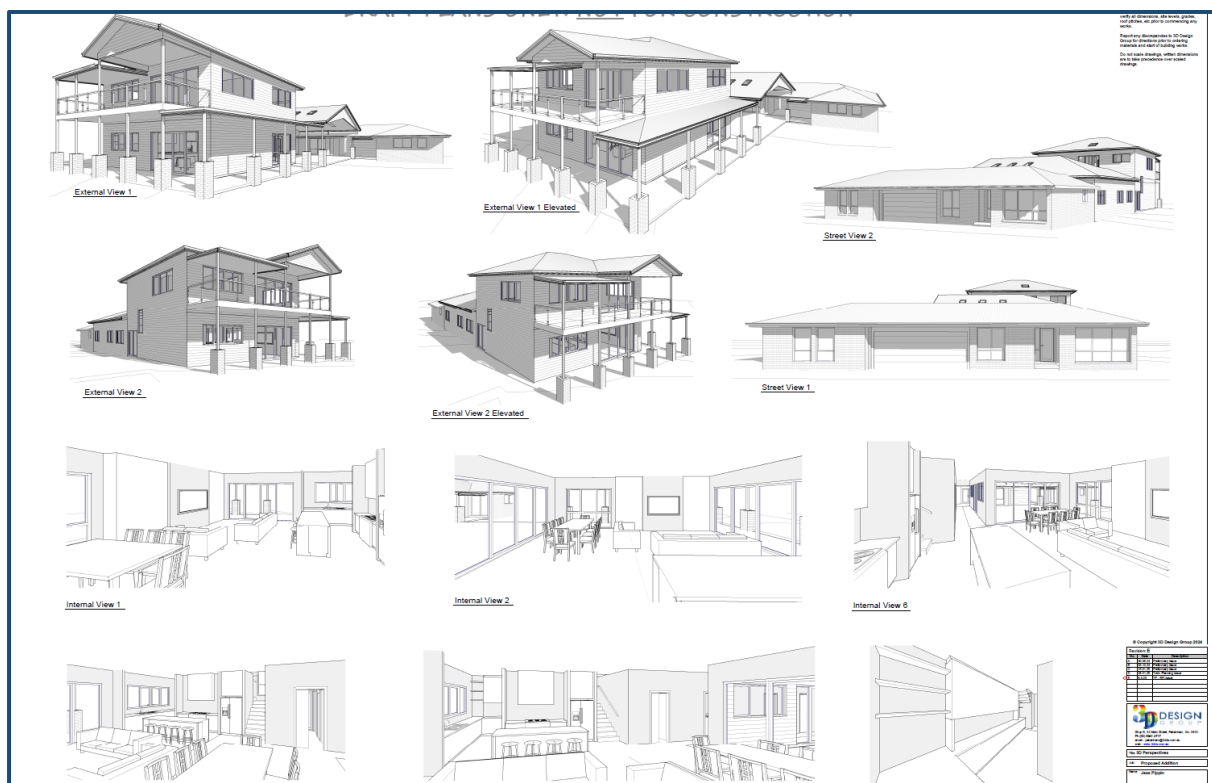
The ground floor bedrooms (bedroom 2 and bedroom 3) will now be confined to the eastern section of the dwelling. The bathroom and laundry room will also be located here. The laundry room will have a chute connected to the proposed ensuite on the first floor.

The outdoor area will be altered. The existing verandah will be removed (including concrete paving) and a new outdoor area will be constructed. Six (6) fixed skylights will be constructed above the outdoor area. A new verandah is proposed to be constructed around the northern section of the dwelling. The existing verandah in this area will be removed. Scissor trusses (specialist design) will be installed above the ground floor verandah on the northern elevation, with downlights installed.

### Proposed Additions and Alterations (Proposed first floor)

This application also proposes a new first floor for the dwelling at 22 Home Road. The stairwell to the first floor will be located adjacent to the new living area proposed in the northern section of the dwelling. The stairwell will lead to a new retreat room and master bedroom with ensuite and walk in robe room. An alfresco area and verandah will be located on the northern section of the first floor. There will be a skylight installed on the roof of the first floor.

**Figure 5 – 3D Renders of exterior and interior of proposed amended dwelling.**



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## Materials

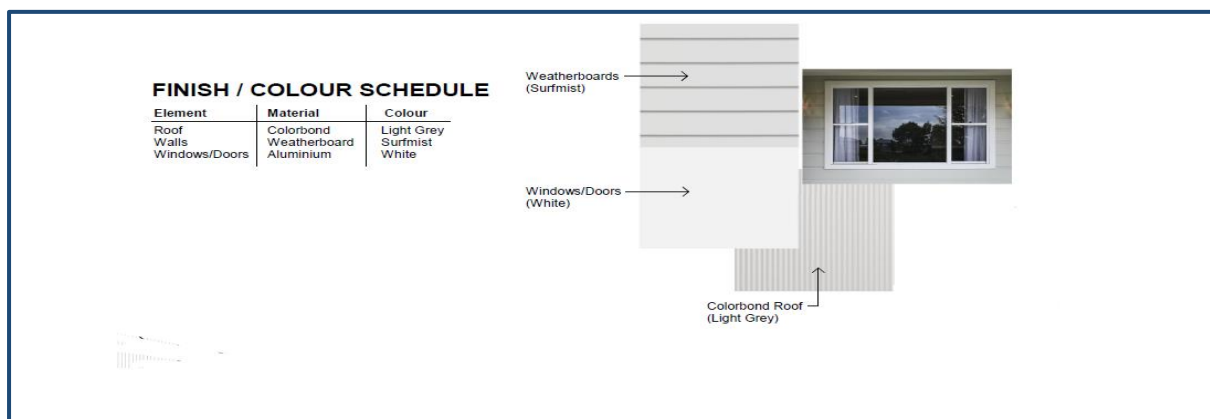
The southern elevation that will remain single storey fronting Home Road will retain red brick walls and timber framed awning windows. The walls of the existing rumpus room and the garage door will also remain the same.

The eastern, western and southern elevation walls of the ground floor and first floor will be cladded with *Colourbond Surfmist* weatherboard. New white powdercoated aluminium framed awning windows will also be installed.

The new roof will comprise of *Colourbond Light Grey Custom Orb* roofing at a 20 degree roof pitch to match the existing roofing.

The walls of the dwelling will be finished in white Cement Sheet Weatherboard, the roof will be finished with Colourbond Light Grey. Gutters and Fascia will also be finished with Colourbond Light Grey. We refer Council to the Materials Schedule in Figure 6 below for further details.

**Figure 6 – Material and colour schedule**



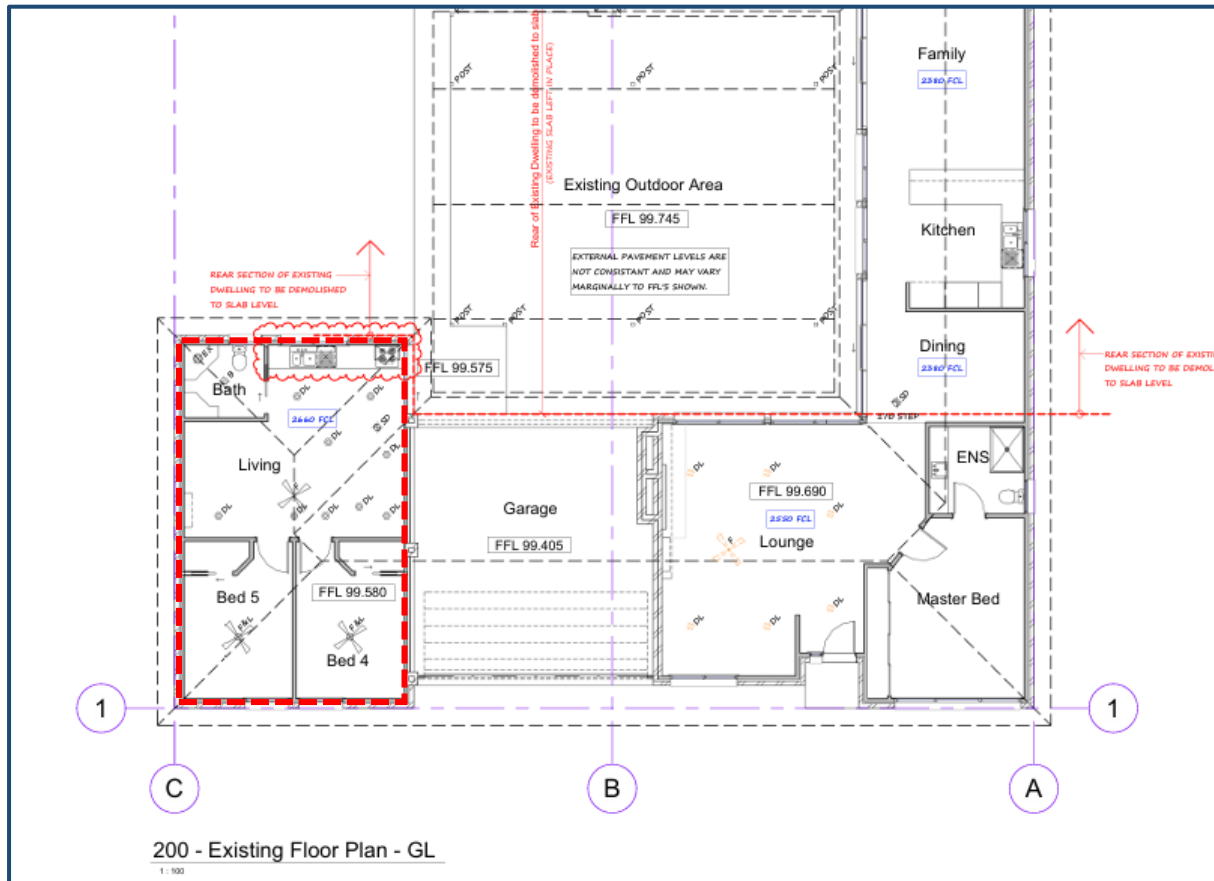
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## Permit Not Required for Proposed Small Second Dwelling

The existing rumpus room attached to the dwelling is to be designated as a small second dwelling.

Figure 7 – plan extract, focusing on west wing



A Small Second Dwelling is defined as:

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<b>Small second dwelling</b>	<p>A building with a gross floor area of 60 square metres or less, on the same lot as an existing dwelling and used as a self-contained residence, which must include:</p> <ul style="list-style-type: none"> <li>a) a kitchen sink;</li> <li>b) food preparation facilities;</li> <li>c) a bath or shower; and</li> <li>d) a toilet and wash basin.</li> </ul>
------------------------------	---

Pursuant to the LDRZ a SSD is a Section 1 (no permit required Use), subject to the below conditions:

<b>Small second dwelling</b>	<p>Must be no more than one dwelling existing on the lot.</p> <p>Must be the only small second dwelling on the lot.</p> <p>Must meet the requirements of Clause 32.03-2.</p> <p>Reticulated natural gas must not be supplied to the building, or part of a building, used for the small second dwelling.</p>
------------------------------	--

This area of the property is 59sqm in size, just under the 60sqm threshold to be considered a small second dwelling. Council should note that there is no requirement in the Planning Scheme requiring a small second dwelling to be a detached building. Regardless of the above, no permit is required for a small second dwelling as the following requirements are met;

- The building height does not exceed 5 metres (4.33 metres in height)
- The building is finished using muted tones and finishes.

Based on the above, a permit is now triggered for the SSD. We refer to sheet A201 for the floor plan.

### Access

There is an existing double crossover on Home Road. No changes are proposed to this crossover.

### Vegetation management

No vegetation removal is proposed for the proposed development.

## 1.2 Other matters

- The dwelling has access to existing services such as reticulated sewage, potable water supply and electricity

## 2 PLANNING CONTROLS & PERMIT TRIGGERS

### 2.1 Zone

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#### Clause 32.03 Low Density Residential Zone – Schedule 2





Pursuant to Clause 32.03, alterations and additions to a dwelling does not require a permit.

A lot used for one or two dwellings, or a small second dwelling must meet the following requirements:

- *Each dwelling or small second dwelling must be connected to reticulated sewerage, if available. If reticulated sewerage is not available, all wastewater from each dwelling must be treated and retained within the lot in accordance with the requirements in the Environment Protection Regulations under the Environment Protection Act 2017 for an on-site wastewater management system.*
- *Each dwelling or small second dwelling must be connected to a reticulated potable water supply or have an alternative potable water supply, with appropriate storage capacity.*
- *Each dwelling or small second dwelling must be connected to a reticulated electricity supply or have an alternative energy supply.*

The dwelling as a result of the alterations will meet the above requirements. The proposed small second dwelling will also meet the above requirements.

## 2.2 Overlays

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### Clause 43.02 Design and Development Overlay – Schedule 1: Low Density Residential



Pursuant to Clause 43.02, a planning permit is not required to construct a building or construct or carry out works provided all the following requirements are met:

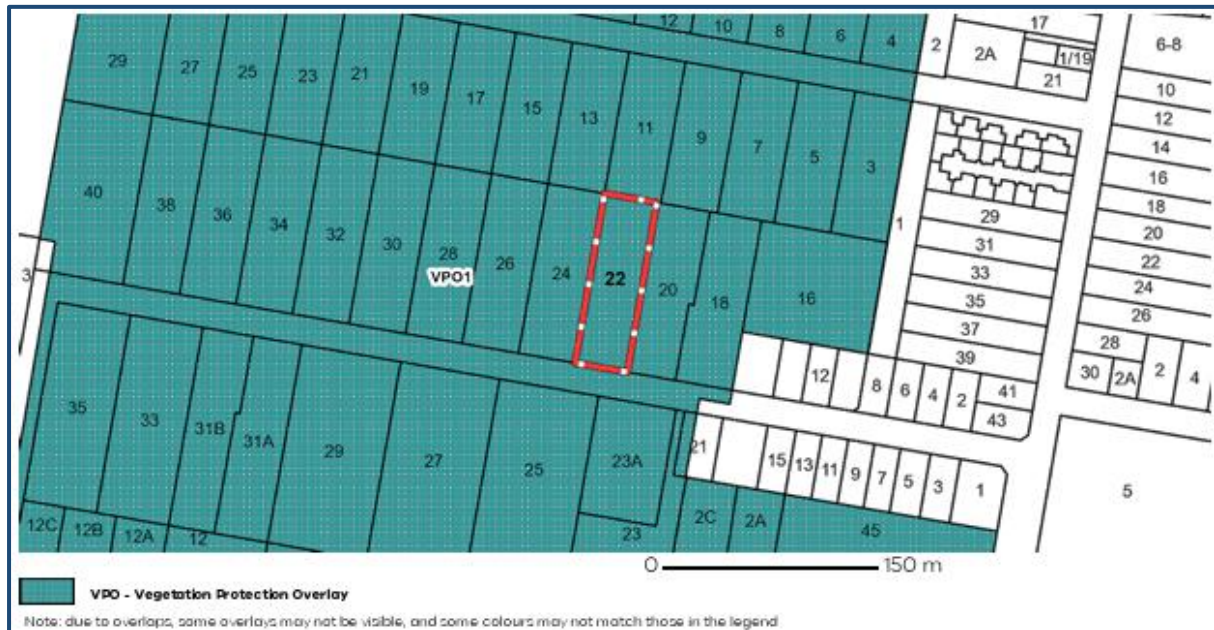
- *Building materials must be non-reflective or subdued colours which complement the environment to the satisfaction of the responsible authority.*
- *Any building must be located within the building envelope if one is registered on the plan of subdivision.*

- Any building must be set back at least 30 metres from a Transport Zone 2, 20 metres from a Transport Zone 3, 10 metres from any other road, and 5 metres from any other boundary unless the location of the building is within an approved building envelope.
- Any building or works must be set back at least 60 metres from a waterway.
- If the building is an extension to an existing dwelling.
- If the building is an outbuilding ancillary to a dwelling, the gross floor area of all outbuildings on the land must not exceed 120 square metres.
- Building materials must be non-reflective or subdued colours which complement the environment.
- **The height of any building must not exceed 7 metres above natural ground level.**
- The works must not involve the excavation of land exceeding 1 metre or filling of land exceeding 1 metre and any disturbed area must be stabilised by engineering works or revegetation to prevent erosion.
- The slope of the land on which the buildings and works are undertaken must not exceed 20 percent.
- The buildings and works must not result in the removal or destruction of native vegetation (including trees, shrubs, herbs, sedges and grasses) within an area of botanical or zoological significance as shown on the mapped information provided by the Department of Natural Resources and Environment, with the exception of Sweet Pittosporum (*Pittosporum undulatum*).

The proposed dwelling additions and alterations triggers consideration against this overlay given that the height of the dwelling as a result of the dwelling additions will exceed 7 metres, therefore a planning permit is required and the proposal will need to be considered against the design objectives and decision guidelines of this Overlay.

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## Clause 42.02 Vegetation Protection Overlay – Schedule 1: Low Density Residential



Pursuant to Schedule 1 of the Vegetation Protection Overlay (VPO1) a planning permit is required to remove, destroy or lop any vegetation. No permit is triggered as no vegetation will be removed, destroyed or lopped, therefore this Overlay does not require consideration.

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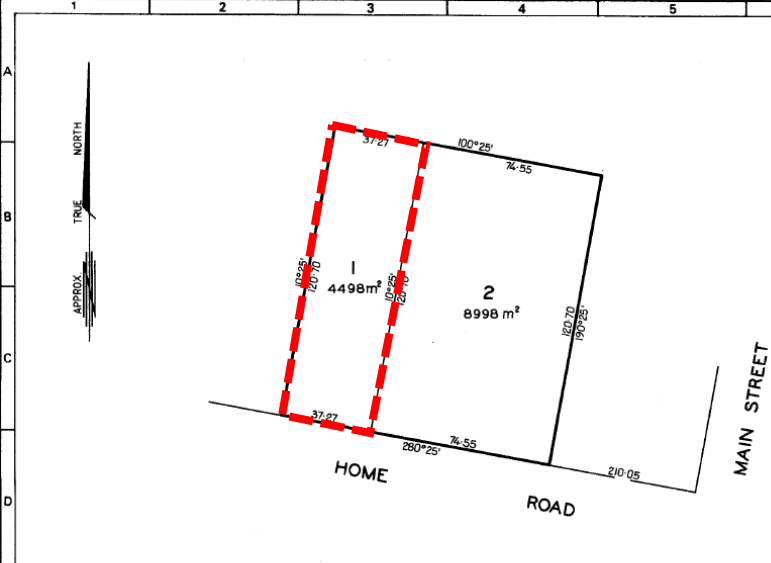
## 3 THE SITE AND SURROUNDS

### 3.1 Title particulars

The subject site, at 22 Home Road, Nar Nar Goon, is more formally known as Lot 1 on Plan of Subdivision 203189L, contained within Volume 09682 Folio 446.

The Title is not affected by any restrictions or Section 173 Agreements. As depicted below there are no easements that affect the property.

Figure 7 - Plan of Subdivision extract

						<p>OFFICE USE ONLY</p> <p><b>LP203189L</b> EDITION 1 PARISH TOWNSHIP PART 2</p>	
						<p>NOTATIONS</p> <p>THE CONNECTION IS NOT TO SCALE.</p>	
						<p>TO BE COMPLETED WHERE APPLICABLE THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NOS: IN PROCLAIMED SURVEY AREA NO. 71</p> <p>THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED BY THICK LINES TITLE REF: VOL. 9572, FOL. 854 LAST PLAN REF: LOT 1 L.P. 1336/10</p>	
						<p><b>PLAN OF SUBDIVISION</b></p> <p>COUNTY MORNINGTON PARISH NAR - NAR - GOON CROWN ALLOTMENT 79A (PART)</p>	
<p><b>CERTIFICATION BY SURVEYOR</b></p>		<p><b>CERTIFICATE OF MUNICIPAL CLERK</b></p> <p>MUNICIPALITY COUNCIL REF.</p>		OFFICE USE ONLY		<p>NUMBER OF SHEETS IN PLAN NUMBER OF THIS SHEET 1</p> <p>SCALE 1:1250 LENGTHS ARE IN METRES</p> <p>ORIGINAL SCALE SHEET SIZE A3</p>	
<p>AMENDMENTS</p> <p>203189L</p> <p>CLIVE SINGLETON &amp; ASSOCIATES PTY. LTD. SURVEYORS &amp; ENGINEERS 5744 NORTH ROAD ORMOND, VIC. 3204 PHONE (03) 578 8554</p>		<p>CERTIFICATE A THIS PLAN ACCORDS WITH A PLAN SEALED BY THE COUNCIL UNDER SECTION 569B OF THE LOCAL GOVERNMENT ACT 1958 ON CONFIRMED BY THE PLANNING APPEALS BOARD ON AND A REQUIREMENT/NO REQUIREMENT PURSUANT TO SECTION 569C OF THE LOCAL GOVERNMENT ACT 1958 HAS BEEN MADE</p> <p>DATE MUNICIPAL CLERK</p>		<p>PLAN APPROVED AT ON 5.6.86</p>		<p>OFFICE USE ONLY</p> <p><b>LP203189L</b></p>	
<p>SURVEYORS REF 85303</p>		<p>CERTIFICATE B THIS PLAN ACCORDS WITH A PLAN EXEMPTED FROM SUBDIVISION (3) OF DIVISION (9) OF PART XIX OF THE LOCAL GOVERNMENT ACT 1958 BY THE COUNCIL ON THE PLANNING APPEALS BOARD ON</p> <p>DATE MUNICIPAL CLERK</p>		<p>(ASSISTANT) REGISTRAR OF TITLES</p>		<p>VICTORIA</p>	

### 3.2 Subject site

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The subject site has a land holding of 4,498 sqm. There is an existing dwelling, shed, rotunda and vegetable garden on the property. Scattered vegetation is found throughout the site. The driveway has a horseshoe shape, with two crossovers and lawn in the centre

The site has a gently undulating slope, with a rise from Home Road to the rear of the site of approximately 2.15 metres. The site is accessed from two crossovers, with a gravel lane on the western boundary providing access to the rear of the property.



Figure 8 – looking towards subject site from Home Road



Figure 9 – Aerial view of subject site and Nar Nar Goon



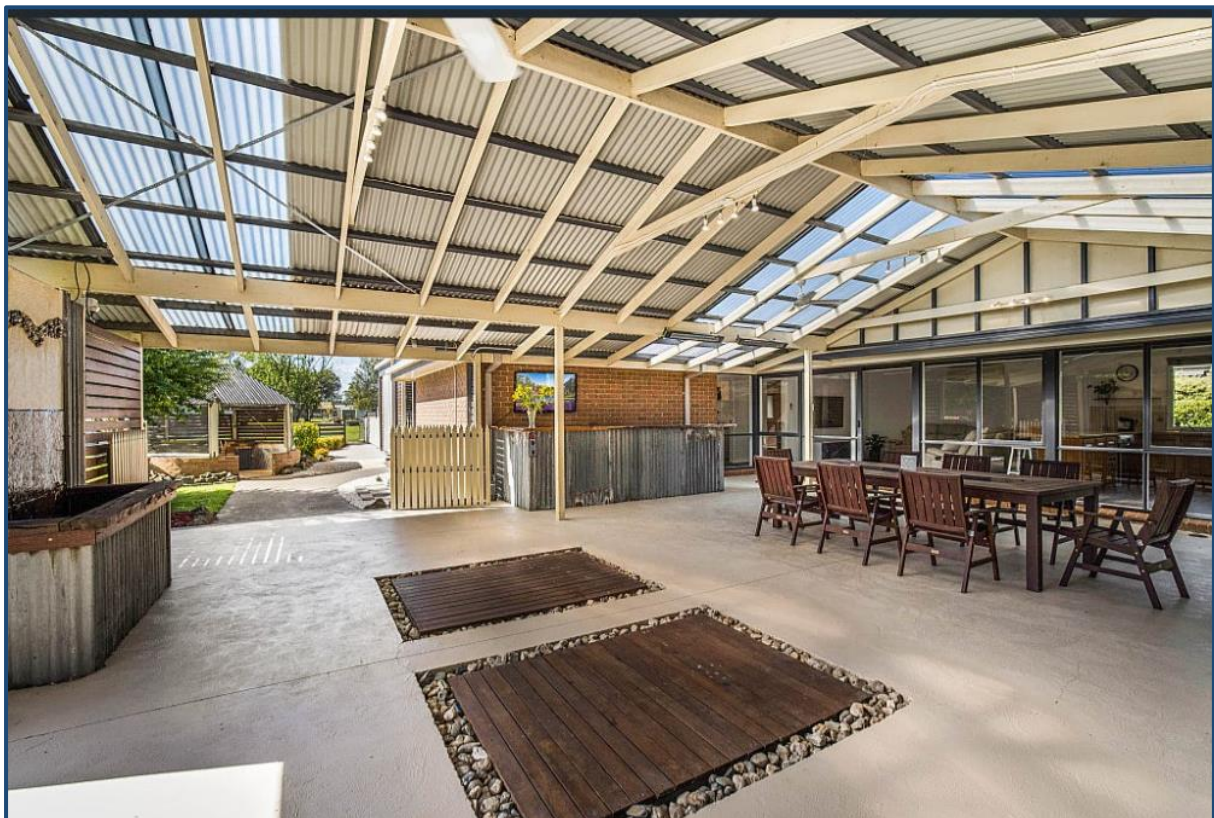
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Figure 10 – Looking west down Home Road from subject site.



Figure 11 – Covered outdoor area that the dwelling is centred around.



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Figure 12 – Looking northwest in rear yard towards shed.



### 3.3 Surrounds

The subject site is located in Nar Nar Goon Low Density residential enclave to the west of the township. Home Road provides connectivity to the main street. The area is primarily developed with low density housing and proximate to a range of services. Dwellings are set amongst large lawns, with vegetation mainly located on lot boundaries.

Dwellings are generally generous in size and constructed in both single and double storey form, with large sheds in the rear yard. Dwellings have generous street setbacks and are constructed to work with the gently undulating slope of the land.

There is five (5) primary schools within 5km of the site, including Nar Nar Goon primary school 750 metres from the site. Five (5) primary schools are within 10km of the site, the nearest being Chair O Christian School (Pakenham Campus) 1.94km from the site. The subject site is 4.96km east of Pakenham, a large fast growing town with a larger range of services.

Nar Nar Goon train station is 550 metres north of the site (6 minute walk), which provides hourly services to Southern Cross station and Bairnsdale station.

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Figure 13 – 24 Home Road, neighbouring single storey redbrick pitched tiled roof dwelling



Figure 14 – 20 Home Road, single storey redbrick dwelling with pitched tiled roof.





Figure 15 – 23 Home Road, single storey redbrick dwelling with pitched tiled roof.



Figure 16 – 25 Home Road – large single storey redbrick dwelling with pitched tiled roof.



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Figure 17 – 5 Richards Road, example of double storey built form in the area.



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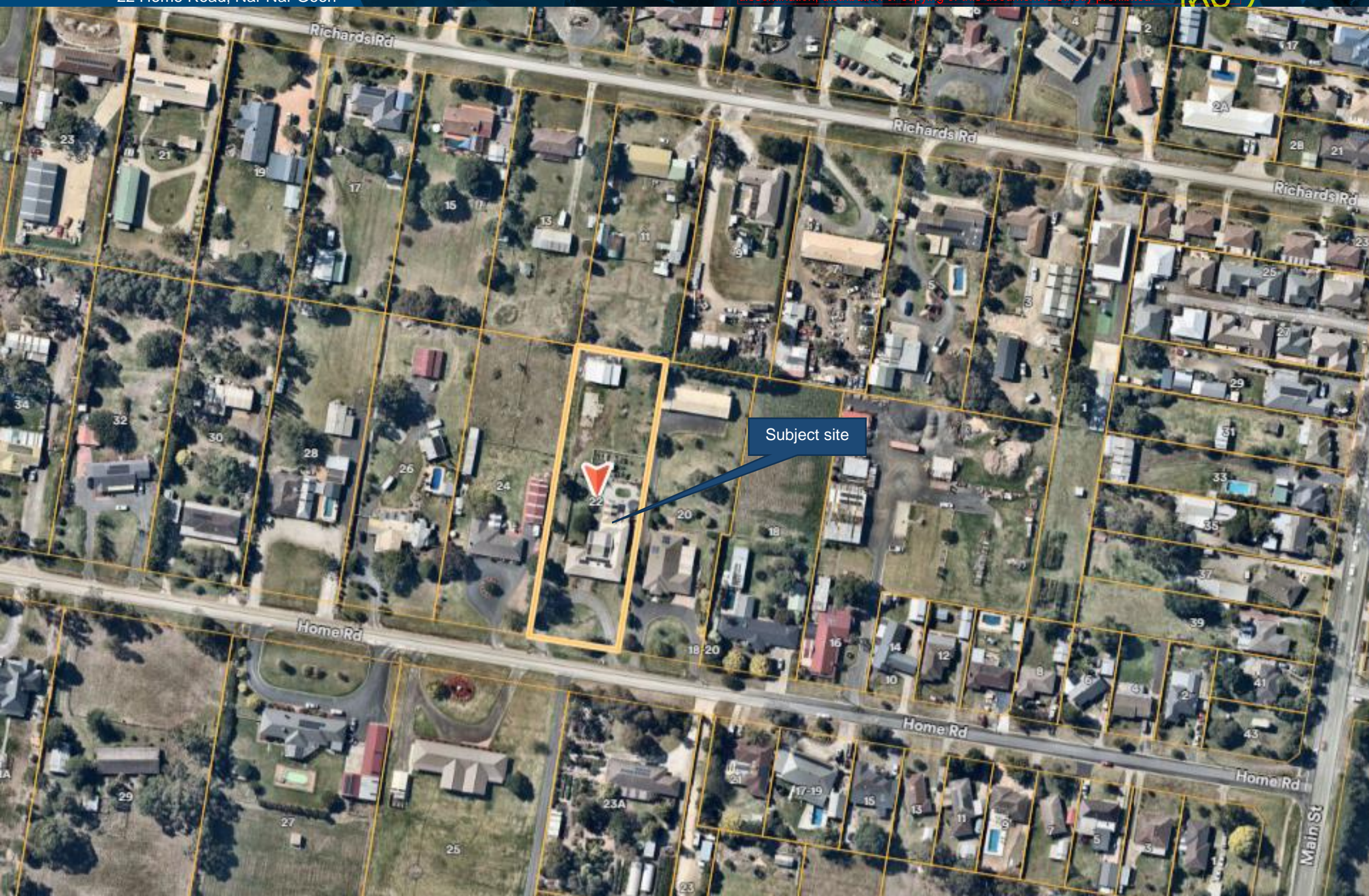
Figure 18– 21 Miskernat Street, example of double storey built form in the area.







22 Home Road, Nar Nar Goon





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## 4 CONSIDERATION

### 4.1 Relevant Planning Policies and Responses

**Clause 11.02-1S Supply of urban land** has an objective ‘To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.’ The strategies of this objective are the following;

- Ensure the ongoing provision of land and supporting infrastructure to support sustainable urban development.
- Ensure that sufficient land is available to meet forecast demand.
- Plan to accommodate projected population growth over at least a 15 year period and provide clear direction on locations where growth should occur. Residential land supply will be considered on a municipal basis, rather than a town-by-town basis.

Planning for urban growth should consider:

- Opportunities for the consolidation, redevelopment and intensification of existing urban areas.
- Neighbourhood character and landscape considerations.
- The limits of land capability and natural hazards and environmental quality.
- Service limitations and the costs of providing infrastructure.
- Monitor development trends and land supply and demand for housing and industry.
- Maintain access to productive natural resources and an adequate supply of well-located land for energy generation, infrastructure and industry.
- Restrict rural residential development that would compromise future development at higher densities.

This policy requires consideration of *Victorian Government population projections and land supply estimates*. The Victorian Government projects Victoria’s population to reach 10.3 million by 2051, with the majority of growth occurring in greater Melbourne, which is expected to reach 8.04 million. This growth necessitates planning for 1.6 million additional dwellings by 2051. While a new dwelling is not proposed for the site, additional bedrooms will be supplied, resulting in a redevelopment of the property

**Clause 12.01 Biodiversity** seeks to protect biodiversity. No vegetation will be removed and existing trees on site will be protected during the build.

**Clause 15.01 Built Environment** requires development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate. **Clause 15.01-2S Building Design** has an objective to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development. The proposed alterations and additions will result in a similar siting outcome to the existing dwelling, retain some of the existing brickwork of the dwelling fronting home road, while introducing weatherboard

finished in muted tones using like for like roofing. This design outcome pays respect to the existing design while modernising the design to introduce a double storey for more floor space.

#### Response:

In response to the above, the proposed double-storey dwelling is designed to harmonize with the surrounding neighbourhood character and will not create an unreasonable sense of intrusion or excessive visual bulk.

The inclusion of a single-storey section, the partial retention of the existing redbrick façade facing Home Road, and the generous setback ensure that the amended dwelling integrates seamlessly into the site and surrounding area. Vegetation removal is also not proposed.

For these reasons we submit the proposal is considered to satisfy all relevant objectives and key strategic directions under the Victorian Planning Policy Framework (VPPF).

## 4.2 Local Planning Policy Framework

**Clause 21.01 Cardinia Shire Key Issues and Strategic Vision** identifies the population within the Cardinia growth area is expected to grow 82% from a current population of around 109,000 people (2018) to approximately 198,000 people in 2041.

**Clause 21.02-2 Landscape** in its design and built form strategies seeks to require the use of building materials and colours which are in context with the surrounding environment in areas of landscape significance and in rural residential and rural living areas; ensure the sensitive siting of buildings and other structures having regard to the protection of prominent ridgelines, significant views and areas of remnant vegetation; protect exotic vegetation if it is of heritage, cultural or economic value, or contributes to the character of an area; and minimise the fragmentation of land and removal of vegetation in areas of high landscape value.

**Clause 21.02-3 Biodiversity** identifies the diverse environment that is Cardinia Shire. The objective is to achieve a net gain in the quantity and quality of native vegetation in the municipality.

#### Response:

Responding to the above, it is clear from an inspection of the site that the proposed dwelling would not detract from existing neighbourhood character, considering there is a mixture of single and double storey dwellings in Nar Nar Goon. It is considered that the built form would not cause visual intrusion or dominate the low density residential landscape. The dwelling has been designed to a high architectural standard as a low scale double storey building with a generous setback from Home Road. It is therefore submitted that the surrounding character will be preserved and enhanced by the proposed development, visual amenity and sequencing along Home Road will be maintained and a high standard of design will be achieved.

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We refer Council to the Site Plan submitted with this application, which shows that the amended dwelling as a result of the additions and alterations is sited in the same location as the existing dwelling.

The existing crossovers provide suitable and safe road access to the site, designed to provide safe access to both emergency vehicles and other vehicles at all times.

It is acknowledged that the siting and design of the dwelling as a result of the alterations and additions, including the choice of building materials are responsive to landscape character and maintains the existing street rhythm. Chosen building materials are responsive to the surrounding neighbourhood character, resulting in a blend of redbrick and weatherboard. The proposed design is modest in nature and incorporates materials and finishes commonly found in Nar Nar Goon.

For these reasons we submit the proposal is considered to satisfy all relevant objectives and key strategic directions under the Local Planning Policy Framework (LPPF).

### 4.3 Planning Provisions Response

#### Clause 43.02 – Design and Development Overlay – Schedule 1 (DD01)

The design objectives of this Overlay seek to

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To identify areas which are affected by specific requirements relating to the design and built form of new development.*

Under the Design and Development Overlay – Schedule 1, a permit is triggered as the height of the dwelling will exceed 7 metres as a result of the dwelling additions and alterations. Accordingly, the decision guidelines of the Design and Development Overlay must be considered.

#### Decision Guidelines

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The design objectives of the relevant schedule to this overlay.*
- *The provisions of any relevant policies and urban design guidelines.*
- *Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.*
- *Whether any proposed landscaping or removal of vegetation will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking*

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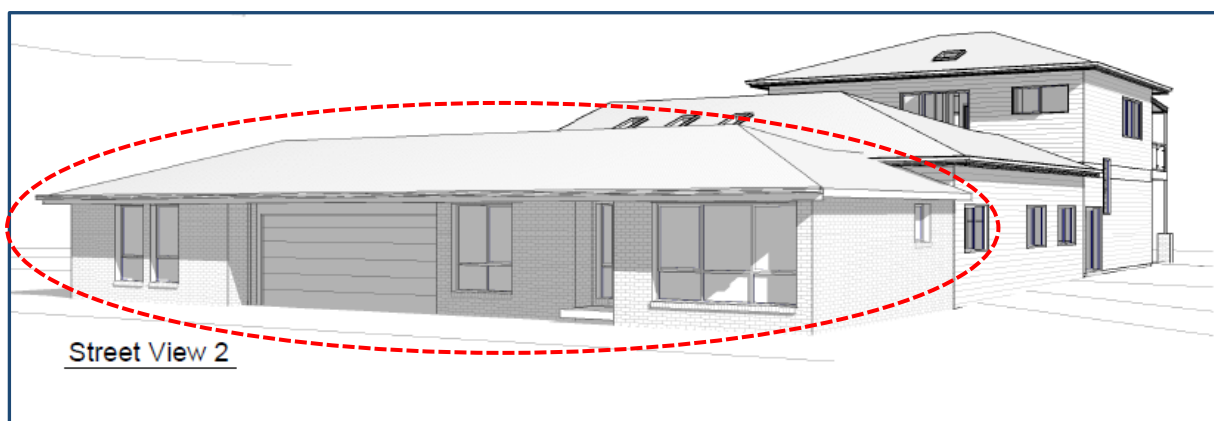
- Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.
- Any other matters specified in a schedule to this overlay.

### Building Height Response

The proposed dwelling as a result of the dwelling additions and alterations will reach a maximum height of 8.719 metres. This varies DDO1's height requirement of 7 metres by 1.719 metres, however this is not considered controversial from a planning perspective when the design and siting of the dwelling is considered.

The existing dwelling that fronts Home Road will not be fully demolished. This appears as a 4.3 metre high red brick bungalow that blends in with existing dwellings on the streetscape. The double storey built form will be sited behind the existing dwelling. For reference, an extract of the southern elevation is shown below.

**Figure 19 – 3D render of proposed dwelling after dwelling additions and alterations. This shows the southern elevation facing Home Road. Dashed red line shows existing dwelling.**



We say that the proposed variation to the general height requirement of 7 metres is entirely reasonable in this context where the dwelling does not present as visually bulky from the streetscape, with a combination of building materials present and articulation between the ground floor and first floor level.

The dwelling as a result of the additions and alterations features a modern yet cohesive design where the alterations integrate with the existing structure. The roof is constructed with Colorbond Custom Orb at a 20-degree pitch, matching the existing roofing to ensure visual continuity. The use of *Colourbond Surfmist* weatherboard cladding for the proposed first floor addition provides a textured and contemporary contrast to the existing red brick of the retained dwelling.

The elevations indicate a seamless transition between the old and new sections, with the grey-shaded area representing the existing dwelling.

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The design ensures no site cut or fill is required, indicating a thoughtful consideration of the existing terrain. The overall built form is functional and visually balanced, with the new addition complementing the original structure without detracting from surrounding neighbourhood character.

Overall, the minor variation to the building height requirements of DDO1 are acceptable in the context of the proposed design.

Council should note that there is no maximum building height specified under the Low Density Residential Zone, therefore under Clause 32.07-10 of the Cardinia Planning Scheme, the building height should not exceed 13.5 metres if there is no building height specified in a schedule to this zone. The proposed height of 8.719 metres does not exceed this requirement.

The proposal complies with the remaining requirements of DDO1. The dwelling as a result of the additions/alterations maintains a generous setback, muted finishes, no earthworks proposed and no vegetation proposed for removal. The dwelling is not proximate to any waterways and has existing services on site to treat sewage. While there is minor variation to the DDO1 building height requirement, the new dwelling as a result of the additions and alterations will contribute positively to the sustainable development of Home Road and Nar Nar Goon.

## 5 EXPECTATIONS

### 5.1 Advertising

Pursuant to Section 52 of the *Planning and Environment Act 1987*, unless the Responsible Authority determines no person will suffer material detriment as a result of the granting of the permit, the Responsible Authority must give notice.

As the proposal is not exempt from Notice and Review we expect Council will notify adjoining property owners/occupiers. We ask that the file progress to advertising without delay.

### 5.2 Referrals

Given the nature of the proposal, it is considered that no Section 55 Referrals are required. Should Council deem any internal referrals are necessary it is expected that the application will be referred within the preliminary assessment phase of this application (28 days).

### 5.3 Timing for Decision

Pursuant to Section 79 of *The Act and Regulation 31 (1)* of the *Planning and Environment Regulations 2005* the prescribed timeframe for a decision is 60 days. It is expected that the decision will be issued within this prescribed timeframe.

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## 6 CONCLUSION

As demonstrated within this report, the proposed development results in an orderly planning outcome for Home Road and Nar Nar Goon which is responsive to the Cardinia Planning Scheme and entirely worthy of support as:

- The development meets the purpose and the objectives of the Low Density Residential Zone and the relevant Planning Policies;
- The siting and design achieves an appropriate balance between landscape values and built form in line with the objectives of the Design and Development Overlay.
- The proposal will have no impact on existing vegetation on site and no impact on neighbouring vegetation.
- The design of the proposed dwelling will provide a quality outcome for the site which provides a valued and practical home for the owners of the land, without detrimentally impacting the amenity of neighbouring properties.

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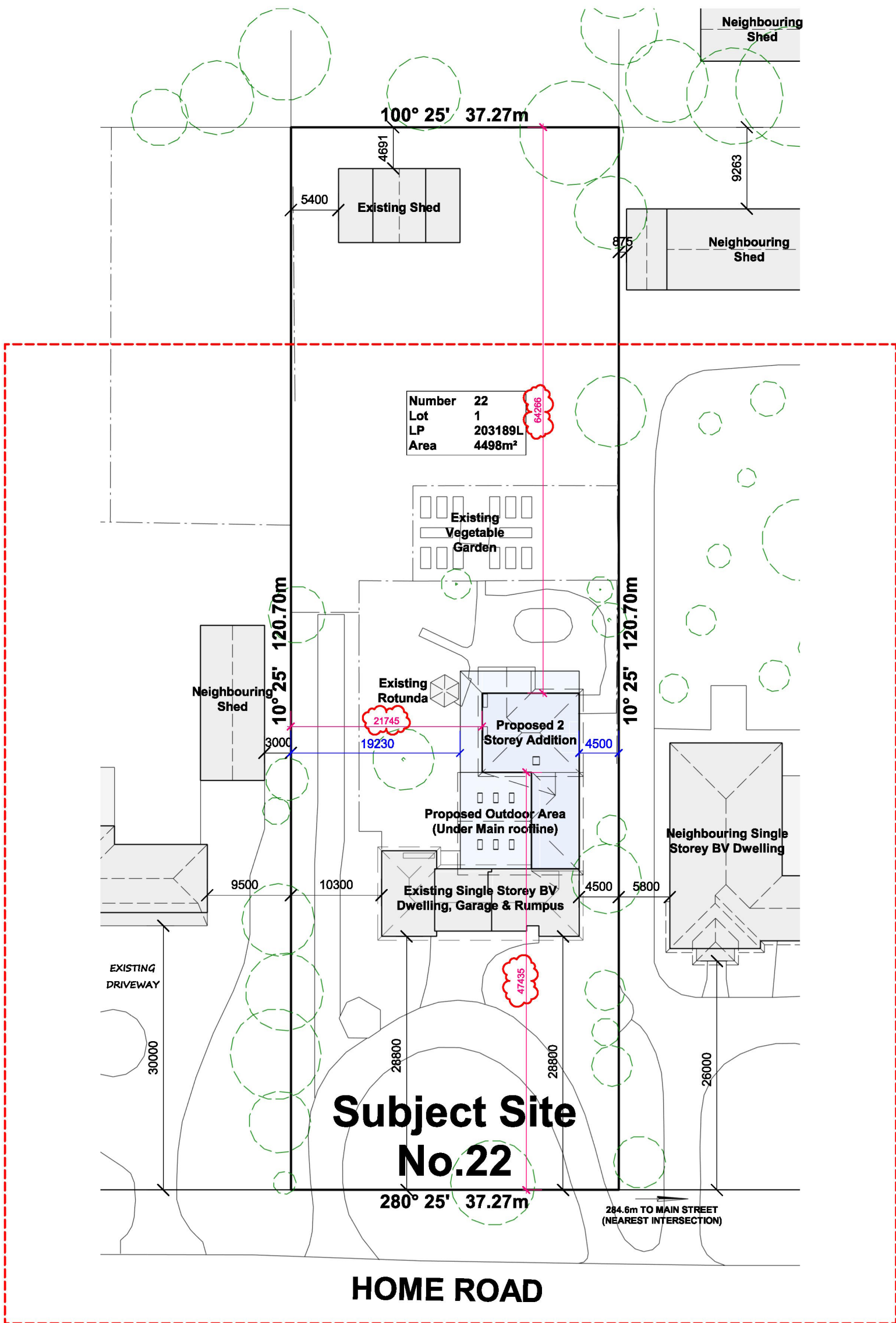
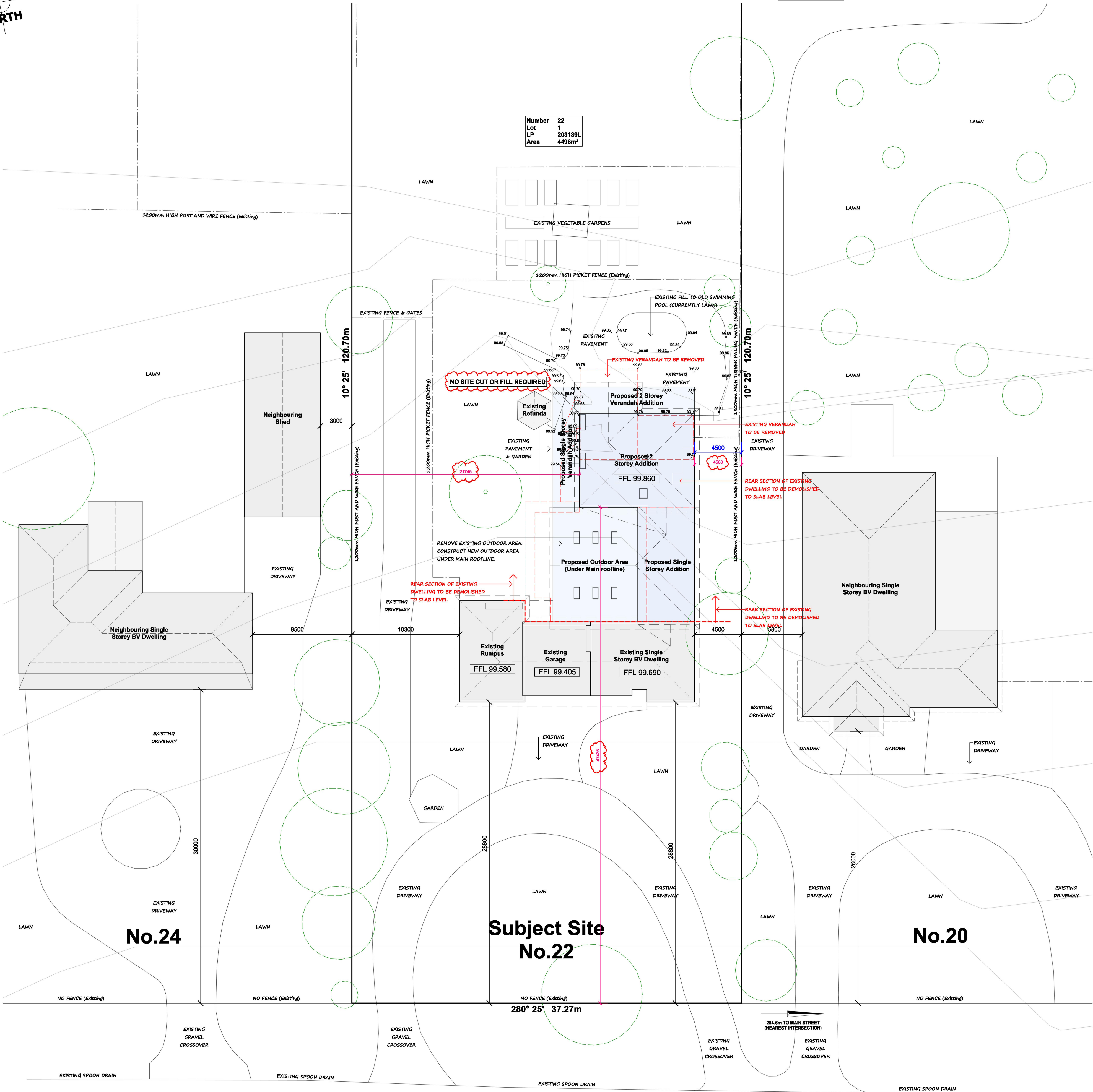


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Notes:  
OWNER and/or BUILDER to check and verify all dimensions, site levels, grades, roof pitches, etc prior to commencing any works.

Report any discrepancies to 3D Design Group for directions prior to ordering materials and start of building works.

Do not scale drawings, written dimensions are to take precedence over scaled drawings.



102 - Site Plan 1 to 500 - Proposed

1:500

Refer to 1 to 200  
Proposed Site Plan

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102 - Site Plan 1 to 200 - Proposed

1:200

HOME ROAD

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Revision: E

No.	Date	Description
A	30.08.24	Preliminary Issue
B	03.10.24	Preliminary Issue
C	16.01.25	Preliminary Issue
D	28.01.25	Town Planning Issue
E	6.3.25	TP - RFI Issue



Title: Site Plan - Proposed

Job: Proposed Addition

Name: [REDACTED]

Address: 22 Home Road, Nar Nar Goon VIC, 3812

Design: Client Sheet Size: A1

Drawn: SM Scale: As indicated

Checked: BE Issue: Prelim

Date: 29.08.2024 Revision: E

Dwg No: 24-035 Sheet No: A100



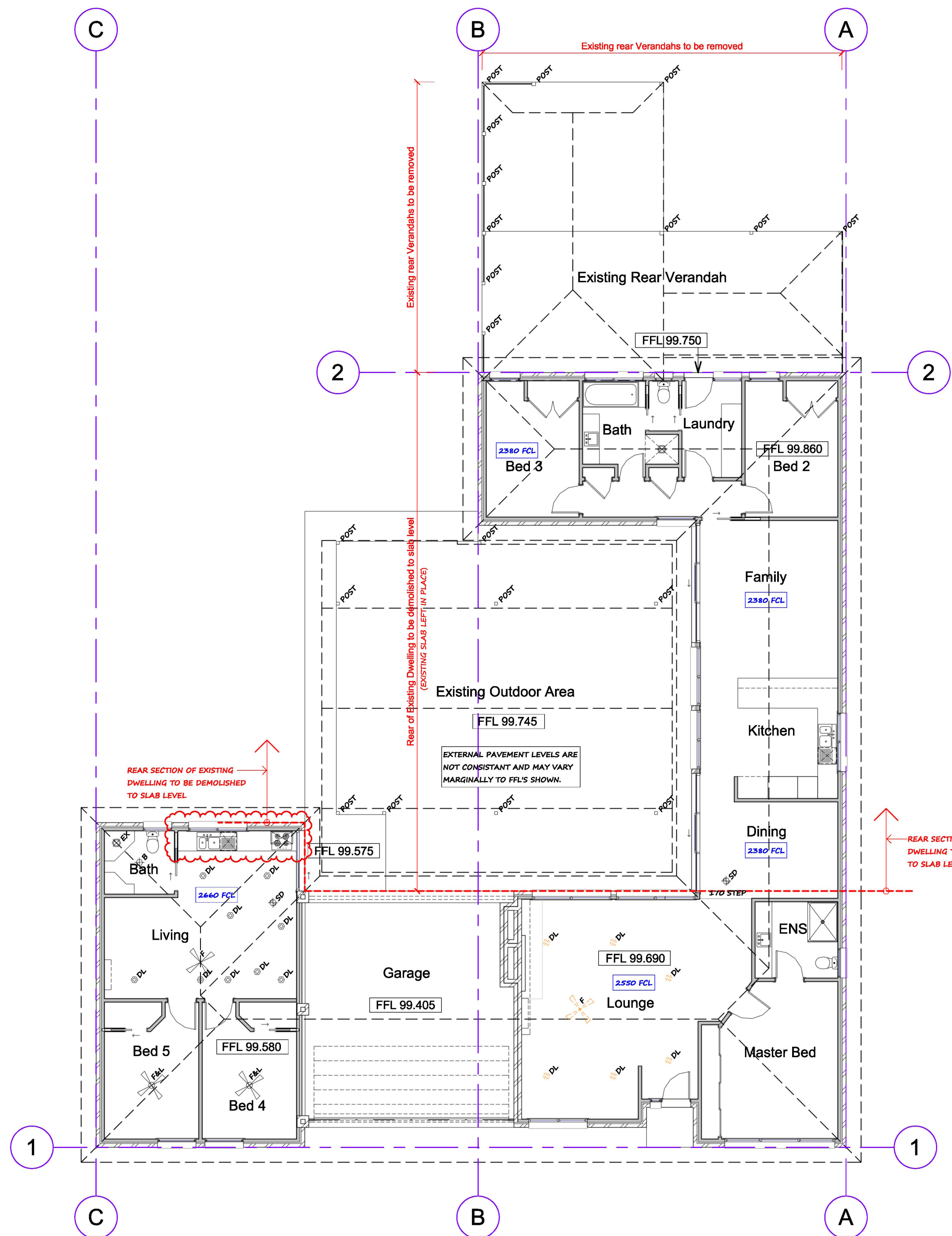


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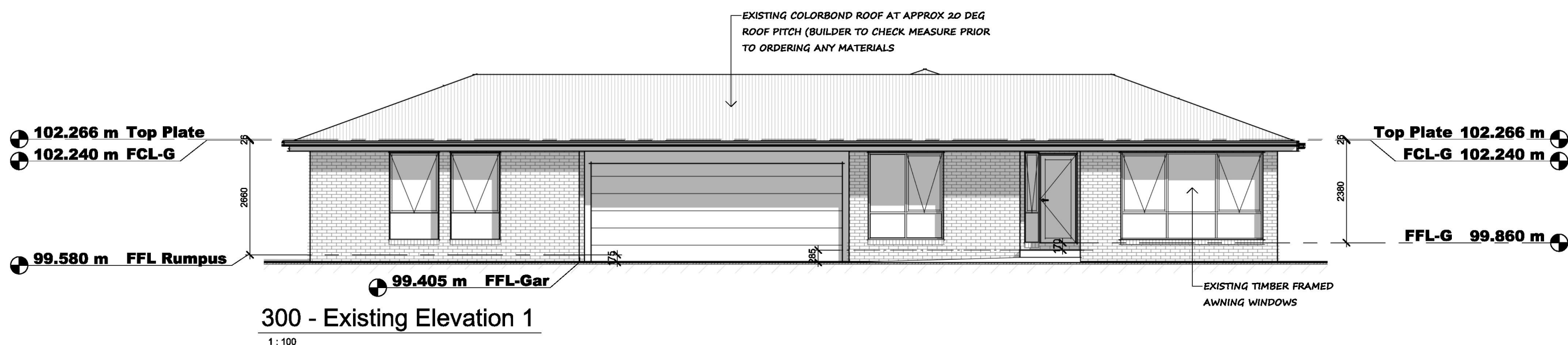
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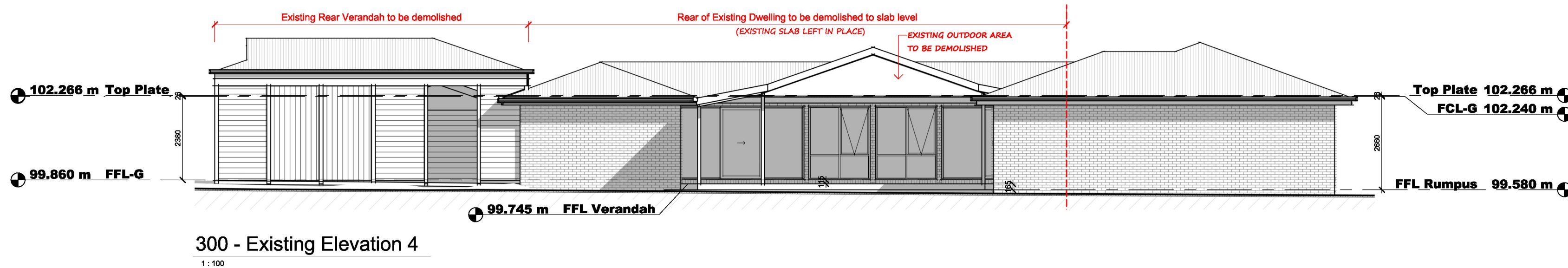
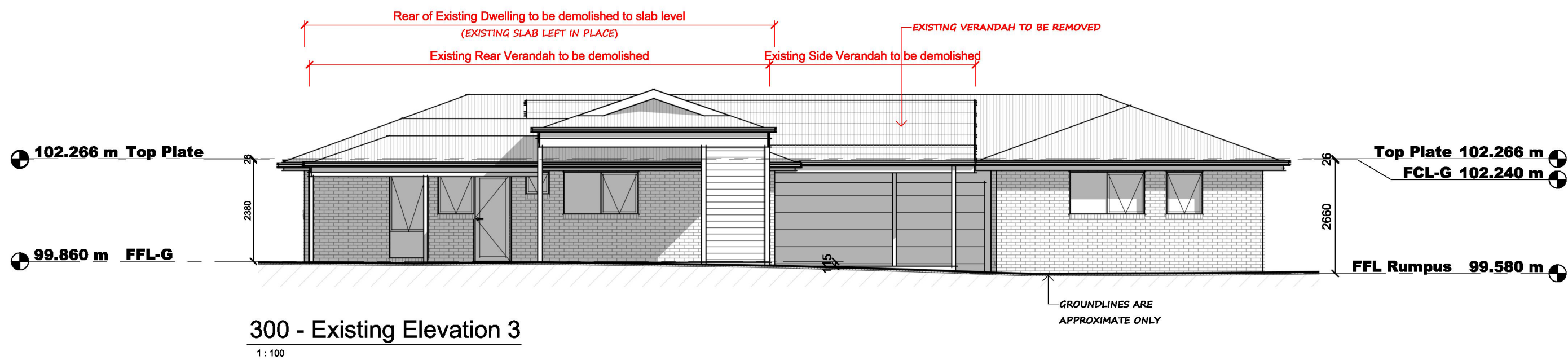
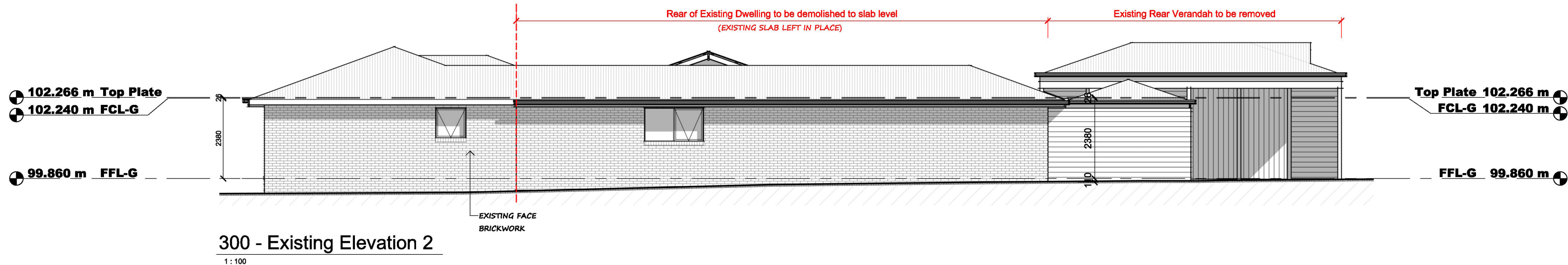
200 - Existing Floor Plan - GL

1:100

Area Schedule - Existing		
Name	Area	Sq
Existing Dwelling	174.56 m²	18.79
Existing Rumpus	59.16 m²	6.37
Existing Garage	44.97 m²	4.84
Existing Outdoor Area	116.53 m²	12.54
Existing Rear Verandah	69.92 m²	7.53
	485.13 m²	50.07



NOTE: All FFL's and groundlines to be confirmed upon completion of Site Survey.



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Revision: E		
No.	Date	Description
B	03.10.24	Preliminary Issue
C	16.01.25	Preliminary Issue
D	28.01.25	Town Planning Issue
E	03.25	TP - SFI Issue



Title: Floor Plan & Elevations - Existing

Job: Proposed Addition

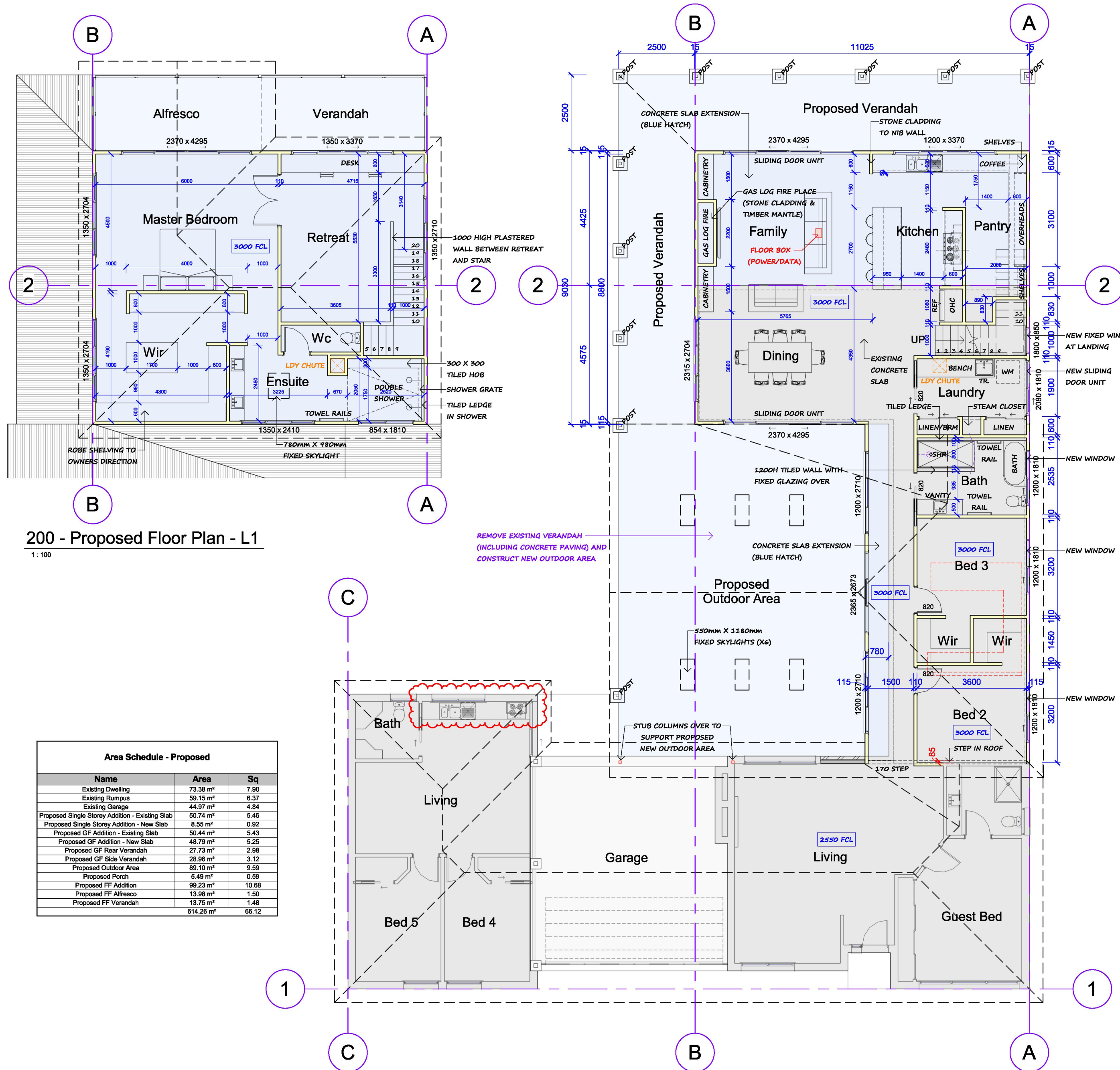
Address: 22 Home Road, Nar Nar Goon VIC, 3812

Design:	Client	Sheet Size:	A1
Drawn:	SM	Scale:	1 : 100
Checked:	BE	Issue:	Prelim
Date:	29.08.2024	Revision:	E
Dwg No:	24-035	Sheet No:	A200

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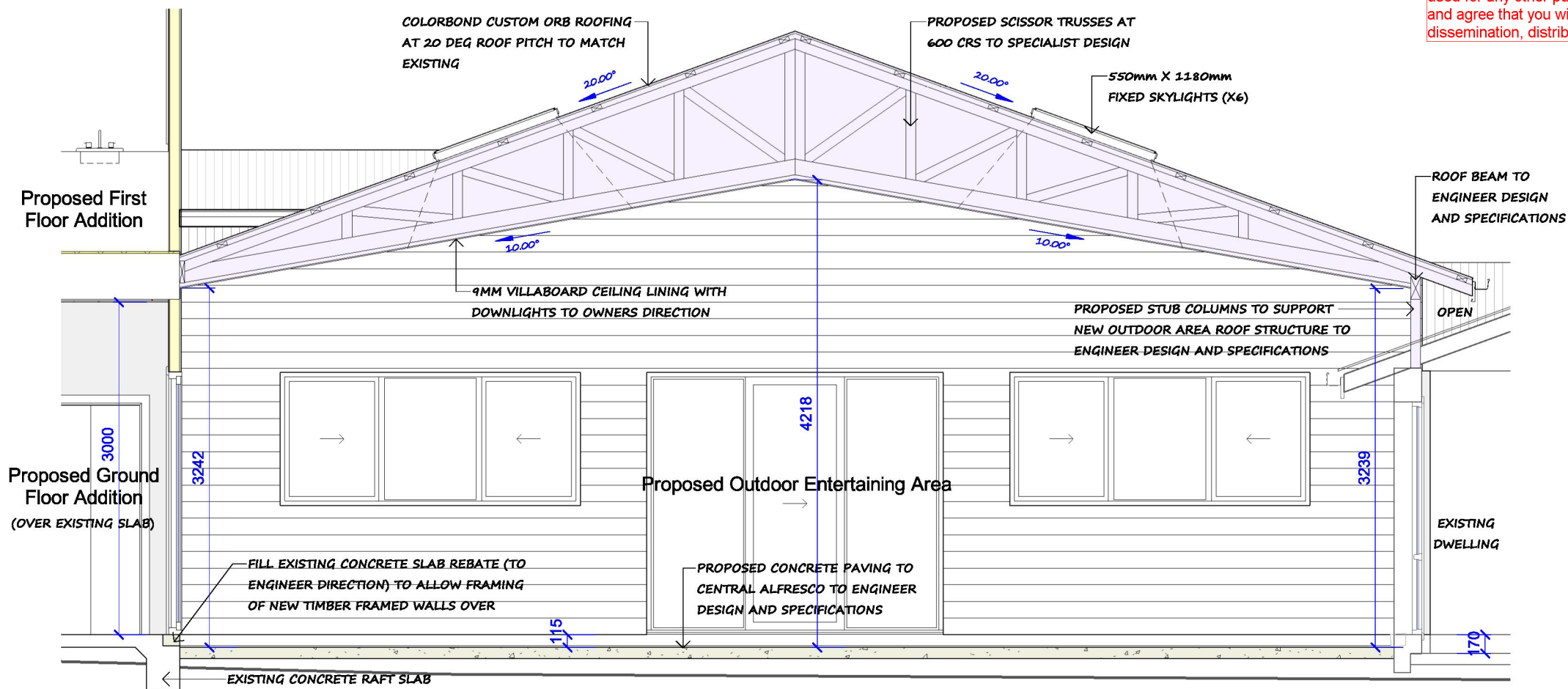


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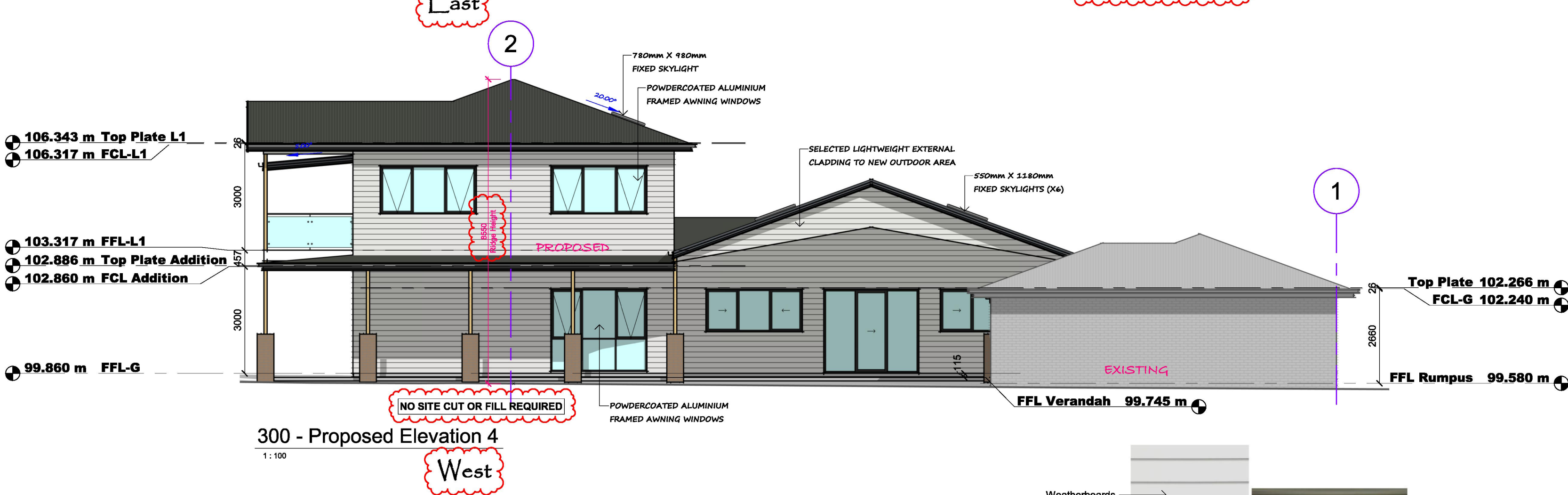
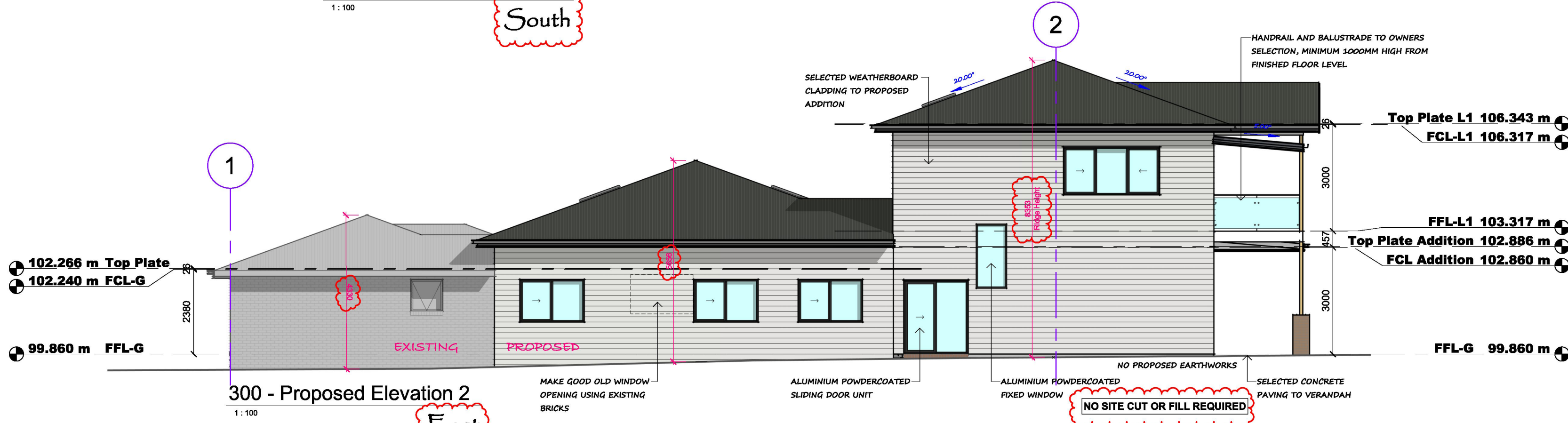
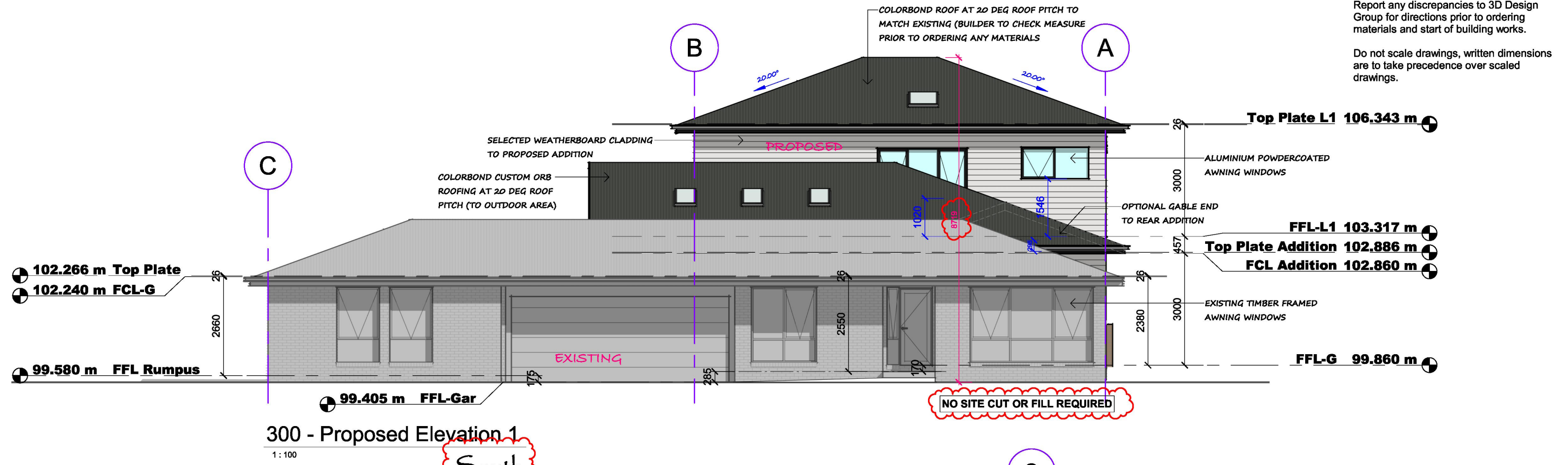
Area Schedule - Proposed		
Name	Area	Sq
Existing Dwelling	73.38 m²	7.90
Existing Rumpus	59.15 m²	6.37
Existing Garage	44.97 m²	4.84
Proposed Single Storey Addition - Existing Slab	50.74 m²	5.46
Proposed Single Storey Addition - New Slab	8.55 m²	0.92
Proposed GF Addition - Existing Slab	50.44 m²	5.43
Proposed GF Addition - New Slab	48.78 m²	5.25
Proposed GF Rear Verandah	27.73 m²	2.98
Proposed GF Side Verandah	28.96 m²	3.12
Proposed Outdoor Area	85.10 m²	9.59
Proposed Porch	5.49 m²	0.59
Proposed FF Addition	99.23 m²	10.68
Proposed FF Alfresco	13.68 m²	1.50
Proposed FF Verandah	13.75 m²	1.48
	614.26 m²	66.12

200 - Proposed Floor Plan - GL  
1:100



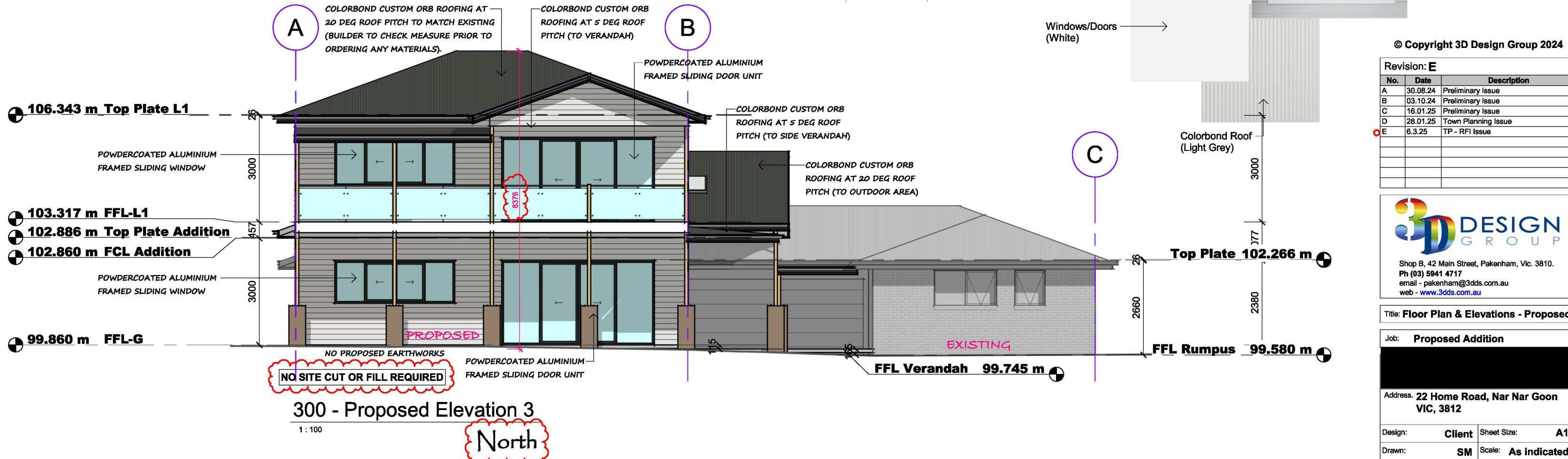
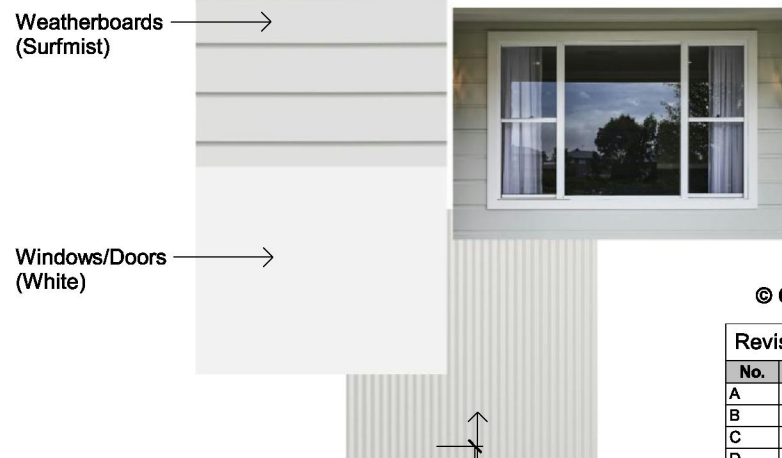
Section C-C  
1:50

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FINISH / COLOUR SCHEDULE

Element	Material	Colour
Roof	Colorbond	Light Grey
Walls	Weatherboard	Surfmist
Windows/Doors	Aluminium	White



Notes:  
OWNER and/or BUILDER to check and verify all dimensions, site levels, grades, roof pitches, etc prior to commencing any works.  
Report any discrepancies to 3D Design Group for directions prior to ordering materials and start of building works.  
Do not scale drawings, written dimensions are to take precedence over scaled drawings.

© Copyright 3D Design Group 2024		
Revision: E		
No.	Date	Description
A	30.08.24	Preliminary Issue
B	03.10.24	Preliminary Issue
C	16.01.25	Preliminary Issue
D	28.01.25	Town Planning Issue
E	6.3.25	TP - RFI Issue
3D DESIGN GROUP		
Shop B, 42 Main Street, Pakenham, Vic. 3810. Ph (03) 5941 4717 email - sales@3ddesigngroup.com.au web - www.3ddesigngroup.com.au		
Title: Floor Plan & Elevations - Proposed		
Job: Proposed Addition		
Address: 22 Home Road, Nar Nar Goon VIC, 3812		
Design:	Client	Sheet Size: A1
Drawn:	SM	Scale: As Indicated
Checked:	BE	Issue: Prelim
Date:	29.08.2024	Revision: E
Dwg No:	24-035	Sheet No: A201

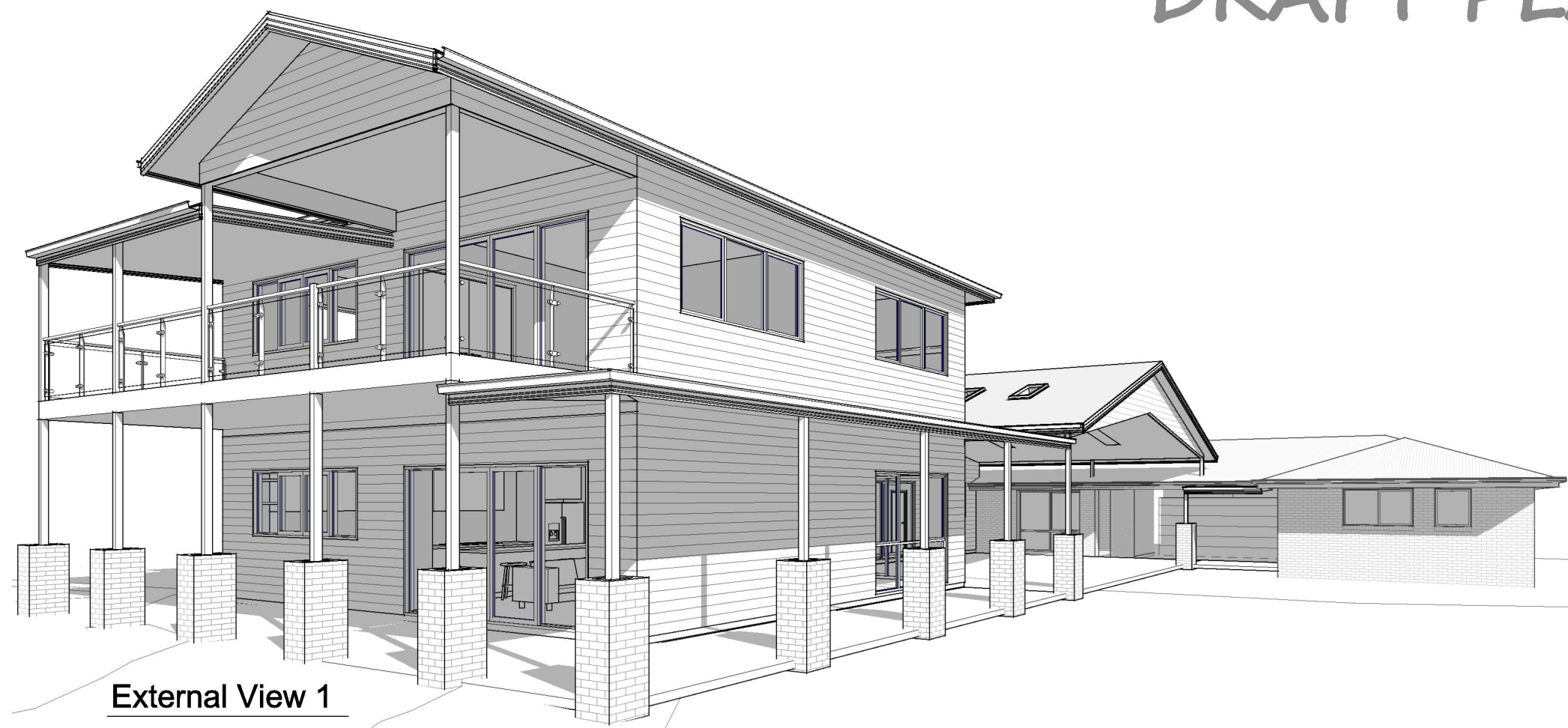
DRAFT PLANS ONLY. NOT FOR CONSTRUCTION



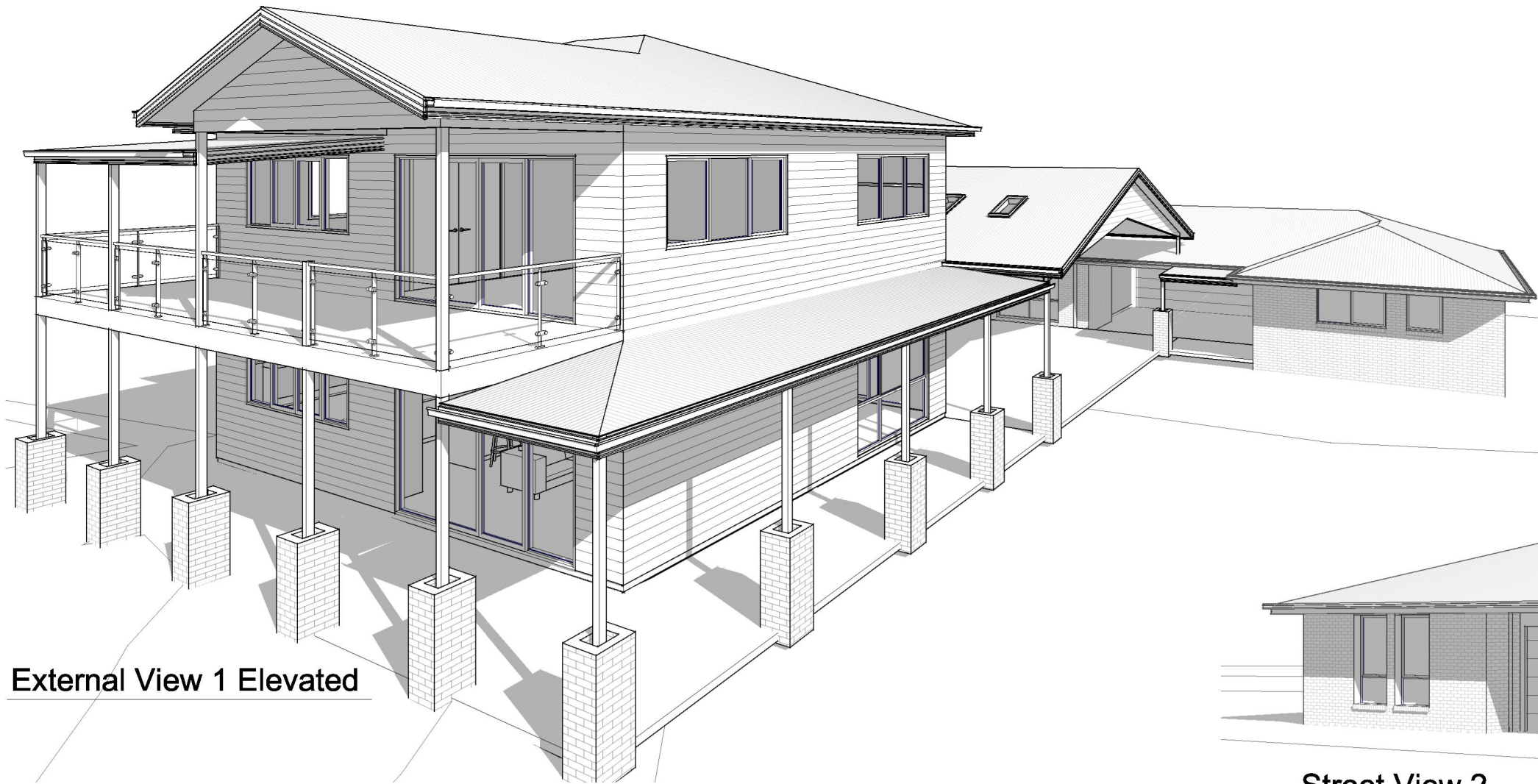
**Notes:**  
OWNER and/or BUILDER to check and verify all dimensions, site levels, grades, roof pitches, etc prior to commencing any works.

Report any discrepancies to 3D Design Group for directions prior to ordering materials and start of building works.

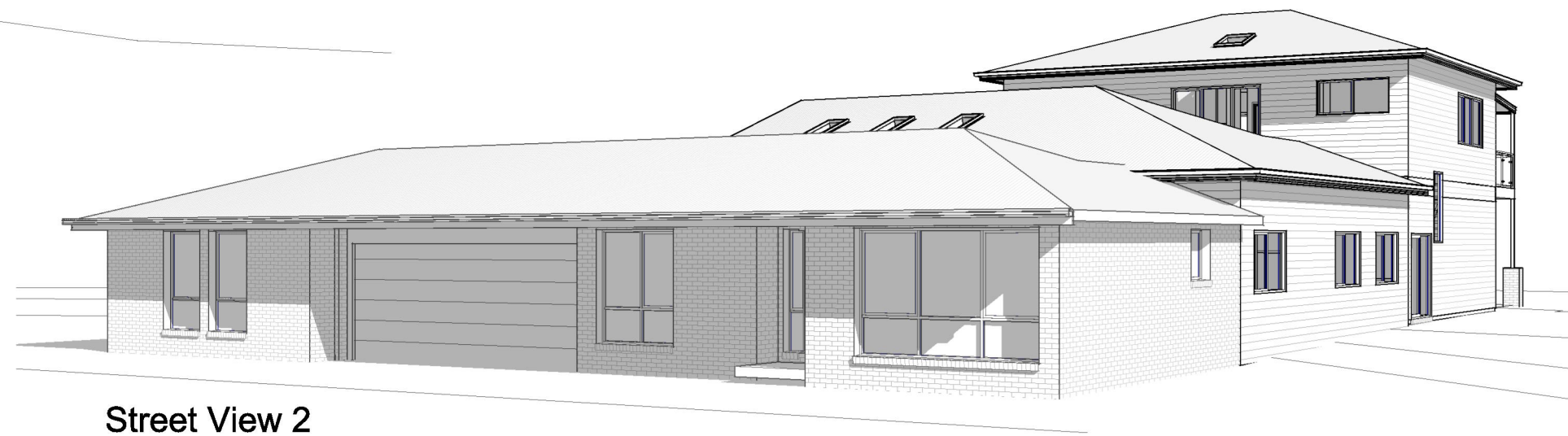
Do not scale drawings, written dimensions are to take precedence over scaled drawings.



External View 1



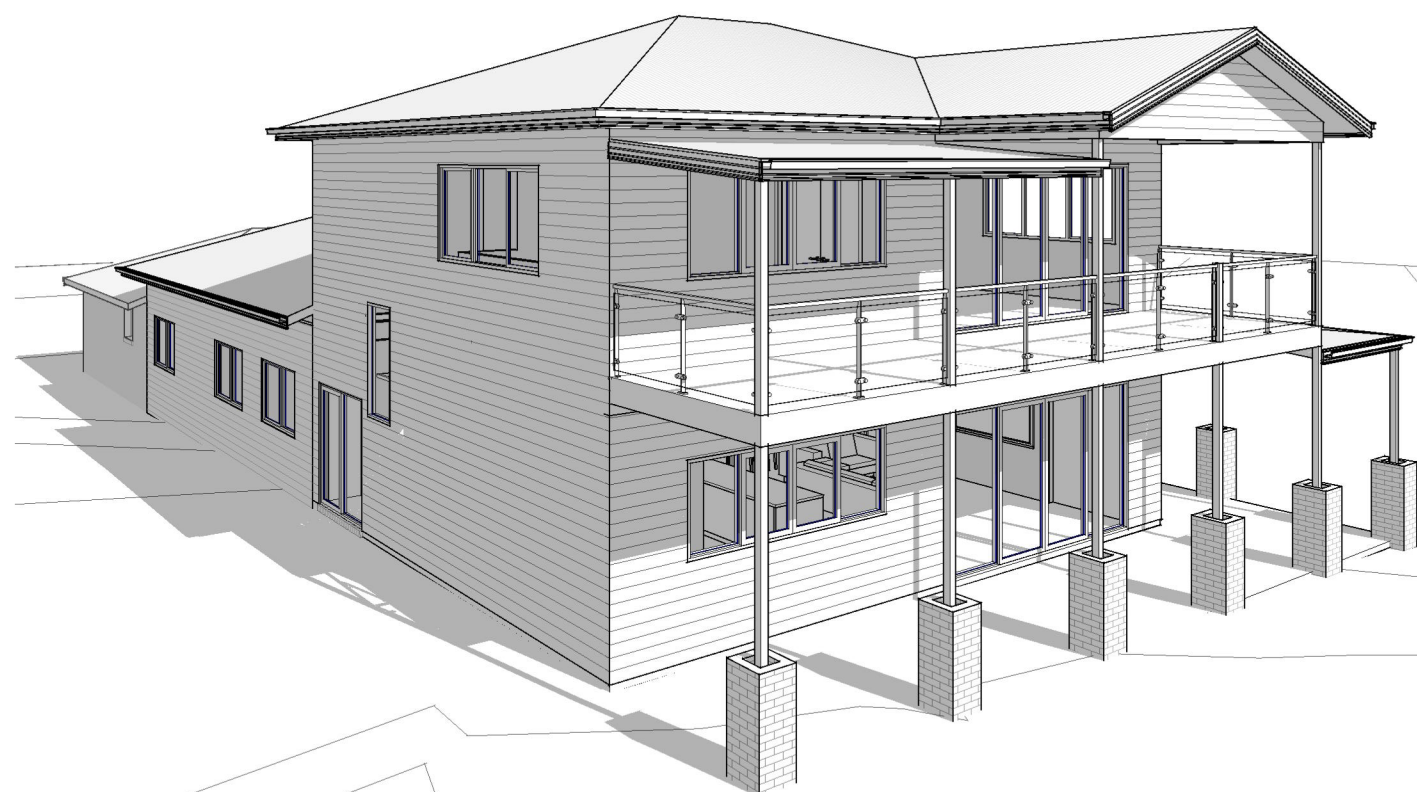
External View 1 Elevated



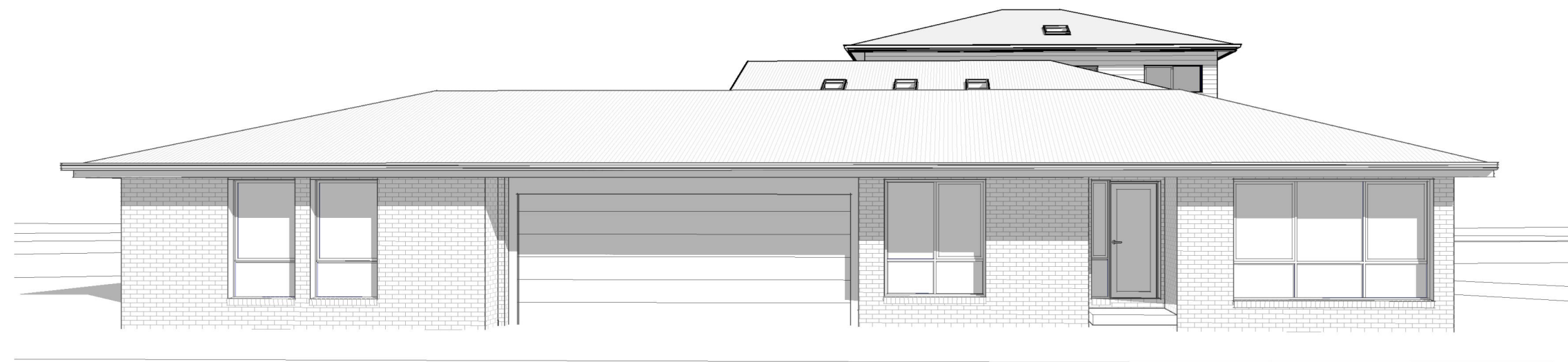
Street View 2



External View 2



External View 2 Elevated



Street View 1



Internal View 1



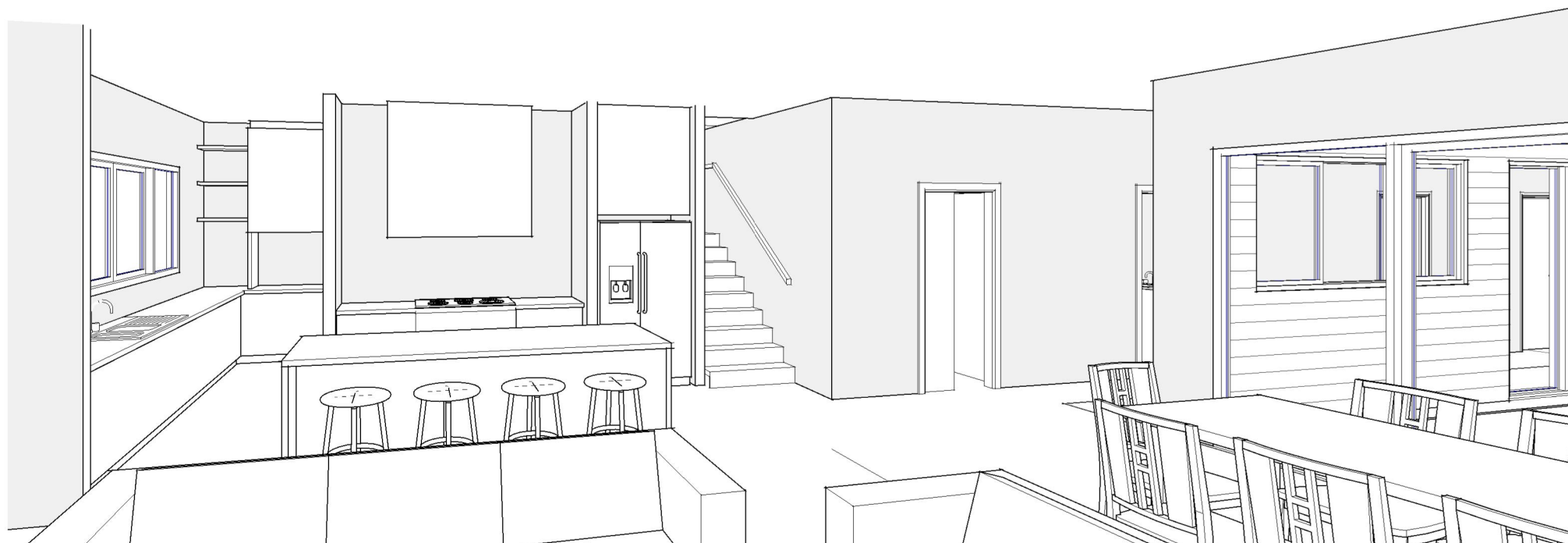
Internal View 2



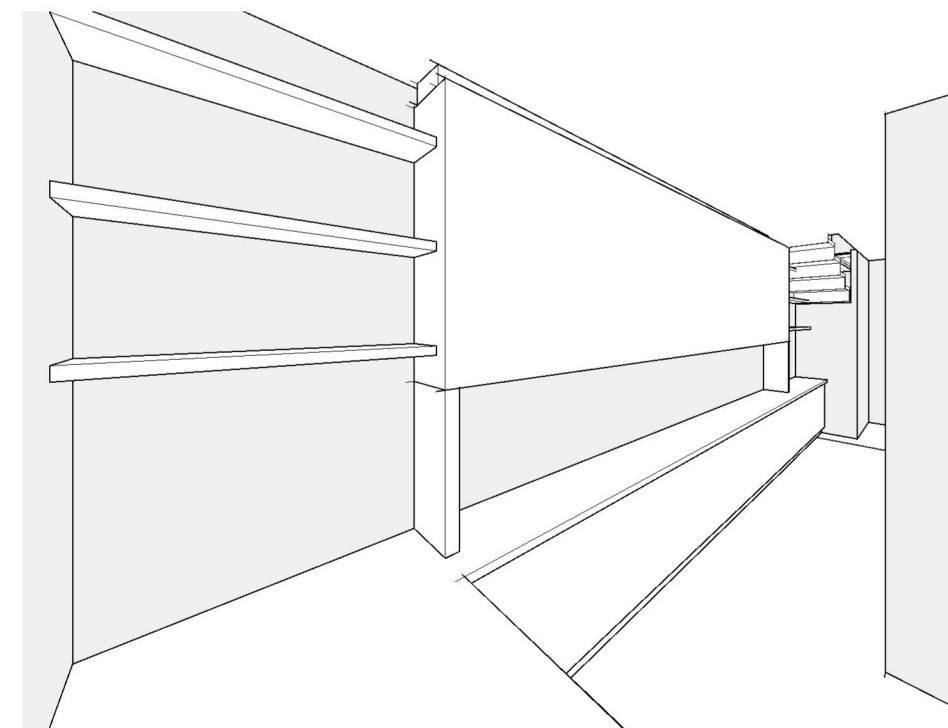
Internal View 6



Internal View 3



Internal View 4



Internal View 5

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Shop B, 42 Main Street, Pakenham, Vic. 3810.  
Ph (03) 5941 4717  
email - [pakenham@3dds.com.au](mailto:pakenham@3dds.com.au)  
web - [www.3dds.com.au](http://www.3dds.com.au)

Title: 3D Perspectives

Job: Proposed Addition

No. [REDACTED]

Address: 22 Home Road, Nar Nar Goon VIC, 3812

Design: Client Sheet Size: A1

Drawn: SM Scale:


Checked: BE Issue: Prelim

Date: 29.08.2024 Revision: E

Dwg No: 24-035 Sheet No: A800



19<sup>th</sup> March 2025

Cardinia Shire Council  
Planning Department –   
PO Box 7  
Pakenham Vic 3810

Dear 

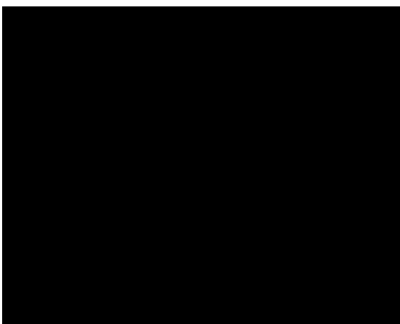
Application No: T250037  
Property No: 4402301000  
Address: L1 LP203189 V9682 F446, 22 Home Road, Nar Nar Goon VIC 3812  
Proposal: Buildings and works associated with an existing dwelling (additions and alterations)

I refer to the above planning permit application, and more specifically your request for further information dated 25<sup>th</sup> February 2025. Please find attached a detailed response to this request.

If you have any further queries regarding this matter, please do not hesitate to call me on 5941 4717.

We thank you for your cooperation on this matter.

Kind regards,



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Further Information Required:	
Further Information Required	Response
<p>1. A detailed <b>written statement</b> outlining:</p> <ul style="list-style-type: none"> <li>a) How the proposal responds to the relevant policies of the State Planning Policy Framework (Clauses 11, 15) and the Local Planning Policy Framework (including Clauses 21.03), and</li> <li>b) How the proposal meets to the purposes and decision guidelines of the Low Density Residential Zone – Schedule 1, Vegetation Protection Overlay – Schedule 1 and Design and Development Overlay – Schedule 1.</li> <li>c) How the western wing of the building (west of the existing garage) is utilised including who occupies this area, and what relationship (if any) they have to the occupants of the balance of the dwelling and how frequently the space is occupied.</li> </ul>	<p>1. Refer to Planning Submission report prepared by Nepean Planning Consultants Version 1 - March 2025.</p>
<p>2. The <b>Floor Plans</b> amended to show:</p> <ul style="list-style-type: none"> <li>a) Setbacks of the proposed first floor from property boundaries.</li> <li>b) Detailed layout of the existing western building wing (west of the garage).</li> <li>c) A plan reference name, reference number, version number, date of version and version update details including date and reason for update.</li> </ul>	<ul style="list-style-type: none"> <li>a) Refer to Architectural Drawings prepared by 3D Design Group Issue Prelim Rev E dated 6.3.25, Sheet A100</li> <li>b) Refer to Architectural Drawings prepared by 3D Design Group Issue Prelim Rev E dated 6.3.25, Sheet A200</li> <li>c) Refer to Architectural Drawings prepared by 3D Design Group Issue Prelim Rev E dated 6.3.25</li> </ul>
<p>3. The <b>Elevation Plans</b> amended to show:</p> <ul style="list-style-type: none"> <li>a) The depth of any proposed cut and/or fill (including retaining walls), if proposed.</li> <li>b) Existing and proposed works distinguished in different colours in all elevations.</li> <li>c) All elevations re-labelled in their cardinal direction.</li> <li>d) A plan reference name, reference number, version number, date of version and version update details including date and reason for update.</li> </ul>	<ul style="list-style-type: none"> <li>a) No site cut or fill required, refer to Architectural Drawings prepared by 3D Design Group Issue Prelim Rev E dated 6.3.25, Sheet A201</li> <li>b) Refer to Architectural Drawings prepared by 3D Design Group Issue Prelim Rev E dated 6.3.25, Sheet A201</li> <li>c) Refer to Architectural Drawings prepared by 3D Design Group Issue Prelim Rev E dated 6.3.25, Sheet A201</li> <li>d) Refer to Architectural Drawings prepared by 3D Design Group Issue Prelim Rev E dated 6.3.25.</li> </ul>

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## Preliminary Assessment Comments

A preliminary assessment of the application has been undertaken and the following comments are provided for your consideration:

### Western building wing

- Based on the plans provided and imagery available of the dwelling online, Council holds concerns that the western wing may be utilised as a separate self-contained dwelling. Pursuant to Clause 32.03-1 of the Cardinia Planning Scheme, a second dwelling requires permission. Should Council deem this space to be a second dwelling, an amendment to the application is recommended to incorporate these permissions as part of the application

### Internal Referral

- The application will be referred to Council's relevant departments. Further information and/or concerns may be raised upon receiving their response.

### Western Building Wing

Refer to Planning Submission report prepared by Nepean Planning Consultants Version 1 - March 2025 for a response to this.

### Internal Referral

Noted

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