
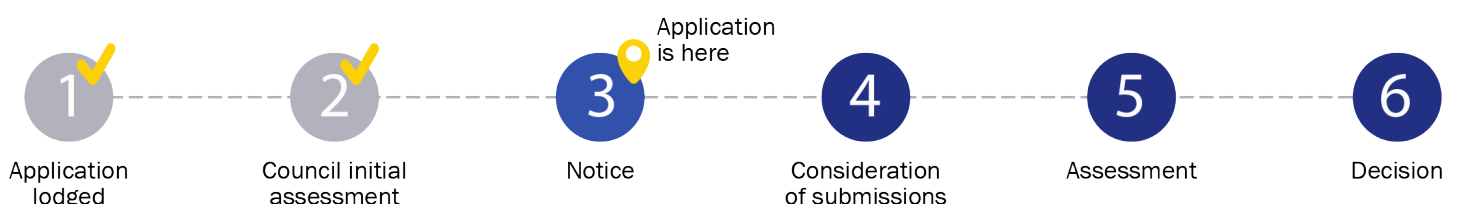


Notice of Application for a Planning Permit

The land affected by the application is located at:	L14 PS805147 V12566 F457 17 Agnoletto Court, Bunyip VIC 3815	
The application is for a permit to:	Buildings and works (construction of one (1) dwelling)	
A permit is required under the following clauses of the planning scheme:		
42.03-2	Construct a building or construct or carry out works	
APPLICATION DETAILS		
The applicant for the permit is:	GVK TOWN PLANNING	
Application number:	T240643	
<p>You may look at the application and any documents that support the application at the office of the responsible authority:</p> <p>Cardinia Shire Council, 20 Siding Avenue, Officer 3809.</p> <p>This can be done during office hours and is free of charge.</p> <p>Documents can also be viewed on Council's website at cardinia.vic.gov.au/advertisedplans or by scanning the QR code.</p>		
		
HOW CAN I MAKE A SUBMISSION?		
This application has not been decided. You can still make a submission before a decision has been made. The Responsible Authority will not decide on the application before:		
25 April 2025		
WHAT ARE MY OPTIONS? <p>Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.</p> <p>If you object, the Responsible Authority will notify you of the decision when it is issued.</p>	<p>An objection must:</p> <ul style="list-style-type: none">• be made to the Responsible Authority in writing;• include the reasons for the objection; and• state how the objector would be affected.	<p>The Responsible Authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.</p>



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Planning Enquiries
Phone: 1300 787 624
Web: www.cardinia.vic.gov.au

Office Use Only

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

i Click for further information.

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 17	St. Name: AGNOLETO CRT
Suburb/Locality: BONYIP		Postcode: 3815

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.:	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input checked="" type="radio"/> Plan of Subdivision	No.: 805147G
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

i For what use, development or other matter do you require a permit? *

CONSTRUCTION ONE DOUBLE STOREY DWELLING.

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ⓧ Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Cost \$ 500,000

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.

i Estimated cost of any development for which the permit is required *

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

VACANT LOT

☒ Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).

☒ Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:		
Title:	First Name:	Surname:
Organisation (if applicable): GVK TOWN PLANNING PTY LTD		
Postal Address: If it is a P.O. Box, enter the details here:		
Unit No.:	St. No.:	St. Name: PO BOX 6044
Suburb/Locality: CAULFIELD SOUTH	State: VIC	Postcode: 3162

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.


Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Declaration

This form must be signed by the applicant.

-  Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

☒ No

☐ Yes



If 'Yes', with whom?:

Date:

day / month / year

Checklist

Have you:

- ☒ Filled in the form completely?
- ☐ Paid or included the application fee?  Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
-  Provided all necessary supporting information and documents?
 - ☒ A full, current copy of title information for each individual parcel of land forming the subject site.
 - ☒ A plan of existing conditions.
 - ☒ Plans showing the layout and details of the proposal.
 - ☒ Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.
 - ☒ If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).
 - ☒ If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.
- ☒ Completed the relevant council planning permit checklist?
- ☒ Signed the declaration?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Cardinia Shire Council
PO Box 7
Pakenham VIC 3810

In person: 20 Siding Avenue, Officer

Contact Information:

Telephone: 1300 787 624

Email: mail@cardinia.vic.gov.au

DX: 81006

Deliver application in person, by post or by electronic lodgement.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 12566 FOLIO 457

Security no : 124120126042T

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LAND DESCRIPTION

Lot 14 on Plan of Subdivision 805147G.
PARENT TITLE Volume 12069 Folio 383
Created by instrument AY299266H 13/08/2024

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT PS805147G 03/04/2019

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AD638669F 25/05/2005

DIAGRAM LOCATION

SEE PS805147G FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AY299266H (E)	APPLICATION LOST TITLE	Registered	14/08/2024
AY432186S (E)	TRANSFER	Registered	24/09/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 17 AGNOLETO COURT BUNYIP VIC 3815

ADMINISTRATIVE NOTICES

NIL

eCT Control 18266H JOSE CYRIL FERNANDEZ
Effective from 24/09/2024

DOCUMENT END

Imaged Document Cover Sheet

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Number of Pages (excluding this cover sheet)	13
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**APPLICATION FOR RECORDING OF AN AGREEMENT
SECTION 181(1) PLANNING & ENVIRONMENT ACT 1987**

Application by
Responsible Authority: CARDINIA SHIRE COUNCIL

Referral Authority or
Council for making of a
recording of an agreement: CARDINIA SHIRE COUNCIL

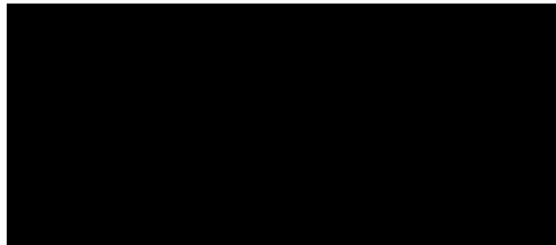
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Section 181(1) Planning and Environment Act 1987

Lodged by:
Phone:
Address:
Ref:
Customer Code:



The Authority or Council having made an agreement requires a recording to be made in the Register Book for the land.

Land: Part of the land described in Certificate of Title Volume
6099 Folio 717 known as Lot 2 on Plan of Subdivision
No. 525720M. *dw = 10892-223*

Authority or Council: CARDINIA SHIRE COUNCIL of Henry Way,
Pakenham, 3810

Section and Act under which Section 173 Planning and Environment Act 1987
Agreement was made:

A copy of the Agreement is attached to this application.

Date: *21* day of *MAY* 2005

Signature



AD638669F-1-4

9/5/05

9 - 9 AUG 2005

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DEED OF AGREEMENT

SECTION 173 AGREEMENT

CARDINIA SHIRE COUNCIL

and

SOUTH EAST WATER LIMITED
ABN 89 066 902 547

and

VICTOR JOSEPH AGNOLETO
and
ALEX AGNOLETO



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DEED OF AGREEMENT
SECTION 173 AGREEMENT

DATE:

19 MAY 2005

PARTIES

CARDINIA SHIRE COUNCIL of Henty Way, Pakenham (the "Responsible Authority"),

SOUTH EAST WATER LIMITED ABN 89 066 902 547 of 20 Corporate Drive,
Moorabbin, Victoria, 3189 ("South East Water"); and

VICTOR JOSEPH AGNOLETO and ALEX AGNOLETO both of 159 Nash Road,
Bunyip, Victoria, 3815

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RECITALS

- A. The Owner is the registered proprietor of an estate in fee simple of the land known as Lot 2 on Plan of Subdivision No. 525720M being part of the land described in Certificate of Title Volume 6099 Folio 717.
- B. The Cardinia Shire Council is the responsible authority, under the planning and Environment Act 1987 (the "Act") for the purposes of the Cardinia Planning Scheme (the "Scheme"). The Land is affected by the provisions of the Scheme.
- C. South East Water is the holder of a water and sewerage licence pursuant to Section 17 of the Water Industry Act 1994 (Vic). The Land is included in South East Waters licensed area.
- D. The Responsible Authority issued a planning permit No. T040236 to subdivide the Land into 2 allotments in accordance with Plan of Subdivision No. 525720M (the "Permit"). Pursuant to Condition 2 of the Permit, the Owners are required to enter into an agreement with South East Water for the provision of sewerage services to the land and fulfil all requirements (in relation to the provisions of sewerage infrastructure) to South East Water's satisfaction.
- E. The responsible Authority, South East Water and the Owner have agreed to enter into this agreement pursuant to Section 173 of the Act.

OPERATIVE PROVISIONS

1. DEFINITIONS AND INTERPRETATION

Definitions

"Act" means the Planning and Environment Act 1987.

"Agreement" means this Deed of Agreement.

"Chief General Manager" means the Chief General Manager within the meaning of the Health Act 1958 (Vic).

"EPA" means the Environment Protection Authority

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"Land" has the meaning ascribed to it in Recital A.

"Laws" means Commonwealth, Victorian or local government legislation, regulations, by-laws and other sub-ordinate legislation, codes and policies (including the State Environment Protection Policy (Waters of Victoria)), judicial, administrative or regulatory decrees, judgments or orders from time to time including as amended or modified or re-enacted from time to time.

"Sewage" means sewage as defined in the Water Act 1989 (Vic).

"South East Water" means South East Water Limited ABN 89 066 902 547 of 20 Corporate Drive, Moorabbin, Victoria and includes any delegate of South East Water or any subsequent holder of a water and sewerage licence pursuant to section 17 of the Water Industry Act that applies to the Land.

"Transferee" means a person or company who takes transfer of or enters into a Contract of Sale to purchase the Land.

"Water Industry Act" means the Water Industry Act 1994 (Vic).

General Interpretation

In this Agreement, unless the context otherwise requires:

- (a) a reference to any legislation or any legislative provision includes any statutory modification or re-enactment of, or legislative provisions substituted for, and any subordinate legislation issued under, that legislation or legislative provisions;
- (b) the singular includes the plural and vice versa;
- (c) a reference to an individual or person includes a corporation, partnership, joint venture, association, authority, trust, state or government, or vice versa;
- (d) a reference to any gender includes all genders;
- (e) a reference to a recital, clause, schedule, annexure or exhibit is to a recital, clause, schedule, annexure or exhibit of or to this Agreement;
- (f) a recital, schedule, annexure or a description of the parties forms part of this Agreement;
- (g) a reference to any Agreement or document is to that Agreement or document (and, where applicable, any of its provisions) as amended, innovated, supplemented, or replaced from time to time;
- (h) a reference to any party to this Agreement or any other document or arrangement includes that party's executors, administrators, substitutes, successors and permitted assigns; and
- (i) where an expression is defined, another part of the speech or grammatical form of that expression has a corresponding meaning.

Headings

In this Agreement, headings are for convenience of reference only and do not affect interpretation.

2. CONFIRMATION OF RECITALS

Each of the parties to this Agreement confirms the recitals that relate to that party.



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3. EFFECT OF THE AGREEMENT AND REGISTRATION

3.1 Agreement Under Section 173 of the Act

The parties agree that without limiting or restricting the respective powers to enter into this Agreement and, in so far as it can be so treated, this Agreement is made pursuant to section 173 of the Act.

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3.2 Covenants to Run with the Land

The parties agree and declare that the obligations imposed on the Owner under this Agreement are intended to take effect as covenants which shall be annexed to and run at law and equity with the whole or any part of the Land and bind the Owner, its successors, transferees and permitted assigns, the registered proprietor or proprietors for the time being of the Land.

3.3 Registration Memorandum

- (a) An application, pursuant to section 181 of the Act shall be made by the Responsible Authority to the Registrar of Titles for the entry of a memorandum of this Agreement upon the Certificate of Title to the Land.
- (b) The Owner shall do all things necessary to enable the application made by the Responsible Authority to be entered on the Certificate of Title to the Land, including signing any further agreement, acknowledgment or document.

4. COVENANTS

4.1 Owner's Covenants

If a reticulated sewerage system is not provided to the Land, the Owner covenants and agrees with the Council and South East Water as follows:

- (a) It will at the written request of the Council, the Chief General Manager or the EPA, upon 60 days notice, provide proof at the cost of the Owner, and to the satisfaction of the Council, Chief General Manager or the EPA making the request, that:
 - (i) all sewage is being and will continue to be treated and retained within the Land without danger to public health, safety and the environment; and
 - (ii) any treatment systems meet and will continue to meet the relevant requirements of all Laws relating to such systems;
- (b) For the purpose of providing proof under clause 4.1(a), and without limiting any other form of proof that may be required, it will conduct such tests reasonably required by the Council, the Chief General Manager or the EPA at the cost of the Owner;
- (c) It will at the written request of the Council, and at the Owner's cost:
 - (i) repair, replace or upgrade its treatment system; and
 - (ii) take any other steps required by the Council to ensure that:
 - (A) all sewage is being and will continue to be adequately treated and retained within the Land without danger to public health, safety or the environment; and
 - (B) any treatment system it uses meets and will continue to meet the requirements of Laws relating to such systems and the treatment of sewage from time to time;



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- (d) Without limiting any powers of the Council under clause 4.1(c), if the Council is not satisfied that:
- (i) all sewage is being or will continue to be adequately treated and retained within the Land without danger to public health, safety or the environment; or
 - (ii) any treatment system used by the Owner meets and will continue to meet the requirements of all Laws relating to such systems and the treatment of sewage from time to time,

subject to clause 4.1(e), the Owner will at the written request of the Council, enter into an agreement with South East Water for the provision of reticulated sewerage services to the Land and fulfil all requirements of South East Water;

- (e) If South East Water provides, agrees to provide, or is legally required to provide reticulated sewerage services to the Land, whether pursuant to any agreement, or backlog or other program or scheme or otherwise, the Owner will pay the cost of extending and connecting the reticulated sewer and associated works to the Land, including pay the cost of any works, and pay the area contribution charge and other charges applicable from time to time.

4.2 Council's and Owner's Agreements and Acknowledgments

The Council and the Owner acknowledge and agree that:

- (a) South East Water shall not be required to enter into an agreement with the Owner for the provision of reticulated sewerage services to the Land except to the extent it is required to do so under the Water Industry Act; and
- (b) nothing in this Agreement shall limit the powers of South East Water under the Water Industry Act, including Section 65(1) of that act.

4.3 South East Water's Agreement

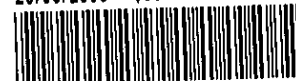
Any payments required by South East Water under Sections 27 and 29 of the Water Industry Act shall be assessed by South East Water in accordance with those respective provisions of that act.

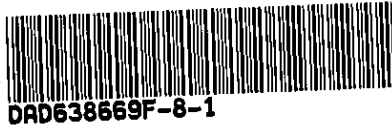
5. OWNER'S INDEMNITY AND RELEASE

The Owner agrees not to make any claim for damage or loss of any kind against the Responsible Authority or South East Water arising from or referable to the provision of sewerage services to the Land, this Agreement or any non-compliance with this Agreement. The Owner agrees to hold harmless and keep the Responsible Authority and South East Water indemnified for and against all actions, claims, liability, demands, damages, losses, expenses and/or costs by or at the instance of any person or body whatsoever and howsoever caused, including but without limiting, any claim in negligence or arising from personal injury, arising from or referable to the provision of sewerage services to the Land, this Agreement or any non-compliance with this Agreement.

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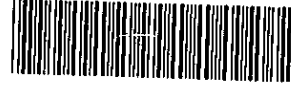


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6. OWNER'S WARRANTIES

- (a) Without limiting the operation or effect of this Agreement, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Land which may be affected by this Agreement.
- (b) The Owner covenants to obtain the consent by any mortgagee to be bound by the covenants in this Agreement if the mortgagee becomes a mortgagee in possession of the Land.
- (c) Without limiting the operation or effect of this Agreement, the Owner must ensure that until a Memorandum of this Agreement is registered on the Certificate of Title to this Land, the Owner will ensure that its Transferees:
 - (i) give effect to, do all acts and sign all documents to give effect to this Agreement; and
 - (ii) execute a deed agreeing to be bound by this Agreement.

7. OWNER'S OR TRANSFEREE'S DEFAULT

If the Owner or a Transferee fails to comply with the provisions of this Agreement or any requirement made under the provisions of this Agreement, the Responsible Authority or South East Water may serve a notice on the Owner or a Transferee (as the case may be) specifying the works, matters and things in respect of which the Owner or Transferee is in default. If the alleged default continues for 30 days after the service of such notice, the Responsible Authority or South East Water may by its officers, employees, agents and contractors enter the Land and ensure that the works, matters and things are carried out. The costs incurred by the Responsible Authority or South East Water in undertaking the works as a result of the Owner or Transferee's default will be payable by the Owner or the Transferee.

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8. COSTS

The Owner will pay South East Water's and the Responsible Authority's reasonable costs and expenses in relation to the negotiation, preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until payable remain a debt due to the Responsible Authority and/or South East Water (as the case may be).

9. NO FETTERING OF THE RESPONSIBLE AUTHORITY'S POWERS

The parties acknowledge and agree that this Agreement does not fetter or restrict the power or discretion of the Responsible Authority to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision application to the Land or relating to any use or development of the Land.

10. NOTICES

Any notice under this Agreement may be served by delivering, either personally or by registered mail, to the Parties.

11. SEVERABILITY

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, paragraph or clause of this Agreement is unenforceable, legal or void then it must be severed and the other provisions of this Agreement remain operational.

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12. FURTHER ASSURANCE

Each party must promptly execute and deliver all documents and take all other actions necessary or desirable to effect, perfect or complete the transactions contemplated by this Agreement.

13. NO WAIVER

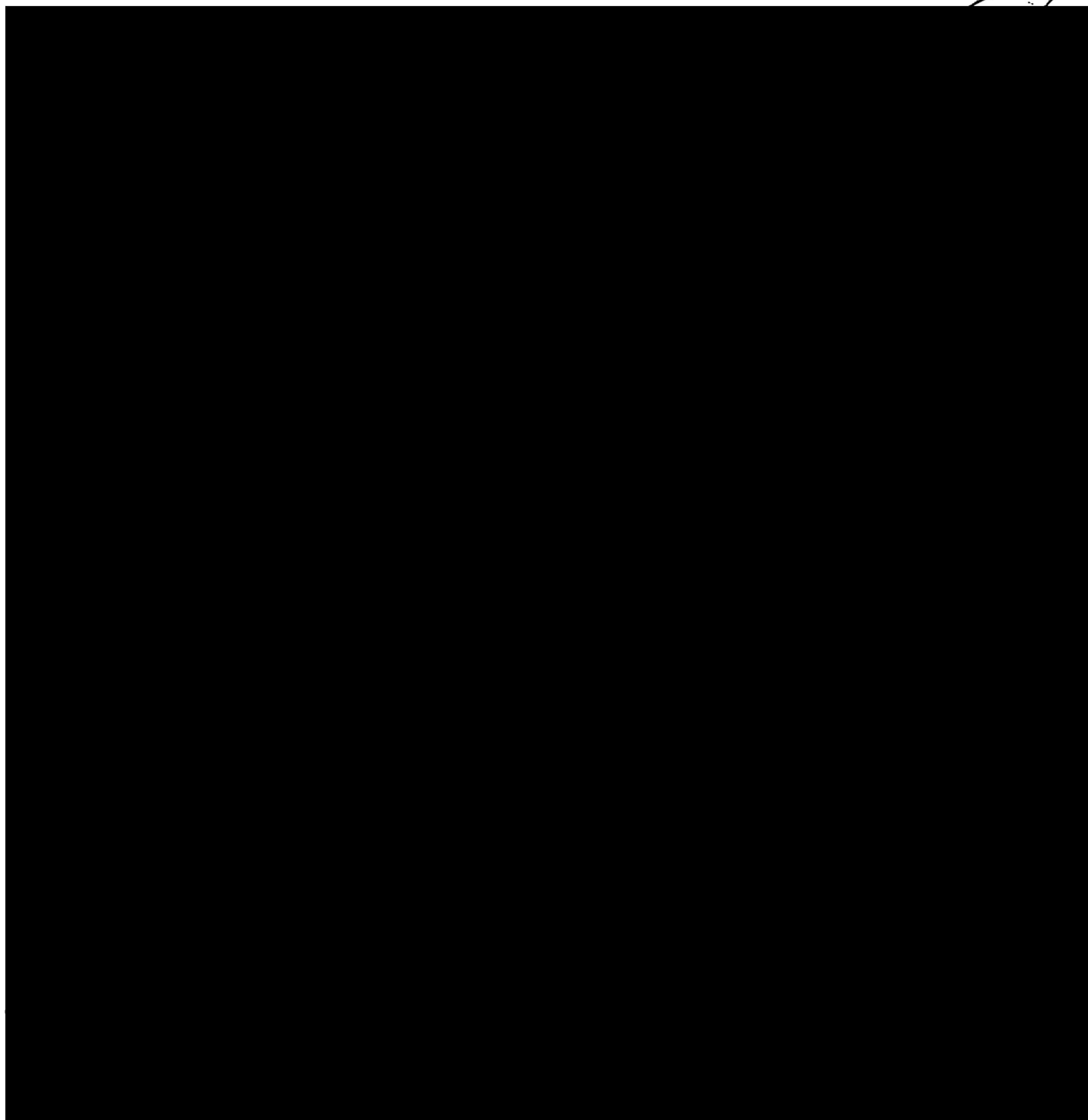
Any time or time indulgence granted by the Responsible Authority or South East Water to the Owner or any variation of the terms and conditions of this Agreement will not in any way amount to a waiver of any of the rights and remedies of the Responsible Entity or South East Water in relation to the terms of this Agreement.



EXECUTED AS A DEED



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SOUTH EAST WATER LIMITED

POWER OF ATTORNEY

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AD638669F

25/05/2005 \$90 173



Dated:

24/ 12 /04

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BY THIS POWER OF ATTORNEY the corporation described in schedule 1 (the **"Grantor"**) appoints any of the persons described in schedule 2 (each an **"Attorney"**) as the Grantor's attorney to do any one or more of the following on behalf of the Grantor in the name of the Attorney or in the name of the Grantor:

- (a) to execute under hand or under seal or otherwise effect the entry by the Grantor into any documents or agreements described in schedule 3 (each a **"Document"**)
- (b) to complete any blanks which may be left in any Document;
- (c) to make any amendments or additions to a Document as the Attorney may approve (evidenced conclusively by the Attorney's execution of the Document);
- (d) to do anything, which in the opinion of the Attorney ought to be done to perfect any Document or bring it into effect; or is contemplated by, incidental to or necessary and desirable in connection with, any Document, including the signing of any notice or ancillary instrument.

AD638669F

25/05/2005 \$90 173



AND THE GRANTOR DECLARES THAT:

- 1. The rights and powers given to an Attorney under this power of attorney remain in full force and effect until revoked by written notice from the Grantor to that Attorney.
- 2. The Grantor ratifies and confirms whatever an Attorney does under this power of attorney.
- 3. The Grantor indemnifies each Attorney against all claims, damages, losses and expenses suffered or incurred as a result of anything done under this power of attorney.
- 4. Upon execution of this power of attorney, the Grantor shall stamp and register it as required by any applicable law. If the Grantor fails to do so, it authorises the relevant Attorney or party to a Document (each an **"Other Person"**) to do so on its behalf.

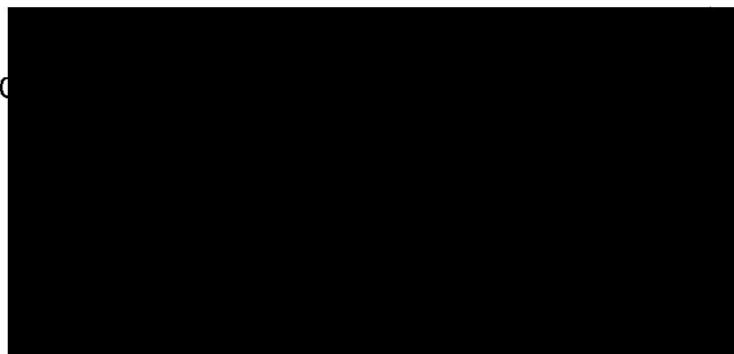
SCHEDULES



AD638669F-12-4

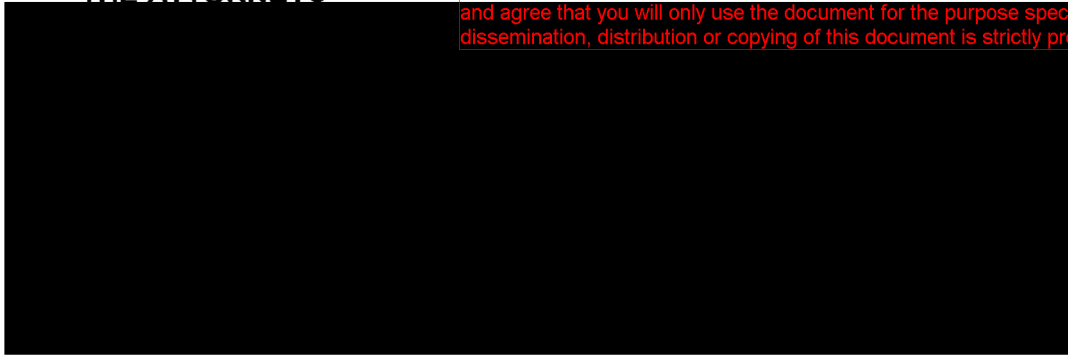
1. THE GRANTOR

South East Water Limited ABN 89 0



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2. **THE ATTORNEYS**

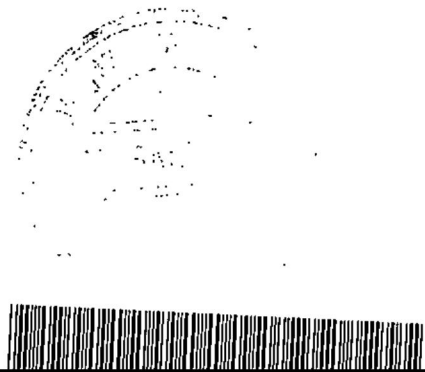


3. **DOCUMENTS**

Any document as may be necessary or expedient to create, discharge, amend, withdraw or otherwise deal with any instrument created pursuant to section 173 of the Planning and Environment Act 1987 which may benefit South East Water.

EXECUTED as a deed on 5 July 2004

THE COMMON SEAL of)
SOUTH EAST WATER LIMITED)
was affixed in the presence of:)



Imaged Document Cover Sheet

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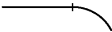

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Document Type	Plan
Document Identification	PS805147G
Number of Pages (excluding this cover sheet)	5
Document Assembled	25/11/2024 14:25

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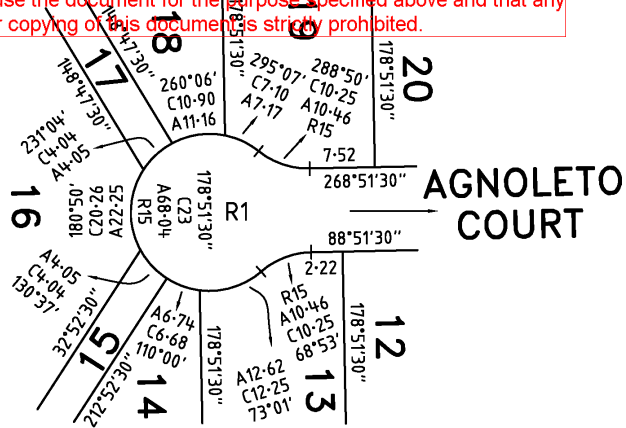
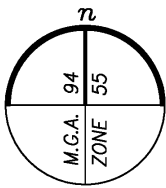
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PLAN OF SUBDIVISION			EDITION 1	PS 805147G	
<p>LOCATION OF LAND</p> <p>PARISH: BUNYIP</p> <p>TOWNSHIP: —</p> <p>SECTION: —</p> <p>CROWN ALLOTMENT: 29E (PART)</p> <p>CROWN PORTION: —</p> <p>TITLE REFERENCE: VOL 10892 FOL 223 VOL 6099 FOL 717 VOL 5769 FOL 642</p> <p>LAST PLAN REFERENCE: LOT 2 ON PS525720M LOT 2 ON LP10918 LOT 1 ON TP874771F</p> <p>POSTAL ADDRESS: 43 WATTLETREE ROAD (at time of subdivision) BUNYIP 3815</p> <p>MGA 94 CO-ORDINATES: E 387 650 (approx. centre of land in plan) N 5 783 550 Zone: 55</p>			<p>Council Name: Cardinia Shire Council</p> <p>Council Reference Number: S16/213 Planning Permit Reference: T140555-2 SPEAR Reference Number: S092393B</p> <p>Certification</p> <p>This plan is certified under section 11 (7) of the Subdivision Act 1988 Date of original certification under section 6: 08/08/2018</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has not been satisfied at Certification</p> <p>Digitally signed by: Simone Norbury for Cardinia Shire Council on 08/02/2019</p> <p>Statement of Compliance issued: 22/03/2019</p> <p>Public Open Space</p> <p>A requirement for public open space under section 18 of the Subdivision Act 1988 has been made and the requirement has been satisfied at Statement of Compliance</p>		
VESTING OF ROADS AND/OR RESERVES			NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON		<p>STAGING This is/ is not a staged subdivision Planning Permit No. T140555</p>		
ROAD R1	CARDINIA SHIRE COUNCIL		<p>DEPTH LIMITATION 15.24 METRES BELOW THE SURFACE</p>		
<p>TANGENT POINTS ARE SHOWN THUS: </p> <p>— EASEMENT E-1 HAS BEEN OMITTED FROM THIS PLAN.</p> <div style="border: 1px solid red; padding: 5px; margin: 10px auto; width: 80%; color: red; font-size: 0.8em;"> <p>This copied document is made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose. By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.</p> </div>					
EASEMENT INFORMATION					
<p>LEGEND: E – Encumbering Easement, Condition in Crown Grant in the Nature of an Easement or Other Encumbrance A – Appurtenant Easement</p>					
SUBJECT LAND	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED/IN FAVOUR OF	
E-2 E-2	DRAINAGE SEWERAGE	SEE DIAG SEE DIAG	PS525720M THIS PLAN	CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION	
E-3	SEWERAGE	SEE DIAG	THIS PLAN	SOUTH EAST WATER CORPORATION	
E-4 E-4	DRAINAGE SEWERAGE	SEE DIAG SEE DIAG	THIS PLAN THIS PLAN	CARDINIA SHIRE COUNCIL SOUTH EAST WATER CORPORATION	
BUNYIP – WATTLETREE ROAD 26 LOTS			LICENSED SURVEYOR ADRIAN A. THOMAS		
<p>16 Eastern Road South Melbourne Victoria 3205 PO Box 5075 Australia 03) 9699 1400 www.veris.com.au</p> <p>DEVELOP WITH CONFIDENCE™  Formerly Bosco Jonson</p>			DATE 07/02/19	REFERENCE 29636003	
			VERSION H	DRAWING 2963600FH	ORIGINAL SHEET SIZE A3
			PLAN REGISTERED TIME: 3 : 19 PM DATE: 3 / 4 / 2019 Assistant Registrar of Titles		

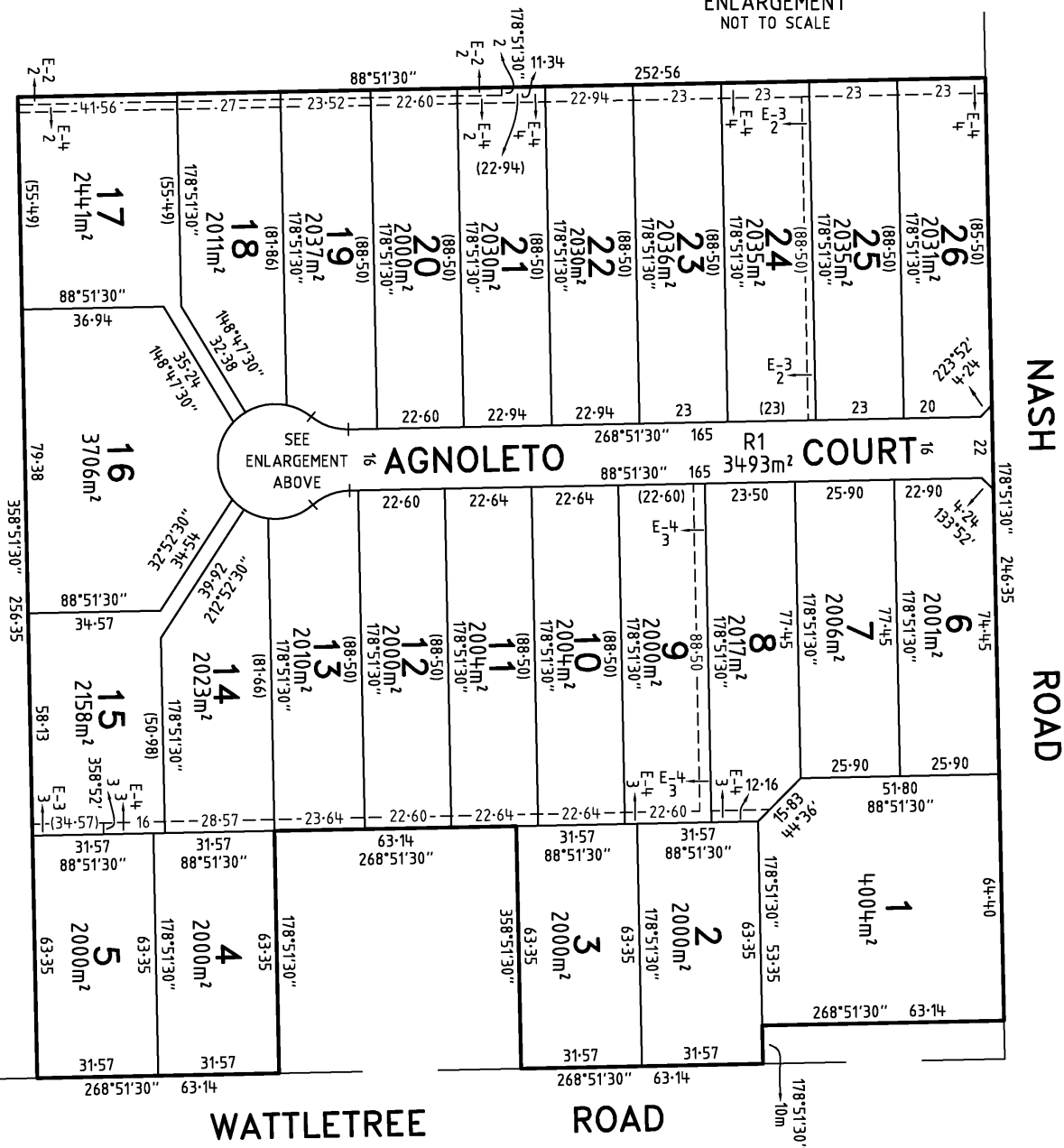
PLAN OF SUBDIVISION

PS 805147G

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ENLARGEMENT
NOT TO SCALE



BUNYIP – WATTLE TREE ROAD

LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE
1:1250

12.5 0 25 50
LENGTHS ARE IN METRES

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REFERENCE 29636003
DRAWING 2963600FH

ORIGINAL SHEET SIZE A3
SHEET 2

Digitally signed by: Adrian A Thomas, Licensed Surveyor,
Surveyor's Plan Version (H),
07/02/2019, SPEAR Ref: S092393B

Digitally signed by:
Cardinia Shire Council,
08/02/2019,
SPEAR Ref: S092393B

PLAN OF SUBDIVISION**PS 805147G****CREATION OF RESTRICTION 'A'**

Upon Registration of this plan the following restriction is created:

Land to benefit: Lots 1 to 26 (all inclusive) on this plan.

Land to be burdened: Lots 1 to 26 (all inclusive) on this plan (each lot being a "burdened lot").

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot must not:

- At any time construct, erect or cause to be constructed or erected on the lot more than one dwelling house
- Allow a building to be constructed that is not constructed: -
 - with external walls (excluding windows) of brick, stone, brick or masonry veneer, painted weatherboard, rendered cement sheet or masonry
 - with a roof of any material other than tiles of terracotta, concrete or slate or other non-reflective material such as Colourbond type steel
- Build or allow to be built a dwelling house which has a floor area (excluding the area of any garage, verandah, eaves or any other outbuilding) of less than 186 square metres
- Build or allow to be built a dwelling house unless at least a garage capable of accommodating a minimum of two passenger motor vehicles is constructed simultaneously with the construction of the dwelling house with a similar roof pitch, materials and colours to that of the dwelling house
- Build or allow to be built a shed or outbuilding unless constructed: -
 - Of non-reflective material, such as colourbond type steel, brick, stone or masonry veneer, painted weatherboard, rendered cement sheet or masonry
 - With a wall height not exceeding 4.0 metres and a total height of 6.5 metres from the natural ground surface
 - Not closer than 5 metres from the rear boundary wall of the dwelling house
- Delay construction of the dwelling on the lot by more than 3 years from the date of registration of this plan or delay completion of the construction of the dwelling by more than 4 years from the date of registration of this plan
- Remove from the land any tree or shrub unless necessary for the purposes of constructing building improvements
- Leave the lot in a state of disrepair, including the presence of excessive weeds or rubbish, nor store or allow to be stored any unnecessary rubbish or waste material
- Erect any signs except a professional painted sign advertising the Land for sale or a sign required by law
- Use the Land hereby transferred for the purpose associated with the sales and marketing of houses or as a display home
- Allow residential streets, nature strips or front yards to be used for the permanent storage, repair, maintenance, wrecking or construction of any motor vehicle, motor bike, caravan, trailer, boat, yacht or other vehicle
- Fail to complete any improvements to the Land within one (1) year of the date of commencement of such improvements

The restriction specified shall cease to burden any lot on the plan of subdivision on 31 December 2028.

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CREATION OF RESTRICTION 'B'

Upon Registration of this plan the following restriction is created:

Land to benefit: Lots 1 to 26 (all inclusive) on this plan.

Land to be burdened: Lots 1 to 26 (all inclusive) on this plan (each lot being a "burdened lot").

DESCRIPTION OF RESTRICTION

The registered proprietor or proprietors for the time being of any burdened lot must not:

- Construct a building outside of the building envelope as shown on the attached diagram without further written consent from the Responsible Authority

BUNYIP – WATTLETREE ROAD

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Australia | (03) 9699 1400

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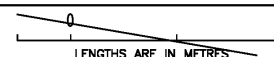
LICENSED SURVEYOR ADRIAN A. THOMAS

DATE 07/02/19
VERSION H

REFERENCE 29636003
DRAWING 2963600FH

Digitally signed by: Adrian A Thomas, Licensed Surveyor,
Surveyor's Plan Version (H),
07/02/2019, SPEAR Ref: S092393B

SCALE



ORIGINAL SHEET SIZE A3

SHEET 3

Digitally signed by:
Cardinia Shire Council,
08/02/2019,
SPEAR Ref: S092393B

PLAN OF SUBDIVISION	PS 805147G
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CREATION OF RESTRICTION 'C'

Upon Registration of this plan the following restriction is created:

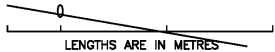

Land to benefit: Lots 1 to 6 and 26 (both inclusive) on this plan.
 Land to be burdened: Lots 1 to 6 and 26 (both inclusive) on this plan (each lot being a "burdened lot").

DESCRIPTION OF RESTRICTION

The Registered Proprietor or Proprietors for the time being of any burdened lot shall not:

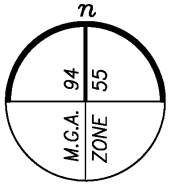
- Undertake or carry out or cause or permit to be undertaken or carried out any buildings or works other than required for landscaping within the Vegetation Planting Buffer without the written consent of the Responsible Authority.
- Build, construct or erect or cause or permit to be built, constructed or erected any fence within the Vegetation Planting Buffer, within 10 metres of Wattletree Road, within 5 metres of Nash Road, or adjacent to Wattletree Road or Nash Road that:
 - Does not contain a gap of at least 10 cm between the natural ground level and the first strand/rail of the fence;
 - Does not have a permeable design and construction;
 - Does not have posts spaced at least 20cm apart;
 - Does not have at least 90 percent of the fence line open at natural ground level; or
 - Uses barbed wire,
 without the written consent of the Responsible Authority.

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BUNYIP – WATTLETREE ROAD		LICENSED SURVEYOR ADRIAN A. THOMAS	SCALE	
16 Eastern Road South Melbourne Victoria 3205 PO Box 5075 Australia 03) 9699 1400 www.veris.com.au Formerly Bosco Jonson		DATE 07/02/19	REFERENCE 29636003	ORIGINAL SHEET SIZE A3
		VERSION H	DRAWING 2963600FH	SHEET 4
		Digitally signed by: Adrian A Thomas, Licensed Surveyor, Surveyor's Plan Version (H), 07/02/2019, SPEAR Ref: S092393B		Digitally signed by: Cardinia Shire Council, 08/02/2019, SPEAR Ref: S092393B

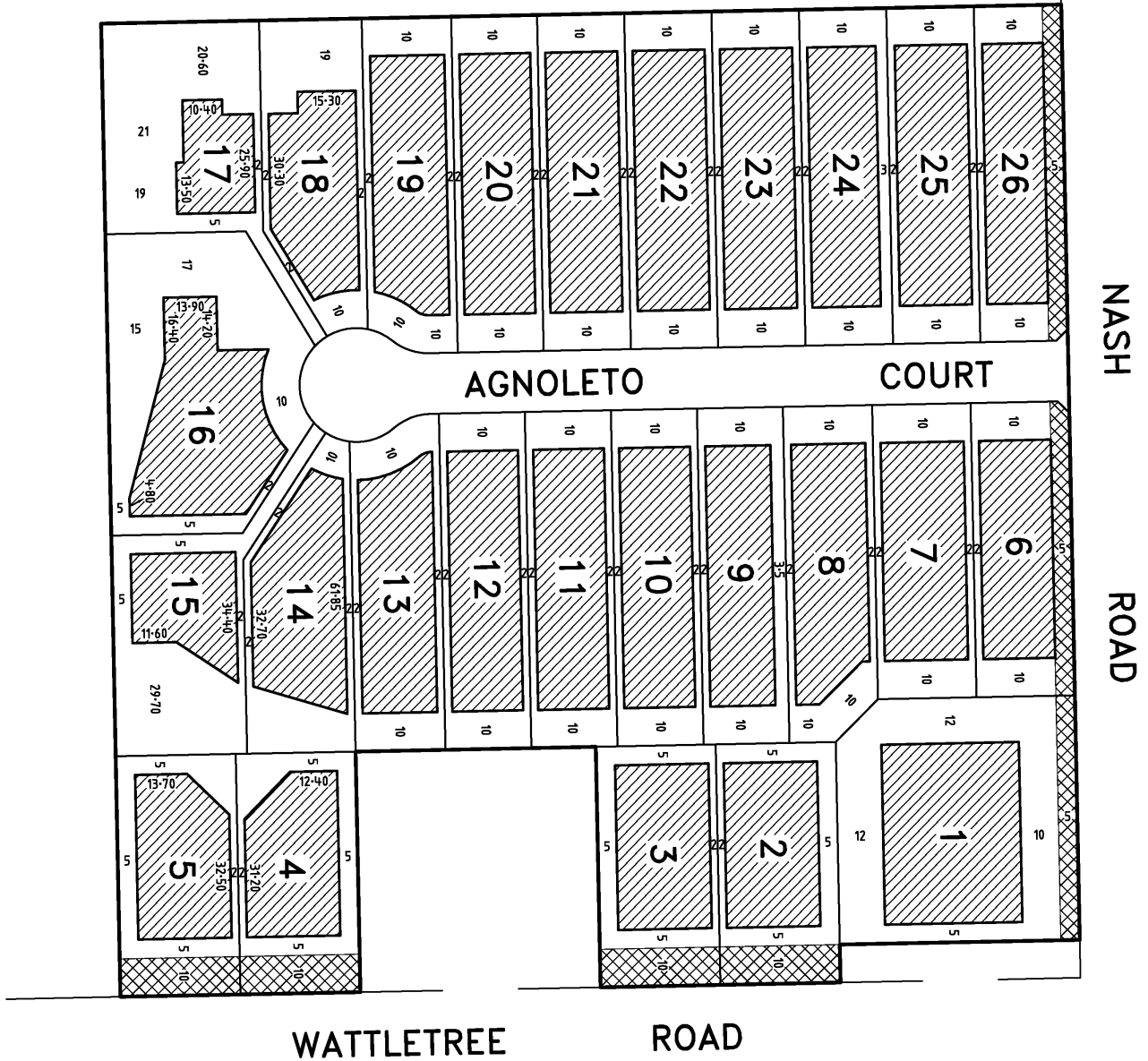
PLAN OF SUBDIVISION

PS 805147G



BUILDING ENVELOPE AND VEGETATION PLANTING BUFFER PLAN

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Legend



Building Envelope

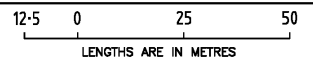


Vegetation Planting Buffer

BUNYIP – WATTLETREE ROAD

LICENSED SURVEYOR ADRIAN A. THOMAS

SCALE
1:1250



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ORIGINAL SHEET SIZE A3
SHEET 5



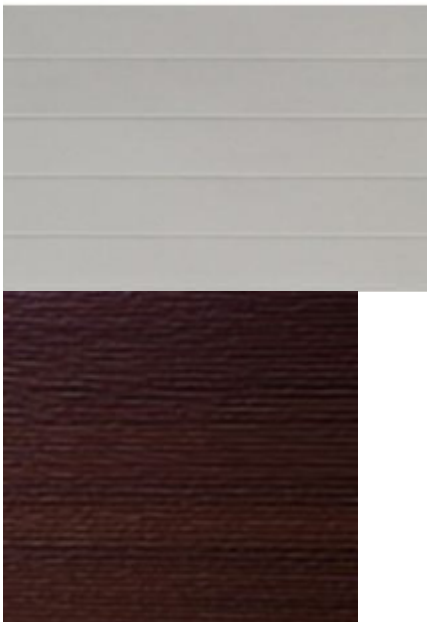
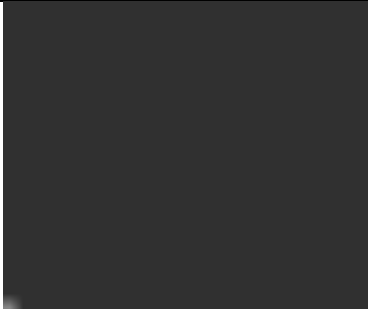

Website: www.fairhavenhomes.com.au
 Email: info@fairhavenhomes.com.au
 ACN 149 914 750
 ABN 26 883 987 902

Colour Selection – Job 250023- Lot 32, (46-52), Gwent Street (Darren Road), Keysborough, 3173

[illegible]


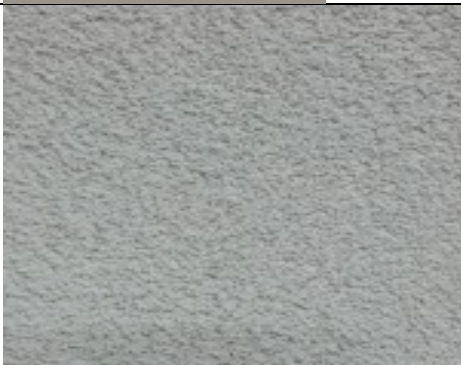
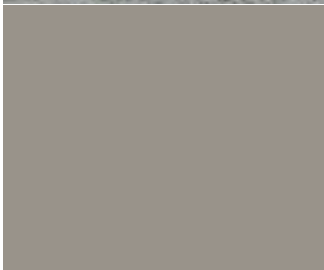





Colour Selection – Job 250023- Lot 32, (46-52), Gwent Street (Darren Road), Keysborough, 3173

	Colour: Caoba	
Windows & Flyscreen Frames	Manufactuer: Bradnams Colour: Monument	
Evaporative Cooling	Colour: N/A	
Driveway (if applicable)	Type: N/A	
Watertank	Supplier: All Weather Tanks Profile: Slimline Poly Colour: Beige	

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Colour Selection – Job 250023- Lot 32, (46-52), Gwent Street (Darren Road), Keysborough, 3173

Infills Meter box	Finish: Painted Taubmans Colour: Tabby T1532.5	
Render	Manufacturer: Unitex Finish: 333 series Colour: Tabby T1532.5	 
External Façade Tiles	Supplier: N/A	
Façade timber post	Finish: N/A	
Letterbox	Letterboxes must match and complement the dwelling facade & landscaping with respect to colours, materials and style. Letterbox must be positioned close to front boundary line. Letterbox must clearly display the property number and integrate into the front fence (if applicable).	  

Colour Selection –
Job 250023- Lot 32, (46-52), Gwent Street (Darren Road), Keysborough, 3173

	Single post supporting letterboxes and temporary letterboxes are not permitted	
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PROPOSED DWELLING

LOT 14, No.17 AGNOLETO COURT, BUNYIP VIC 3815

HOUSE TYPE

SHOREHAM 42

GENERAL NOTES

NCC VERSION IN USE: NCC 2022

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER PLANS, ENGINEERING, STANDARD INCLUSIONS, SPECIFICATIONS, COMPUTATIONS, SOIL REPORTS AND LOCAL COUNCIL CONDITIONS OR LOCAL LAWS. ANY DISCREPANCY SHALL BE REFERRED TO THE BUILDER BEFORE PROCEEDING WITH WORKS

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY SCALED PLAN. PLANS MUST NOT BE SCALED OFF

THE OWNER/BUILDER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS & SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF WORKS

THE BUILDER/CONTRACTOR SHALL VERIFY ALL LEVELS, SETBACKS & SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO NATIONAL CONSTRUCTION CODE OF AUSTRALIA (NCC 2022), CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS. ANY DISCREPANCY SHALL BE CONFIRMED WITH BUILDING SURVEYOR

SOIL:

THE BUILDER/CONTRACTOR SHALL ENSURE THE SOIL CLASSIFICATION AS SPECIFIED IN THE SOIL REPORT IS PRESENT ONSITE DURING EXCAVATIONS. ANY VARIATIONS SHALL BE NOTIFIED TO THE DESIGNER AND/OR TO THE SOIL ENGINEER

CONCRETE:

CONCRETE SHALL BE AS NOMINATED ON ENGINEERING PLANS & SPECIFICATIONS. ALL WORKMANSHIP SHALL BE IN ACCORDANCE WITH AS3600 ENGINEERING DOCUMENTATION TAKES PRIORITY OVER ANY DETAILED/DRAWN FOUNDATIONS ON ARCHITECTURAL PLANS. FOOTINGS ARE NOT TO ENCR OACH TITLE BOUNDARIES OR EASEMENT. A TITLE RE-ESTABLISHMENT SURVEY MAY BE NEEDED FOR WORKS NEAR EXISTING STRUCTURES ON THE BOUNDARY

ANY DISCREPANCY SHALL BE REFERRED TO THE ENGINEERS OFFICE FOR CLARIFICATION TO ENSURE ITS ACCURACY AND ANY REVISIONS OR RECTIFICATION WORKS CAN BE COMPLETED PRIOR TO THE POURING OF THE CONCRETE SLAB

DRAINAGE:

ALL STORMWATER DRAINAGE SHALL DISCHARGE TO THE LEGAL POINT OF DISCHARGE AS SPECIFIED BY LOCAL COUNCIL BUILDING AUTHORITY OR THE DRAINAGE AUTHORITY. ALL WATER SHALL BE DIRECTED AWAY FROM FOUNDATIONS AT A MINIMUM 50mm FALL OVER 1M IN ACCORDANCE WITH AS2870

TIMBER:

ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF AS1684.2 RESIDENTIAL TIMBER FRAMED CONSTRUCTION, CURRENT VICTORIAN MANUALS AND OTHER DESIGN TABLES DEEMED TO COMPLY WITH THE NCC 2022. ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, THE NATIONAL CONSTRUCTION CODE AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFEREED TO THEREIN

DOWNPIPES:

LOCATION OF DOWNPIPES ARE INDICATIVE ONLY. TEMPORARY DOWNPIPES ARE TO BE INSTALLED DURING CONSTRUCTION AND CONNECTED TO STORMWATER SYSTEM. THESE WILL BE REPLACED WITH PERMANENT DOWNPIPES PRIOR TO OCCUPANCY

SERVICES:

ELECTRICAL, GAS & WATER SHALL BE PROVIDED IN ACCORDANCE WITH THE RELEVANT SUPPLY AUTHORITY. ALL SERVICES TO COMPLY WITH NCC 2022 & HOUSING PROVISIONS PART 13.7

BRICKWORK:

BRICKWORK LINTELS TO SUPPORT EXTERNAL BRICK SKINS OF WALLS TO THE BUILDING. LINTELS TO BE PLACED WITH THE LARGER SIDE VERTICAL AND SHALL BE FULLY SUPPORTED UNTIL MORTAR HAS SET. ALL STEELWORK IN MASONRY TO BE HOT DIPPED GALVANISED. WALL TIES ARE TO BE INSTALLED AT 300mm SPACINGS BOTH HORIZONTAL & VERTICAL AND WITHIN 300mm OF ARTICULATION JOINTS

EXPOSED STEEL:

ALL EXTERNAL STEEL TO BE HOT DIP GALVANISED. EXPOSED STEEL WITHIN A SURF COAST ENVIRONMENT TO BE TREATED WITH REQUIREMENT OUTLINED AS PER SECTION 5 DESIGN FOR DURABILITY OF AS3700

ARTICULATION JOINTS:

ARTICULATION (EXPANSION) JOINT SPACING SHALL BE IN ACCORDANCE WITH AS4773.1, AS4773.2 & INSTALLED AS DESIGNED & DOCUMENTED BY THE ENGINEER

SMOKE ALARMS:

PROVIDE INTERCONNECTED CEILING MOUNTED SMOKE DETECTORS DIRECT WIRED TO MAINS POWER 0.3M CLEAR OF CORNERS OR WALL AND CEILING JUNCTIONS IN ACCORDANCE WITH AS3786. SELF CONTAINED SMOKE ALARMS MUST COMPLY WITH NCC 2022:H3D6 & HOUSING PROVISIONS PART 9.5

VENTILATION OF ROOF SPACES:

ROOF SPACES TO BE VENTILATED, EXCLUDING AN UNSARKED TILED ROOF, PURSUANT TO HOUSING PROVISIONS: TABLE 10.8.3

COASTAL AREAS:

ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COASTAL OR INDUSTRIAL ENVIRONMENTS. IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. MATERIALS MAY NEED TO BE UPGRADED AT OWNERS COST TO COMPLY PROXIMITY GUIDELINES. INCLUDING AND NOT LIMITED TO THE SEALING OF EXPOSED STEELWORK PREVENTING OF CORROSION OR RUST. UPGRADED BRICK-TIES AND ADDITIONAL SEALANTS TO PREVENT INGRESS.

WINDOWS:

PROVIDE PROTECTION OF OPENABLE WINDOWS WHERE REQUIRED TO COMPLY WITH NCC 2022:H5D3 & HOUSING PROVISIONS PART 11.3.7 UPPER FLOOR HABITABLE ROOM WINDOWS TO BE RESTRICTED TO 125mm MAX. OPENABLE. GLAZING TO COMPLY WITH AS1288 AND AS2047

PROVIDE GRADE 'A' SAFETY GLAZING TO THE FOLLOWING AREAS;
-ALL ROOMS WITHIN 500mm VERTICAL THE FLOOR
-BATHROOMS WITHIN 2m OF BATH BASE
-FULLY GLAZED DOORS
-SHOWER SCREENS
-WITHIN 300mm OF A DOOR <1200mm ABOVE FLOOR LEVEL
-WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZES WILL VARY

STAIRS/STEPS:

GOING = 240mm MIN. & 355mm MAX.
RISER = 115mm MIN. & 190mm MAX.
HANDRAIL HEIGHT = 865MM ABOVE NOSINGS
AND = 1000MM ABOVE LANDING

BALUSTRADING REQUIRED WHERE LANDING EXCEEDS 1000MM ABOVE ADJACENT FINISHED GROUND SURFACE
BALUSTERS - 125MM MAX GAPS
STAIR CONSTRUCTION TO COMPLY WITH NCC 2022:H5D2 & HOUSING PROVISIONS PART 11.2.2. ALL STAIR TREADS TO HAVE SLIP RESISTANT FINISH IN ACCORDANCE WITH NCC 2022 & HOUSING PROVISIONS PART 11.2.4

PROVIDE LOCALISED BACKFILL TO POINTS OF EGRESS WHERE REQUIRED TO ACHEIVE REQUIRED STEP HEIGHT (MAX RISE 190MM)

ENERGY EFFICIENCY:

THERMAL WALL, CEILING & UPPER FLOOR INSULATION TO BE INSTALLED AS REQUIRED BY ENERGY RATING. DWELLING MUST ACHIEVE A MINIMUM OF 7 STAR RATING TO COMPLY.

WET AREAS:

ALL WET AREAS TO COMPLY WITH NCC 2022:H4D2 & HOUSING PROVISIONS PART 10.2. SPLASHBACKS SHALL BE IMPERVIOUS FOR A MINIMUM OF 150mm ABOVE SINKS, TROUGHS & BASINS WITHIN 75mm OF A WALL.

WATER STOPS TO BE INSTALLED TO DOORWAYS IN ACCORDANCE WITH AS 3740 TO LAUNDRY, WC, BATH, ENSUITE / PDR WHERE APPLICABLE.

WATERPROOFING:

WATERPROOFING SHALL BE INSTALLED IN ACCORDANCE WITH NCC 2022:H4D2 & HOUSING PROVISIONS PART 10.2 & CERTIFCATE PROVIDED TO BUILDER UPON COMPLETION

PLIABLE BUILDING MEMBRANE:

WALL SISALATION TO BE A VAPOUR PERMEABLE MEMBRANE TO COMPLY WITH AS4200.1 AND INSTALLED PURSUANT TO AS4200

ANTI-PONDING DEVICE/BOARDS:

ANTI-PONDING DEVICE/BOARDS TO BE INSTALLED PURSUANT TO NCC 2022 & HOUSING PROVISIONS PART 7.3.5. ALTERNATIVELY, AN ANTI-PONDING DEVICE/BOARD MUST BE PROVIDED -
(A) ON SARKED ROOFS WITH A PITCH LESS THAN 20 DEGREES; AND
(B) ON ALL ROOF PITCHES WHERE THERE IS NO EAVES OVERHANG, REGARDLESS OF WHETHER SARKING IS REQUIRED

EXHAUST FANS / RANGEHOODS:

ALL EXHAUST FANS TO HAVE A MINIMUM FLOW RATE OF 40L/s. EXHAUST FANS TO BE DUCTED TO THE EXTERNAL WALL OR THROUGH THE ROOF SPACE DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR. NO FANS TO DISCHARGE DIRECTLY INTO THE ROOF SPACE. EXHAUST FANS ARE TO BE INSTALLED AS PER NCC 2022 & HOUSING PROVISIONS PART 10.8.2. EXHAUST FANS IN BATHROOMS OR SANITARY COMPARTMENTS WITHOUT AN OPENABLE WINDOW ARE TO OPERATE FOR 10 MINUTES AFTER THE LIGHT IS SWITCHED OFF & BOTTOM OF DOOR TO BE UNDERCUT TO ACHIEVE 20mm CLEARANCE FROM FFL.

GUTTERS & DOWNPIPES:

GUTTERS & DRAINAGE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3. SPREADERS ARE TO COLLECT A MAX. 15SQM OF ROOF SPACE IN ACCORDANCE WITH SA HB 39 PART 5.7.7. STANDARD PROFILE FASCIA & GUTTER AS PER BUILDERS STANDARD INCLUSIONS AND SPECIFICATION UNLESS UPGRADED OTHERWISE.

LIVABLE HOUSING DESIGN:

DWELLING TO COMPLY WITH NCC 2022: H8D2 & ABC8 STANDARD FOR LIVABLE HOUSING DESIGN.

TERMITE TREATMENT:

ALL PROPOSED BUILDINGS AND WORKS SHALL BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1. A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING THE TREATMENT METHOD USED, INSPECTION PERIODS & CONTINUED TREATMENT REQUIREMENTS.

BUILDING SEALING:

EXTERNAL DOORS AND GARAGE ACCESS DOOR TO THE DWELLING TO BE SEALED IN ACCORDANCE WITH NCC 2022 & HOUSING PROVISIONS PART 13.4



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GENERAL NOTES

HOUSE:

SHOREHAM 42 (LH)

FACADE:

McKINLEY

SIGNED BY: BUILDER

SIGNED BY: OWNER

DATE:

JOB No.:

250030

SCALE:

N/A

SHEET:

01 OF 22

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	WJONG
B	22/10/24	CONTRACT DINGS	SZ
C	15/11/24	TV02	WJONG
D	03/12/24	TV04 & RFI ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ

BAL 12.5 - BUSHFIRE REQUIREMENTS (AS 3959:2018)

WALL CONSTRUCTION

GENERAL CONSTRUCTION

THE EXPOSED COMPONENTS OF AN EXTERNAL WALL THAT ARE LESS THAN 400mm FROM THE GROUND SHALL BE ONE OF THE FOLLOWING;

- FULL MASONRY OR MASONRY VENEER WALLS (min. 90mm THICK)
- CLADDING FIXED TO A TIMBER FRAME THAT IS;
 - A NON-COMBUSTIBLE MATERIAL
 - FIBRE-CEMENT (min. 6mm THICK)
 - BUSHFIRE RESISTING TIMBER
- A COMBINATION OF THE ABOVE

JOINTS

ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED

VENTS & WEEPHOLES

VENTS AND WEEPHOLES IN EXTERNAL WALLS SHALL BE SCREENED WITH A MESH MADE OF CORROSION-RESISTANT STEEL OR ALUMINIUM

EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS

SCREENS FOR WINDOWS AND DOORS

SCREENS WHERE FITTED, FOR WINDOWS AND DOORS SHALL BE A MESH MADE OF ALUMINUM. THE FRAME SUPPORTING THE MESH SHALL BE MADE FROM METAL.

WINDOWS AND SIDELIGHTS

WINDOW ASSEMBLIES LESS THAN 400mm FROM THE GROUND SHALL BE MADE FROM ONE OF THE FOLLOWING;

- BUSHFIRE RESISTING TIMBER
- METAL

GLAZING LESS THAN 400mm FROM THE GROUND SHALL BE GRADE 'A' SAFETY GLASS (min. 4mm THICK) - WHERE DOUBLE GLAZING IS USED, THIS REQUIREMENT IS ONLY APPLICABLE TO THE EXTERNAL PANE OF THE GLAZED ASSEMBLY. FOR ALL OTHER GLAZING, ANNEALED GLASS MAY BE USED IN ACCORDANCE WITH AS1288. THE OPENABLE PORTIONS OF WINDOWS SHALL BE SCREENED INTERNALLY OR EXTERNALLY WITH ALUMINIUM MESH SCREENS WITH AN ALUMINIUM FRAME

DOORS - SIDE HUNG EXTERNAL DOORS

SIDE HUNG EXTERNAL DOORS, INCLUDING FRENCH DOORS, PANEL FOLD AND BI-FOLD DOORS, SHALL CONFORM WITH ONE OF THE FOLLOWING;

- THEY SHALL BE COMPLETELY PROTECTED EXTERNALLY BY ALUMINIUM MESH SCREENS WITH ALUMINIUM FRAMES
- THEY SHALL BE MADE OF THE FOLLOWING MATERIAL;
 - DOOR PANEL MATERIAL
 - NON-COMBUSTIBLE
 - SOLID TIMBER, LAMINATED TIMBER OR RECONSTITUTED TIMBER (min. 35mm THICK FOR THE FIRST 400mm ABOVE THRESHOLD)
 - HOLLOW CORE, SOLID TIMBER, LAMINATED TIMBER WITH NON-COMBUSTIBLE KICKPLATE ON THE OUTSIDE FOR THE FIRST 400mm ABOVE THE THRESHOLD
 - HOLLOW CORE, SOLID TIMBER, LAMINATED TIMBER PROTECTED EXTERNALLY BY AN ALUMINIUM MESH WITH ALUMINIUM FRAME FOR FULLY FRAMED GLAZED DOOR PANELS, THE FRAMING SHALL BE MADE FROM METAL OR BUSHFIRE RESISTING TIMBER
 - DOOR FRAME MATERIAL
 - BUSHFIRE RESISTING TIMBER
- GLAZING SHALL BE GRADE 'A' SAFETY GLASS (min. 4mm THICK). WHERE DOUBLE GLAZING IS USED, THIS REQUIREMENT IS ONLY APPLICABLE TO THE EXTERNAL PANE OF THE GLAZED ASSEMBLY. FOR ALL OTHER GLAZING, ANNEALED GLASS MAY BE USED IN ACCORDANCE WITH AS1288
- DOORS SHALL BE FITTED WITH WEATHER STRIPS, DRAFT EXCLUDERS OR DRAFT SEALS
- DOORS SHALL BE TIGHT FITTING TO THE DOOR FRAME AND TO AN ABUTTING DOOR (IF APPLICABLE)

DOORS - SLIDING DOORS

SLIDING DOORS SHALL CONFORM WITH THE FOLLOWING;

- THEY SHALL BE COMPLETELY PROTECTED EXTERNALLY BY AN ALUMINIUM MESH SCREEN WITH ALUMINIUM FRAME
- SHALL BE MADE OF THE FOLLOWING;
 - BUSHFIRE RESISTING TIMBER
 - METAL
 - GLAZING SHALL BE GRADE 'A' SAFETY GLASS (min. 4mm THICK)
 - TIGHT FITTING PANELS TO FRAME

DOORS - VEHICLE ACCESS DOORS

THE FOLLOWING APPLIES TO VEHICLE ACCESS DOORS;

- THE LOWER PORTION OF A VEHICLE ACCESS DOOR THAT IS WITHIN 400mm OF THE GROUND WHEN CLOSED, SHALL BE MADE FROM;
 - NON-COMBUSTIBLE MATERIAL
 - BUSHFIRE RESISTING TIMBER
 - FIBRE CEMENT SHEET (min. 6mm THICK)
- ALL VEHICLE ACCESS DOORS SHALL BE PROTECTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS, DRAUGHT SEALS OR BRUSHES. DOOR ASSEMBLIES FITTED WITH GUIDE TRACKS DO NOT NEED EDGE GAP PROTECTION

ROOF (INCLUDING PENETRATIONS, EAVES, FASCIAS AND GABLES, AND GUTTERS AND DOWNPIPES)

GENERAL CONSTRUCTION

THE FOLLOWING APPLIES TO ALL TYPES OF ROOFS AND ROOFING SYSTEMS;

- ROOF TILES, ROOF SHEETS AND ROOF-COVERING ACCESSORIES SHALL BE NON-COMBUSTIBLE
- THE ROOF/WALL JUNCTION SHALL BE SEALED OR OTHERWISE PROTECTED WITH MULTITEL
- ROOF VENTILATION OPENINGS, SUCH AS GABLE AND ROOF VENTS, SHALL BE FITTED WITH EMBER GUARDS MADE OF NON-COMBUSTIBLE MATERIAL OR A MESH MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM
- ONLY EVAPORATIVE COOLERS MANUFACTURED IN ACCORDANCE WITH AS/NZS60335.2.98 SHALL BE USED. EVAPORATIVE COOLERS WITH AN INTERNAL DAMPER TO PREVENT THE ENTRY OF EMBERS INTO THE ROOF SPACE NEED NOT TO BE SCREENED EXTERNALLY

TILED ROOFS

TILED ROOFS SHALL BE FULLY SARKED.THE SARKING SHALL;

- BE LOCATED ON THE TOP OF THE ROOF FRAMING, EXCEPT THAT THE ROOF BATTENS MAY BE FIXED ABOVE THE SARKING
- COVER THE ENTIRE ROOF AREA INCLUDING RIDGES AND HIPS
- EXTEND INTO THE GUTTER AND VALLEYS

SHEET ROOFS

SHEET ROOFS SHALL;

- BE FULLY SARKED. THE SARKING SHALL;
 - BE LOCATED ON THE TOP OF THE ROOF FRAMING, EXCEPT THAT THE ROOF BATTENS MAY BE FIXED ABOVE THE SARKING - EXCEPT THAT FOIL BACKED INSULATION BLANKETS MAY BE INSTALLED OVER THE BATTENS
- HAVE ANY GAPS SEALED AT THE FASCIA OR WALL LINE, HIPS AND RIDGES BY;
 - A CORROSION RESISTANT STEEL OR ALUMINIUM
 - MINERAL WOOL
 - OTHER NON-COMBUSTIBLE MATERIAL

ROOF PENETRATIONS

ROOF PENETRATIONS, INCLUDING ROOF LIGHTS, ROOF VENTILATORS, ROOF MOUNTED EVAPORATIVE COOLING UNITS, AERIALS, VENT PIPES AND SUPPORT FOR SOLAR COLLECTORS OR THE LIKE, SHALL BE SEALED. THE MATERIAL USED TO SEAL THE PENETRATION SHALL BE NON-COMBUSTIBLE. OPENINGS IN VENTED ROOF LIGHTS, ROOF VENTILATORS OR VENT PIPES SHALL BE FITTED WITH CORROSION RESISTANT STEEL OR ALUMINIUM MESH - THIS DOES NOT APPLY TO ROOM SEALED GAS APPLIANCES.

ALL OVERHEAD GLAZING SHALL BE GRADE 'A' SAFETY GLASS CONFORMING WITH AS1288. GLAZED ELEMENTS IN ROOF LIGHTS AND SKYLIGHTS MAY BE OF POLYMER PROVIDED GRADE 'A' SAFETY GLASS DIFFUSER, CONFORMING WITH AS1288, IS INSTALLED UNDER THE GLAZING. WHERE GLAZING IS AN INSULATING GLAZING UNIT, GRADE 'A' TOUGHENED SAFETY OF 4mm THICK SHALL BE USED ON THE OUTER PANE OF THE UNIT

FLASHING ELEMENTS OF TUBULAR SKYLIGHTS MAY BE OF A FIRE-RETARDANT MATERIAL, PROVIDED THE ROOF INTEGRITY IS MAINTAINED BY AN UNDER-FLASHING OF A MATERIAL HAVING A FLAMMABILITY INDEX NOT EXCEEDING 5.

EVAPORATIVE COOLING UNITS SHALL BE FITTED WITH NON-COMBUSTIBLE BUTTERFLY CLOSERS AS CLOSE AS PRACTICABLE TO THE ROOF LEVEL OR THE UNIT SHALL BE FITTED WITH NON-COMBUSTIBLE COVERS WITH A MESH WITH MAXIMUM APERTURE OF 2mm, MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM.

EAVES LIGHTING SHALL BE ADEQUATELY SEALED AND NOT COMPROMISE THE PERFORMANCE OF THE ELEMENT.

EAVES LININGS, FASCIAS AND GABLES

EAVES PENETRATIONS SHALL BE PROTECTED IN THE SAME WAY AS ROOF PENETRATIONS. EAVES VENTILATION OPENINGS SHALL BE FITTED WITH EMBER GUARDS MADE OF CORROSION RESISTANT STEEL OR ALUMINIUM MESH

JOINTS IN EAVES LININGS, FASCIAS AND GABLES MAY BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER MOULDS.

GUTTERS AND DOWNPIPES

IF INSTALLED, GUTTER AND VALLEY LEAF GUARDS SHALL BE NON-COMBUSTIBLE. BOX GUTTERS SHALL BE NON-COMBUSTIBLE AND FLASHED AT THE JUNCTION WITH THE ROOF WITH NON-COMBUSTIBLE MATERIAL

VERANDAS, DECKS, STEPS AND LANDINGS

ENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS AND LANDINGS

DECKING, STAIR TREADS AND THE TRAFFICABLE SURFACES OF RAMPS AND LANDING LESS THEN 300mm (MEASURED HORIZONTALLY AT DECK LEVEL) FROM GLAZED ELEMENTS THAT ARE LESS THAN 400mm (MEASURED VERTICALLY) FROM THE SURFACE OF THE DECK SHALL BE;

- NON-COMBUSTIBLE MATERIAL
- BUSHFIRE RESISTING TIMBER

VERANDA POSTS

VERANDA POSTS;

- SHALL BE TIMBER MOUNTED ON GALVANIZED MOUNTED SHOES OR STIRRUPS WITH A CLEARANCE OF NOT LESS THAN 75mm ABOVE THE ADJACENT FINISHED GROUND LEVEL
- LESS THAN 400mm FROM THE SURFACE OF THE DECK OR GROUND, SHALL BE MADE FROM;
 - NON-COMBUSTIBLE MATERIAL
 - BUSHFIRE RESISTING TIMBER

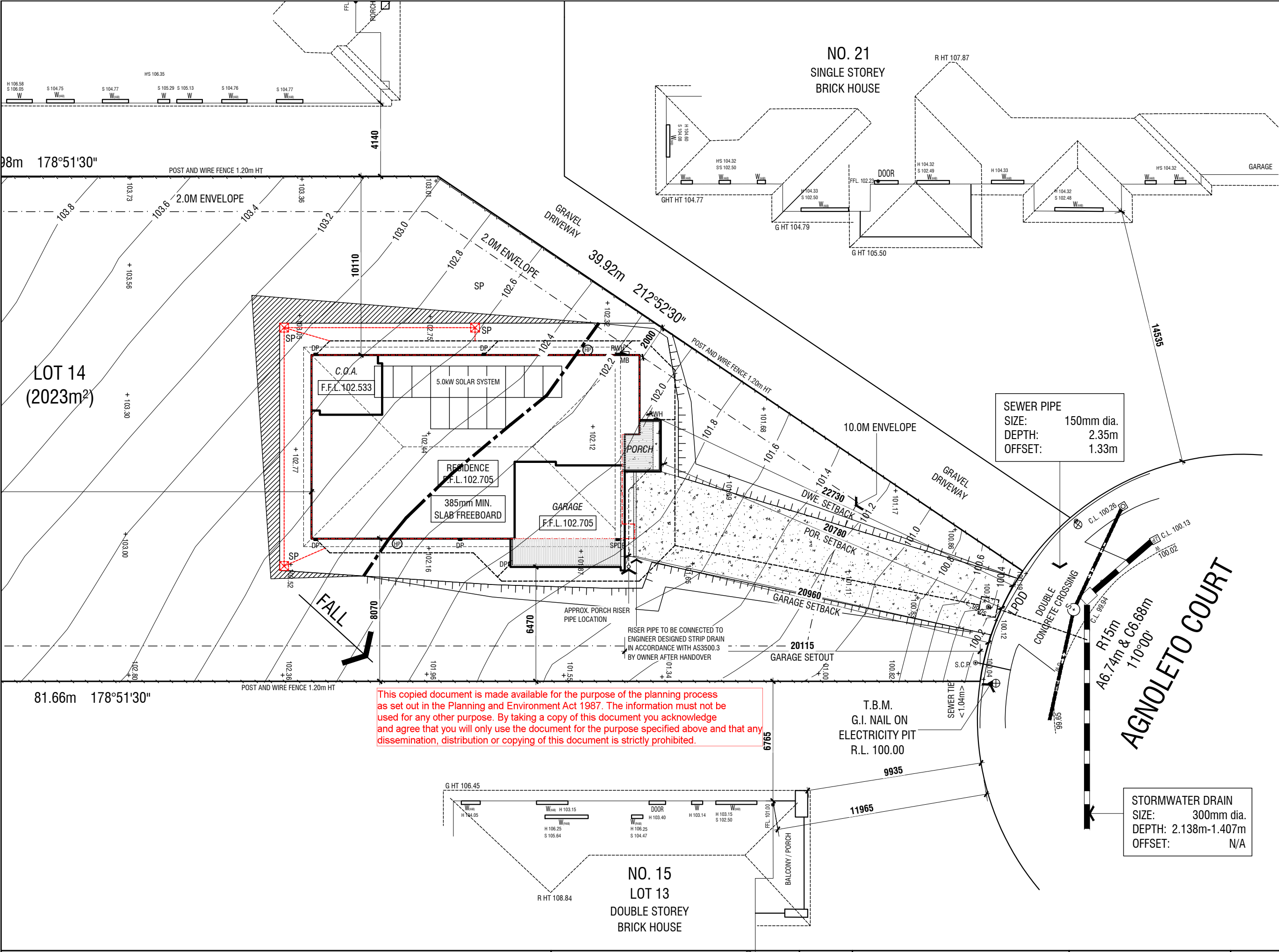
WATER AND GAS SUPPLY PIPES





GENERAL CONSTRUCTION

ABOVE-GROUND, EXPOSED WATER SUPPLY PIPES SHALL BE METAL.

EXTERNAL GAS PIPES AND FITTINGS ABOVE GROUND SHALL BE OF STEEL OR COPPER CONSTRUCTION HAVING A MINIMUM WALL THICKNESS IN ACCORDANCE WITH GAS REGULATIONS OR 0.9mm WHICHEVER IS THE GREATER. THE METAL PIPE SHALL EXTEND A MINIMUM OF 400mm WITHIN THE BUILDING AND 100mm BELOW GROUND

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	WJONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	WJONG
D	03/12/24	TV04 & RFI ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



EXCAVATION WORKS			
CUT AND FILL BUILDING AREA TO: RL 102.30			
SITE ANALYSIS			
WIND CLASSIFICATION		SOIL CLASSIFICATION	
N1		P(M)	
MAX. BATTER SLOPE RATIO (HEIGHT : LENGTH)			
SITE CUT - EXCAVATION		COMPACTED FILL	
1:2 (27°)		1:2 (27°)	
ZONING			
BAL CLASSIFICATION		TERMITE PRONE	
12.5		YES	
FLOOD PRONE		ALPINE AREA	
NO		NO	
AREA ANALYSIS			
BUILDINGS		PERMEABLE	
203.64m ²		1723.49m ²	
10.1%		85.2%	
TOTAL AREA		2023m ²	
GARDEN AREA ANALYSIS			
BLOCK SIZE	GARDEN %	ACHIEVED %	
400-500m ²	min. 25%	85.2 %	
501-650m ²	min. 30%		
>650m ²	min. 35%		
NOTE: GARDEN AREA DOES NOT INCLUDE DRIVEWAYS, AREAS SET ASIDE FOR CAR PARKING, OR ANY BUILDING OR ROOFED AREAS, OR ANY PATH LESS THAN 1M WIDE			
NOTES			
CONTOURS SHOWN AT 200MM INTERVALS			
THE LANAI / C.O.A. / PORCH OF THIS HOUSE HAS A 172mm STEPDOWN. (REFER TO FLOOR PLAN).			
THESE AREA/S NEED TO BE CUT INTO THE BUILDING PLATFORM APPROX 100mm TO ACHIEVE THE STEPDOWN AND 150mm MINIMUM FREEBOARD.			
BATTERS ARE TO BE AT A 45°. PROVIDE CUT OFF DRAIN AT BASE OF EXCAVATION TO BE CONNECTED TO STORMWATER DRAIN SYSTEM VIA SILT PIT.			
TREE ROOT BARRIERS			
NOTE: IT IS THE OWNERS RESPONSIBILITY (AND NOT FAIRHAVEN HOMES PTY LTD) TO MONITOR TREES AS THEY DEVELOP AND WHERE NECESSARY EITHER REMOVE TREES OR PLACE TREE ROOT BARRIER WHERE THE TREE HEIGHT IS GREATER THAN 0.75 X THE DISTANCE BETWEEN THE TREE AND THE HOUSE. FAIRHAVEN RECOMMENDS THAT THE OWNER CONSULT AN ARBORIST TO APPROPRIATELY CLASSIFY EACH TREE, DETERMINE ITS ROOT STRUCTURE AND DETERMINE IF THE HOUSE FOUNDATIONS ARE AT RISK. PLEASE ALSO REFER TO THE CSIRO "FOUNDATIONS MAINTENANCE AND FOOTING PERFORMANCE: A HOMEOWNER'S GUIDE" PROVIDED AS A PART OF YOUR CONTRACT DOCUMENTATION.			
CLEAN SITE - PRIOR TO COMMENCEMENT			
NOTE: OWNER IS TO PROVIDE A BUILDING SITE CLEAR OF ALL OBSTRUCTIONS, INCLUDING LONG GRASS, MOUNDS OF SOIL, DEBRIS ETC PRIOR TO COMMENCEMENT OF CONSTRUCTION. SHOULD ADDITIONAL WORKS BE REQUIRED BY BUILDER TO CLEAR THE SITE, ANY ASSOCIATED COST WILL BE CHARGED TO THE OWNER BY POST CONTRACT VARIATION.			
PLANNING PERMIT SCHEDULE 1			
PLANNING PERMIT IS REQUIRED FOR SCHUDULE 1 DUE TO BUILDING HEIGHT OVER MAX. 7.0mH			
LPD		LEGAL POINT OF STORMWATER DISCHARGE	
---		90mm DIA UPVC S.W.D. LAID AT 1:100 (100mm DIA UNDER SLAB AND/OR PAVED AREAS)	
- . - . -		BUILDING ENVELOPE	
		STORMWATER PIPE	
		SEWER PIPE	
----		AGGIE PIPE	
	SP	SILT PIT	
REV.	DATE	AMENDMENT	BY
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SITE PLAN

HOUSE: SHOREHAM 42 (LH) FACADE: McKINLEY



SIGNED BY: BUILDER
SIGNED BY: OWNER
DATE:

CLIENT: BRAD WILSON & HANNAH WILSON
SITE ADDRESS: LOT 14, No.17 AGNOLETO COURT BUNYIP VIC 3815

JOB No.: 250030
SCALE: 1:200
SHEET: 02 OF 22

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NO. 37A
WATTLETREE ROAD
SINGLE STOREY
RENDERED HOUSE
OFFSET 9m+

NO. 19
LOT 15
SINGLE STOREY
BRICK HOUSE

NO. 21
SINGLE STOREY
BRICK HOUSE

NO. 37B
WATTLETREE ROAD
LOT 4
SINGLE STOREY
BRICK HOUSE
OFFSET 9m+

LOT 14
(2023m²)

NO. 39
WATTLETREE
ROAD
SINGLE STOREY HOUSE
OFFSET 9m+

NO. 15
LOT 13
DOUBLE STOREY
BRICK HOUSE

SEWER PIPE
SIZE: 150mm dia.
DEPTH: 2.35m
OFFSET: 1.33m

STORMWATER DRAIN
SIZE: 300mm dia.
DEPTH: 2.138m-1.407m
OFFSET: N/A

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VIUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VIUONG
D	03/12/24	TV04 & RFI ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



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SITE PLAN

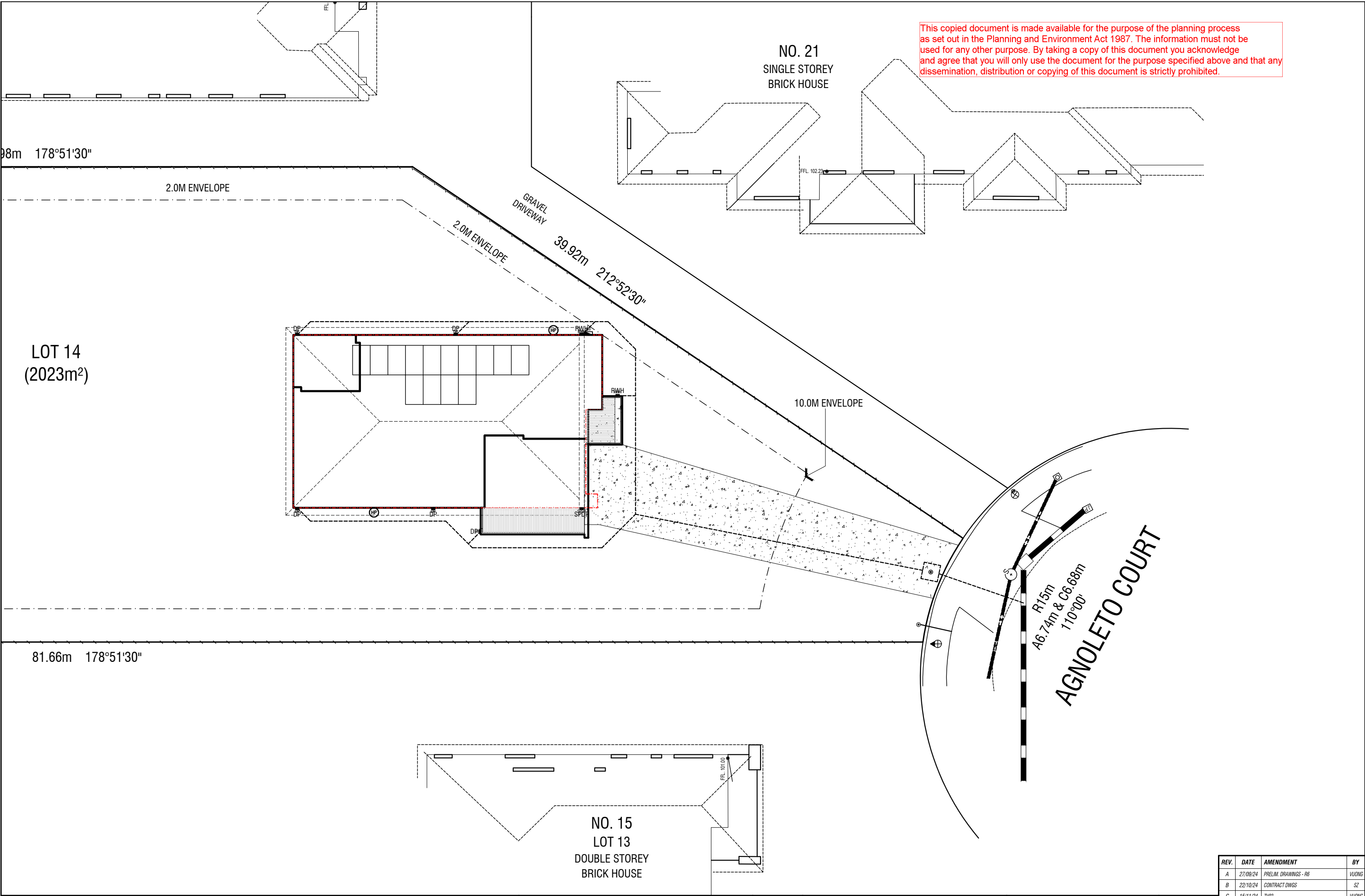
HOUSE: SHOREHAM 42 (LH) FACADE: MCKINLEY

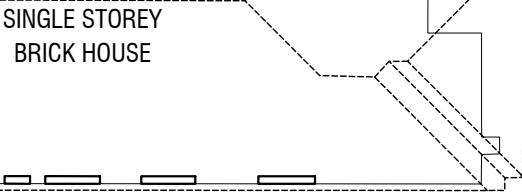
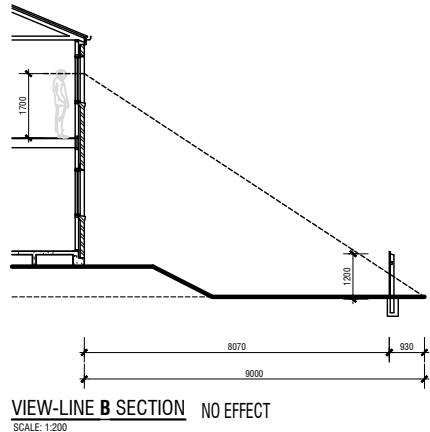
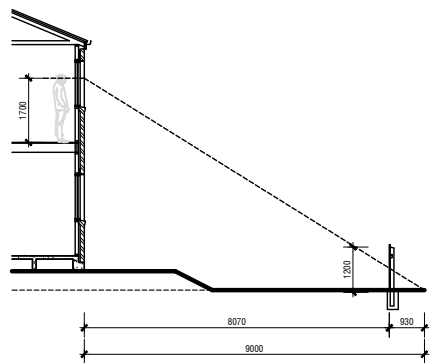


SIGNED BY: BUILDER _____
SIGNED BY: OWNER _____
DATE: _____

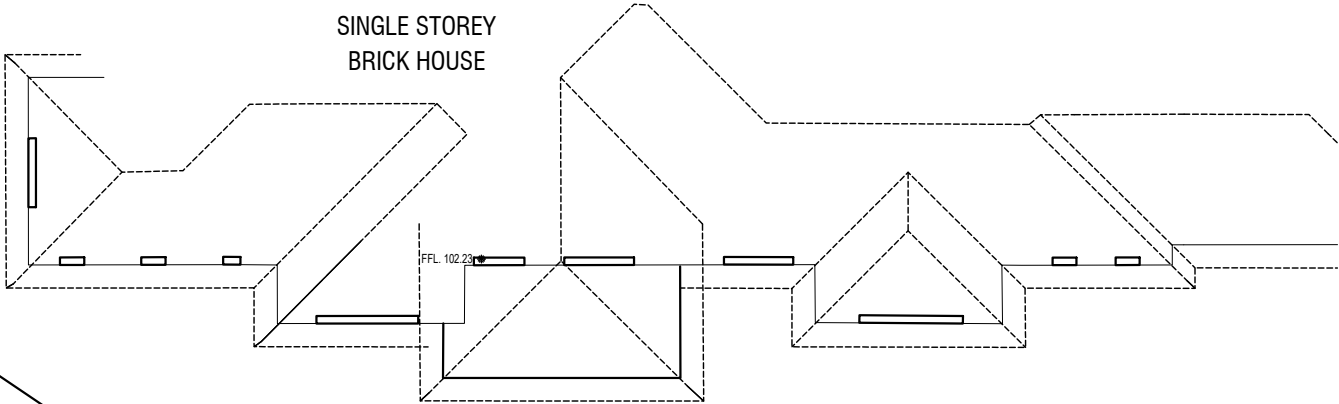
CLIENT:
BRAD WILSON & HANNAH WILSON
SITE ADDRESS:
**LOT 14, No.17
AGNOLETO COURT
BUNYIP VIC 3815**

JOB No.:
250030
SCALE:
1:300
SHEET:
2A OF 22



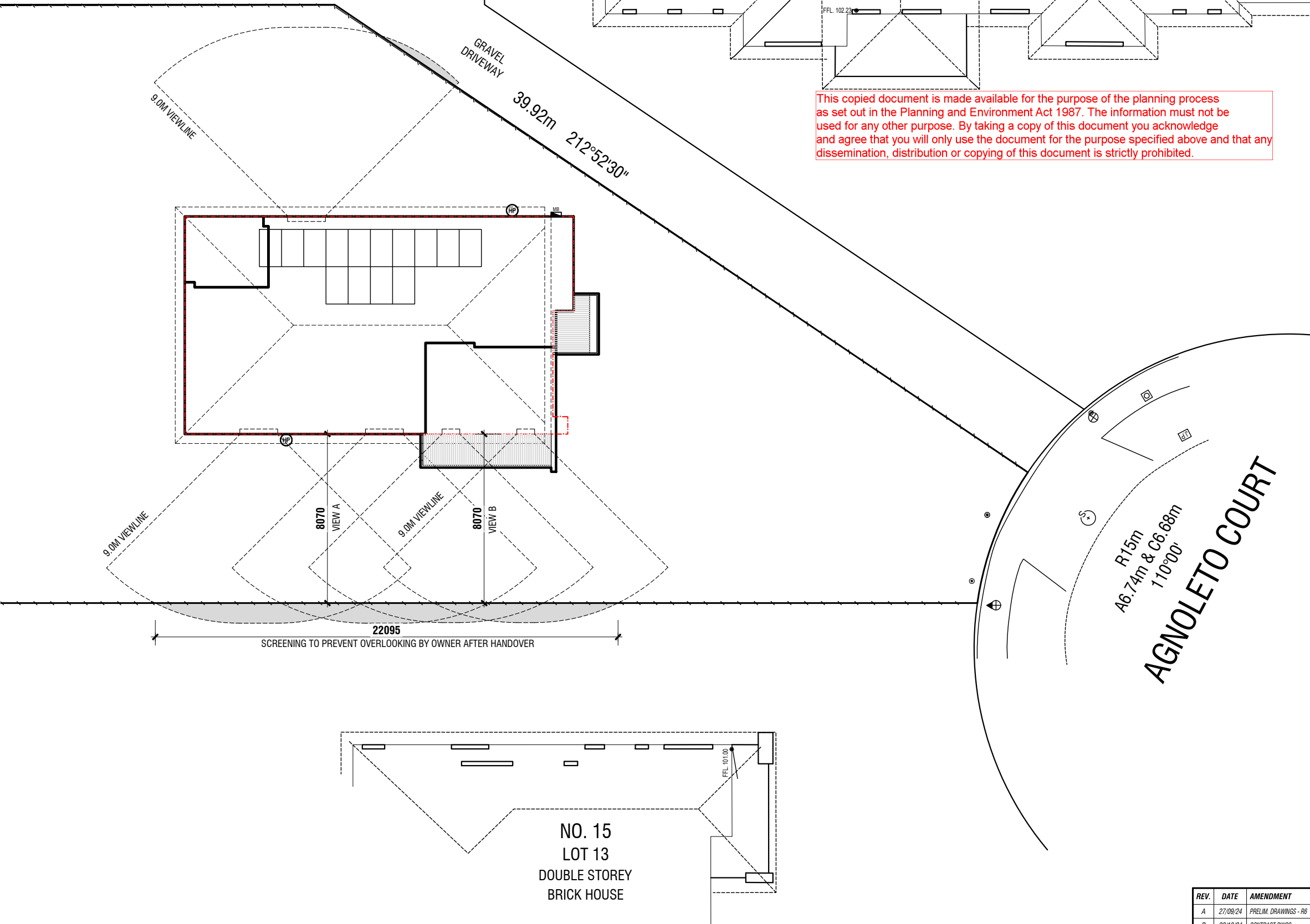


SINGLE STOREY
BRICK HOUSE



NO. 21
SINGLE STOREY
BRICK HOUSE

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AGNOLETO COURT
R15m
A6.74m & C6.68m
110°00'



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OVERLOOKING DIA.

HOUSE: SHOREHAM 42 (LH) FACADE: MCKINLEY

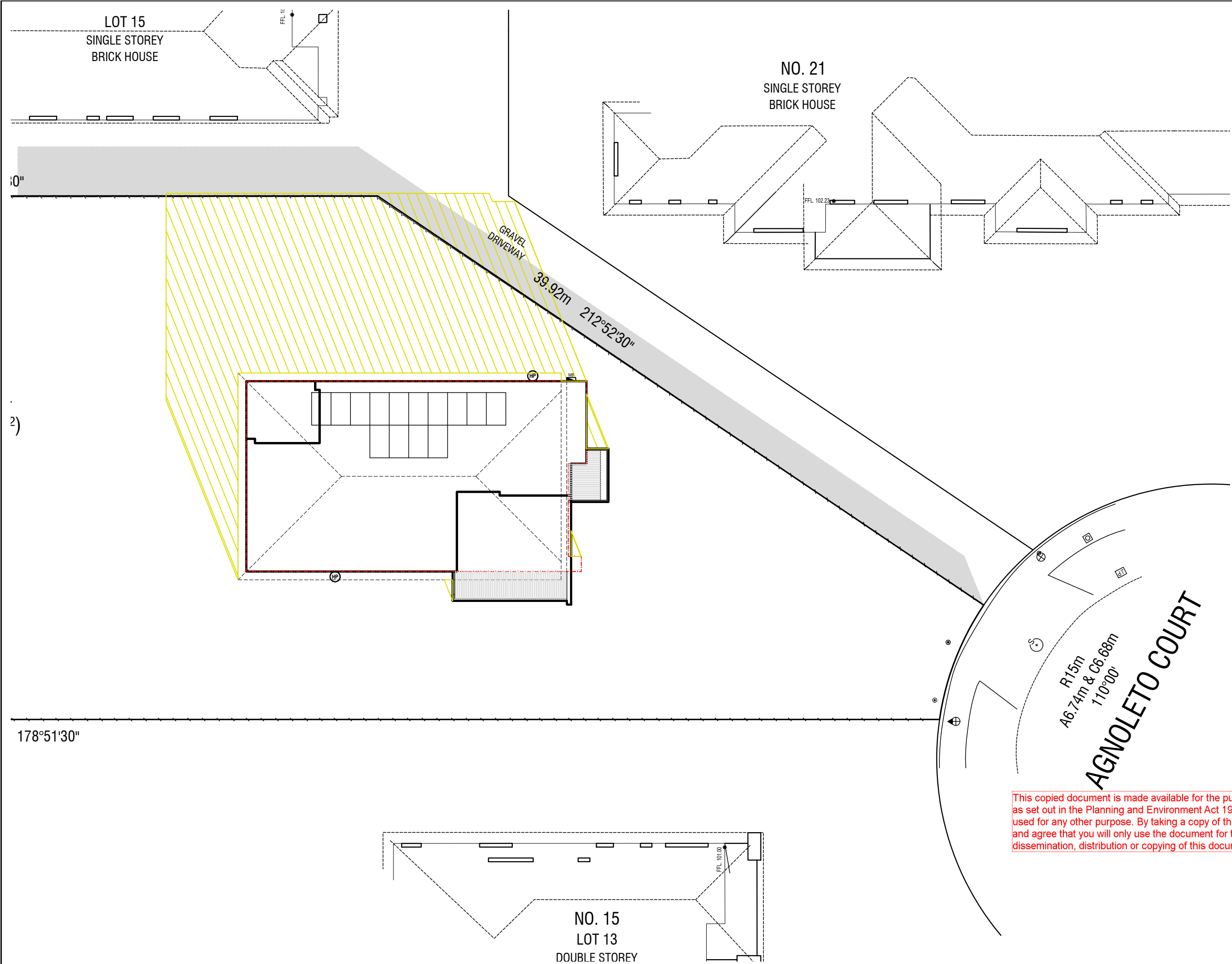


SIGNED BY: BUILDER
SIGNED BY: OWNER
DATE:

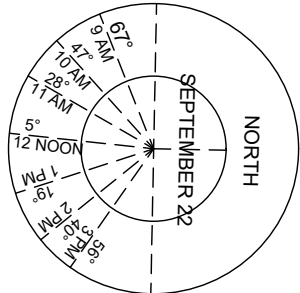
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SITE ADDRESS:
LOT 14, No.17
AGNOLETO COURT
BUNYIP VIC 3815

JOB No.:
250030
SCALE:
1:200
SHEET:
02C OF 22

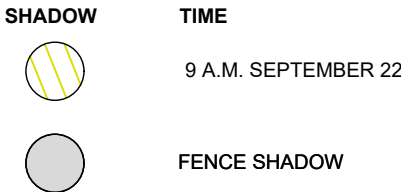
REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VIUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VIUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



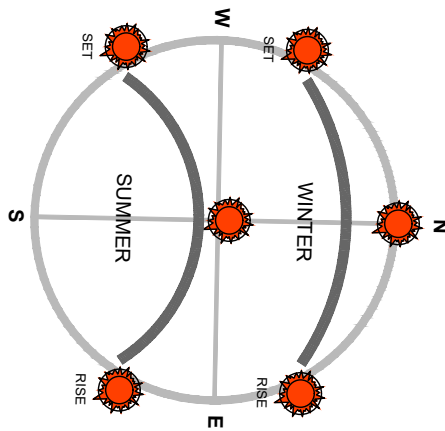
EQUINOX DATUM: 22 SEPTEMBER
MELBOURNE, VICTORIA



SUNLIGHT TO PRIVATE OPEN SPACE



SUN PATH DIAGRAM



DIRECTION OF SUN MOVEMENT

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fairhavenhomes.com.au | 1800 324 742

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SHADOWING DIA. 9AM

HOUSE: **SHOREHAM 42 (LH)** FACADE: **McKINLEY**

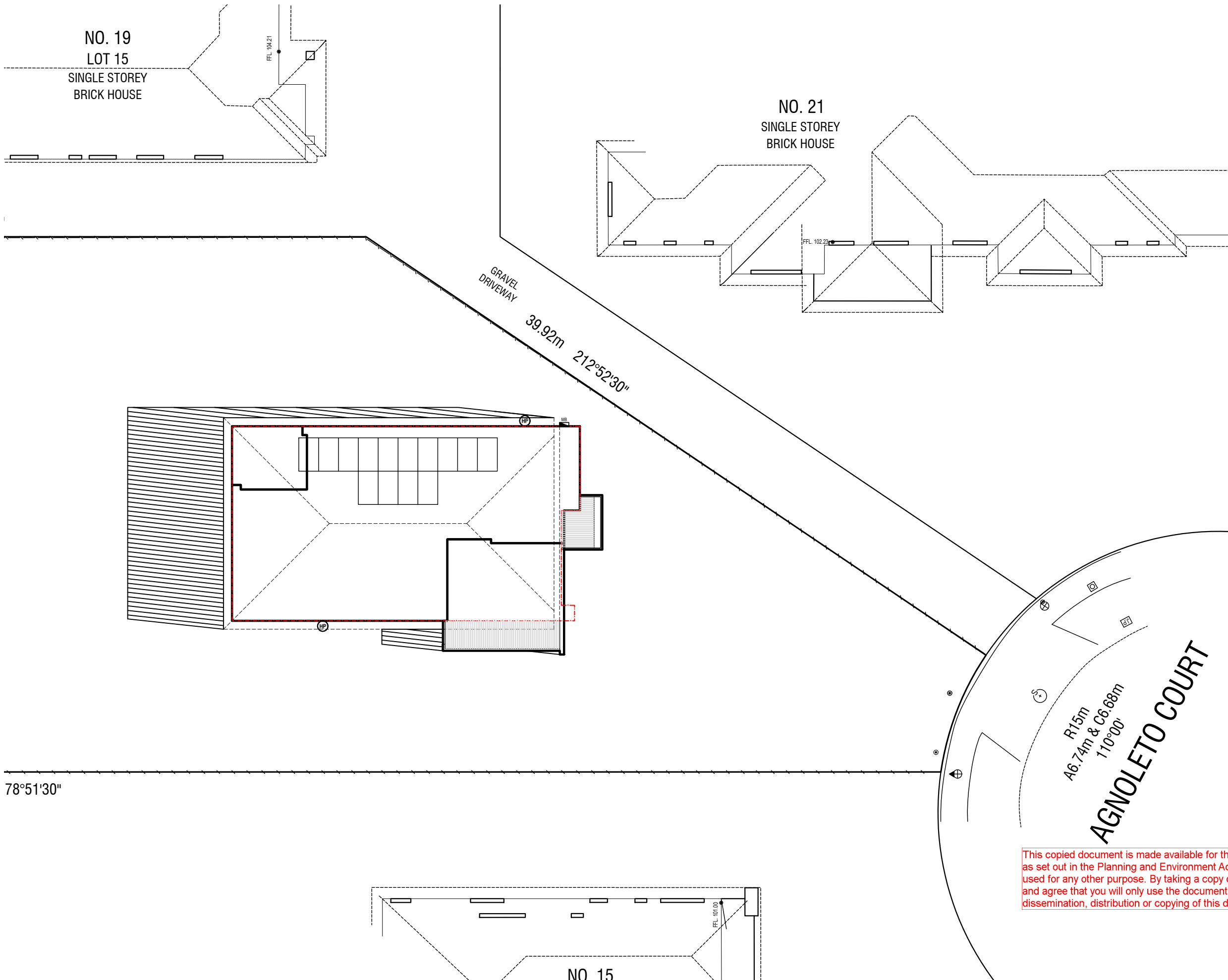


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DATE: _____

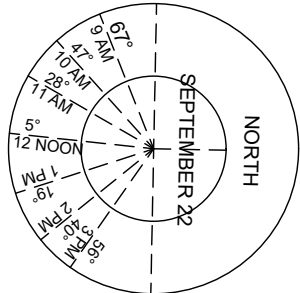
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JOB No.:
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SCALE:
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SHEET:
02D OF 22

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B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VIUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



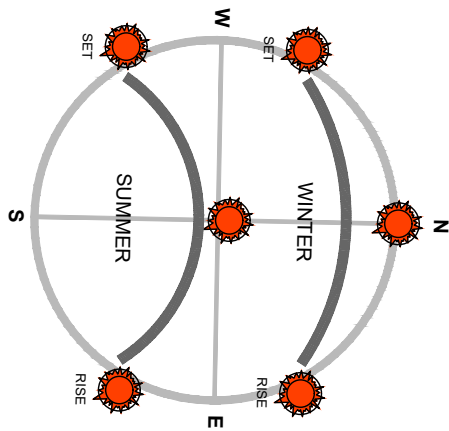
EQUINOX DATUM: 22 SEPTEMBER
MELBOURNE, VICTORIA



SUNLIGHT TO PRIVATE OPEN SPACE

SHADOW	TIME
	12 NOON SEPTEMBER 22
	FENCE SHADOW

SUN PATH DIAGRAM



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SHADOWING DIA. 12 NOON
HOUSE: SHOREHAM 42 (LH) FACADE: MCKINLEY

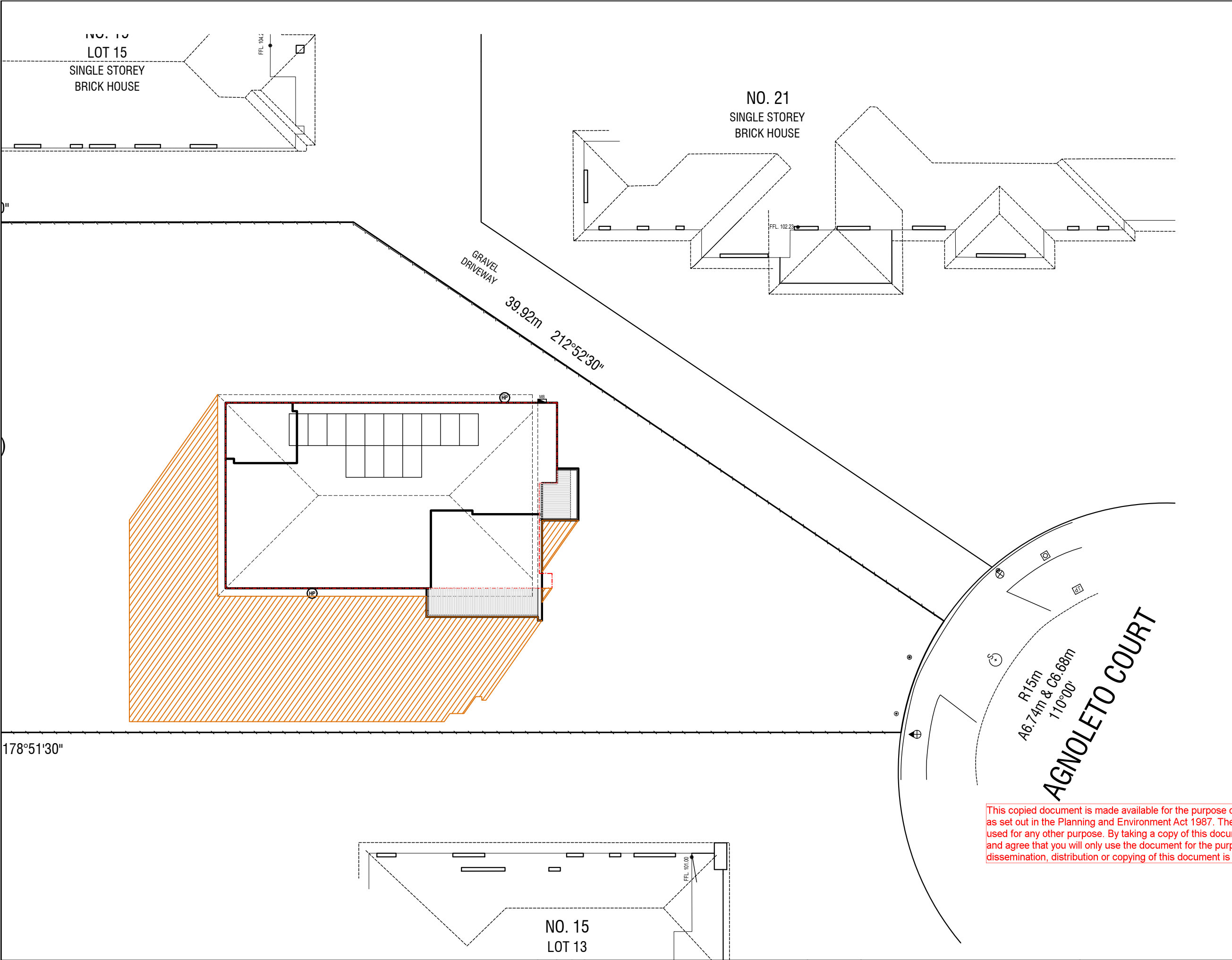


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SIGNED BY: OWNER _____
DATE: _____

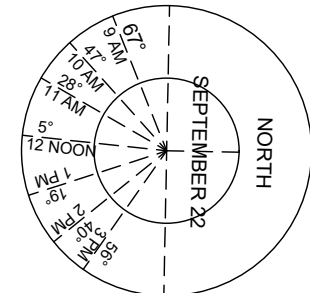
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JOB No.:
250030
SCALE:
1:200
SHEET:
02E OF 22



REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	WUONG
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C	15/11/24	TV02	WUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



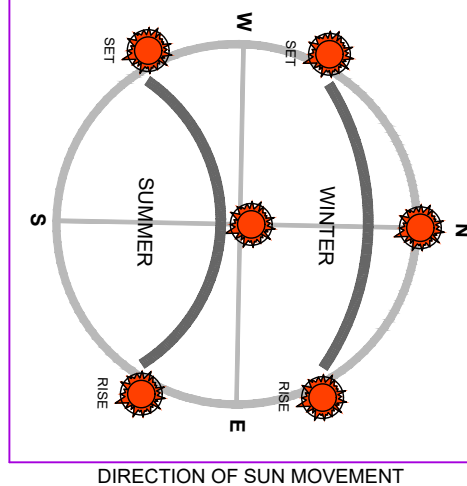
EQUINOX DATUM: 22 SEPTEMBER
MELBOURNE, VICTORIA



SUNLIGHT TO PRIVATE OPEN SPACE

SHADOW	TIME
	3 P.M. SEPTEMBER 22
	FENCE SHADOW

SUN PATH DIAGRAM



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SHADOWING DIA. 3PM

HOUSE: **SHOREHAM 42 (LH)** FACADE: **McKINLEY**



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SIGNED BY: OWNER _____
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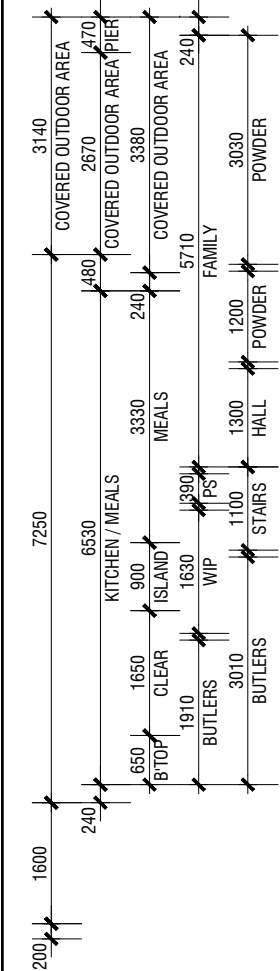
JOB No.:
250030
SCALE:
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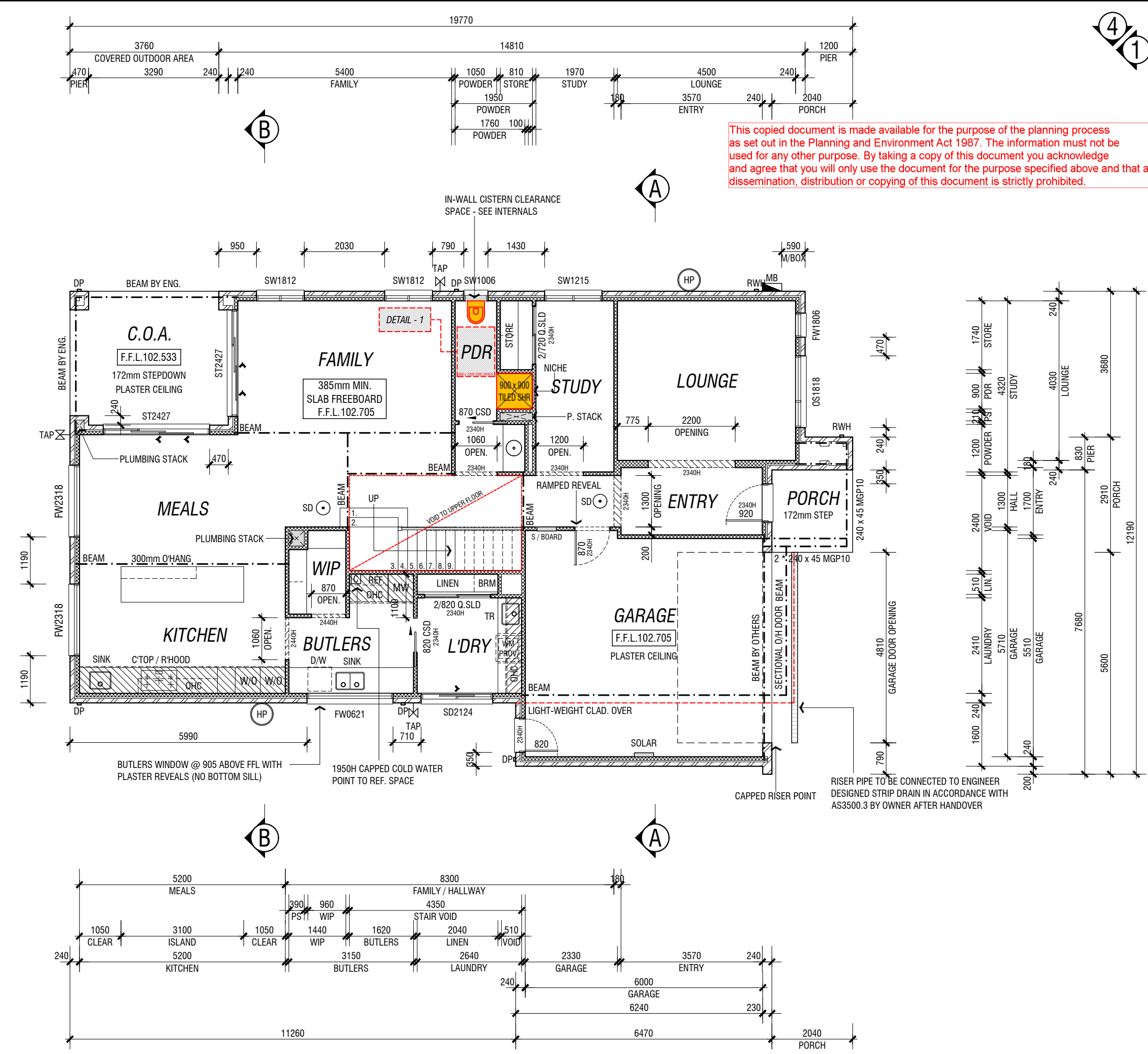
NOTES CONT.

PROVIDE SQUARE SET PLASTER TO ENTRY, ENTRY HALLWAY, FAMILY, MEALS, KITCHEN, LOUNGE, GF-PDR, FF-PDR, BATH, ENSUITE, STUDY, BUTLERS PTRY, WIP & LAUNDRY (EXCLUDING STORE & LINEN/BROOM)

PROVIDE EXTRA NOGGINGS TO THE CEILING WHERE CEILING FAN IS TO BE INSTALLED.













3
2



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4
1

LEGEND			
	SD INTERCONNECTED DIRECT WIRED SMOKE DETECTOR		
	CEILING EXHAUST FAN - SEPARATE SWITCH		
	CEILING EXHAUST FAN 25L/SEC SWITCHED WITH LIGHT		
	MH MANHOLE - ROOF ENTRY POINT		
	RA RETURN AIR VENT		
	LOAD BEARING WALL		
	2340H G/FLOOR B'HEADS TO FRAME (REFER TO INTERNALS FOR KITCHEN BULKHEADS)		
	2140H F/FLOOR B'HEADS TO FRAME		
	HATCH DENOTES LIVABLE HOUSING COMPLIANT PAN & SHOWER		
	HATCH DENOTES 900 x 1200 CLEAR CIRCULATION SPACE FOR TOILET PAN		
WINDOW HEAD HEIGHTS			
HEAD HEIGHT ABOVE F.F.L. GROUND FLOOR			
WINDOWS (NO EAVES ABOVE)	2408		
HEAD HEIGHT ABOVE F.F.L. FIRST FLOOR			
WINDOWS WITH EAVES ABOVE ** (UNLESS NOTED OTHERWISE) **	REFER TO DROP-OFF DETAIL		
HEAD HEIGHT ABOVE F.F.L. FIRST FLOOR (NO EAVES ABOVE, REFER TO TABLE BELOW)			
CEILING HEIGHT	HEAD HEIGHT		
GROUND FLR.	FIRST FLOOR	ABOVE FFL	
2440	2440	2056	
2590	2440	2078	
	2590	2078	
2740	2440	2100	
	2590	2100	
ROOF VENTING			
PROVIDE VENTING INSTALLED AT LOW LEVEL . ROOF VENTILATION @ 7000mm2/M TO PERIMETER OF FASCIA & GUTTER (TO COMPLY WITH PART 10.8.3 NCC)			
PROVIDE VENTING INSTALLED AT HIGH LEVEL . ROOF VENTILATION @ 5000mm2/M TO EITHER SIDE OF RIDGE LINE (TO COMPLY WITH PART 10.8.3 NCC)			
NOTES			
ARTICULATION JOINTS TO BE LOCATED AS PER ENGINEERS NOMINATIONS <i>U.N.O.</i> (E.G. <i>FOAM CLAD.</i>)			
WHERE DISTANCE FROM TOILET PAN TO ANY PART OF DOOR IS LESS THAN 1.2 M THE DOOR IS TO OPEN OUTWARDS, SLIDE OR TO BE READILY REMOVABLE FROM OUTSIDE AS PER N.C.C. PART 10.4.2			
MECHANICAL VENTILATION TO BE PROVIDED TO ALL SANITARY COMPARTMENTS WHERE NATURAL VENTILATION CAN NOT BE PROVIDED BY MEANS OF A WINDOW. (VENTING TO COMPLY WITH 10.6.2 N.C.C.)			
PROVIDE THRESHOLD RAMP WITH A MAXIMUM 1:8 GRADIENT TO ACCESS DOOR BETWEEN GARAGE AND DWELLING F.F.L			
GATIC DRAIN TO FRONT OF GARAGE. CAPACITY DESIGNED BY ENGINEER			
AREA ANALYSIS			
GROUND:	148.39M ²	15.97SQ	
FIRST:	187.71M ²	20.21SQ	
GARAGE:	36.72M ²	3.95SQ	
C.O.A.:	13.29M ²	1.43SQ	
PORCH:	5.24M ²	0.56SQ	
TOTAL AREA:	391.35M ²	42.13SQ	
REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM. DRAWINGS - R6	WUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	WUONG
D	03/12/24	TV04 & RFI ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



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GROUND FLOOR PLAN

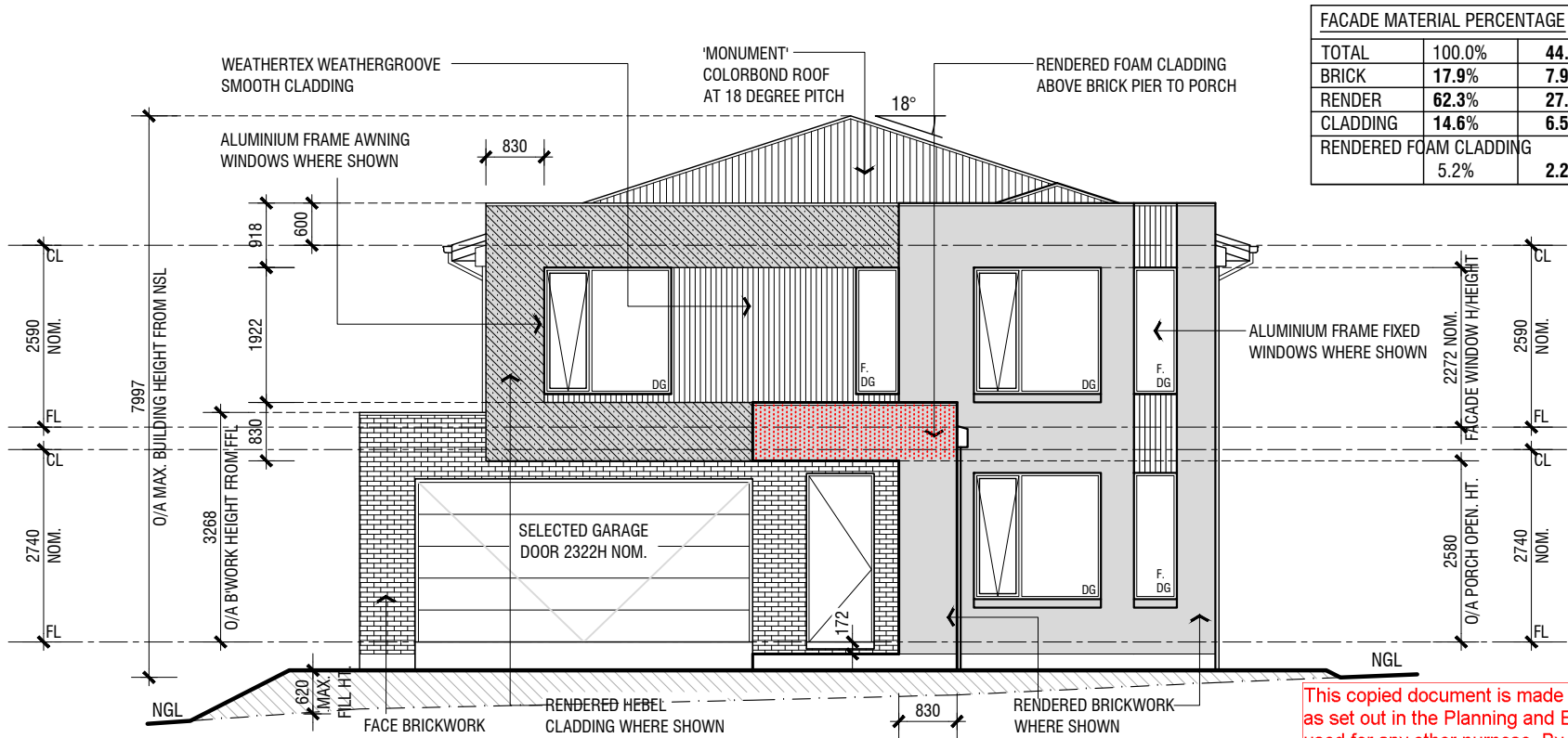
HOUSE: **SHOREHAM 42 (LH)** FACADE: **McKINLEY**



SIGNED BY: BUILDER _____
SIGNED BY: OWNER _____
DATE: _____

CLIENT:
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SITE ADDRESS:
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AGNOLETO COURT
BUNYIP VIC 3815**

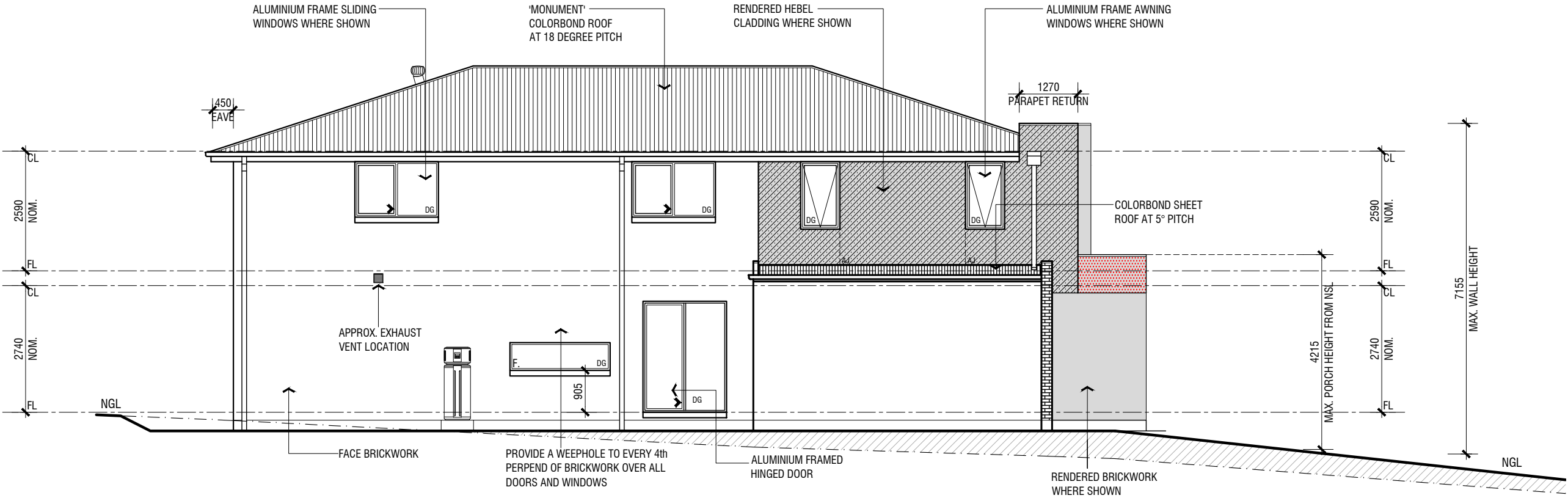
JOB No.: **250030**
SCALE: **1:100**
SHEET: **04 OF 22**



FACADE MATERIAL PERCENTAGE		
TOTAL	100.0%	44.74m ²
BRICK	17.9%	7.99 m ²
RENDER	62.3%	27.89 m ²
CLADDING	14.6%	6.57 m ²
RENDERED FOAM CLADDING	5.2%	2.29 m ²

NORTH ELEVATION

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EAST ELEVATION

ENERGY REQUIREMENTS

- BUILDING SEALING**
- PROVIDE SEALS TO ALL EXHAUST FANS - (EXCLUDING KITCHEN RANGEHOOD).
 - PROVIDE COMPRESSIBLE SEAL TO HEAD AND JAMB OF EXTERNAL SWINGING DOORS - (EXCLUDING GARAGE).
 - PROVIDE WEATHERSTRIP TO BOTTOM EDGE OF EXTERNAL SWINGING DOORS - (EXCLUDING GARAGE).
 - PROVIDE SEAL TO BOTTOM EDGE OF INTERNAL GARAGE ACCESS DOOR

- INSULATION**
- WALLS**
- **R2.5** ADDED BULK INSULATION WITH ANTI-GLARE FOIL (EXCLUDING GARAGE)
 - **R2.5** ADDED BULK INSULATION TO INTERNAL WALLS ADJOINING **GARAGE**

- CEILING**
- **R5.0** ADDED BULK INSULATION (EXCLUDING GARAGE)
 - **R2.5** PERIMETER CEILING BATT (EXCLUDING GARAGE)

*NOTE: LED DOWNLIGHTS, IF USED, ARE TO BE IC RATED FIRE RESISTANT TYPE.
*NCC 3.12.1.1b HAS NOT BEEN TRIGGERED

- ROOF**
- **SARKED FOR BUSHFIRE REQUIREMENTS**

- ROOF COLOUR**
- **CAT. 1 / S.A. VALUE 0.73**

- FLOORS**
- **WAFFLE POD SLAB**
 - **R3.5 FLOOR INSULATION (C.O.A. / GARAGE)**

- WINDOWS**
- **BRADNAM'S** WINDOWS & SLIDING DOORS
- *NOTE: TYPES AND STYLES AS PER PLANS.
*ALL SYSTEM VALUES PUBLISHED ON WWW.WERS.NET
- **DG** DENOTES **DOUBLE GLAZED WINDOWS & SLIDING DOORS**

- ADDITIONAL NOTES**
- WHERE REQUIRED, THE FOLLOWING MUST ALSO MEET NCC 2022 PART 13.1
- 13.2.2 INSULATION MUST BE INSTALLED AND COMPLY WITH AS/NZ 4859.1
 - 13.4.1 SEAL BUILDING (THE SEALING OF ALL GAPS AND CRACKS)
 - 13.7.4 **R1** TO ALL DUCT WORK AND HWS PIPE ENTRY POINTS AS PER THE PLUMBING STANDARDS. HEATING DUCTS **R1** INCLUDING INNER AND OUTER FOIL WRAP WITH TONTINE FILLING.

NOTES

- HATCHING IS FOR ILLUSTRATIVE PURPOSES ONLY
- DG - DENOTES DOUBLE GLAZED WINDOWS / SLIDING DOORS**
- ALUMINIUM FLYSCREENS TO ALL OPENABLE WINDOWS

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM. DRAWINGS - R6	VUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VUONG
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ELEVATIONS

HOUSE: **SHOREHAM 42 (LH)** FACADE: **McKINLEY**

SIGNED BY: BUILDER _____
SIGNED BY: OWNER _____
DATE: _____

CLIENT:
BRAD WILSON & HANNAH WILSON
SITE ADDRESS:
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250030
SCALE:
1:100
SHEET:
06 OF 22

HATCHING IS FOR ILLUSTRATIVE PURPOSES ONLY

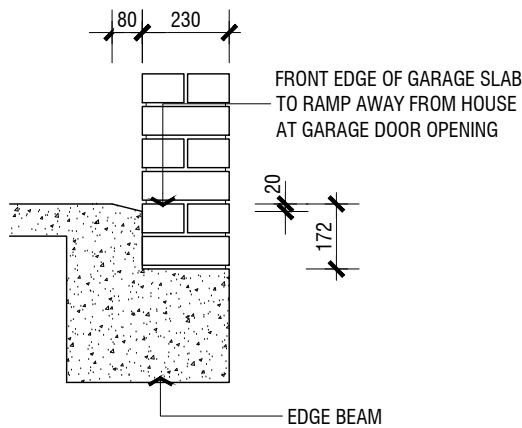
ALUMINIUM FLYSCREENS TO ALL OPENABLE
WINDOWS

[illegible]

Architectural elevation drawing of a building facade. The drawing includes the following annotations and dimensions:

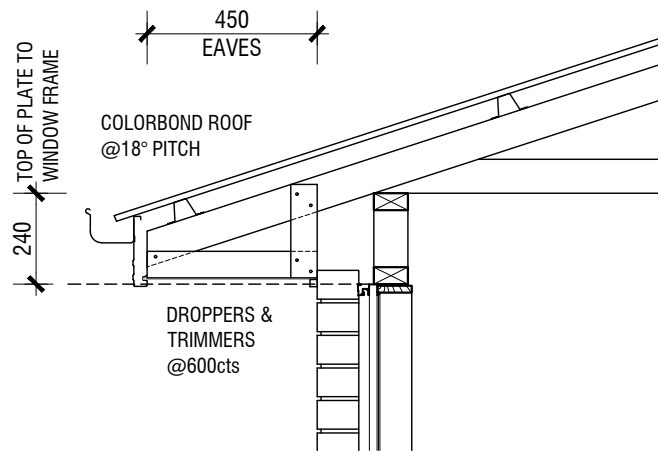
- Dimensions:**
 - Overall height: 6830 NOM. (MAX. WALL HEIGHT)
 - Section height: 2590 NOM.
 - Section height: 2740 NOM.
 - Section height: 2408 (OPENING HEIGHT)
 - Section height: 700 MAX. (CUT HT.)
 - Section width: 1550 (PARAPET RETURN)
 - Section width: 1720 (METER BOX)
 - Section width: 172 (stacker door opening)
 - Section width: 450 (EAVE)
- Materials and Finishes:**
 - RENDERED BRICKWORK WHERE SHOWN
 - RENDERED FOAM CLADDING ABOVE BRICK PIER TO PORCH
 - FACE BRICKWORK
 - 'MONUMENT' COLORBOND ROOF AT 18 DEGREE PITCH
 - ALUMINIUM FRAME SLIDING WINDOWS WHERE SHOWN
- Structural and Functional Details:**
 - APPROX. EXHAUST VENT LOCATION
 - PROVIDE A WEEPHOLE TO EVERY 4th PERPEND OF BRICKWORK OVER ALL DOORS AND WINDOWS
 - ALUMINIUM FRAMED STACKER DOOR
 - M/B (Meter Box)
 - 1720 METER BOX
 - 172 (stacker door opening)
 - 450 EAVE
 - 700 MAX. CUT HT.
 - NGL (Natural Ground Level)

REV.	DATE	AMENDMENT	
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D	03/12/24	TV04 & RFI ITEMS	(
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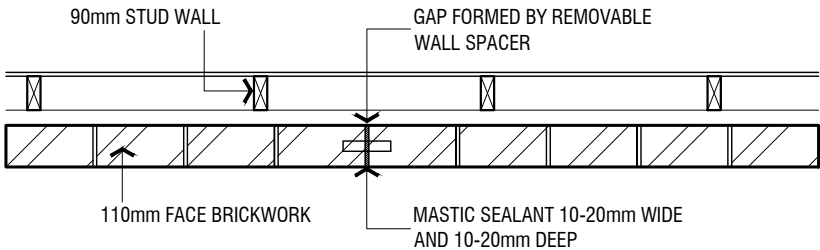
GARAGE RAMPED EDGE DETAIL

SCALE: 1:20



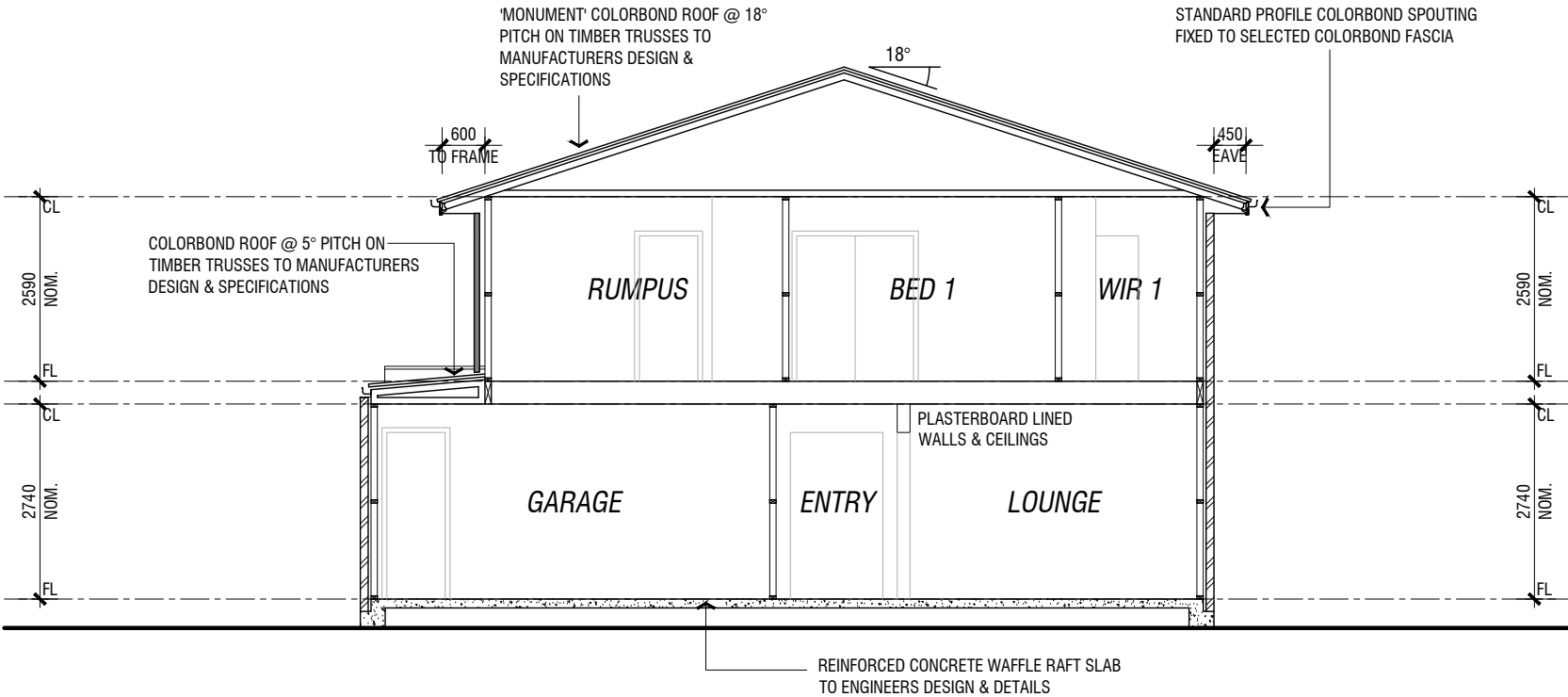
DROP-OFF DETAIL

SCALE: 1:20



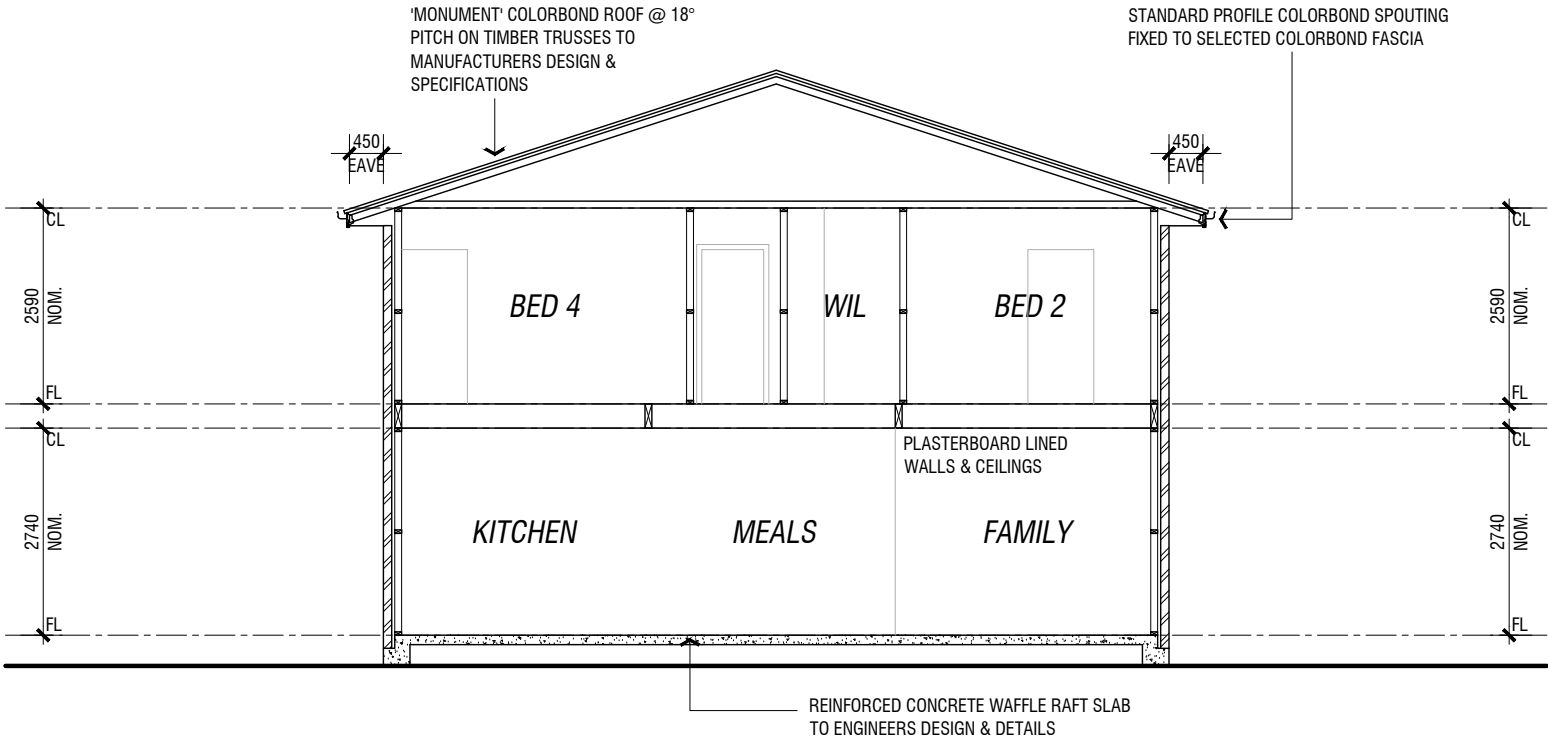
BRICK JOINT DETAIL

SCALE: 1:20



SECTION A-A

SCALE: 1:100



SECTION B-B

SCALE: 1:100

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LINTELS (R.L.W. 6000) SINGLE OR UPPER STOREY WALLS

METAL ROOF		
LINTEL SIZE	OPEN. WIDTH	JAMB STUDS
2 / 90 x 45 E-BEAM	UP TO 1200	2 / 90 x 35 F5
150 x 45 E-BEAM	UP TO 1800	2 / 90 x 35 F5
200 x 45 E-BEAM	UP TO 2400	3 / 90 x 35 F5
2 / 240 x 45 E-BEAM	UP TO 2700	3 / 90 x 35 F5
2 / 300 x 45 E-BEAM	UP TO 3600	3 / 90 x 35 F5
TILED ROOF		
LINTEL SIZE	OPEN. WIDTH	JAMB STUDS
2 / 90 x 45 E-BEAM	UP TO 900	2 / 90 x 35 F5
150 x 45 E-BEAM	UP TO 1200	2 / 90 x 35 F5
200 x 45 E-BEAM	UP TO 1800	3 / 90 x 35 F5
2 / 240 x 45 E-BEAM	UP TO 2400	3 / 90 x 35 F5
2 / 300 x 45 E-BEAM	UP TO 2700	4 / 90 x 35 F5

BRICKWORK LINTELS

NOTE: ALL LINTELS ONLY APPLICABLE TO SINGLE STOREY DWELLINGS & UPPER FLOOR WINDOWS. REFER TO ENGINEERING FOR GROUND FLOOR WINDOW LINTELS ON DOUBLE STOREY

MAX. 500 BWK HT. OVER LINTEL	MAX. 1500 BWK HT. OVER LINTEL	MAX. 2500 BWK HT. OVER LINTEL
LINTEL SIZE	LINTEL SIZE	LINTEL SIZE
110 x 110 x 7 EA (SPAN 1650 MAX.)	110 x 110 x 7 EA (SPAN 1650 MAX.)	110 x 110 x 7 EA (SPAN 1650 MAX.)
110 x 110 x 7 EA (SPAN 1950 MAX.)	110 x 110 x 7 EA (SPAN 1950 MAX.)	150(V) x 100(H) x 10UA (SPAN 1950 MAX.)
110 x 110 x 7 EA (SPAN 2400 MAX.)	150(V) x 100(H) x 10UA (SPAN 2400 MAX.)	150(V) x 100(H) x 10UA (SPAN 2400 MAX.)
150(V) x 100(H) x 10UA (SPAN 2700 MAX.)	150(V) x 100(H) x 10UA (SPAN 2700 MAX.)	REF. TO ENG. (SPAN 2700 MAX.)
150(V) x 100(H) x 10UA (SPAN 2850 MAX.)	REF. TO ENG. (SPAN 2850 MAX.)	REF. TO ENG. (SPAN 2850 MAX.)
150(V) x 100(H) x 10UA (SPAN 3950 MAX.)	REF. TO ENG. (SPAN 3950 MAX.)	REF. TO ENG. (SPAN 3950 MAX.)

GENERAL NOTES

- STEEL LINTELS SHALL BE GALVANISED OR PAINTED WITH ANTI RUST COMPOUND.
- 10MM PLASTERBOARD WALL LINING AND 10MM CEILING LINING THROUGHOUT.
- WR BLUEBOARD OR HARDIES VILBOARD WALL LINING TO ALL WET AREA WALLS (TILED AREAS ONLY). SEAL ALL JOINTS TO MANUFACTURERS SPECIFICATIONS.
- REFER TO FRAMING & LINTEL SCHEDULE FOR ALL TIMBER MEMBERS & LINTEL SIZES.
- REFER TO ENGINEERS SOIL REPORT FOR SOIL CLASSIFICATION.
- ALL EXTERNAL LOAD-BEARING WALLS ARE TO BE POINT LOADED.
- WIND CLASSIFICATION 'N1' AS PER AS4055

TIMBER SCHED. - AS1684

STRUCTURAL MEMBERS	
STUMPS:	
BEARERS:	
FLOOR JOISTS:	
TOP PLATE:	90 x 35 PINE MGP10
BOTTOM PLATE:	90 x 35 PINE MGP10
STUDS:	90 x 35 PINE F5 OR BETTER @ 600 CTRS
NOGGINGS:	70 x 35 MERCH PINE
C/JOISTS:	
H/BEAMS:	
RAFTERS:	
HIP / VALLEY:	
UNDERPURLINS:	
STRUTS:	
COLLAR TIES:	
ROOF BATTENS:	METAL BATTENS @ 900 CTRS

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VIJONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VIJONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



FAIRHAVEN HOMES Pty Ltd

LEVEL 6, 1 PETERS AVE
MULGRAVE, VIC 3170

fairhavenhomes.com.au | 1800 324 742

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

SECTION & DETAILS

HOUSE:

SHOREHAM 42 (LH)

FACADE:

McKINLEY

SIGNED BY: BUILDER

SIGNED BY: OWNER

DATE:

CLIENT:

BRAD WILSON & HANNAH WILSON

SITE ADDRESS:

LOT 14, No.17

AGNOLETO COURT

BUNYIP VIC 3815

JOB No.:

250030

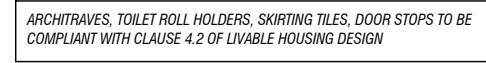
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SHEET:

08 OF 22

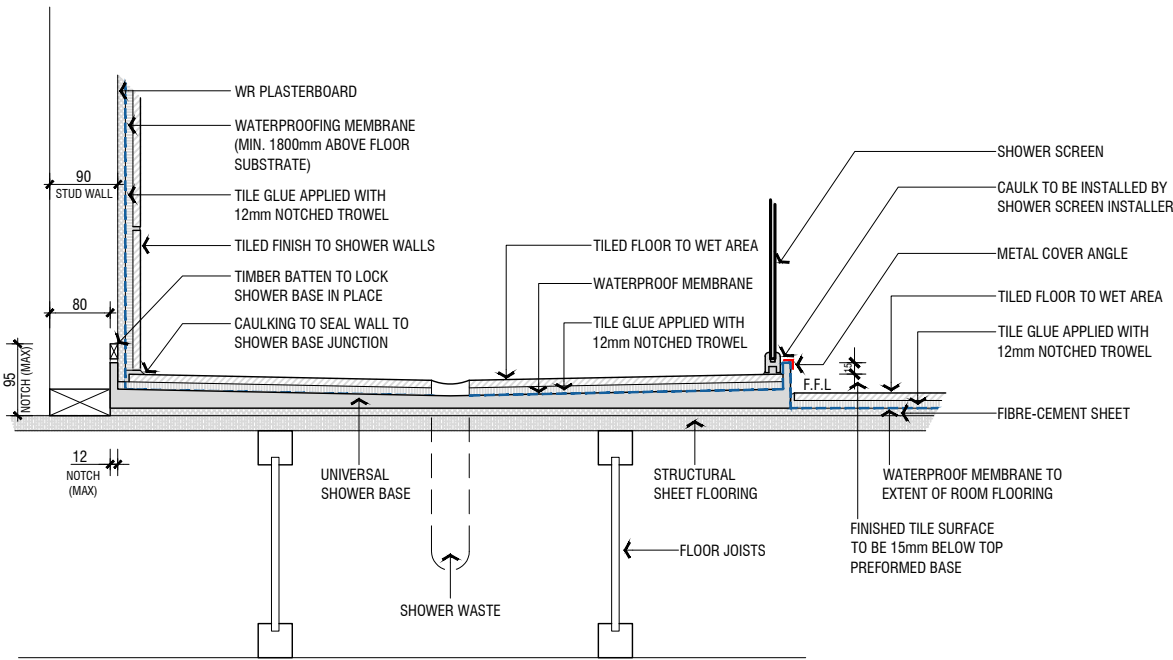
WET AREA WATERPROOFING



SCALE: 1:20

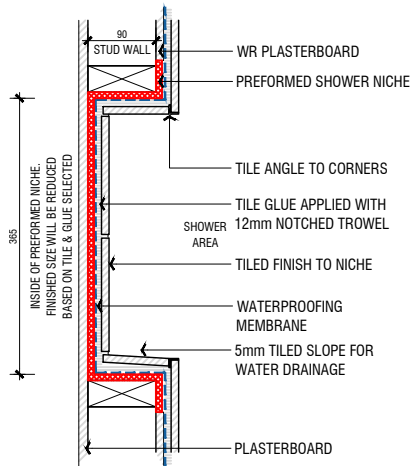


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PREFORMED TILED SHOWER - TIMBER FLOOR DETAIL

SCALE: 1:10 - FIRST FLOOR



TYPICAL TILED NICHE DETAIL

SCALE: 1:10

WET AREA WATERPROOFING

COMPLIANCE

COMPLIANCE IS TO PART 10.2, BCA VOL2 2022 - EXCEPT CLAUSE 4.8.2, AS3740 IS BEING USED FOR WATERSTOP TO UNENCLOSED SHOWERS.

MATERIALS

MATERIALS USED MUST COMPLY WITH THE FOLLOWING CLAUSES.

- WATERPROOFING SYSTEMS **PART 10.2.8**
- WATER RESISTANT SUBSTRATES **PART 10.2.9**
- WATER RESISTANT SURFACES **PART 10.2.10**

SHOWERS

CONTINUOUS FALL TO WET AREA FLOORS WITHIN SHOWER TO BE A MINIMUM 1:80 AND A MAXIMUM 1:50.

ENCLOSED SHOWER SCREEN= FRAMED SHOWERS, SEMI-FRAMELESS OR FRAMELESS FITTED WITH SEALS TO CONTROL SPREAD OF WATER FROM SHOWER AREA.

ENCLOSED SHOWERS WITHOUT HOB OR STEP DOWN.

ENCLOSED SHOWERS WITHOUT HOB OR STEP DOWN.

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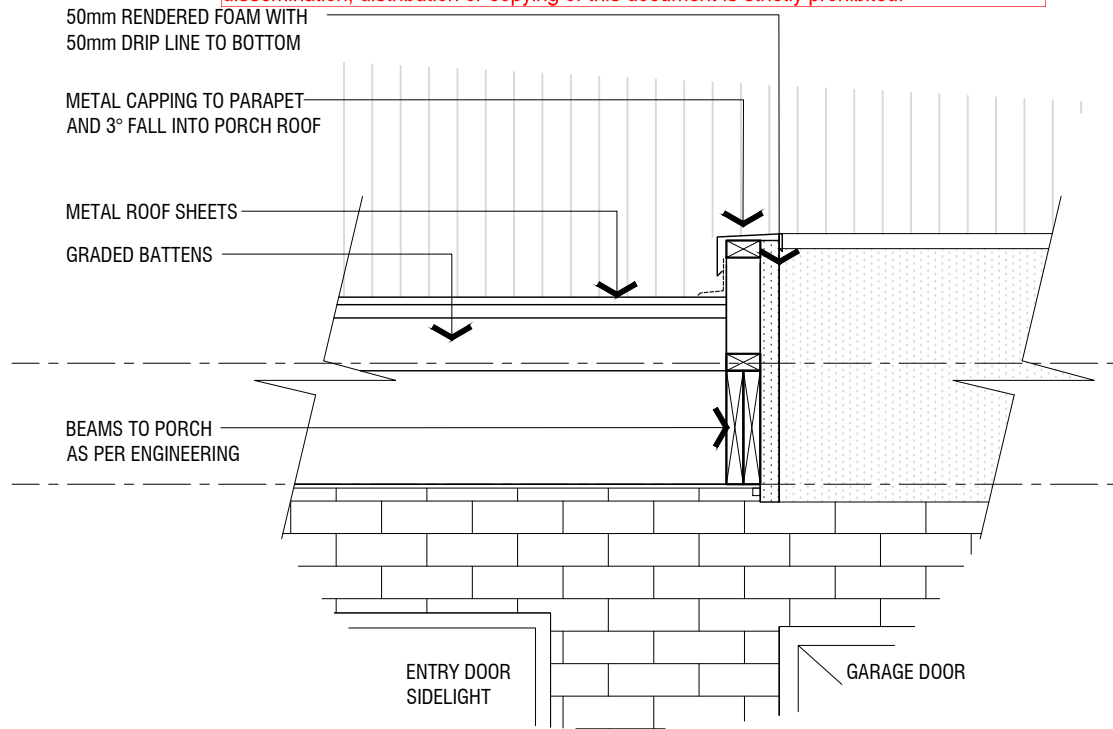
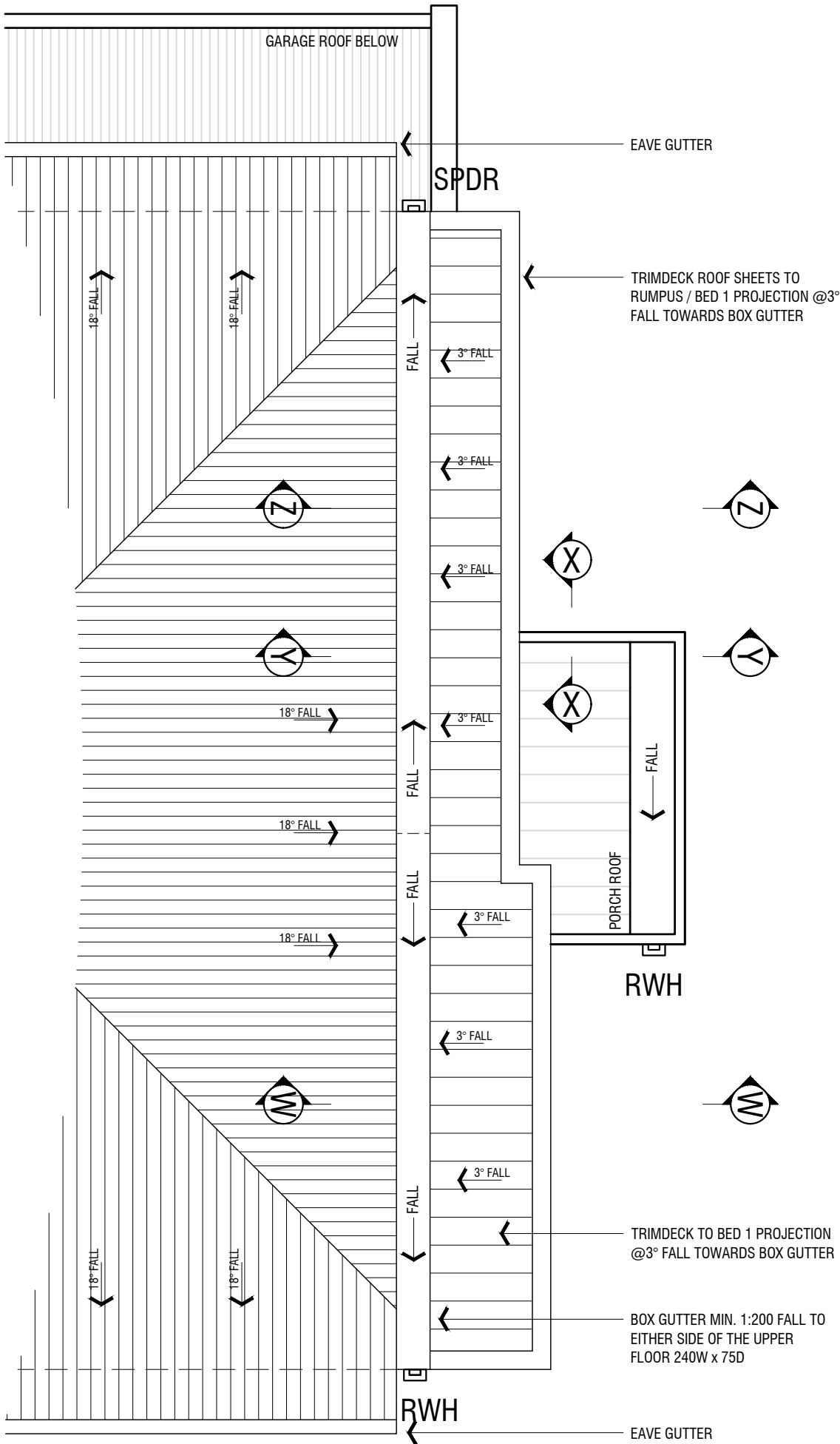
ENCLOSED SHOWERS WITHOUT HOB OR STEP DOWN.

ENCLOSED SHOWERS WITHOUT HOB OR STEP DOWN.

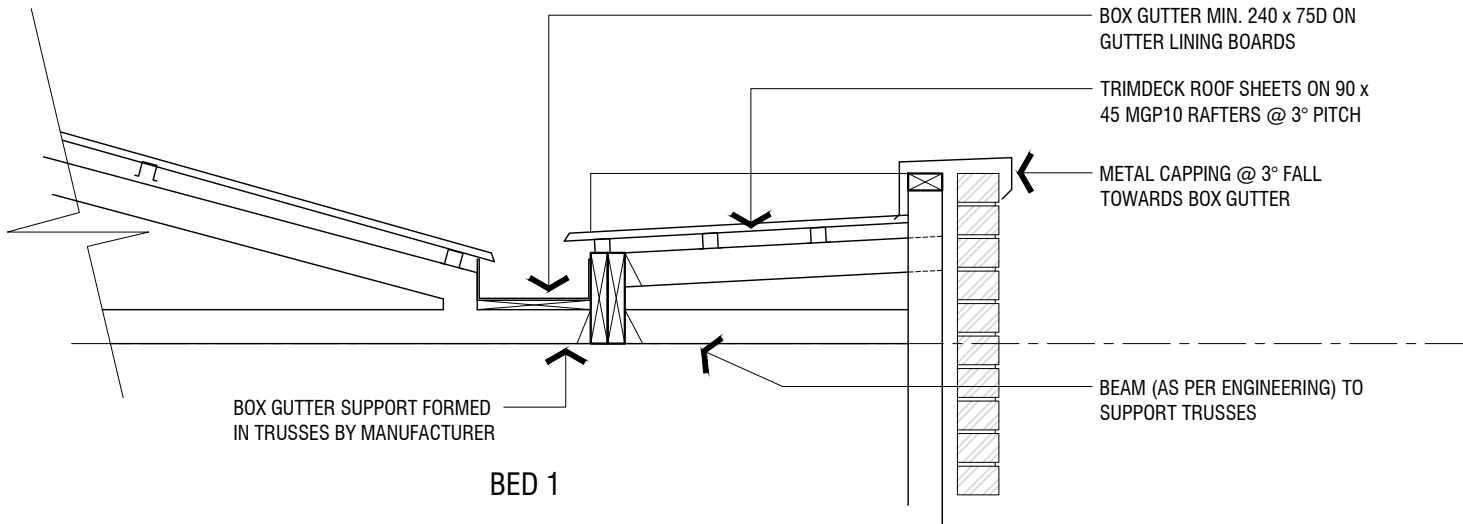
ENCLOSED SHOWERS WITHOUT HOB OR STEP DOWN.

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VIUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VIUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ

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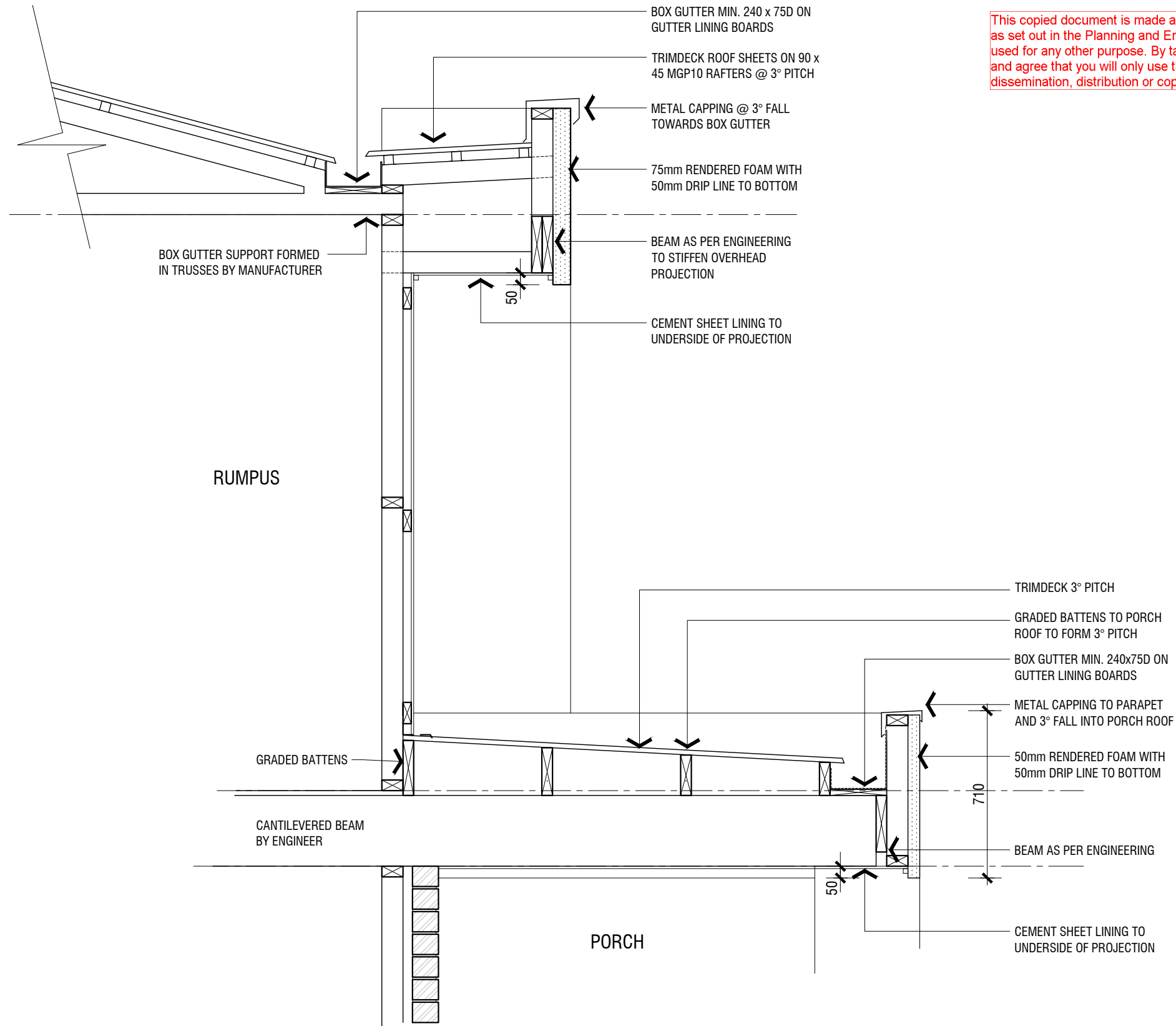
SECTION X-X - PORCH ROOF
1:20



SECTION W-W - BED 1 & WIR ROOF PROJECTION
1:20

UPPER FLOOR
ROOF LAYOUT
1:50

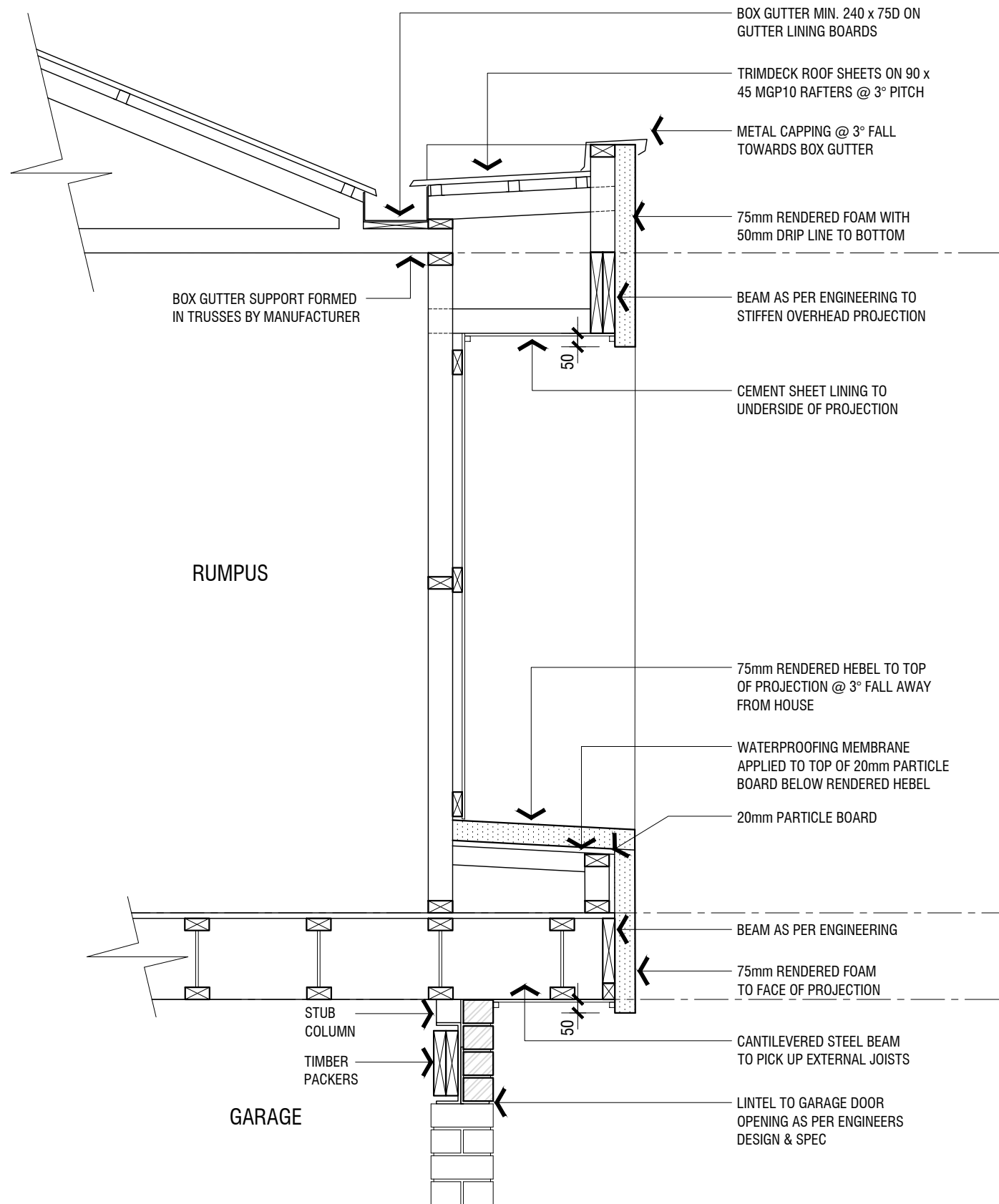
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A	27/09/24	PRELIM DRAWINGS - R6	VUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



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SECTION Y-Y - PORCH ROOF
1:20

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VUONG
D	03/12/24	TV04 & RFI ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ

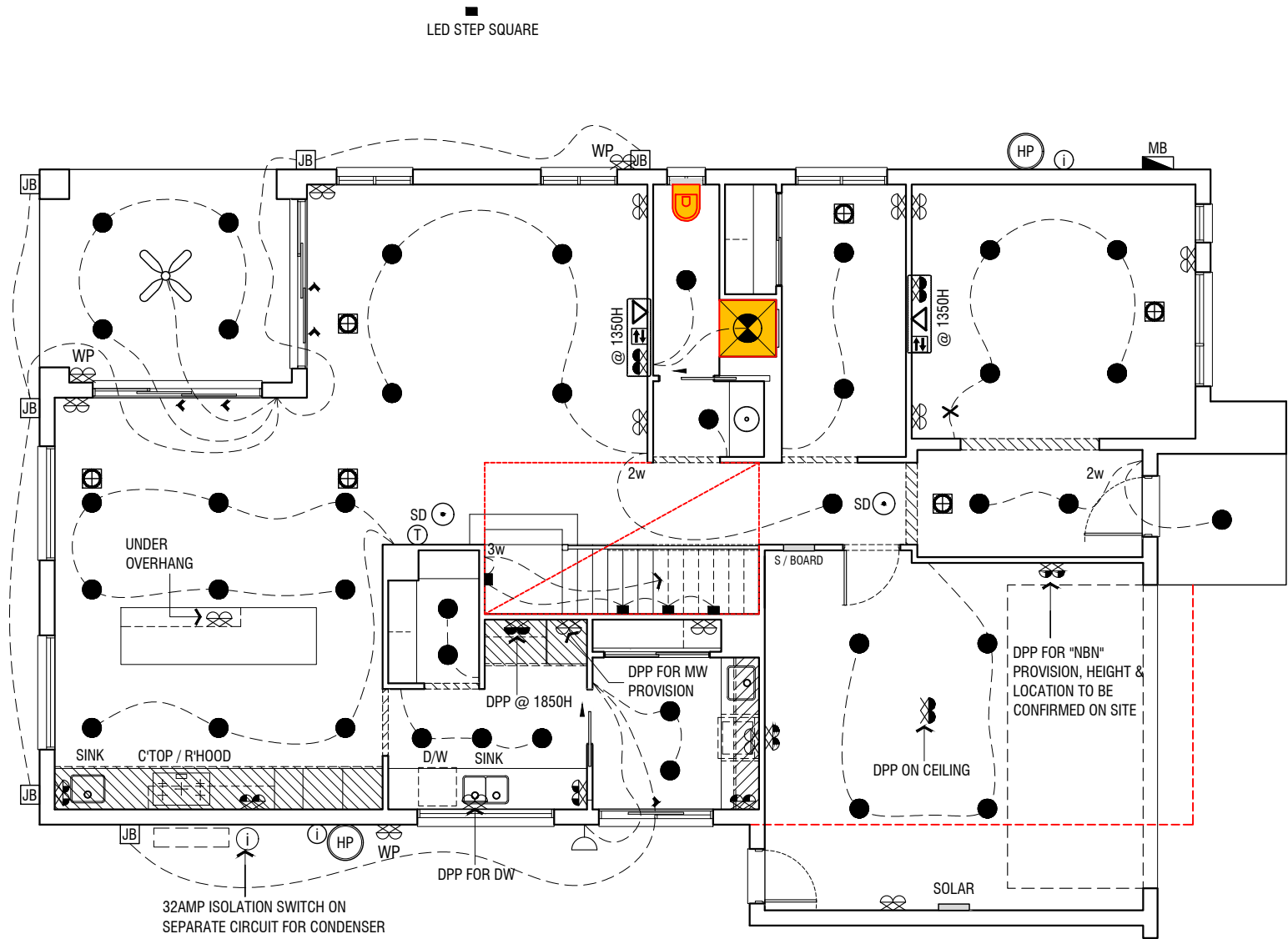


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SECTION Z-Z - RUMPUS PROJECTION
1:20

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ

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ELECTRICAL LEGEND

POWERPOINTS			
INT. SINGLE GPO	INT. DOUBLE GPO		
 @300mm	 @300mm		
 @1200mm	 @1200mm		
 @1350mm	 @1350mm		
 SECURITY @2100mm			
EXT. SINGLE GPO	EXT. DOUBLE GPO		
 WP @600mm	 WP @600mm		
LIGHT POINTS			
INTERNAL LIGHT POINTS			
	CEILING BATTEN (FACE FIXED)		
	DOWNLIGHT		
	MICRO SWITCHED WITH DOOR		
	WALL MOUNTED LIGHT (@2150 UNO)		
	SINGLE LED TUBE LIGHT		
	DOUBLE LED TUBE LIGHT		
EXTERNAL LIGHT POINTS			
	DOWNLIGHT		
	WALL MOUNTED LIGHT (@2150 UNO)		
	SINGLE PARA-FLOOD (@2150 UNO)		
	DOUBLE PARA-FLOOD (@2150 UNO)		
SERVICE POINTS			
INT. SINGLE GPO			
	SMOKE ALARM		
	METERBOX (HEIGHT ON ELEVATION)		
	EXHAUST FAN (CEILING MOUNTED)		
	EXHAUST FAN SWITCHED WITH LIGHT		
	ISOLATION SWITCH TO CIRCUIT		
	DIMMER SWITCH		
	TV (BROADCAST) POINT		
	CEILING FAN		
	CEILING FAN WITH LIGHT POINT		
	JUNCTION BOX		
	TELEPHONE POINT		
	DATA POINT		
	TWO-WAY SWITCH		
	THERMOSTAT		
	RETURN AIR VENT		
	DUCTED VACUUM UNIT		
	HEATING OUTLET (APRX)		
	EVAPORATIVE COOLER OUTLET (APRX)		
	HEATING/REF. ADD ON OUTLET (APRX)		
	SENSOR FOR ZONED HVAC UNIT		
	FAN LIGHT HEATER - 2 GLOBE		
	FAN LIGHT HEATER - 4 GLOBE		
	SECURITY PAD		
	VIDEO MONITOR		
	MOTION SENSOR		
NOTES			
PROVIDE DOUBLE POWER POINT IN CEILING SPACE FOR DUCTED HEATING UNIT.			
PROVIDE 2 HAND HELD REMOTE CONTROLS & 1 MOUNTED FOR GARAGE DOOR OPENING			
ALL ELECTRICAL POINTS ARE APPROXIMATE ONLY & SUBJECT TO THE LOCATION OF STRUCTURAL MEMBERS			
PROVIDE A DAIKIN (4 STAR) FD0YQ 250 DUCTED INCERTER COOLING WITH HEATING TO 16no. POINTS WITH 2 ZONES, 1no. AirTouch4 CONTROLLER AND 1no. SENSOR (SET-POINT).			
THREE PHASE POWER			
PROVIDE THREE PHASE CONNECTION TO METER BOX & SEPARATE INTERNAL SWITCHBOARD TO GARAGE.			
REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	WUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	WUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ

WATTAGE CALCULATION					
LIGHT CATEGORY					
	11w BATTEN	11w INTERNAL WALL BATTEN	7w LED DOWNLIGHT	7w LED STEPLIGHT	6w FLOODLIGHT (SINGLE LED)
					12w FLOODLIGHT (DOUBLE LED)
QUANTITY					
RES.	--	--	67	--	1
GAR.	--	--	4	--	--
COA	--	--	4	--	--
POR.	--	--	1	--	--
SECTION			AREA m ²	WATTS	WATTS / m ²
RESIDENCE (5w/m ² MAX.)			336.1m ²	475w	1.41w
GARAGE (3w/m ² MAX.)			36.72m ²	28w	0.76w
COVERED OUTDOOR AREA (4w/m ² MAX.)			13.29m ²	28w	2.11w
PORCH (4w/m ² MAX.)			5.24m ²	7w	1.34w



FAIRHAVEN HOMES Pty Ltd
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MULGRAVE, VIC 3170
fairhavenhomes.com.au | 1800 324 742

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

GF - ELECTRICAL PLAN

HOUSE: SHOREHAM 42 (LH) FACADE: MCKINLEY

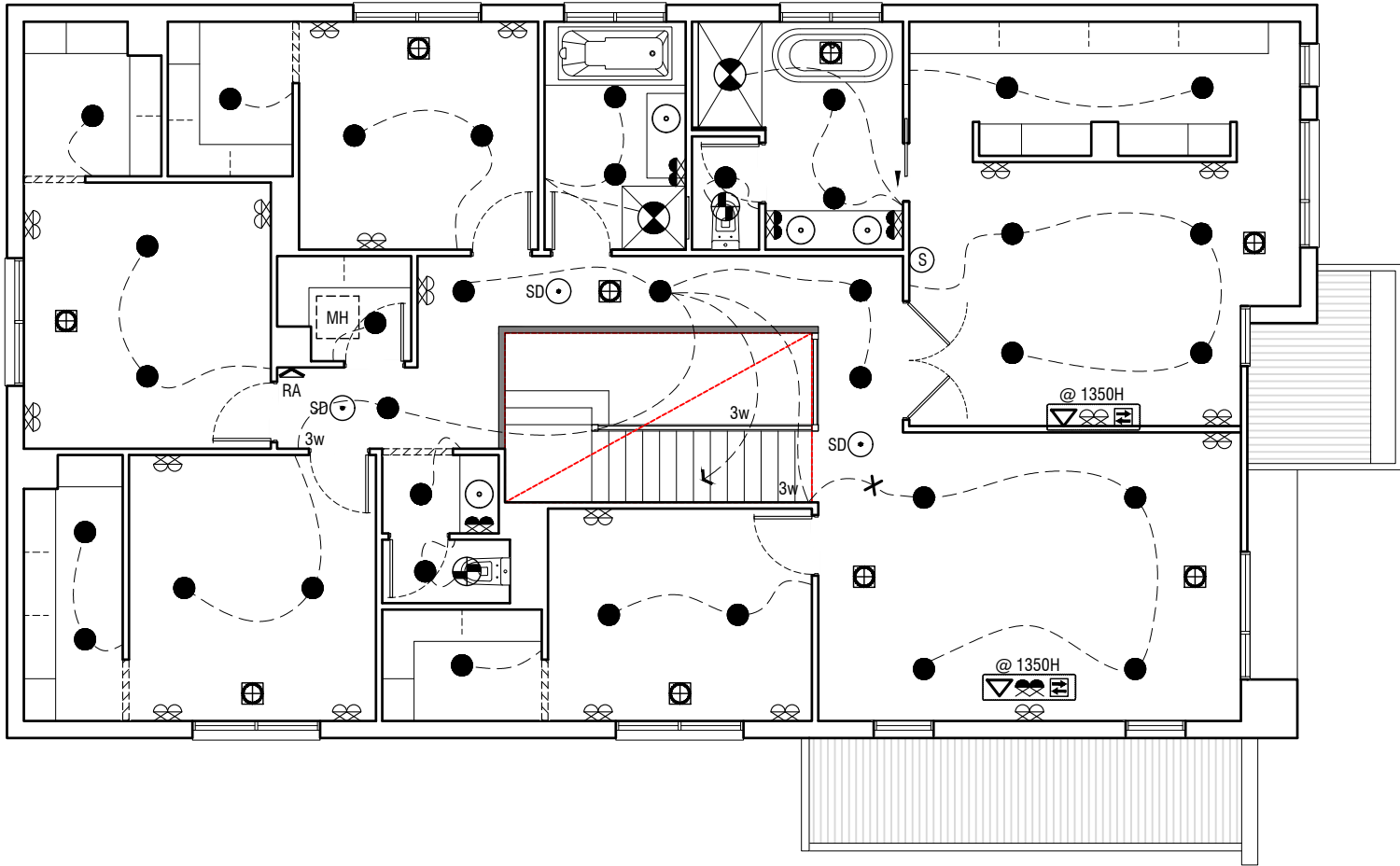


SIGNED BY: BUILDER
SIGNED BY: OWNER
DATE:

CLIENT:
BRAD WILSON & HANNAH WILSON
SITE ADDRESS:
LOT 14, No.17
AGNOLETO COURT
BUNYIP VIC 3815


JOB No.: 250030
SCALE: 1:100
SHEET: 09 OF 22

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ELECTRICAL LEGEND

POWERPOINTS

INT. SINGLE GPO	INT. DOUBLE GPO
 @300mm	 @300mm
 @1200mm	 @1200mm
 @1350mm	 @1350mm
 SECURITY @2100mm	
EXT. SINGLE GPO	EXT. DOUBLE GPO
 @600mm	 @600mm


























LIGHT POINTS

INTERNAL LIGHT POINTS

	CEILING BATTEN (FACE FIXED)
	DOWNLIGHT
	MICRO SWITCHED WITH DOOR
	WALL MOUNTED LIGHT (@2150 UNO)
	SINGLE LED TUBE LIGHT
	DOUBLE LED TUBE LIGHT
EXTERNAL LIGHT POINTS	
	DOWNLIGHT
	WALL MOUNTED LIGHT (@2150 UNO)
	SINGLE PARA-FLOOD (@2150 UNO)
	DOUBLE PARA-FLOOD (@2150 UNO)

SERVICE POINTS

INT. SINGLE GPO

	SMOKE ALARM
	METERBOX (HEIGHT ON ELEVATION)
	EXHAUST FAN (CEILING MOUNTED)
	EXHAUST FAN SWITCHED WITH LIGHT
	ISOLATION SWITCH TO CIRCUIT
	DIMMER SWITCH
	TV (BROADCAST) POINT
	CEILING FAN
	CEILING FAN WITH LIGHT POINT
	JUNCTION BOX
	TELEPHONE POINT
	DATA POINT
	TWO-WAY SWITCH
	THERMOSTAT
	RETURN AIR VENT
	DUCTED VACUUM UNIT
	HEATING OUTLET (APRX)
	EVAPORATIVE COOLER OUTLET (APRX)
	HEATING/REF. ADD ON OUTLET (APRX)
	SENSOR FOR ZONED HVAC UNIT
	FAN LIGHT HEATER - 2 GLOBE
	FAN LIGHT HEATER - 4 GLOBE
	SECURITY PAD
	VIDEO MONITOR
	MOTION SENSOR

NOTES

PROVIDE DOUBLE POWER POINT IN CEILING SPACE FOR DUCTED HEATING UNIT.

PROVIDE 2 HAND HELD REMOTE CONTROLS
& 1 MOUNTED FOR GARAGE DOOR OPENING

ALL ELECTRICAL POINTS ARE APPROXIMATE ONLY
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E	12/02/25	PLANNING RFI REQUIREMENTS	SZ

**FAIRHAVEN HOMES Pty Ltd**

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FF - ELECTRICAL PLAN

HOUSE:

SHOREHAM 42 (LH)

FACADE:

McKINLEY



SIGNED BY: BUILDER

SIGNED BY: OWNER

DATE:

CLIENT:

BRAD WILSON & HANNAH WILSON

SITE ADDRESS:

LOT 14, No.17

AGNOLETO COURT
BUNYIP VIC 3815

JOB No.:

250030

SCALE:

1:100

SHEET: 10 OF 22

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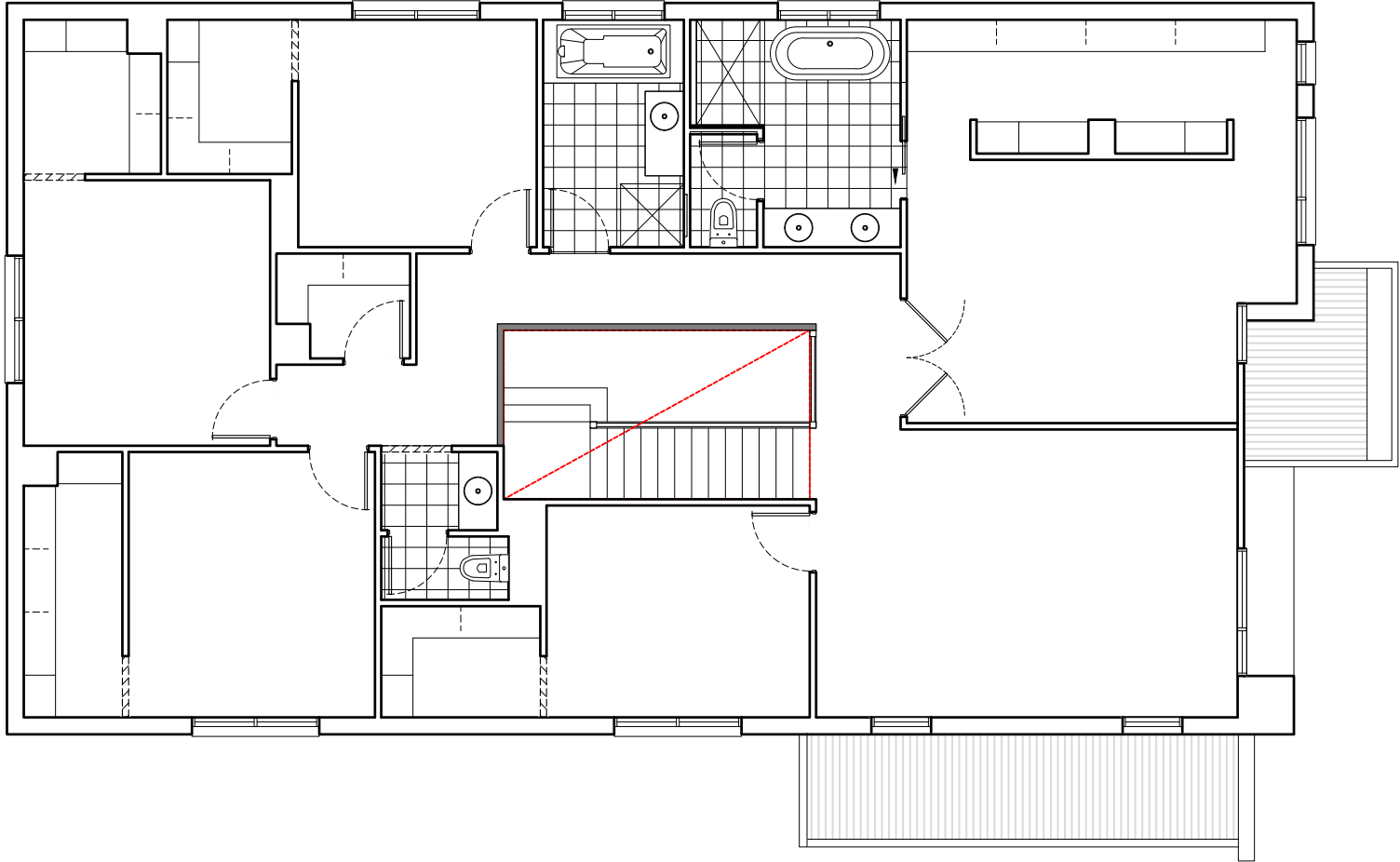
NOTES



DENOTES TILED AREAS

DENOTES LAMINATE AREAS

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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

HOUSE:
SHOREHAM 42 (LH)

FACADE:
McKINLEY



SIGNED BY: BUILDER _____
SIGNED BY: OWNER _____
DATE: _____



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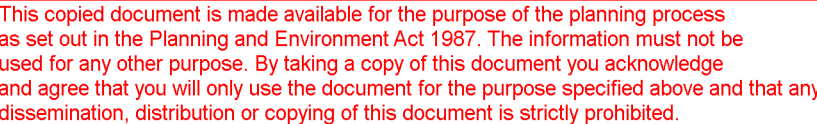
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JOB No.:
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SHEET:
12 OF 22

NOTES			
	DENOTES TILED AREAS		
	DENOTES LAMINATE AREAS		
REV.	DATE	AMENDMENT	BY
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NOTES

PROVIDE MIN. 1:100 FALL TO EXTERNAL EDGES OF
C.O.A. SLAB. STEP-DOWNS TO REMAIN LEVEL WITH
HOUSE REBATE

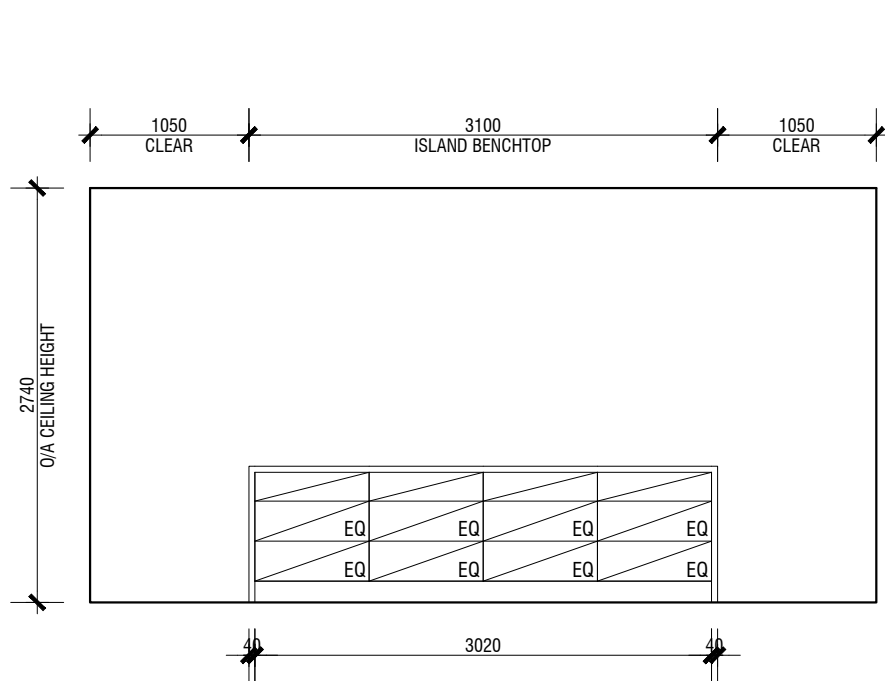
REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM. DRAWINGS - R6	VU
B	22/10/24	CONTRACT DWGS	J
C	15/11/24	TV02	VU
D	03/12/24	TV04 & RFI ITEMS	G
E	12/02/25	PLANNING RFI REQUIREMENTS	J



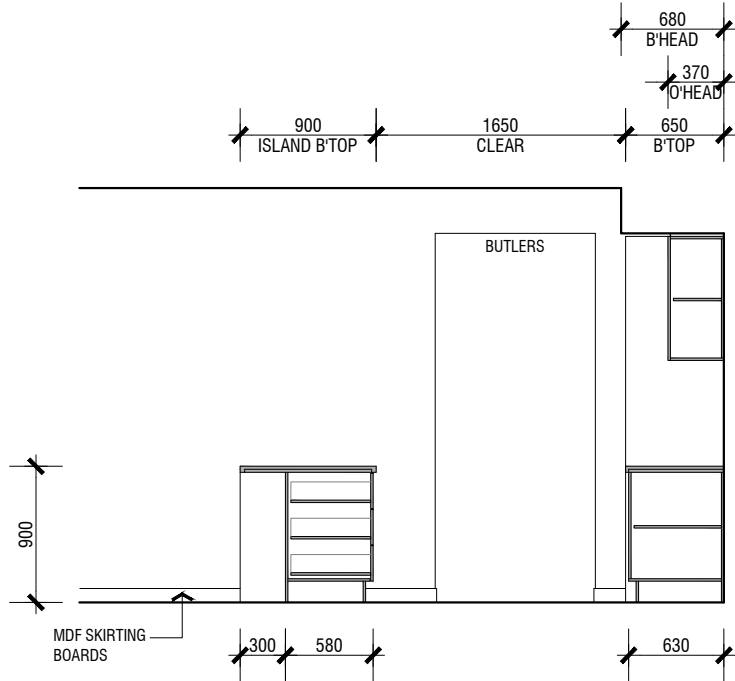
SLAB PLAN



TYPICAL FRONT OF GARAGE EXTERNAL
CORNER REBATE DETAIL - 1:50

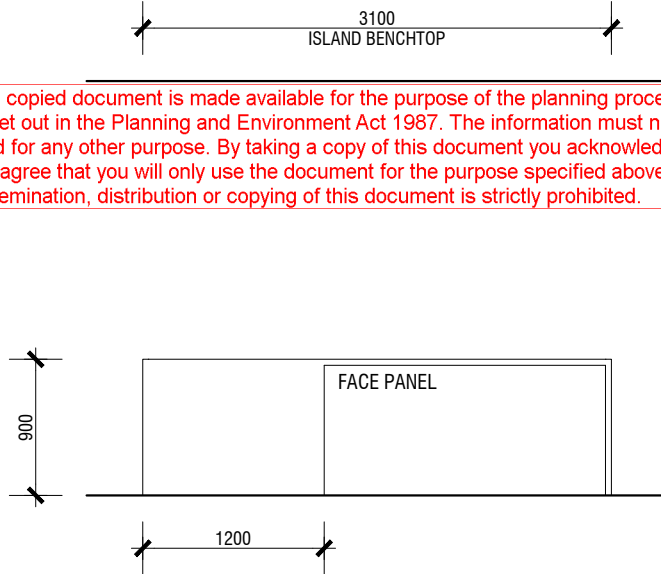


KITCHEN - A

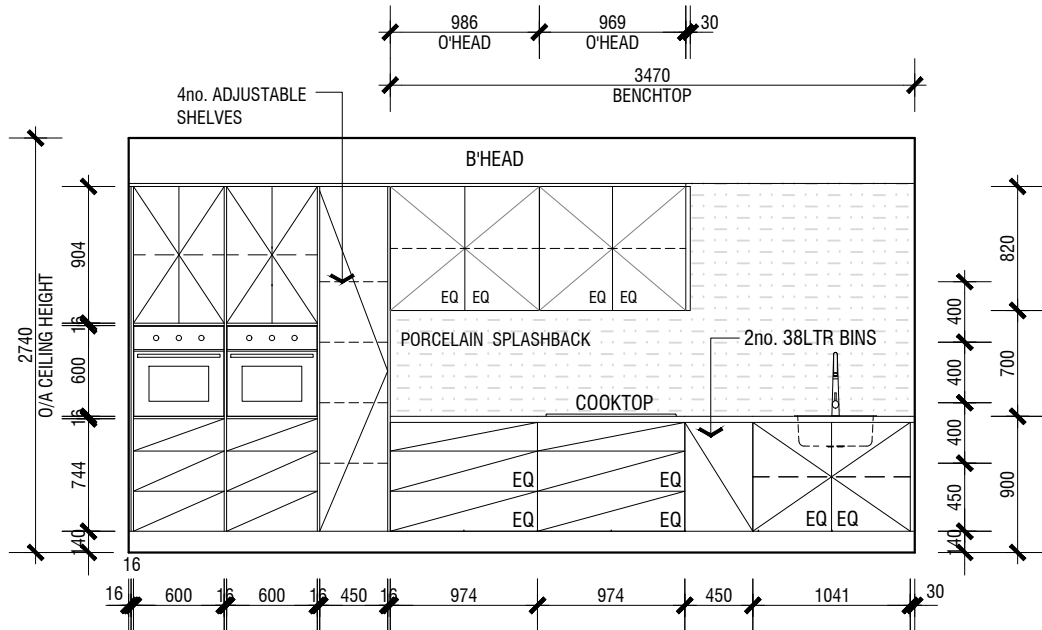


KITCHEN - B

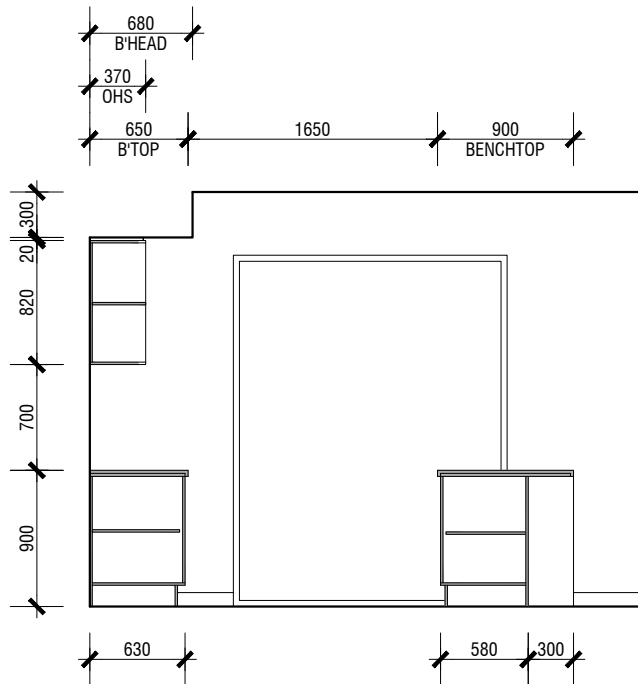
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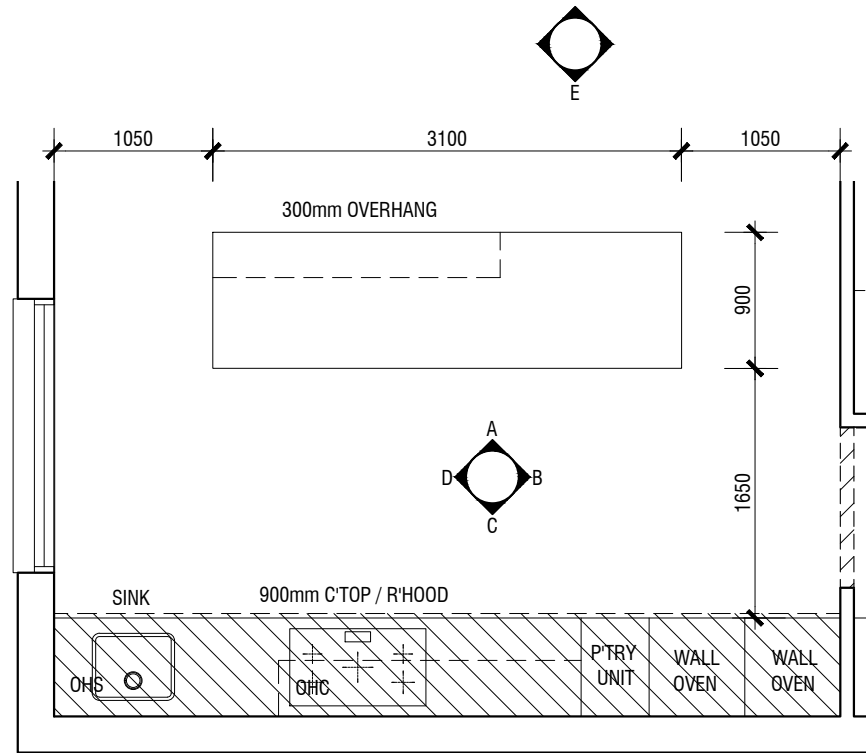
KITCHEN - E



KITCHEN - C



KITCHEN - D



KITCHEN

SCALE: 1:50

NOTES

ALL INTERNAL & PLUMBING SETOUT DIMENSIONS ARE FROM TIMBER FRAME.
INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED

RECESS OVERHEADS ABOVE FRIDGE SPACE BY 5mm (NOM. / U.N.O)

ALL RANGEHOODS TO BE DUCTED TO OUTER ATMOSPHERE

20mm SHADOWLINE TO OVERHEAD CABINETRY WHERE BULKHEADS ARE LOCATED

Denotes PORCELAIN SPLASHBACK

PROVIDE 20mm QUANTUM ZERO STONE BENCHTOP WITH 40mm EDGE TO KITCHEN WITH 3NO. WATERFALL END PANELS

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

INTERNALS - KITCHEN

HOUSE: SHOREHAM 42 (LH)

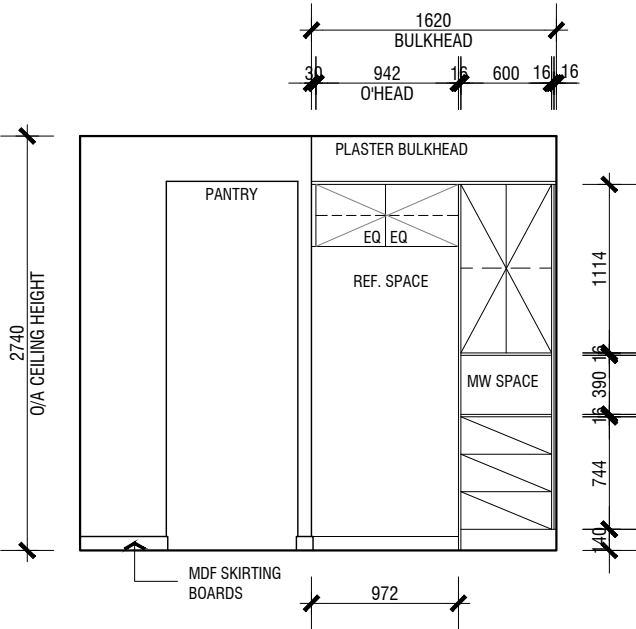
FACADE: MCKINLEY

SIGNED BY: BUILDER
SIGNED BY: OWNER
DATE:

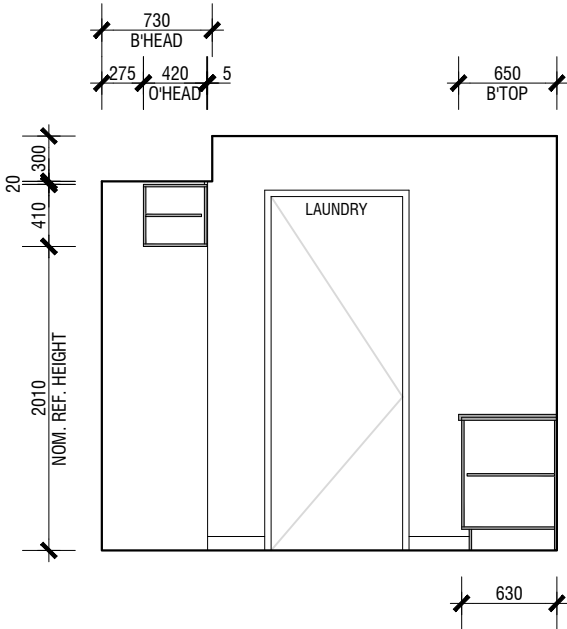
CLIENT: BRAD WILSON & HANNAH WILSON
SITE ADDRESS: LOT 14, No.17 AGNOLETO COURT BUNYIP VIC 3815

JOB No.: 250030
SCALE: 1:50
SHEET: 15 OF 22

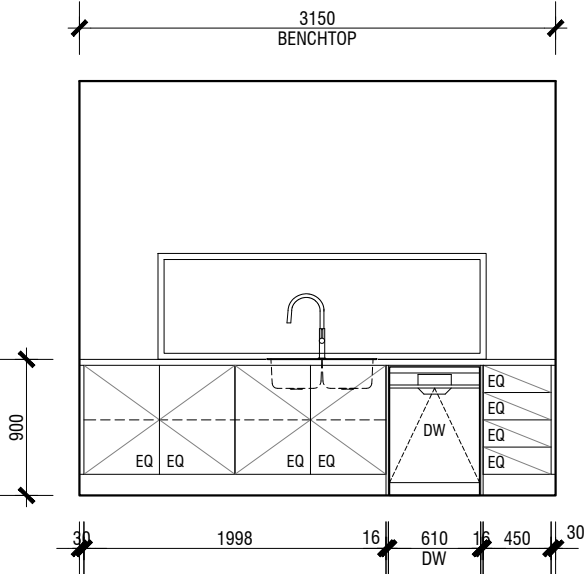
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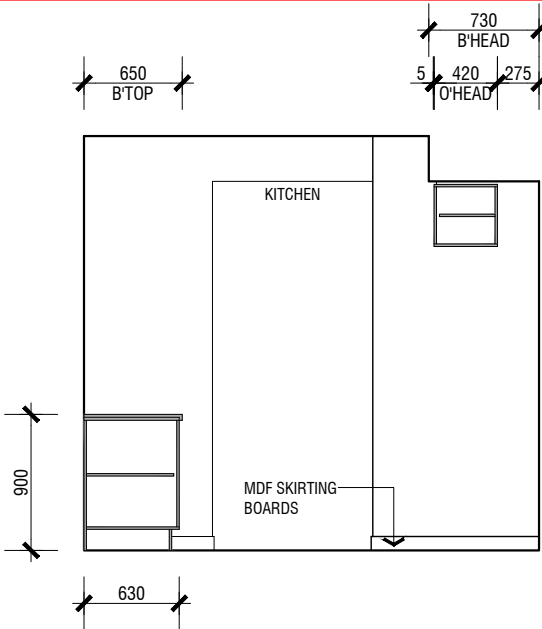
BUTLERS - A



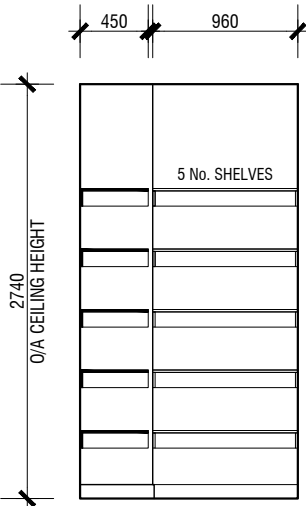
BUTLERS - B



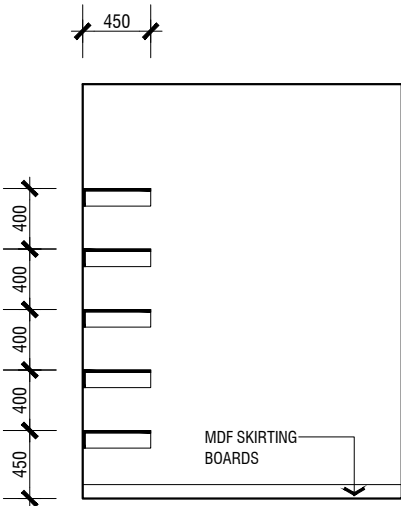
BUTLERS - C



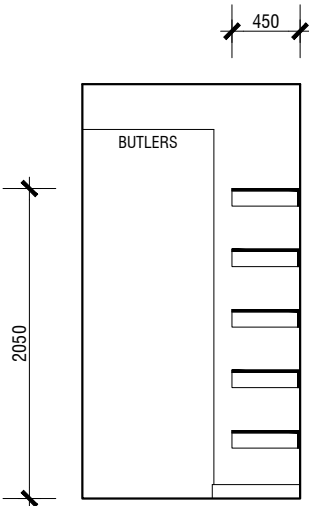
BUTLERS - D



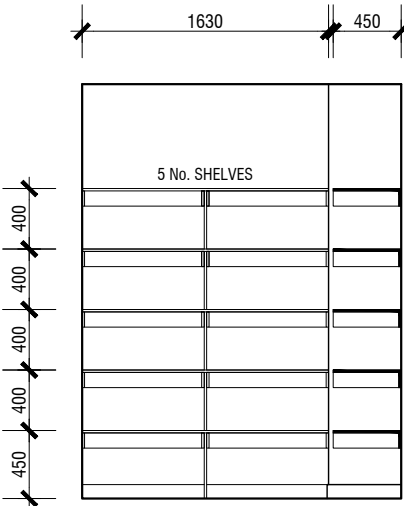
WIP - A



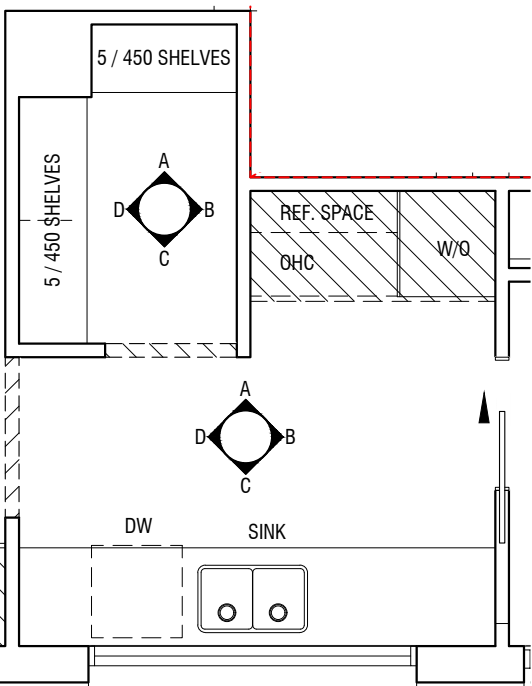
WIP - B



WIP - C



WIP - D



BUTLERS / WIP
SCALE: 1:50

NOTES

ALL INTERNAL & PLUMBING SETOUT DIMENSIONS ARE FROM TIMBER FRAME.
INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED

DENOTES TILING

PROVIDE 20mm QUANTUM ZERO STONE BENCHTOP WITH 40mm EDGE TO BUTLERS

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	WUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	WUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



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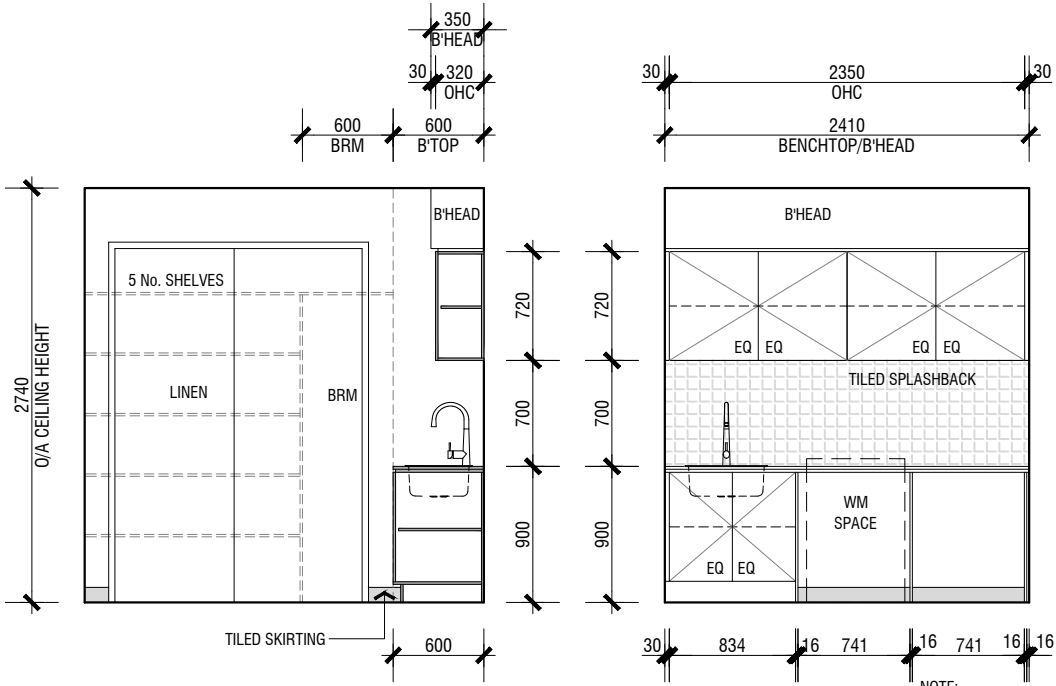
INTERNALS - BUTLERS / WIP
HOUSE: SHOREHAM 42 (LH)
FACADE: MCKINLEY

SIGNED BY: BUILDER
SIGNED BY: OWNER
DATE:

CLIENT: BRAD WILSON & HANNAH WILSON
SITE ADDRESS: LOT 14, No.17 AGNOLETO COURT BUNYIP VIC 3815

JOB No.: 250030
SCALE: 1:50
SHEET: 16 OF 22

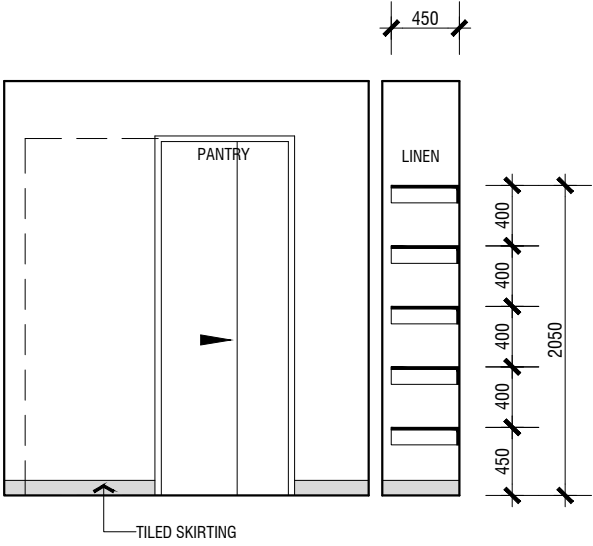
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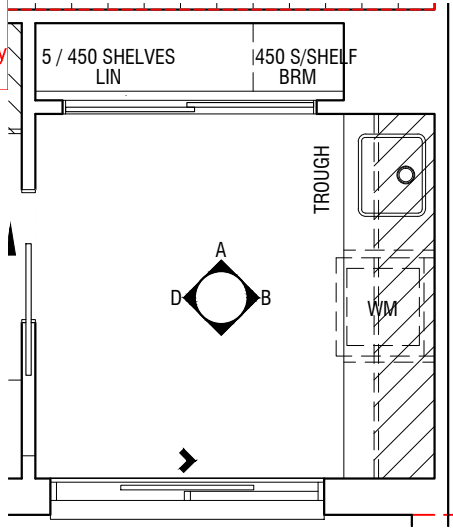
LAUNDRY - A

LAUNDRY - B

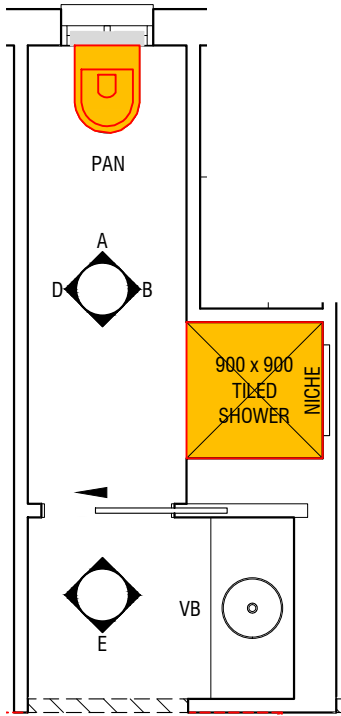
NOTE:
W/M STOPS LOCATED INSIDE
CABINET UNDER TROUGH



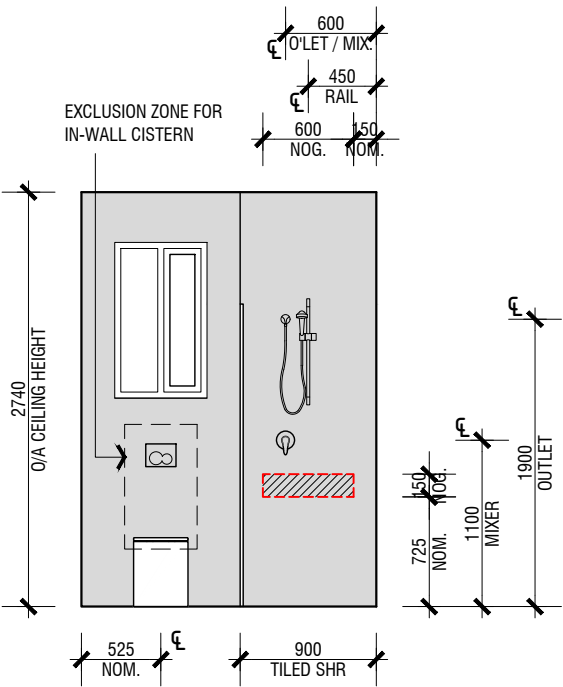
LAUNDRY - D



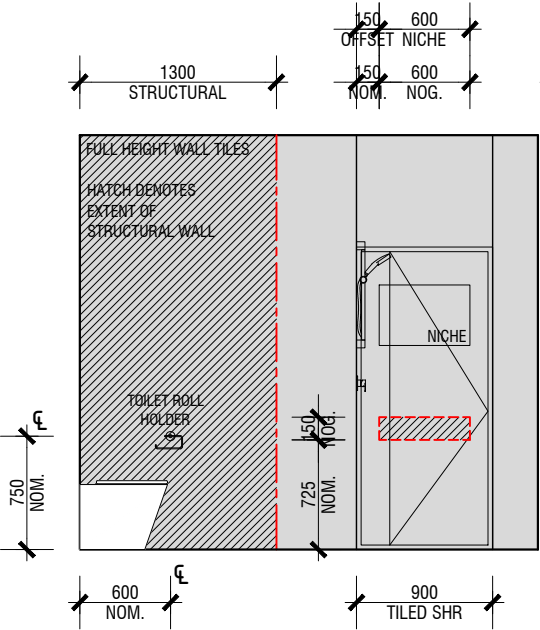
LAUNDRY
SCALE: 1:50



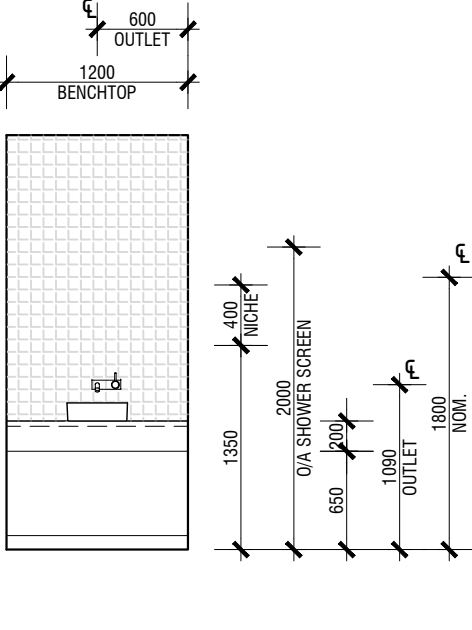
POWDER
SCALE: 1:50



PDR - A

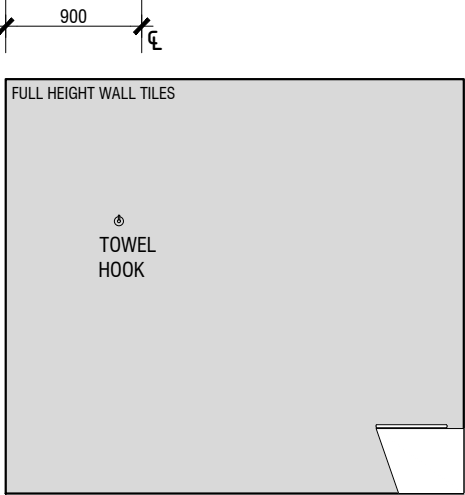


PDR - B

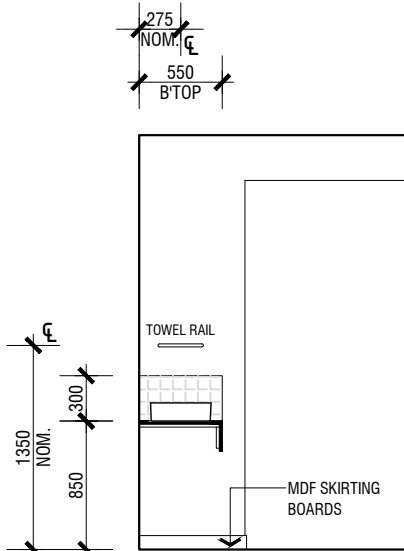


**NOTE: MEASURED TO
CENTRE OF OUTLET

**NOTE: OUTLET TO BE
CENTRED TO BASIN

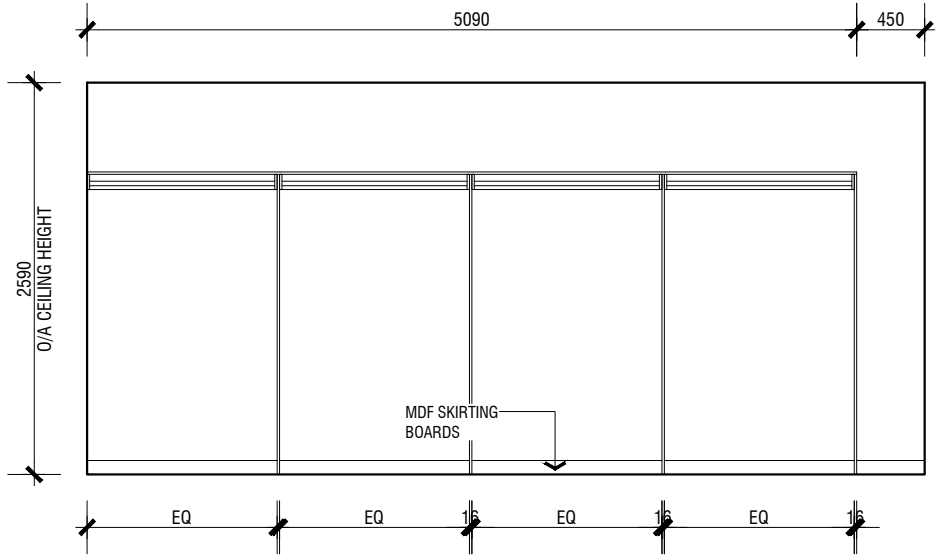


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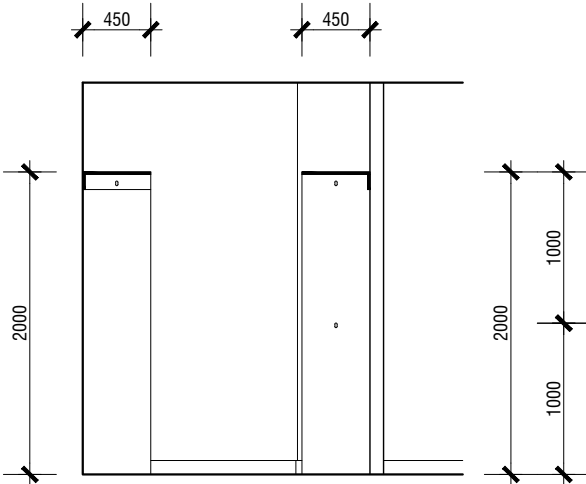


PDR - E

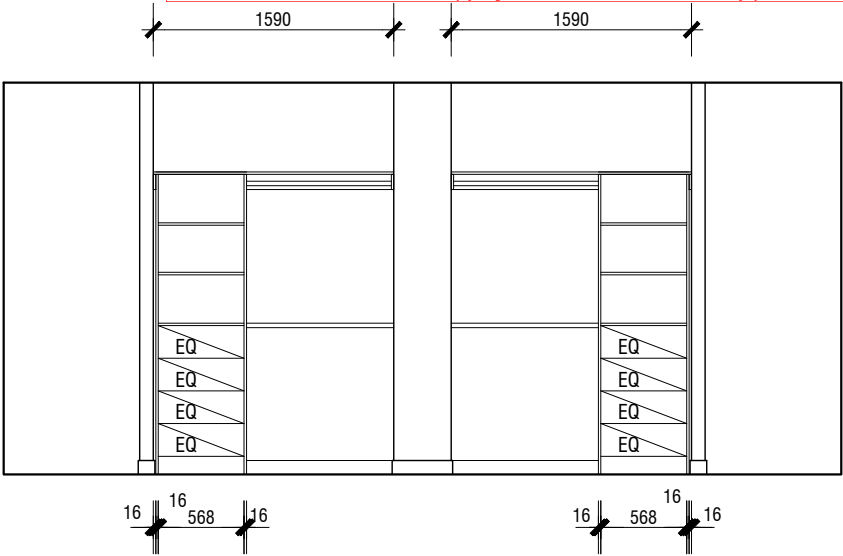
NOTES			
ALL INTERNAL & PLUMBING SETOUT DIMENSIONS ARE FROM TIMBER FRAME. INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED			
<div>■</div> DENOTES TILING			
<div>■</div> DENOTES FEATURE TILING			
<div>■</div> DENOTES STRUCTURAL NOGGING			
PROVIDE 20mm QUANTUM ZERO STONE BENCHTOP TO LAUNDRY			
PROVIDE QUANTUM ZERO STONE BENCHTOP WITH 200mm DROPFACE TO GF-PDR			
REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VUONG
B	22/10/24	CONTRACT DNGS	SZ
C	15/11/24	TV02	VUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



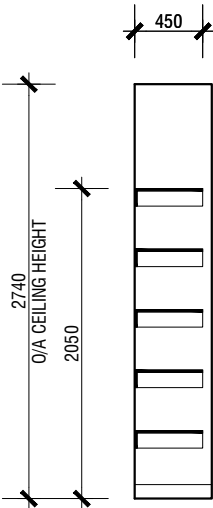
WIR 1 - A



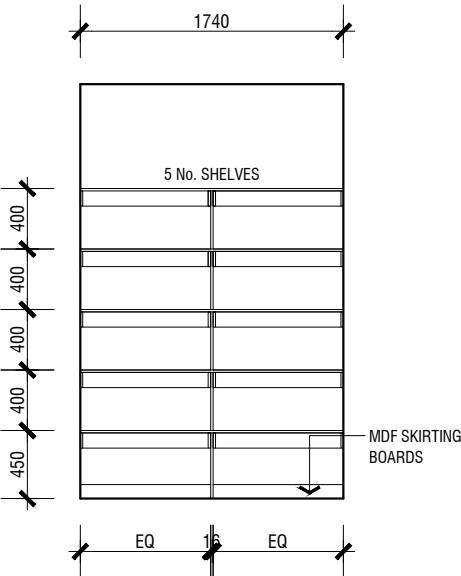
WIR 1 - B



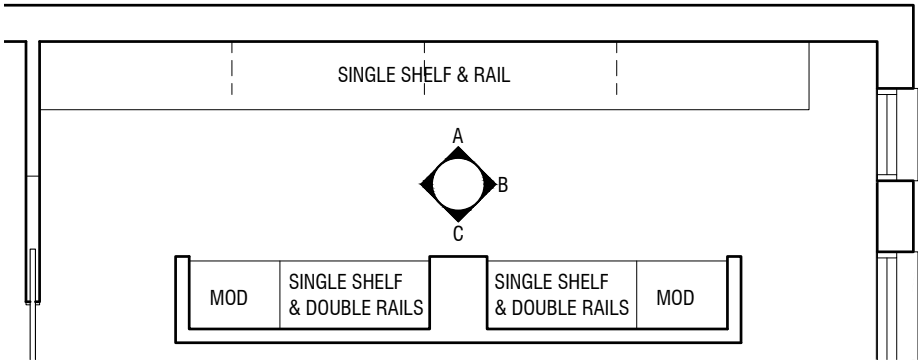
WIR 1 - C



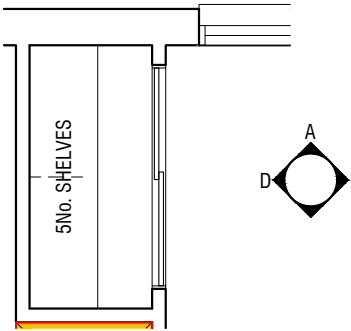
STORE (GF) - A



STORE (GF) - D



WIR 1
SCALE: 1:50



STORE (GF)
SCALE: 1:50

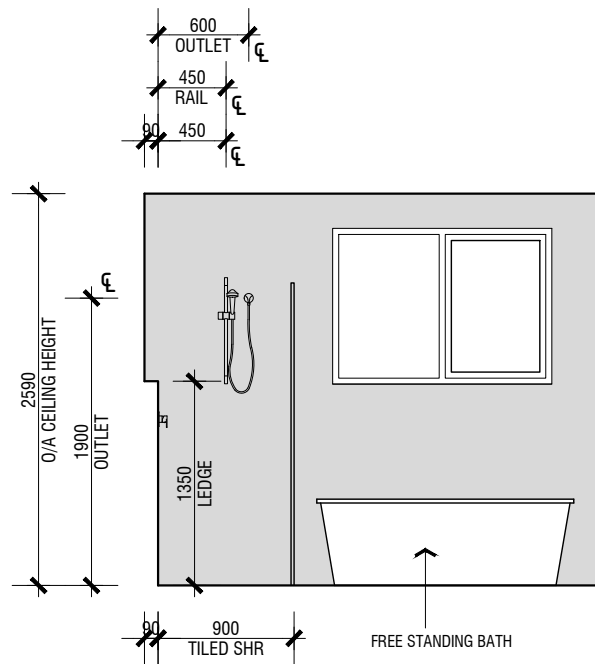
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NOTES

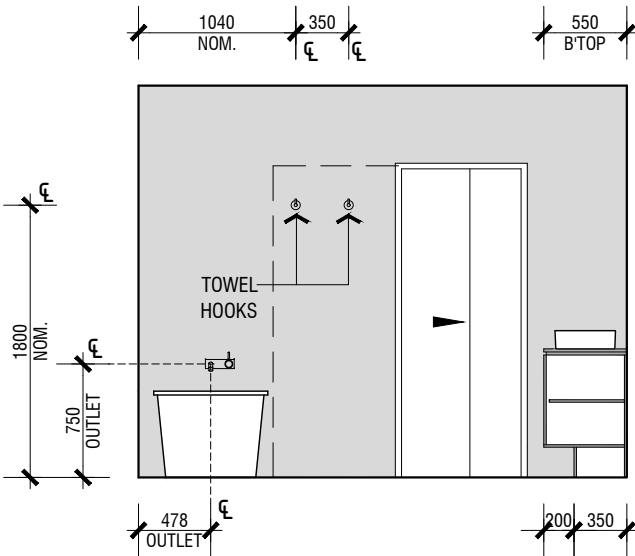
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DENOTES TILING

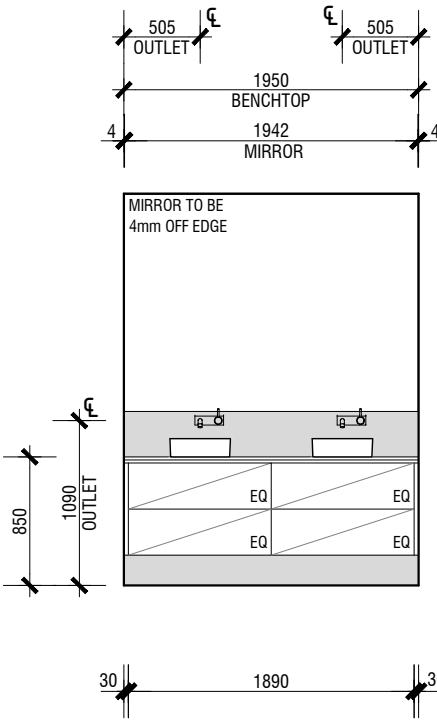
REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



ENSUITE - A



ENSUITE - B

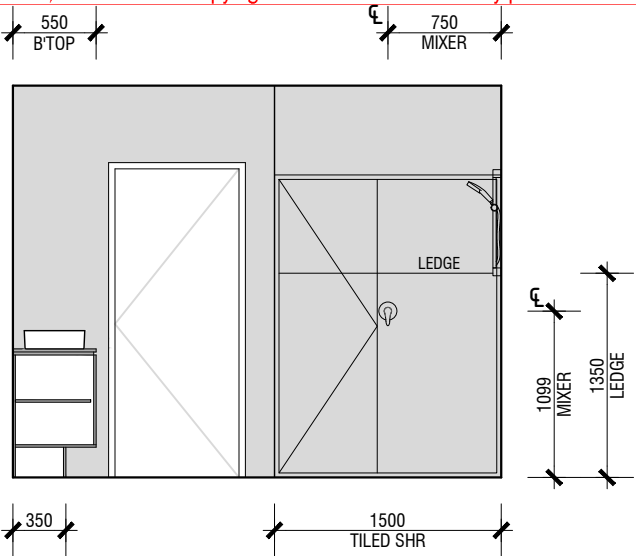


ENSUITE - C

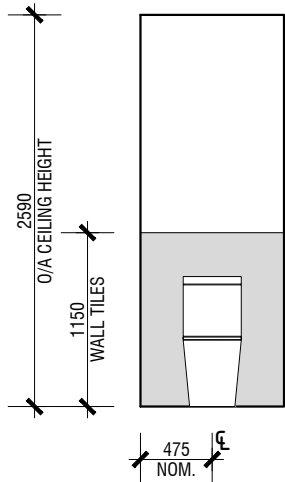
**NOTE: MEASURED TO CENTRE OF OUTLET

**NOTE: OUTLET TO BE CENTRED TO BASIN

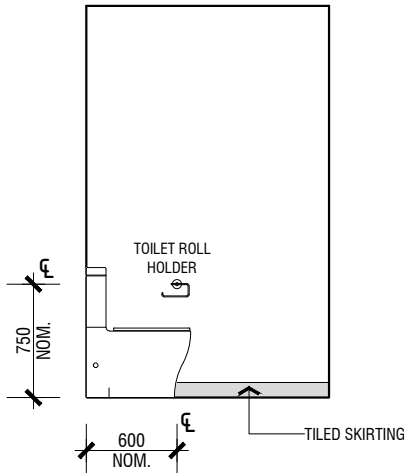
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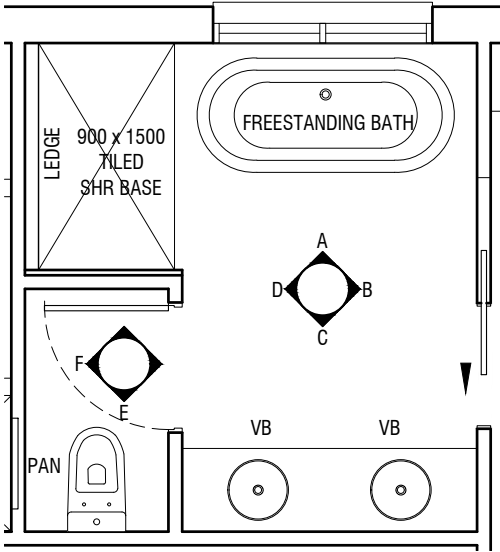
ENSUITE - D



ENSUITE - E



ENSUITE - F



ENSUITE
SCALE: 1:50

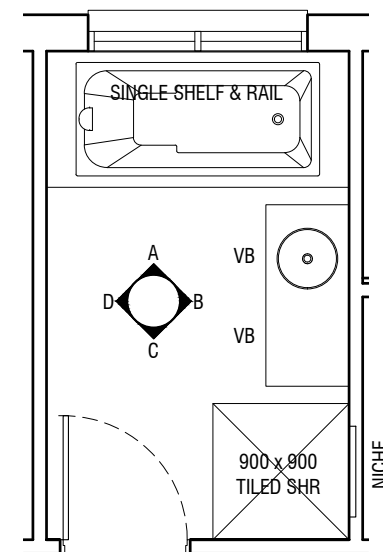
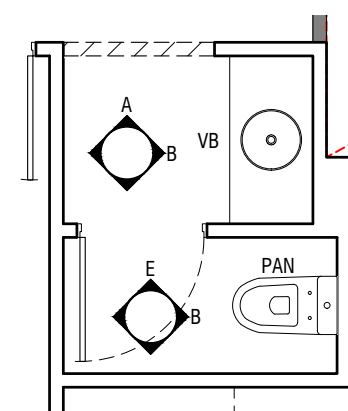
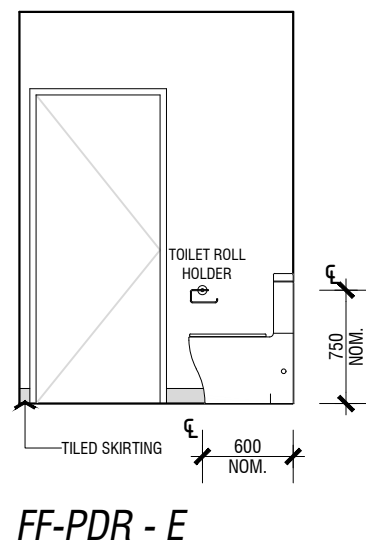
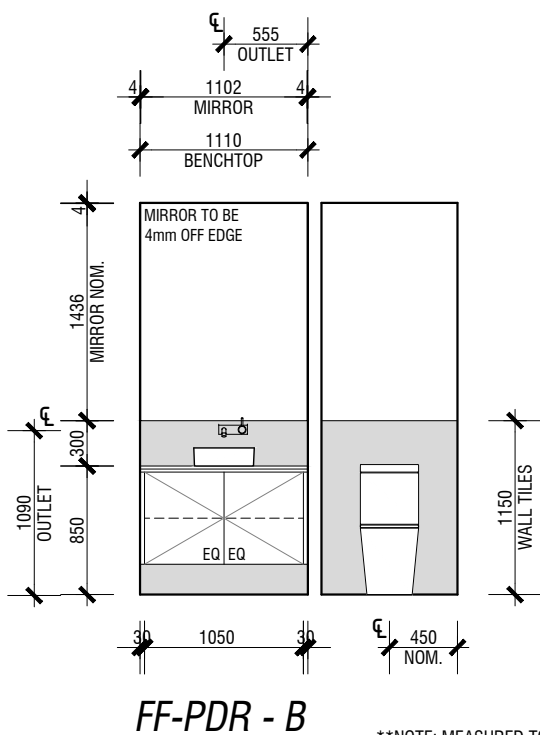
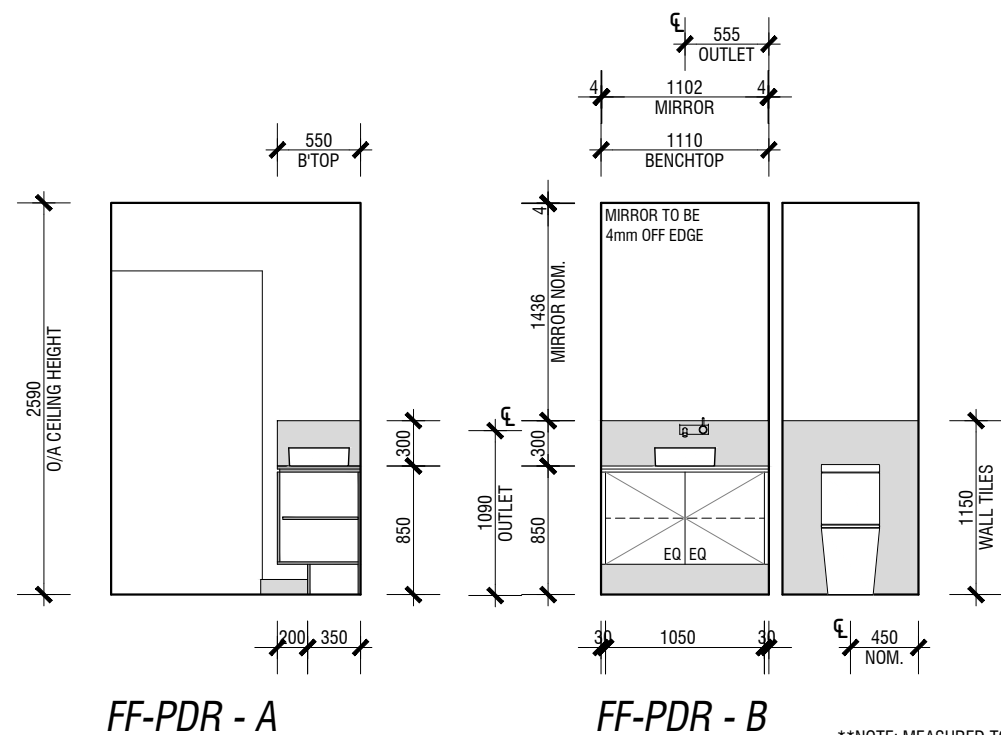
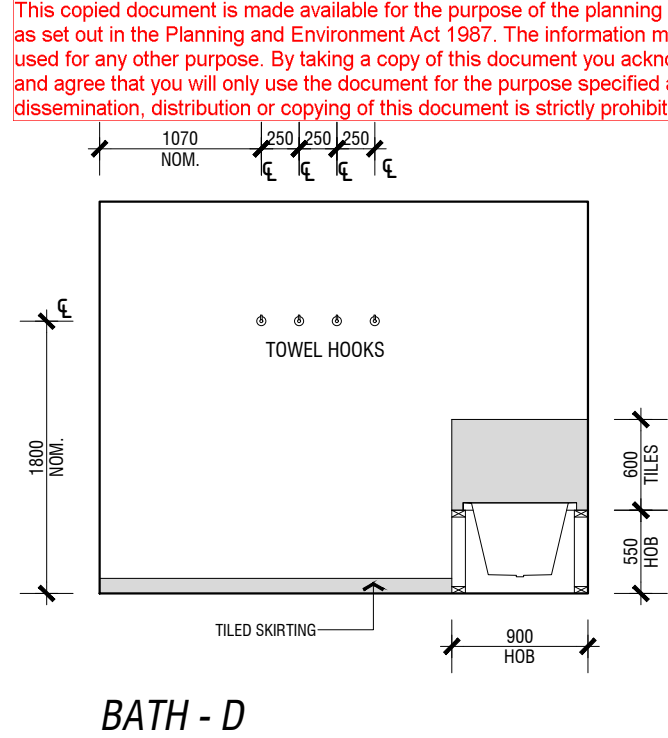
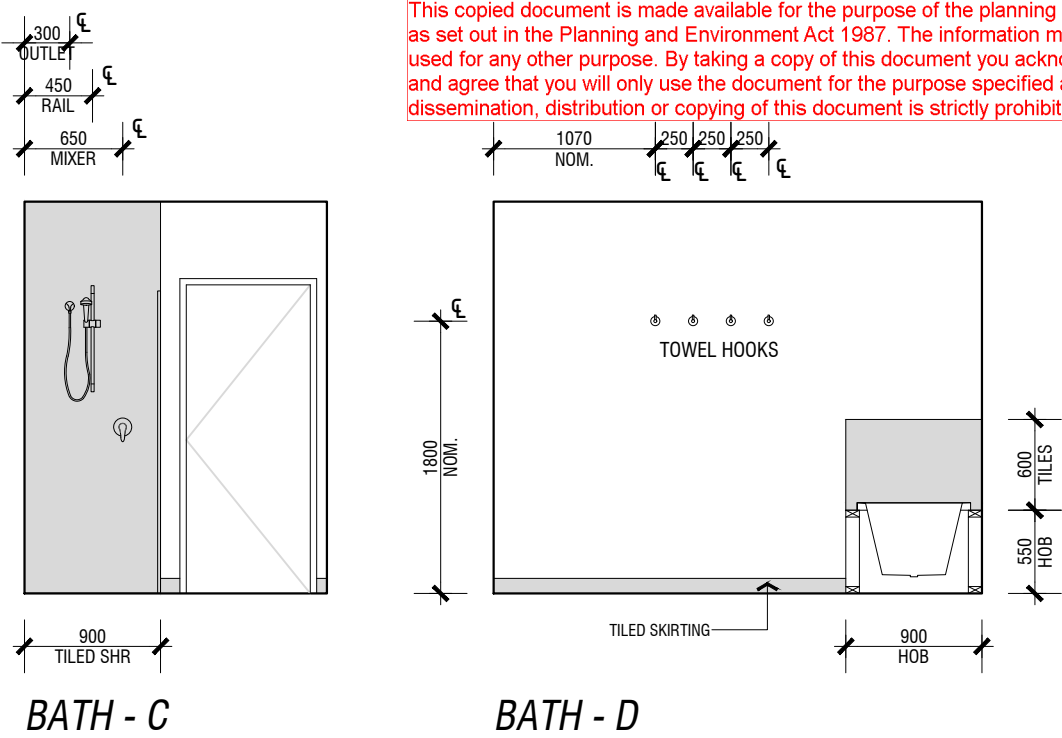
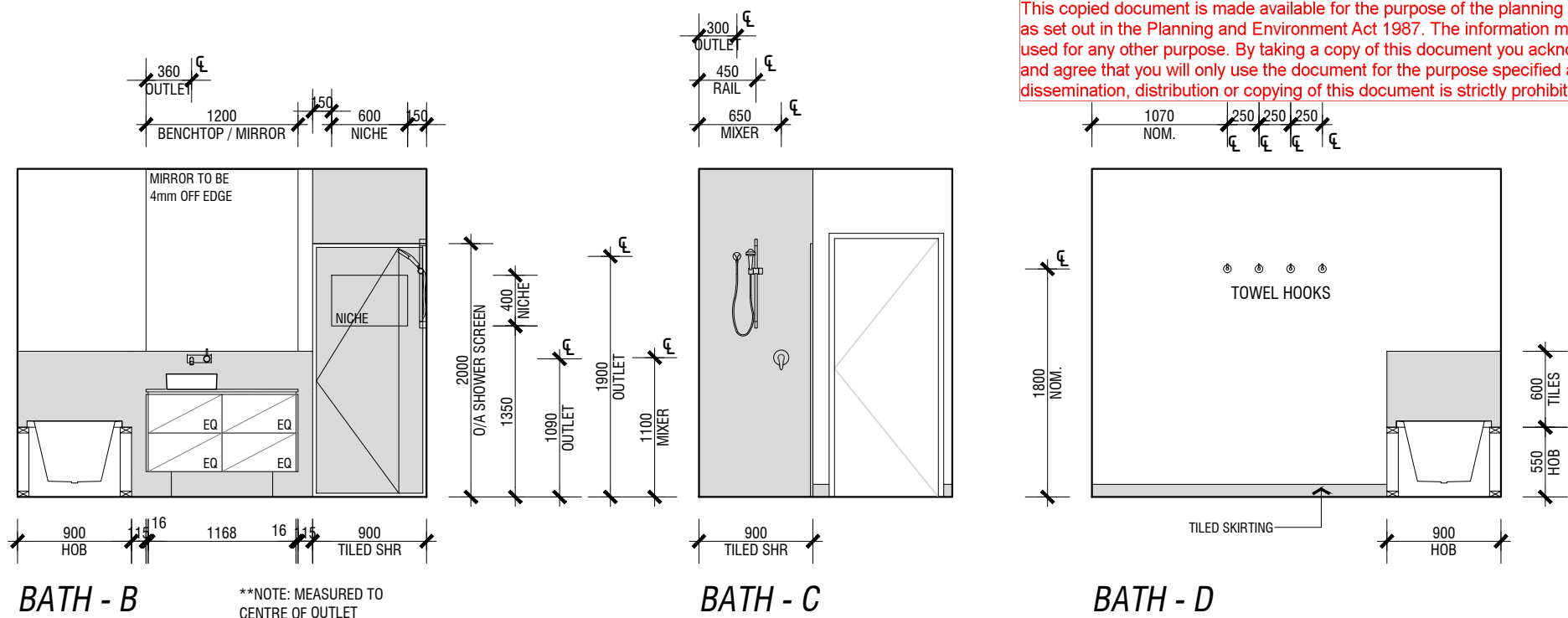
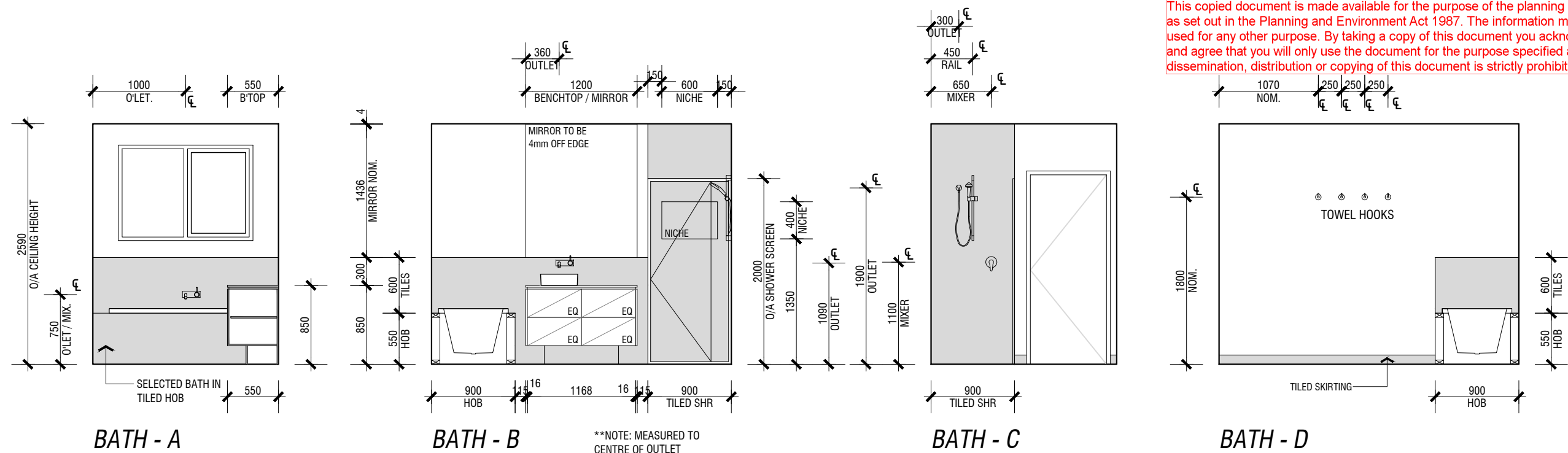
NOTES

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INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED


DENOTES TILING

PROVIDE 20mm QUANTUM ZERO STONE BENCHTOP TO ENSUITE

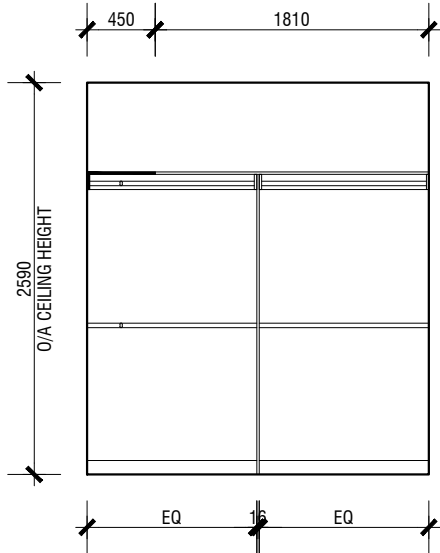
REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VIUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VIUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



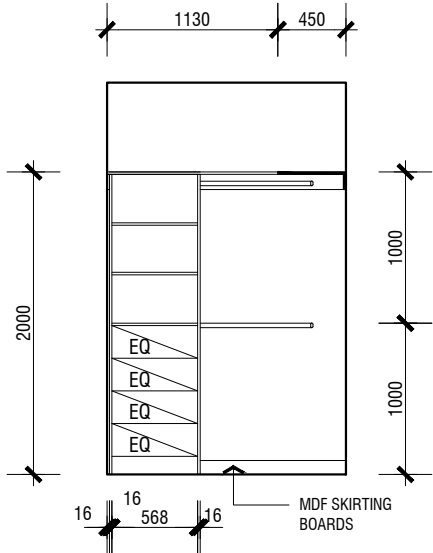
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NOTES	
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	<p>DENOTES TILING</p>
<p>PROVIDE 20mm QUANTUM ZERO STONE BENCHTOP TO BATH & FF-PDR</p>	

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM. DRAWINGS - R6	WUONG
B	23/10/24	CONTRACT DWGS	SZ
C	15/11/24	TWO2	WUONG
D	03/12/24	TWO4 & RFI ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ

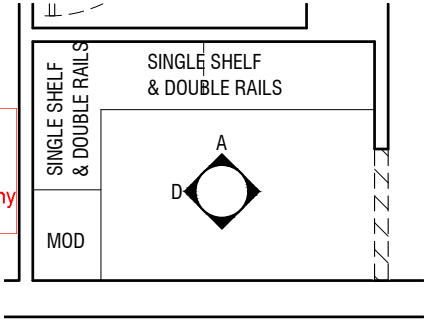


WIR 5 - A

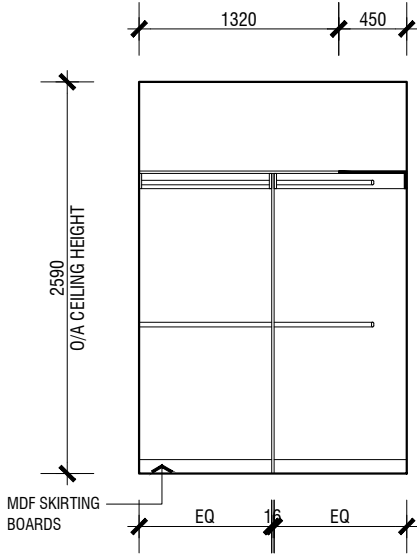


WIR 5 - D

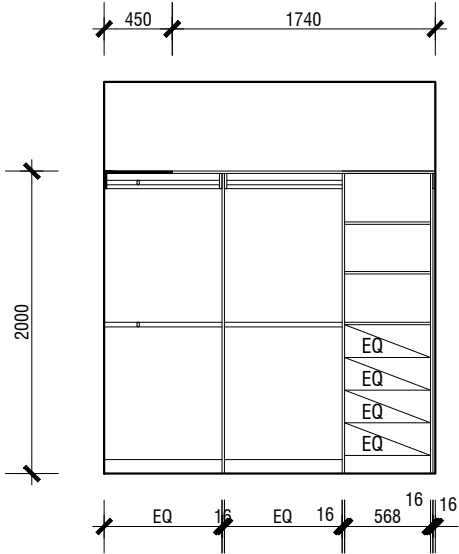
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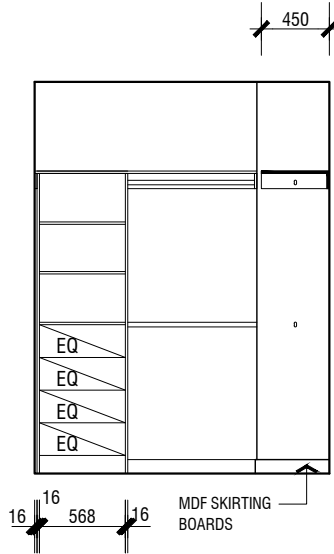
WIR 5
SCALE: 1:50



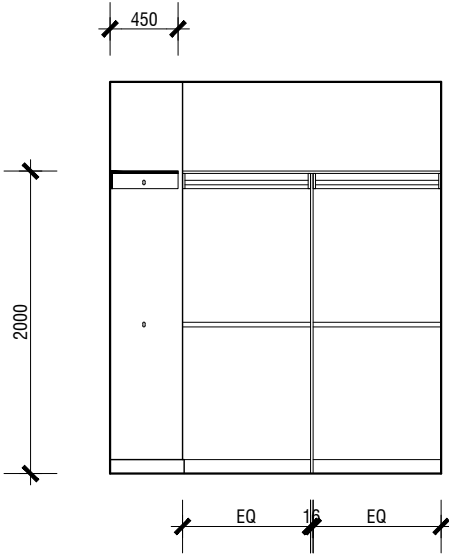
WIR 2 - C



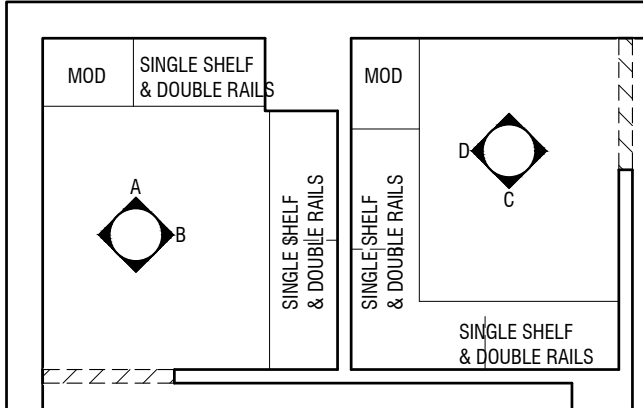
WIR 2 - D



WIR 3 - A



WIR 3 - B



WIR 2 & 3
SCALE: 1:50

NOTES

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REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	VUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	VUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



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INTERNALS - WIR 2 & 3 & 5

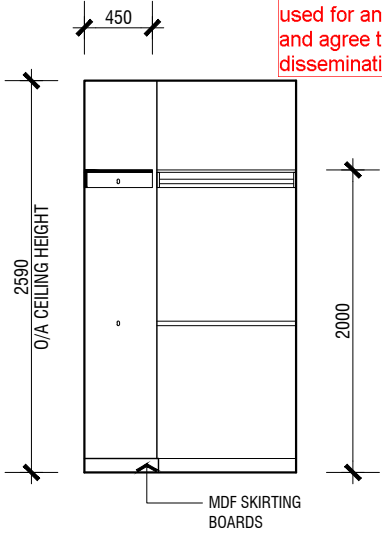
HOUSE: SHOREHAM 42 (LH) FACADE: MCKINLEY

SIGNED BY: BUILDER
SIGNED BY: OWNER
DATE:

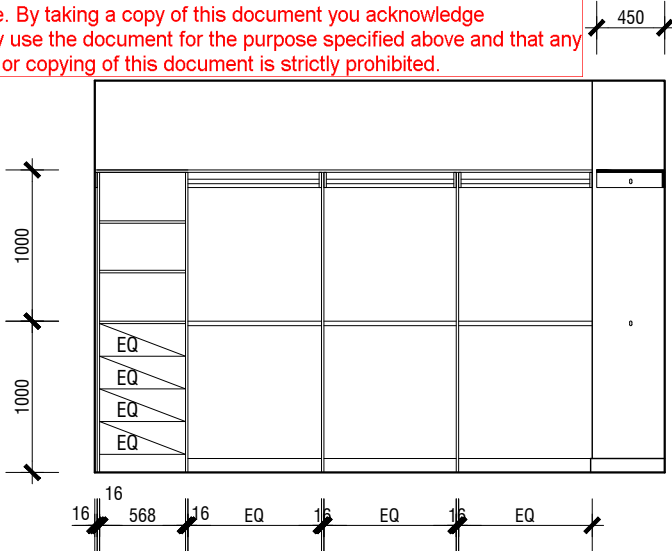
CLIENT: BRAD WILSON & HANNAH WILSON
SITE ADDRESS: LOT 14, No.17 AGNOLETO COURT BUNYIP VIC 3815

JOB No.: 250030
SCALE: 1:50
SHEET: 21 OF 22

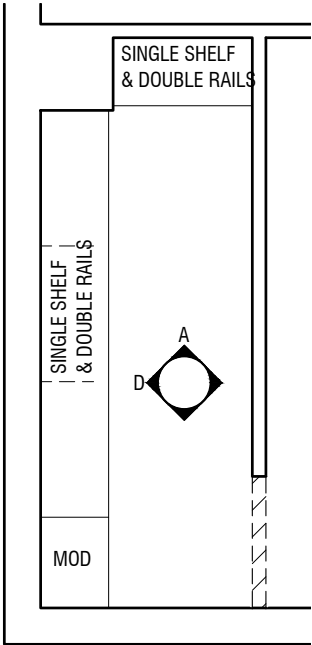
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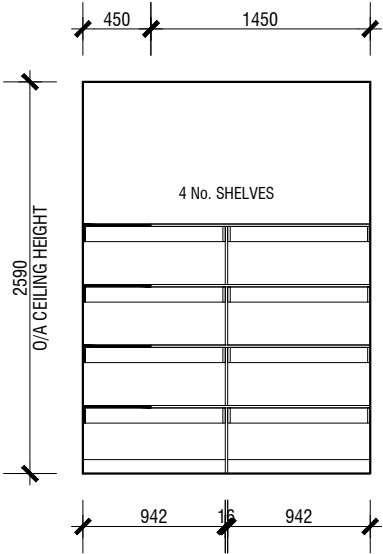
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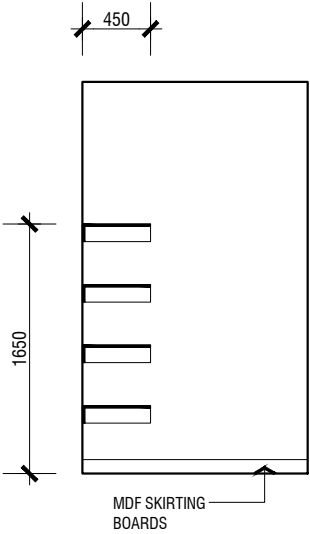
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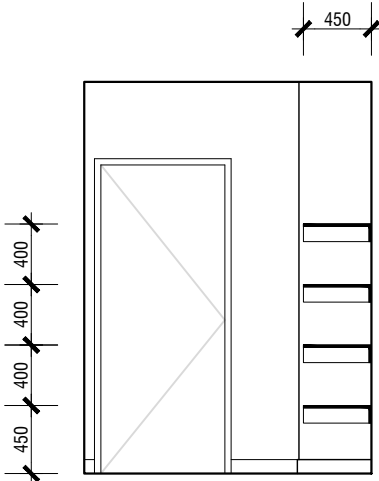
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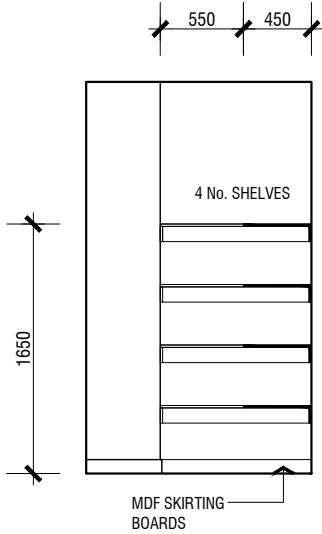
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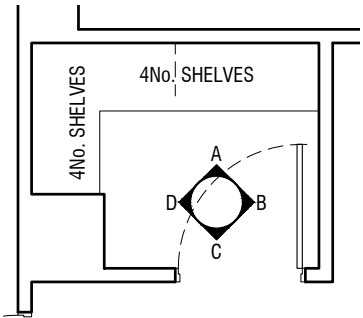
WIL - B



WIL - C



WIL - D



WIL
SCALE: 1:50

NOTES

ALL INTERNAL & PLUMBING SETOUT DIMENSIONS ARE FROM TIMBER FRAME.
INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED

REV.	DATE	AMENDMENT	BY
A	27/09/24	PRELIM DRAWINGS - R6	WUONG
B	22/10/24	CONTRACT DWGS	SZ
C	15/11/24	TV02	WUONG
D	03/12/24	TV04 & RFI/ITEMS	OBL
E	12/02/25	PLANNING RFI REQUIREMENTS	SZ



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DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

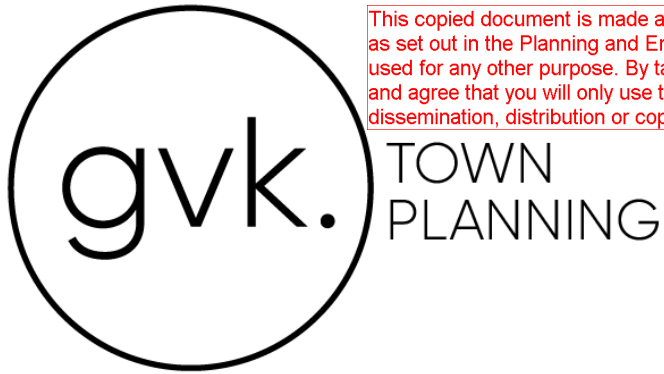
INTERNALS - WIR 4 & WIL

HOUSE: SHOREHAM 42 (LH) FACADE: MCKINLEY

SIGNED BY: BUILDER
SIGNED BY: OWNER
DATE:

CLIENT: BRAD WILSON & HANNAH WILSON
SITE ADDRESS: LOT 14, No.17 AGNOLETO COURT BUNYIP VIC 3815

JOB No.: 250030
SCALE: 1:50
SHEET: 22 OF 22



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TOWN PLANNING SUBMISSION

17 AGNOLETO COURT, BUNYIP

BUILDING AND WORKS IN ASSOCIATION WITH THE CONSTRUCTION OF ONE DWELLING, WITHIN A DESIGN AND DEVELOPMENT OVERLAY

Cardinia Planning Scheme

November 2024

Prepared by GVK Town Planning

GVK Town Planning – Po Box 6044 Caulfield South 3162 – george@gvkplanning.com.au – 0405 023 292 or 03 8300 0217

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INTRODUCTION

GVK Town Planning has prepared a Planning Submission in response to the provisions of the Cardinia Planning Scheme for building and works in association with the construction of one dwelling within a Design and Development Overlay Schedule 1 on the land known as 17 Agnoletto Court, Bunyip.

The report also sets out the relevant policies in the Planning Policy and Local Planning Policy Framework and provides an assessment of the proposal against the provisions of the zoning and overlays

In preparing this planning submission the site and the surrounding environments have been inspected and investigation of the locality; features and challenges of Agnoletto Court have been taken into consideration. The report is based on plans prepared Elegance dated 15th November 2024 (revision C).

Plans and Supporting Documentation

- Town Planning Plans prepared by Elegance dated 15/11/2024
- Town Planning Report prepared by GVK Town Planning

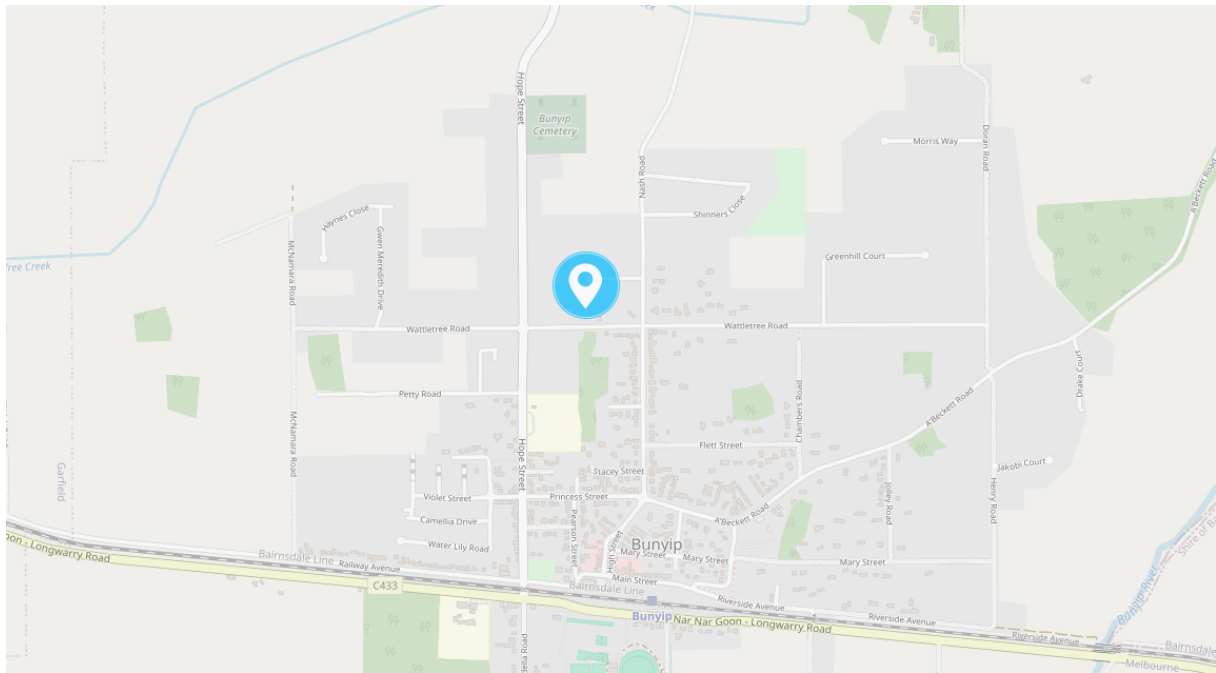
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SITE AND SURROUNDS

The subject site is located within a Low Density Residential Zone – Schedule 3 and is affected by a Design and Development Overlay Schedule 1 and Vegetation Protection Overlay (Schedule 1).

The proposed development triggers the need for a planning permit to construct a building or construct or carry out works. This report assesses the planning merits of the proposal and its consistency with the relevant policies contained in the Cardinia Planning Scheme. The report provides:

- A description of the subject site and surrounding urban context;
- A description of the proposed development;
- An assessment of the applicable planning policy and local planning policy frameworks;
- An assessment against the relevant zoning and overlay provisions.



Map: Melways reference of the site location

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SITE AND SURROUNDS

Urban Context

The subject site is located on the south side of Agnoletto Court is irregular in shape with a total site area of 2023 square metres. The subject site is currently vacant. The subject site rises from the front to the rear of the subject site by approximately 4 metres. There is no vegetation on the subject site. There is a crossover located on Agnoletto Court. The surrounding area comprises a mix of single and double storey dwellings on large lots.



Image: aerial view of the subject site and surrounds

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THE PROPOSAL**Development Summary**

Site area	2023 square metres
Number of dwellings	One double storey dwelling
Building site coverage	10.1%
Permeability	85.2%
Resident car parking on site	Double garage

Site layout/ setbacks/ private open space

- The minimum setback to Agnoletto Court will be 20.78 metres from the dwelling's front porch
- The dwelling has a conventional layout with kitchen/ family meals and separate lounge at ground floor and five bedrooms & rumpus room at upper floor.
- There is no front fence proposed.
- The table below provide the minimum boundary setbacks on the ground floor for each Dwelling

Boundary	Setback (metres)
Front	20.78 metres
Rear	43.815 metres
West	2.0 meters
East	6.47 metres

Vehicle/Pedestrian Access

- The dwelling is provided with a prominent entrance through a front porch which will be accessible from Agnoletto Court
- The existing crossover located on Agnoletto Court will provide access to a double garage attached to the east side of the dwelling.

Architectural Design/Building Materials and Finishes

- The dwelling is a contemporary design with has a hipped colorbond roof, finished in a mix of brick, render and cladding.

Open Space/ Tree removal

- No trees are to be removed.
- There will be significant open space provided including generous front setback and over 1200 square metres of secluded private open space located to the south (rear) of the lot.

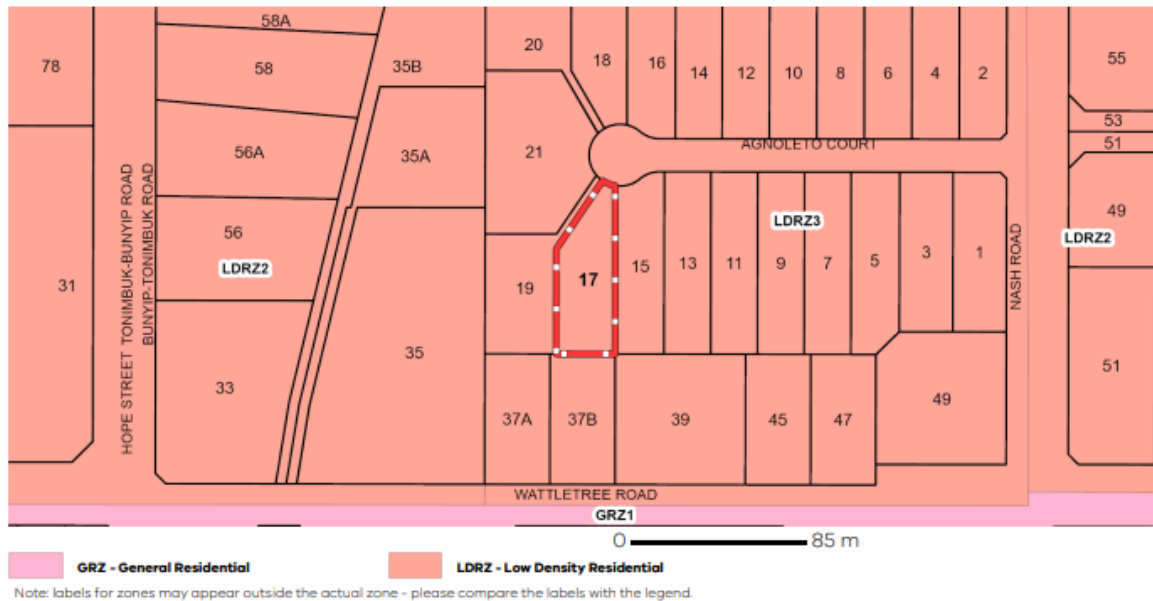
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PLANNING TRIGGERS

ZONE – LOW DENSITY RESIDENTIAL ZONE

[LOW DENSITY RESIDENTIAL ZONE \(LDRZ\)](#)

[LOW DENSITY RESIDENTIAL ZONE - SCHEDULE 3 \(LDRZ3\)](#)

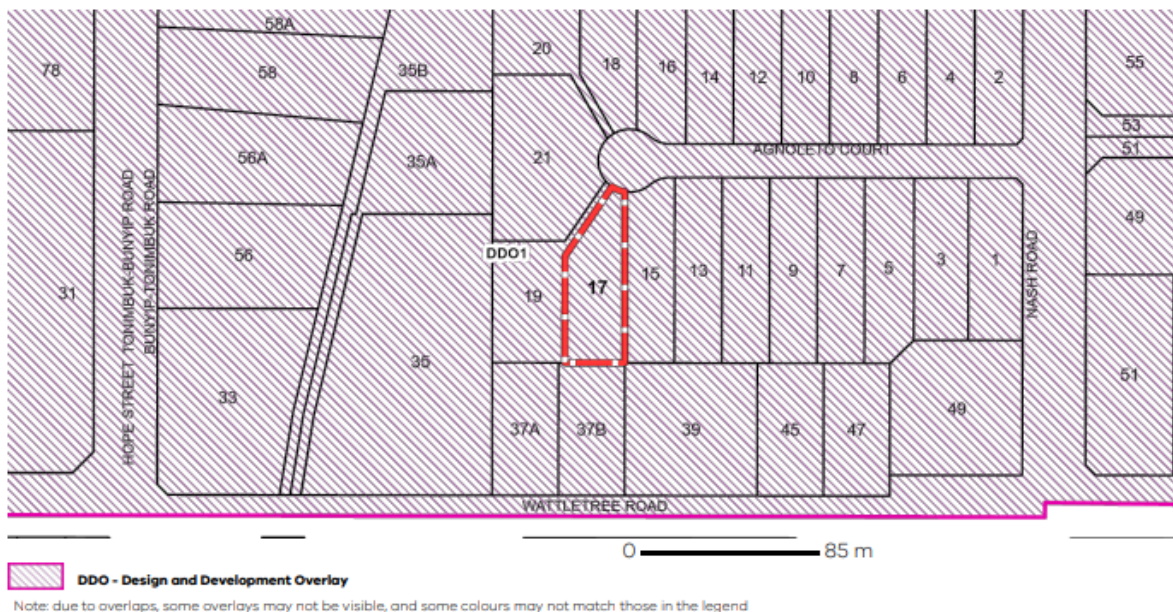


- Pursuant to Clause 32.03-2 a Dwelling is a 'Section 1' – 'Permit not required' use.
- Pursuant to Clause 32.03-5 a planning permit is not required to construct or carry out works for a Section 1 use.
-

OVERLAY – DESIGN AND DEVELOPMENT OVERLAY (SCHEDULE 1)

[DESIGN AND DEVELOPMENT OVERLAY \(DDO\)](#)

[DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 1 \(DDO1\)](#)



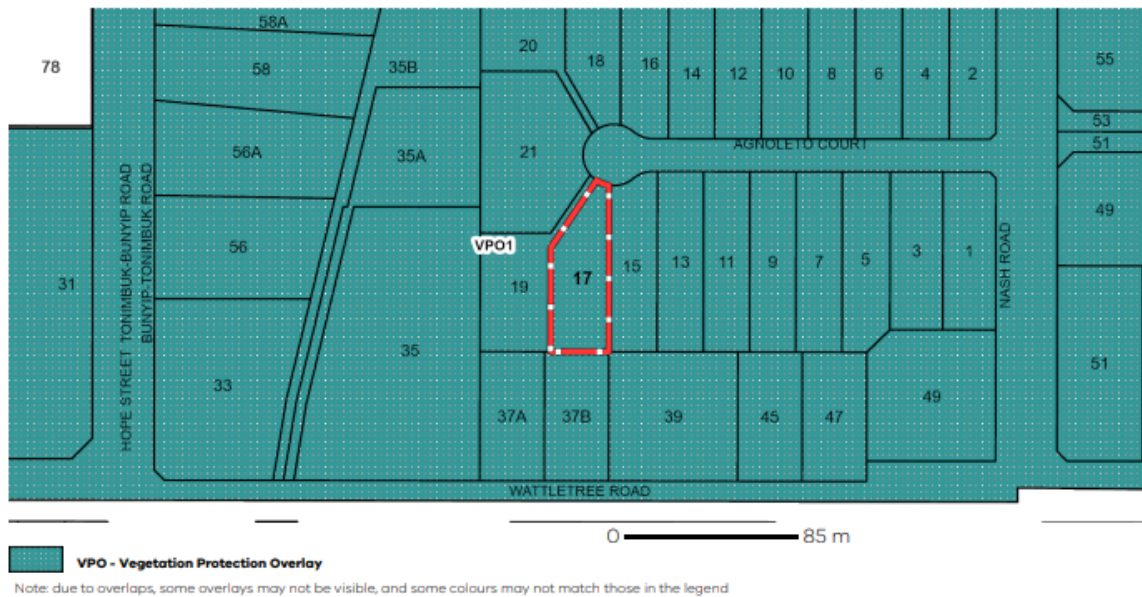
- Pursuant to Clause 42.02-2 a permit is required to construct a building or carry out works

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OVERLAY – VEGETATION PROTECTION OVERLAY – SCHEDULE 1

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 1 (VPO1)



- Pursuant to Clause 42.02-2 no permit is required as it is not proposed to remove, destroy or lop any vegetation.

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POLICY CONSIDERATION AND ASSESSMENT

PLANNING POLICY FRAMEWORK

The following includes the sections of the relevant clauses within the Planning Policy Framework are considered pertinent to the proposal:

Clause 12.01: Protection of Biodiversity

Objective

- To protect and enhance Victoria's biodiversity.

Clause 12.05-1S: Environmentally Sensitive Area

Objective

- To protect and conserve environmentally sensitive areas.

Clause 12.05-2S: Landscapes

Objective

- To protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.

Clause 13.02: Bushfires

Objective

- To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

Clause 15: BUILT ENVIRONMENT AND HERITAGE

- Planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods.
- Planning should ensure all land use and development appropriately responds to its surrounding landscape and character, valued built form and cultural context.
- Planning should protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.
- Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
- Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
- Planning should promote development that is environmentally sustainable and minimise detrimental impacts on the built and natural environment.
- Planning should facilitate development that:
 - Is adapted and resilient to climate related hazards.
 - Supports the transition to net zero greenhouse gas emissions.
 - Minimises waste generation and supports resource recovery.
 - Conserves potable water.
 - Supports the use of, and access to, low emission forms of transport.
 - Protects and enhances natural values.
 - Minimises off-site detrimental impacts on people and the environment

Clause 15.01-5S: Neighbourhood character

Objective

- To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

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POLICY CONSIDERATION AND ASSESSMENT

LOCAL PLANNING POLICY FRAMEWORK

The following includes the sections of the relevant clauses within the Local Planning Policy Framework are considered pertinent to the proposal:

Clause 21.012-S: Landscape

Overview

The diverse landscapes within the Cardinia Shire are one of the municipality's strongest attributes. Five areas within the Cardinia Shire have been recognised as significant landscapes by the National Trust. These are the Western Port Coast, Heath Hill, Cockatoo Creek, Puffing Billy Corridor and Menzies Creek Valley.

Key issues

- Protecting significant landscapes, including the protection of the specific features of each landscape.
- Recognising that the landscape is an important element in the sustainable development of tourism in the municipality.
- Acknowledging that ridgelines are particularly vulnerable to inappropriate development.
- Recognising the pressures to develop land in locations of high scenic value.

Objective

- To recognise and protect the diverse landscape and areas of significant landscape value.

Strategies

Landscape values

- Protect significant landscapes recognised by the National Trust including the Western Port Coast, Heath Hill, Cockatoo Creek and Menzies Creek Valley from development that is inconsistent with the landscape values and built form of the surrounds.
- Protect the scenic corridor of the Puffing Billy Tourist Railway from extensive native vegetation removal and development that is inconsistent with the landscape values of the existing corridor.
- Recognise the value of the landscape to the community and as a competitive strength for the sustained development of tourism in the municipality.
- Ensure that development in the urban growth area does not intrude or adversely impact on the landscape values of the area north of the Princes Highway and maintains significant vistas.
- Recognise the landscape values associated with rural land including areas south of the Princes Highway.
- Recognise the contribution of drains and bridges to the character of the rural landscape.
- Protect exotic vegetation if it is of heritage, cultural or economic value, or contributes to the character of an area.
- Minimise the fragmentation of land and removal of vegetation in areas of high landscape value.

Design and built form

- Require the use of building materials and colours which are in context with the surrounding environment in areas of landscape significance and in rural residential and rural living areas.
- Ensure the sensitive siting of buildings and other structures having regard to the protection of prominent ridgelines, significant views and areas of remnant vegetation.

Clause 21.03: Settlement and Housing

Objective 1

- To encourage a diversity in housing to meet the needs of existing and future residents.

Objective 2

- To encourage the provision of housing to cater for groups within the community with specific housing requirements.

Clause 21.03-4: Rural Townships

Objective 1

- To provide for the sustainable development of townships in the municipality having regard to environmental and servicing constraints.

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Objective 2

- To maintain and enhance the distinct character and environmental qualities of each of the townships.

Objective 3

- To create sustainable and functional townships that support a range of commercial, retail, community and recreational facilities and services.

Clause 21.08-2: Bunyip**Bunyip Local area implementation**

- Ensure that any proposed use or development within the Bunyip township is generally consistent with the Bunyip Township Strategy, September 2009, including the Bunyip Framework Plan as shown in Figure 2.

Residential development

- Retain wide road verges in the approach to the township.
- Maintain the existing street grid pattern within the township.
- Maintain generous street, footpath and easement widths in new developments.
- Ensure protection and conservation of native vegetation including street trees and roadside vegetation.
- Consider as appropriate the Precinct Character Guidelines set out in the Bunyip Township Strategy, September 2009

Response

The proposal is in accordance with the policies contained in the Planning Policy Framework. No vegetation is proposed to be removed.

Only one dwelling is proposed on the lot, consistent with the surrounding area and its two storey built form and the design and layout, incorporating generous front and rear setbacks, pitched roof, brick, cladding and render materials and recessed garage are all in accordance with the neighbourhood character of the area.

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POLICY CONSIDERATION AND ASSESSMENT AND ASSESSMENT

OVERLAY – CLAUSE 43.02 – DESIGN AND DEVELOPMENT OVERLAY

SCHEDULE 1– LOW DENSITY RESIDENTIAL

Design objectives

- To ensure that the location and design of buildings creates an attractive low density residential environment.
- To ensure that any development has regard to the environmental features and constraints of the land.
- To ensure that the subdivision of land has regard to the existing pattern of subdivision in the area.

Decision guidelines

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- The Land Capability Study for the Cardinia Shire (February 1997).
- The protection and enhancement of the natural environment and character of the area including the retention of remnant vegetation and habitat, and the need to plant vegetation along waterways, gullies, ridgelines and property boundaries.
- The impact of any buildings and works on areas of remnant vegetation, and habitat of botanical and zoological significance.
- The impact of proposed buildings and works on the landscape character of the area, including prominent ridgelines and significant views.
- Measures to address environmental hazards or constraints including slope, erosion, drainage, salinity and fire.
- The protection of waterways and water quality through the appropriate management of effluent disposal, erosion and sediment pollution.

Response

In terms of the above the proposal is in accordance with the objectives and decision guidelines. Only one dwelling is proposed on a significant lot and the setbacks are commensurate with the surrounding area. The infrastructure for this part of Bunyip is in place as per the established dwellings that surround the subject site. There is no vegetation proposed to be removed with significant opportunities for landscaping available throughout the subject site. The low double storey built form in the established residential area ensures there are no impact on prominent ridgelines and significant views.

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CONCLUSION

This development proposal has been thoroughly considered, and is compliant with various provisions of the Cardinia Planning Scheme particularly in relation to the objectives and decision guidelines of Schedule 1 of the Design and Development Overlay.

GEORGE VEKOS

Town Planner

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12 March 2025

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0405 023 292
PO BO 6044 Caulfield South VIC 3162

Planning Permit Application: P/2024/6389
17 Agnoletto Crt, Bunyip

Subject site: 17 Agnoletto Crt, Bunyip

Attention: Frank

Following on from your letter dated 31 Jan 2025, please find enclosed amended plans addressing the following issues.

Additional information:

1. Outstanding fees paid.
2. Written submission – provided.
3. Amended site plan – provided.
4. Amended elevations – provided.

Preliminary issues:

- Please note, there is no vegetation proposed to be removed.

It is considered the enclosed amended documents in response to the preliminary issues raised have been adequately addressed. We would appreciate if the application could proceed to the next stage of the process in advertising if the information is assessed to be satisfactory.

Please find enclosed the following relevant documents as part of the Further Information Lodgement package:

- Amended Town Planning Plans.
- Town Planning report.

If you have any queries in relation to the above, please feel free to contact me on george@gvkplanning.com.au or 0405 023 292.

Yours sincerely

George Vekos
TOWN PLANNER

