

## 5.3 T210009 PA - 67-69 Main St, Pakenham - Buildings and works associated with an existing shopping centre

**Responsible GM:** Peter Benazic  
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### Recommendation(s)

It is recommended that application T210009 for buildings and works associated with an existing shopping centre is approved, subject to conditions.

### Attachments

1. T 210009 PA - Development plans [5.3.1 - 25 pages]
2. T 210009 PA - Locality map [5.3.2 - 1 page]

### Executive Summary

<b>APPLICATION NO.:</b>	T210009
<b>APPLICANT:</b>	G2 Urban Planning
<b>LAND:</b>	PT L PC355258 & L2, PS413097, 67-69 Main Street, Pakenham VIC 3810
<b>PROPOSAL:</b>	Buildings and works associated with an existing shopping centre
<b>PLANNING CONTROLS:</b>	Commercial 1 Zone Parking Overlay – Schedule 1 Development Contributions Plan Overlay – Schedule 1
<b>NOTIFICATION &amp; OBJECTIONS:</b>	None – refer to report
<b>KEY PLANNING CONSIDERATIONS:</b>	<ul style="list-style-type: none"> <li>• Consistency with state and local policies</li> <li>• Consistency with the Pakenham Structure Plan and Urban Design Framework</li> <li>• Economic development</li> </ul>
<b>RECOMMENDATION:</b>	Approval

### Background

The development site has been subject to numerous planning permits over recent decades. There are incomplete records available for applications issued prior to the mid-1990s.

Specific to this proposal is planning permit T960652 that was issued by Council on 21st February 1997 for the development of a supermarket, discount department store and specialty shops and ancillary car parking as indicated on the approved plan.

The proposed application initially included modifications to the southern loading bay of building B that would extend on an adjoining parcel L7 LP24100, Flower Street under the same ownership. These works resulted in an extension on residential land that was prohibited under current planning controls. The application was subsequently amended to the current proposal.

## Subject Site



The subject site comprises two lots of approximately 3.08 and 2 hectares forming a triangular area. It is located centrally within the Pakenham Activity Centre, bound by the metropolitan and regional railway, established residential areas and a mixture of predominantly core retail businesses.

The site benefits from multiple points of access that extend from Drake Place and John Street, Main Street to the north and Flower Street west of the site.

The site is developed and contains three buildings known as buildings A, B and C for the purpose of this proposal. Parking is arranged in a central location with the buildings occupying the outer western and east corners of the site.

- Building A accommodates a supermarket and liquor store.
- Building B is the largest of the three containing a supermarket, one large retail premises and several smaller retail tenancies.
- Building C contains a strip of thirteen shops

The main characteristics of the surrounding area are identified as:

<ul style="list-style-type: none"> <li>■ <b>NORTH-EAST</b></li> </ul>	<ul style="list-style-type: none"> <li>■ Shops and retail premises fronting John Street with private parking to the rear, a multi-unit residential development and further shops continue around to Main Street.</li> </ul>
<ul style="list-style-type: none"> <li>■ <b>SOUTH</b></li> </ul>	<ul style="list-style-type: none"> <li>■ Metropolitan/regional railway line runs parallel to the subject site. Henry Street runs adjacent to the railway providing access to Henry Park, an established residential estate to accommodates larger detached dwellings.</li> </ul>
<ul style="list-style-type: none"> <li>■ <b>NORTH-WEST</b></li> </ul>	<ul style="list-style-type: none"> <li>■ Established residential area of Pakenham with some infill unit development located off Flower Street and Rogers Street. A mixture of retail, office and medical uses can be found north-west along Main Street.</li> </ul>

### **Relevance to Council Plan**

#### **4.1 Our Economy - Increased business diversity in Cardinia Shire**

4.1.1 Plan for and support local employment opportunities.

4.1.2 Support the development of existing and new businesses within the Shire.

4.1.4 Plan the development of Officer and Pakenham town centres.

#### **4.3 Our Economy - Diverse and resilient business community**

4.3.3 Advocate for the delivery of small and large scale projects that enhance and drive economic activity.

### **Proposal**

Approval is sought for buildings and works associated with the refurbishment of Pakenham Place Shopping Centre at 67-69 Main St, Pakenham.

The works will include internal and external modifications to two buildings identified as B and C that comprise an existing supermarket, retail premises and shops.

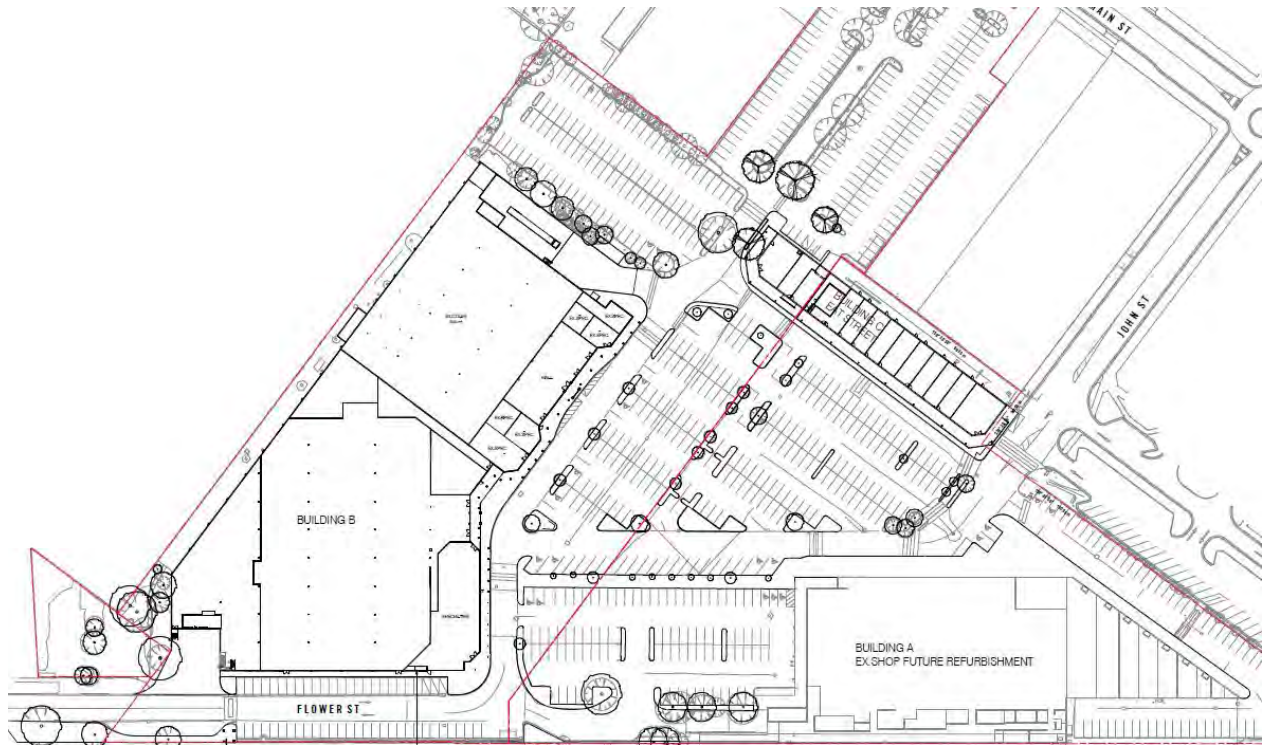


Figure 1: Existing site

### Building B

The applicant is seeking to undertake works including the demolition of existing signage and east-facing verandah canopies to replace with a new canopy that retains the existing parapet. Feature screening will be added along this façade where retail premises will remain while some minor modifications to the southern and northern facades are also proposed.

Two primary entries to the building will be distinguished through stylised cladding constructed of powder coated metal and finished in a dark grey tone while ‘timber look’ battening. Steel framed screening will adorn the remaining length of the canopy for outward-facing retail premises extending the length of the east face of the building.

As a consequence of the works, the overall height of the building will be unchanged however the removal of two sky signs will reduced the height of the eastern elevation by 174mm to 6.835 metres.

There are no external modifications to the western side of the building.



Figure 2: East elevation (proposed)



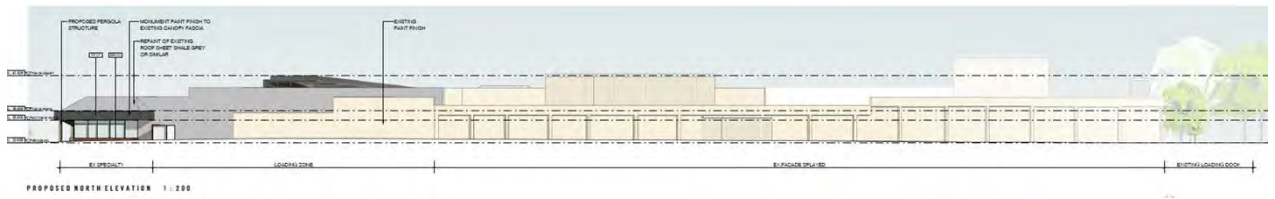


Figure 3: North elevation (proposed)

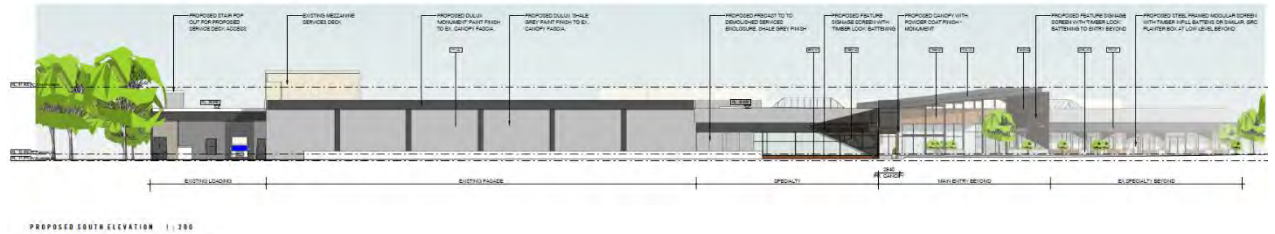


Figure 4: South elevation (proposed)

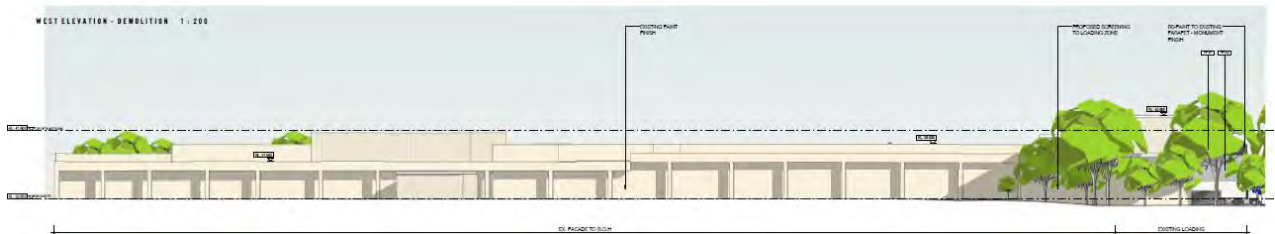


Figure 5: West elevation (proposed)

Internal modifications are concentrated on opening the building to establish connectivity between the larger tenancies and create a wider variety of small to medium retail options. As a result of the changes, one of the larger tenancies (currently held by Target) will be reduced in size and converted to a supermarket. This will occupy the southern section of the building while smaller retail shops including kiosks will be focused on the shopping centre entrances, separating the two supermarkets.

The primary points of access to building B will be slightly modified to align with this revised layout with emphasis on separation between the accesses and a more open entrance foyer.

The internal rearrangements will not result in an increase to total floor area.

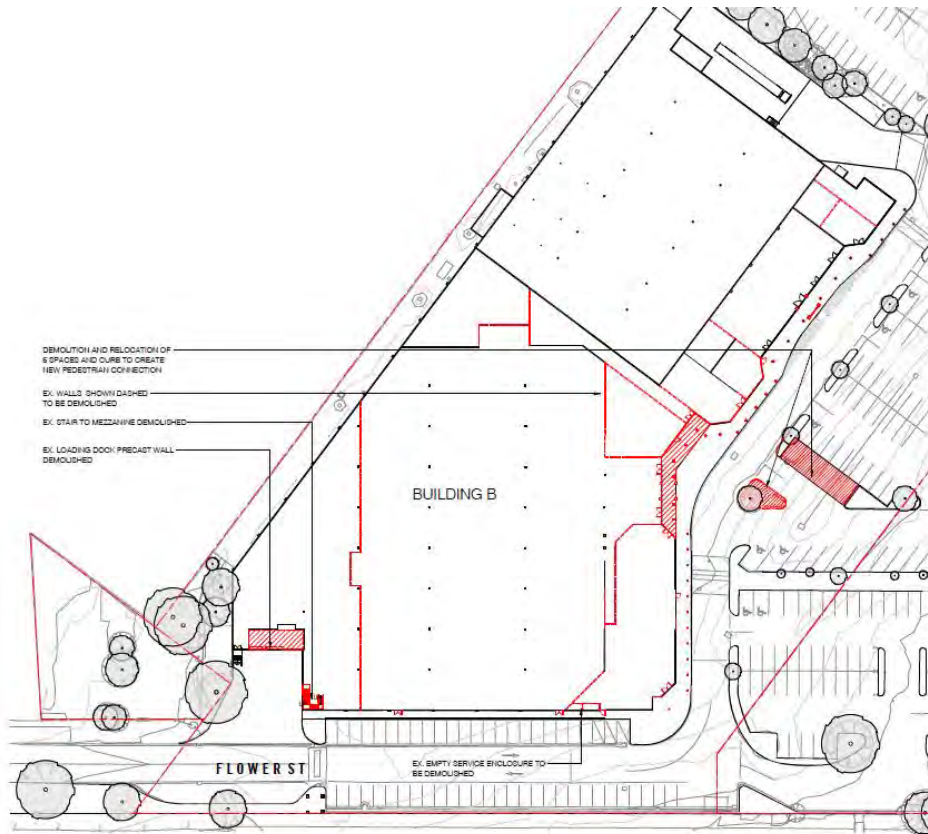


Figure 6: Existing layout of Building B

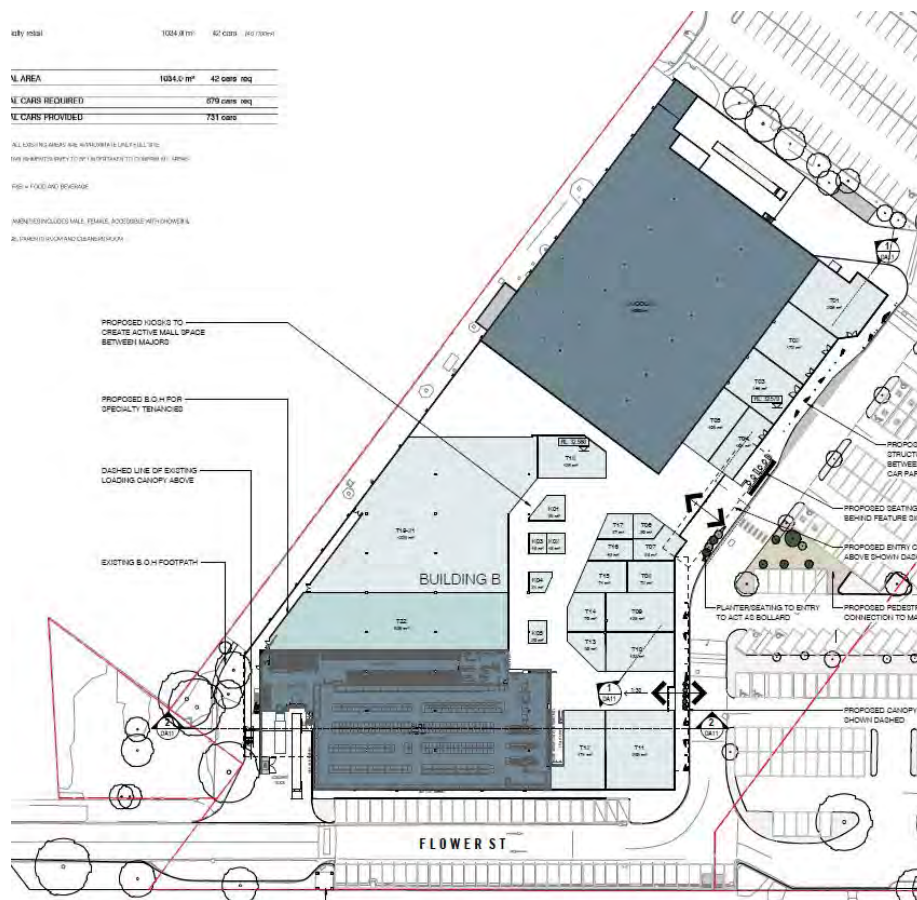


Figure 7: Proposed layout of building B

### Building C

Alterations to building C propose a variety of external modifications including a steel-framed pergola finished with timber battens to be erected around the existing canopy fascia at either ends of the building. The south-west canopy will be widened by 875mm in sections with a similar combination of steel framing and timber. The pergolas will be constructed in-line with the building height which remains unchanged.

The additions also include two outdoor seating areas for shops 1 and 11-13 on the north-east side of the building to provide further dining options. Works will be undertaken on these facades to include bi-fold doors and clear glazing to this aspect.

One tree adjacent to the north-west face of shop 13 will be removed to accommodate the expanded canopy structure. Removal of this tree does not require planning permission.

Internal alterations are limited to the consolidation of shops 2-3 and 11-13 into larger tenancies to provide greater variety of lease sizes.

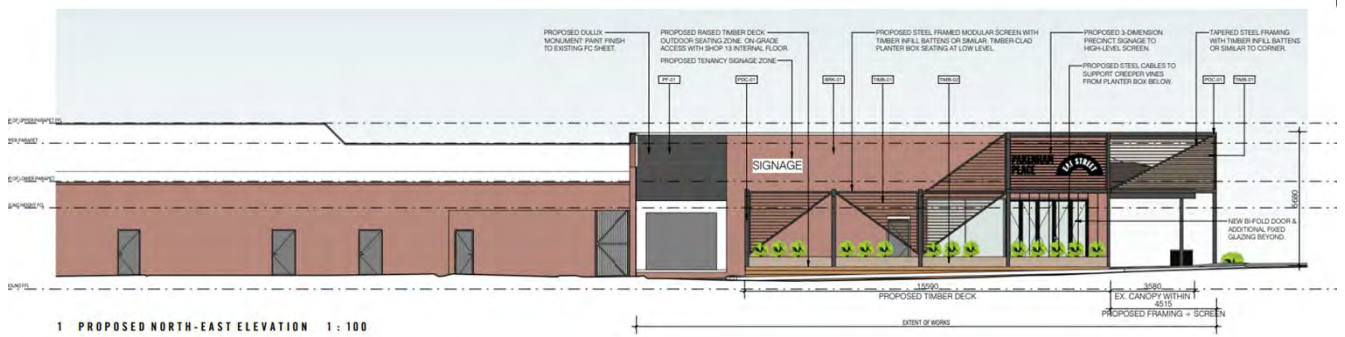


Figure 8: North-east elevation (proposed, partial)



Figure 9: North-west elevation (proposed)





Figure 10: Partial south-west elevation (proposed, shops 7-11)

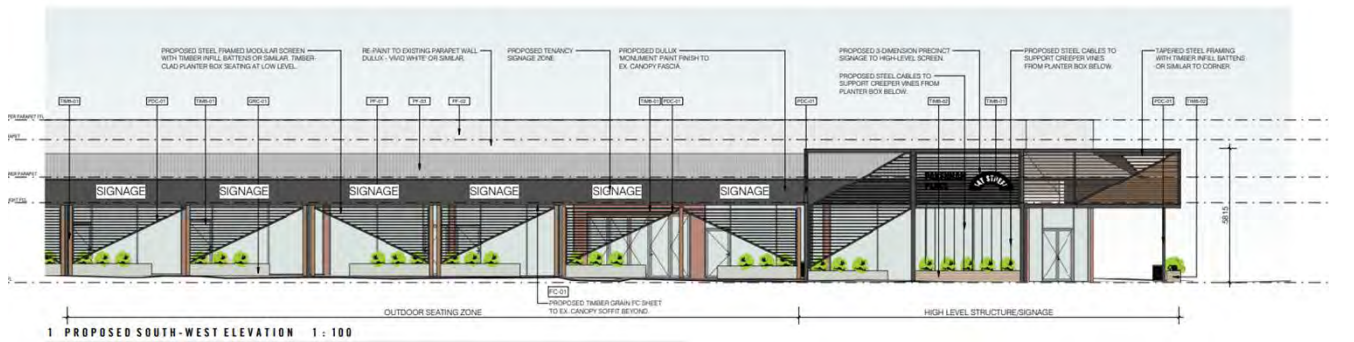


Figure 11: South west elevation (proposed, shops 1-6)

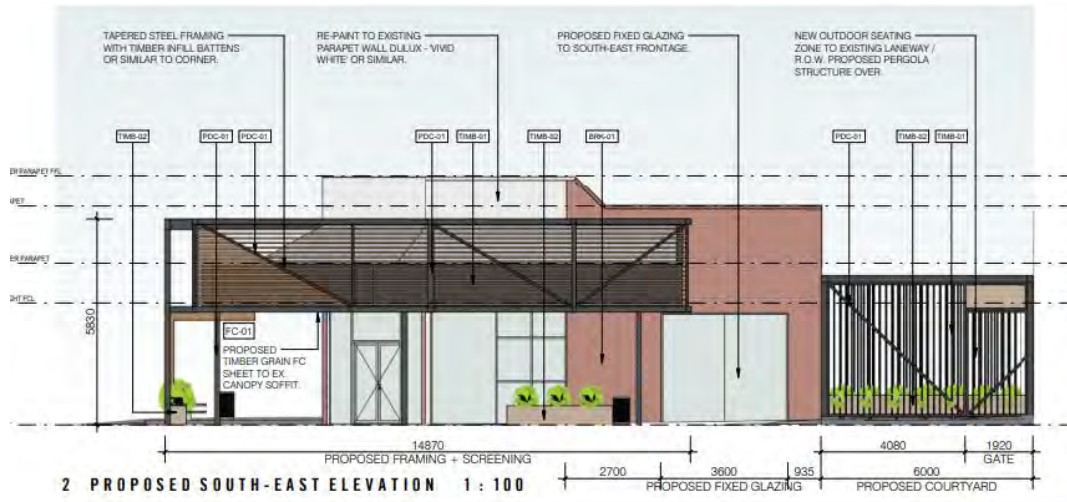


Figure 12: South-east elevation (proposed)

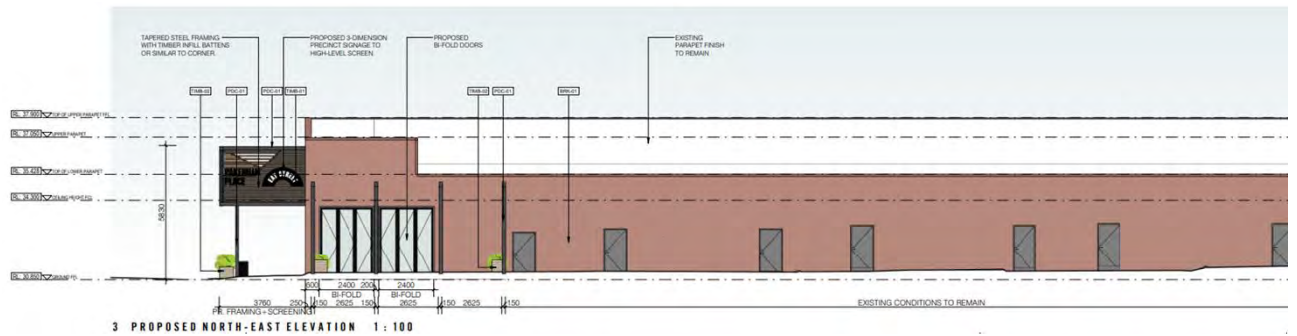


Figure 13: North-west elevation (proposed, partial)



### Car parking

A total of 730 spaces current support the shopping centre, shared between the three buildings and their tenancies. A breakdown of the existing and proposed areas is provided below:

BUILDING	USE	EXISTING FLOOR AREA	PROPOSED	NET CHANGE
A	Supermarket	4,898	4,898	-
B	Supermarket	3,000	4,700	+1,700
	Retail	6,663	3,954	-2,709
C	Retail	1,074	1,034	-40
TOTAL	Supermarket	7,898	9,598	+1,700
	Retail	7,737	4,988	-2,749

	TOTAL AREA	STATUTORY PARKING RATE	SPACES REQUIRED
<b>SUPERMARKET</b>	9,598	5 spaces per 100 square metres	479.9
<b>RETAIL (INCLUDING SHOPS)</b>	4,988	3.5 spaces per 100 square metre*	174.58
<b>TOTAL</b>			654.48

The planning submission calculates the parking requirement at 678 spaces based on 5 spaces per 100 square metres for supermarkets and 4 spaces per 100 square metres for the retail (shop). This is identified as an error and does not account for the varied parking rates that apply to land affected by the Parking Overlay – Schedule 1 which require a reduced rate of 3.5 spaces per 100 square metres.

The outdoor dining areas proposed for Building C do not generate an increase in parking requirements however the creation of this area for shop 11 will result in permanent removal of six spaces as shown in figure 14 below.

As a result of the minor realignment of a building entrance to building B, six parking spaces adjacent to this building are to be relocated to improve pedestrian access and connectivity between with the buildings, as shown at figure 15.

In summary, 654 spaces are required based on the layout changes with 724 spaces to remain available resulting in a credit of 70 spaces.

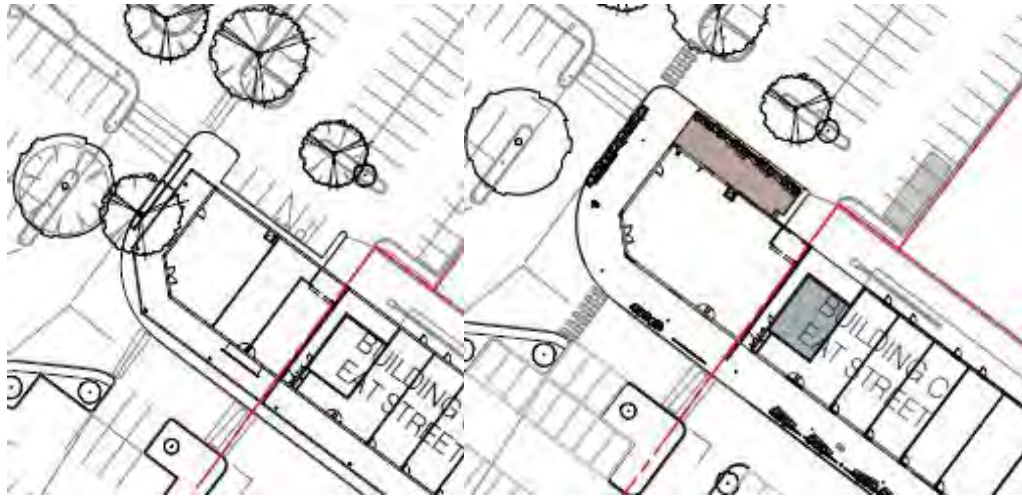


Figure 14: Car parking space to be converted to outdoor dining (existing left, proposed right)

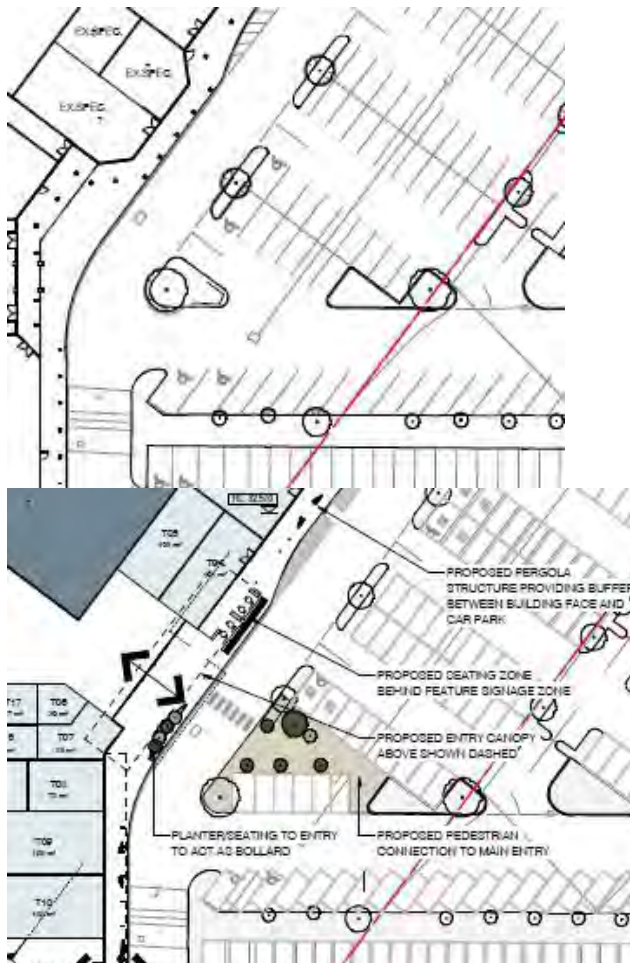


Figure 15: Car parking and traffic island to be resigned (existing and proposed)

### Signage

No signage is proposed for the application and will be lodged separately if required once tenants are finalised.

## Planning Scheme Provisions

### Zone

The land is subject to the following zones:

- Commercial 1 Zone

### Overlays

The land is subject to the following overlays:

- Parking Overlay – Schedule 1
- Development Contributions Plan Overlay – Schedule 1

### Planning Policy Framework (PPF)

The relevant clauses of the PPF are:

- Clause 15.01-1S Urban design
- Clause 15.01-2S Building design
- Clause 17.02-1S Business
- Clause 18.02-4S Car parking

### Local Planning Policy Framework (LPPF)

The relevant clauses of the LPPF are:

- Clause 21.01 Cardinia Shire key issues and strategic vision
- Clause 21.04-1 Employment
- Clause 21.04-3 Activity Centres
- Clause 21.06-1 Urban design

### Relevant Particular/General Provisions and relevant incorporated or reference documents

The relevant provisions/ documents are:

- Clause 52.06 Car parking
- Clause 65.01 Decision guidelines
- Pakenham Structure Plan 2017 (updated 2019)
- Pakenham Major Activity Centre Urban Design Framework (2019)

## Planning Permit Triggers

The proposal requires a planning permit under the following clauses of the Cardinia Planning Scheme:

- Pursuant to Clause 31.01-4 of the Commercial 1 Zone, a permit is required to construct or carry out works.

## Public Notification

Pursuant to Section 52 of the *Planning and Environment Act 1987*, the proposal was not advertised as it was considered that it would not result in material detriment to any person for the following reasons:

- The works do not result in a substantive alteration of the shopping centre; external modifications are superficial and oriented away from residential land. The building sizes and maximum heights are unchanged.
- Internal modifications are not expected to generate off-site impacts; the locations of loading bays are unchanged; no additional floor area is proposed and no land uses are introduced.
- The site benefits from car parking that exceeds planning scheme requirements.

## Referrals

No external referrals were required for this application.

Informal consultation between the applicant and Council's Strategic Planning team have been made prior to submission of the application. The Strategic Planning team are supportive of the proposal.

## Discussion

### Planning policy framework

**Clause 15.01-1S Urban design** highlights the need to create environments that are safe, healthy, functional and enjoyable that contribute to a sense of place of identity. The policy includes strategies to achieve this such as:

- Ensure the interface between the private and public realm protects and enhances personal safety
- Ensure development supports public realm amenity and safe access to walk and cycling environments and public transport.
- Promote good urban design along and abutting transport corridors

The refurbishment will make improvements to the functionality and visual amenity of the shopping centre by modernising the façades of both buildings, providing a greater level of street activation, particularly for building C.

Further improvements to the versatility of existing shops by encouraging outdoor dining are expected to promote greater evening activity, resulting in improved surveillance of the car park areas.

It is noted that the site adjoins the railway that is to be redeveloped under the Level Crossing Removal Project with the construction of sky rail. As such, development that interfaces with the rail line is encouraged to respond and address these considerations. Given the current layout and narrow scope of changes proposed for buildings B and C, there is limited opportunity to improve interface with the railway line.

The applicant has suggested that further proposals for the site are planned and will appropriately respond to the Sky Rail.

**Clause 17.02-1S Business** seeks to encourage development that meets the community's needs for retail, entertainment, office and other commercial services and includes strategies such as:



- Ensure commercial facilities are aggregated and provide net community benefit in relation to their viability, access, and efficient use of infrastructure.

The refurbishment is expected to make a positive contribution to the vitality of the activity centre and will enhance the visual appeal of Pakenham Place. Given the role Pakenham Place plays as an anchor for the area, the refurbishment is also expected to have a flow on effect to the surrounding businesses and area.

The site benefits from a comparatively high level of public transport access that includes bus and train stops within walking distance of the precinct. Ensuring there is equitable access to a high-quality shopping centre.

**Clause 18.02-4S Car parking** ensures adequate supply of parking that is appropriately designed and located and seeks to ensure efficient provision of parking through consolidation and ensure parking is designed to achieve a high standard of urban design, enable easy and efficient use and protect the role and function of nearby roads.

The buildings and works do not proposal substantive changes to the parking or internal circulation and will continue to function in accordance with the previous approvals of the site. Although a small number of spaces are to be removed, the shopping centre benefits from a surplus of parking spaces.

In addition to the above policies, relevant local policies of the Cardinia Planning Scheme include:

**Clause 21.01 Cardinia Shire key issues and strategic vision** identifies the Pakenham Activity Centre within the Casey-Cardinia South-east Growth Corridor that accommodates the majority of commercial and residential growth.

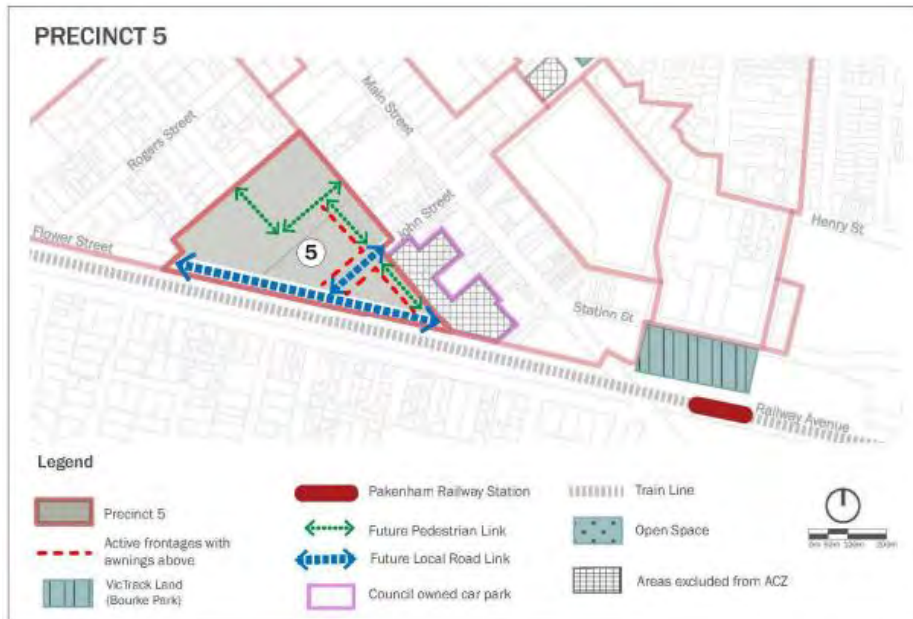
Key issues specific to the proposal include the development of a balanced local economy and local employment opportunities for residents and the need to strengthen existing businesses.

The proposal seeks to strengthen the foundations of an existing retail precinct and adapt to the current retain environment. The site is well located to service a large catchment of local residents, particularly with the redevelopment of Pakenham Racecourse further east of the site.

**Clause 21.04-3 Activity Centres** identifies Pakenham as a Major Activity Centre where key issues include controlling the orderly expansion and management of the Pakenham Activity Centre and recognising and developing the existing and future retail hierarchy of activity centres in the urban area.

When deciding on application within an activity centre, the relevant structure plan or Urban Design Framework must be considered.

The Pakenham Structure Plan (introduced 2017 and updated September 2019) outlines the purpose of the plan, the local context, and the vision for the area. The subject site falls within the structure plan boundary and is identified as a large format shopping centre and a key development site.



The Activity Centre is divided into eight precincts where the subject site is defined by its own precinct - precinct 5. Precinct objectives include:

- creating shopping street typology that supports anchor and speciality retail functions.
- encouraging an appropriate range of retail, entertainment and commercial facilities.
- provide new local road connections by extending Flower Street to Drake Place and John Street to Flower Street.

With guidelines that seek to ensure:

- The redevelopment of the precinct has minimal impact on the amenity of the surrounding residential areas;
- Ensure any new development to sleeve larger format retail by continuing the fine grain and general building form of the existing shops in the core tail area at ground level.

The proposal is generally consistent with the strategy and objectives of the precinct. The development maintains and enhances the existing fine-grain retail experience across Buildings C and improves activation by emphasising outdoor dining experiences and providing a wider range of shop sizes and configurations.

Building B will continue to provide for large 'anchor' stores as its primary purpose and is not expected to draw further foot traffic away from the surrounding high street shopping on Main Street and John Street.

Holistically, the development is a minor refurbishment that focuses on enhancing the visual appeal of the Shopping Centre and providing greater options for tenants. Given fundamental redevelopment is not proposed, the amenity of surrounding residential areas is expected to be unaffected. In a similar capacity though, the opportunity to review broader functionality issues including connectivity with surrounding streets is beyond consideration for this proposal.

### 3.5

#### PRECINCT 5: PAKENHAM PLACE: KEY DEVELOPMENT SITE BUILT ENVIRONMENT

##### PREFERRED CHARACTER

This precinct is identified as having the potential for significant redevelopment. Due to its location which adjoins the Retail Core of the activity centre, the built form and urban pattern of any redevelopment of this precinct must integrate with the Core Retail area of the town centre.

The urban pattern of the town centre, in terms of the street network and site access, should inform redevelopment. The design of the precinct should integrate with the surrounding street network and improve connectivity and permeability in the activity centre.

The built form of the precinct should reflect that of the core retail precinct to integrate and extend the pedestrian focused shopping area of the town centre.



Figure 27 - Indicative master plan for Precinct 5

In addition to the guidance provided by the Structure Plan, The Urban Design Framework (2019) includes a series of character statements and requirements to achieve integrated outcomes throughout the activity centre.

Precinct 5 includes the entire subject site with identified potential for significant redevelopment due to the location adjacent to the Core Retail area with a range of built form requirements on the basis of a full redevelopment.

As the development does not propose to re-develop the site, the requirements of the framework have limited application to the proposal however it is noted that positive elements of urban design are introduced, such as the activation of frontages for Building C that improve passive surveillance within and beyond the site.

#### Planning Scheme Amendment C228 (Activity Centre Zone)

Planning Scheme amendment C228 proposes to implement the Pakenham Structure Plan into the Cardinia Planning Scheme through the introduction of the Activity Centre Zone that will apply to the subject site.

The amendment is required to give statutory effect to the objectives and strategies contained in the Pakenham Structure Plan, which is required to guide the future land use and development in the Pakenham Activity Centre. Pakenham is identified as a Major Activity Centre in the Metropolitan Planning Strategy, Plan Melbourne 2017-2050.

The amendment seeks to replace the existing Pakenham Activity Centre Incorporated Provisions, 20 March 2017 (revised May 2017) (which expires on 30 June 2021), with the Activity Centre Zone. This will involve rezoning the subject land from the existing General Residential Zone to Activity Centre Zone. The amendment supports good design outcomes ensuring future development is site and context responsive, providing a strong character and

identity for the Pakenham Major Activity Centre by introducing the Pakenham Major Activity Centre Urban Design Framework 2019.

The amendment was heard at Planning Panels hearing, where a report was issued in June 2020 (corrected 10 July 2020). The Panel recommended the adoption of the amendment as exhibited but subject to some changes, including changes relating to preferred building height and setback requirements in the commercial and mixed-use areas. Changes have since been made and adopted by Council 15 February 2021. The amendment is currently pending approval by the Planning Minister and is therefore should be seriously entertained.

The subject site remains within Precinct 5 with the previously outlined objectives carried over from from the structure plan. All planning permit applications for land within the Pakenham Activity Centre must be generally in accordance with the Pakenham Major Activity Centre Urban Design Framework 2019 [the UDF] and the Pakenham Structure Plan 2019.

Considering the scope of redevelopment proposed, the application takes opportunity to respond to the broader objectives outlined for the precinct that include the creation of active frontages, and passive surveillance while encouraging a wider range of retail facilities.

### **Commercial 1 Zone**

The purpose of the C1Z is to create vibrant mixed-use commercial centres for retail, office, business, entertainment and community uses where a permit is required to construct or carry out works.

Relevant decision guidelines that the responsible authority must consider include the movement of pedestrians/cyclists, provision of car parking and the streetscape.

The larger canopies to both buildings improve the versatility of tenancies through the encouragement of outdoor dining while a modern use of materials and cladding create a more inviting environment.

The improvements to the north-east façade of building C make use of better solar orientation and provides surveillance of an otherwise underutilised laneway that services the shops, and the adjoining north-east car park.

Opportunities have also been taken to improve pedestrian movement to building B through the modifications to a traffic island providing better linkages between the car park and building C. However, the applicant has cited that a complete renewal of the parking area is restricted by future plans for the area.

### **Parking Overlay – Schedule 1**

The parking overlay seeks to facilitate an appropriate provision of car parking spaces in identified areas where local car parking rates apply and where financial contributions may be made for provision of shared parking.

Schedule 1 of the overlay applies to parts of the Pakenham Activity Centre where Column B of the parking table (found at Clause 52.06-5) are applied to non-residential uses. Under these parking rates, the requirement for Supermarkets is 5 spaces to each 100 square metres of leasable floor area and 3.5 spaces for all shops.

As mentioned, the site benefits from a significant surplus of parking that will continue to provide for the existing uses and the repurposed layout. Given the surplus, opportunity to improve landscaping and pedestrian connectivity between buildings were raised however the applicant noted that a future proposal may require utilisation of these additional spaces.



### **Development Contribution Plan Overlay - Schedule 1**

The Development Contributions Plan Overlay identifies areas which require the preparation of a development contributions plan for the purpose of levying contributions for the provision of works, services and facilities before development can commence.

Pursuant to Clause 45.06-1, a permit granted must:

- Be consistent with the provisions of the relevant development contributions plan; and
- Include any conditions required to give effect to any contributions or levies imposed, conditions or requirements set out in the relevant schedule to this overlay.

The purpose of this overlay is to require financial contributions for residential subdivision and development application and is therefore not applicable to the proposal.

### **Clause 52.06 - Car parking**

This provision ensures the appropriate number of parking spaces are provided having regard for the likely demand, the nature of the activity and the locality. It also seeks to ensure car parking does not adversely affect the amenity of the locality and ensure design and location is of a high standard.

The proposal does not increase leasable floor area of either building or alter the land uses however some redistribution between retail and supermarket space is proposed through the introduction of a second supermarket.

A summary of the parking analysis confirms that the site will continue to benefit from a surplus of parking that is evenly distributed throughout the site. As a result, there are no requirements for a planning permit under this provision.

### **Clause 65.01 – Decision guidelines**

The proposal is considered consistent with the Planning Policy Framework and the planning controls that affect the site.

The refurbishment will have a positive impact on the local retail economy, providing a greater variety of leasable spaces and further opportunities for food and drink premises to establish through expanded outdoor dining. As a result, the works will revitalise the precinct and build on the core retail experience of the surrounding precinct where the site will remain a key anchor point through the introduction of an additional supermarket.

Given the extent and location of external works, the amenity of adjoining residential land is not expected to be impacted while access and car parking availability remain fundamentally unchanged.

### **Conclusion**

It is recommended application T210009 for buildings and works associated with an existing shopping centre is approved, subject to conditions.

**Conditions**

1. Prior the endorsement of plans, a landscape plan prepared by a suitably qualified professional must be submitted to and approved by the Responsible Authority. When approved the landscape plan will be endorsed and will then form part of the permit. The plan must show:
  - a. A survey (including botanical names) of all existing vegetation to be retained and/or removed.
  - b. Details of surface finishes including pathways and car parking.
  - c. A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.

All species selected must be to the satisfaction of the Responsible Authority

2. The works as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
3. Once the development has commenced, it must be continued and completed to the satisfaction of the Responsible Authority.
4. Stormwater must not be discharged from the subject land other than by means of an underground pipe drain discharged to an outlet in the street or to an underground pipe drain to the satisfaction of the Responsible Authority.
5. Stormwater works must be provided on the subject land so as to prevent overflows onto adjacent properties.
6. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority and used for no other purpose. Any dead, diseased or damaged plants are to be replaced.

**Notes:**

- Council recommends that prior to activating this permit, a registered building surveyor be contacted to ensure the use/development complies with the Building Act and Building Regulations.





OFFICER  
8 km  
←  
MELBOURNE  
60 km

- SITE
- CHILD CARE
- PARKLAND/RECREATION
- INDUSTRIAL
- COMMUNITY
- SUPERMARKET

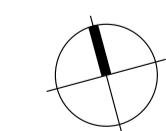
no.	date	ISSUE / revision	by
2	23/02/2021	TOWN PLANNING ISSUE	YHU/TE
1	11/12/2020	TOWN PLANNING ISSUE	YHU



## PAKENHAM PLACE SHOPPING CENTRE REDEVELOPMENT

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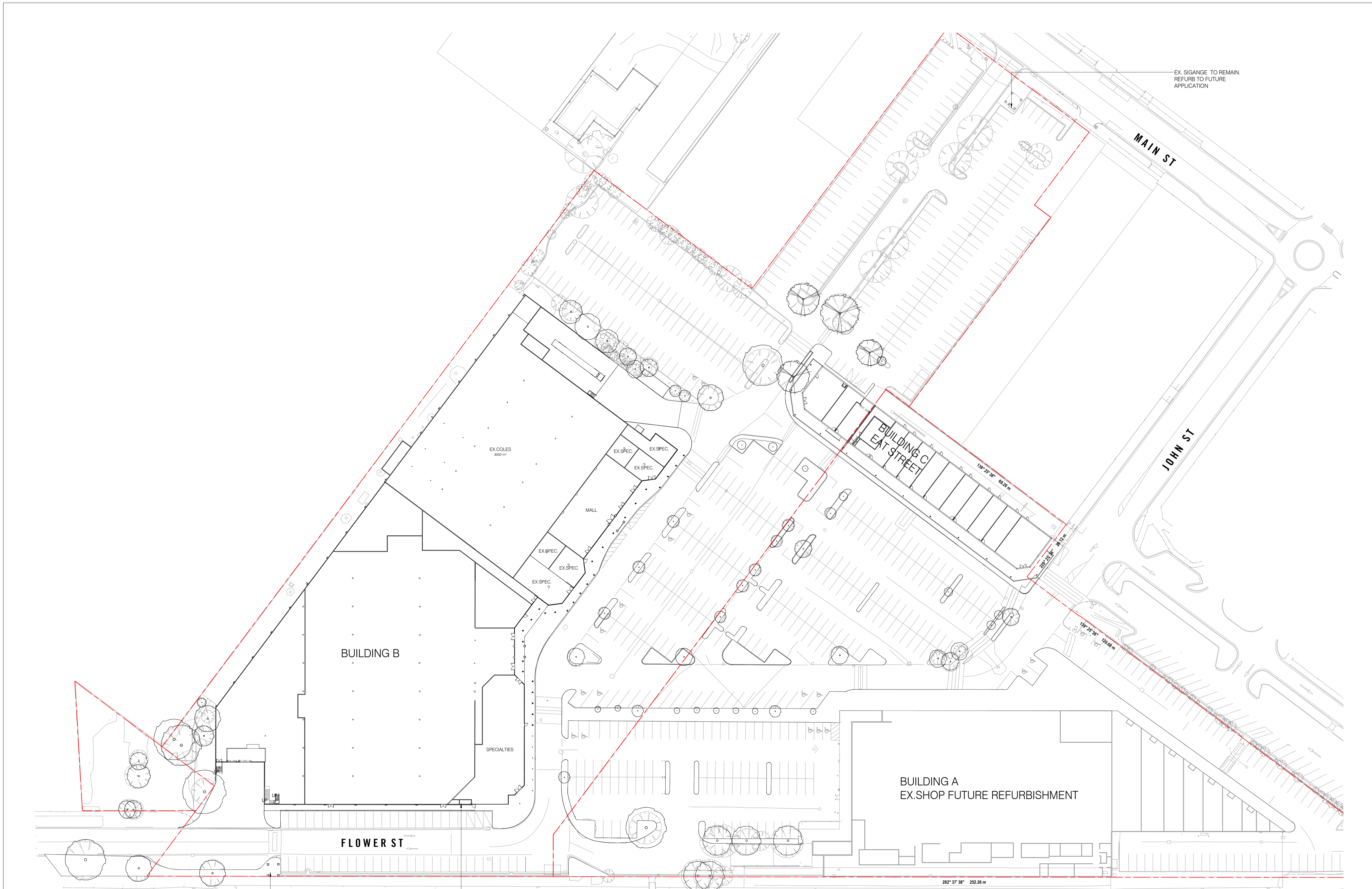
### CONTEXT PLAN

DEVELOPMENT APPLICATION

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project	drawing no.	issue
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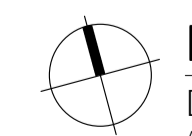


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1	11/12/2020	TOWN PLANNING ISSUE	YHU



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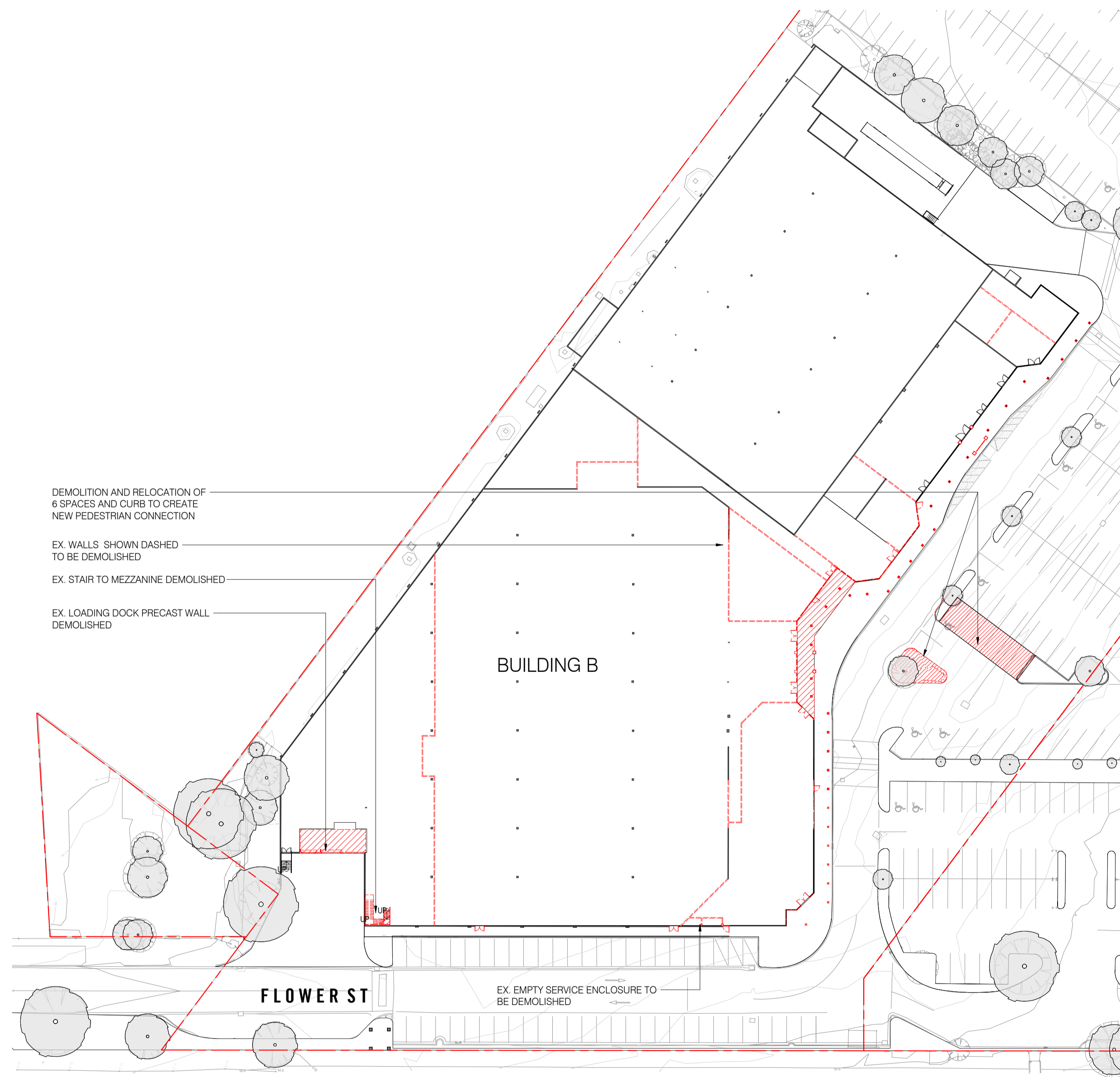


**EXISTING CONDITIONS PLAN**  
 DEVELOPMENT APPLICATION

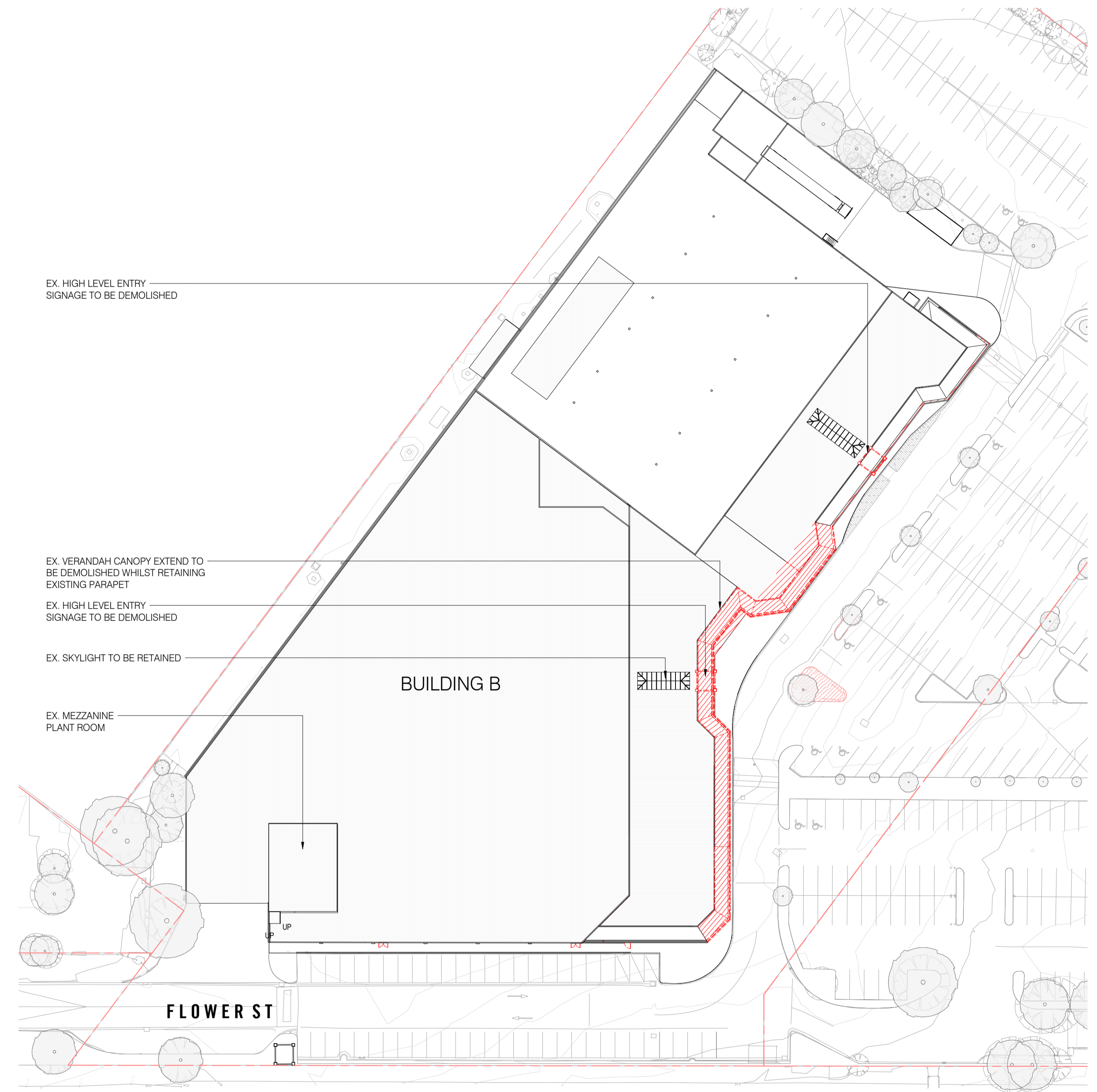
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project	drawing no.	issue
2020-259	DA02	2
scale @ A1	designed	checked
1 : 500	YHU	AHA





GROUND FLOOR DEMO PLAN 1 : 500



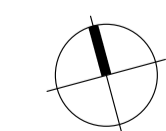
ROOF DEMO PLAN 1 : 500

no.	date	ISSUE / revision	by
2	29/02/2021	TOWN PLANNING ISSUE	YHU/JE
1	11/12/2020	TOWN PLANNING ISSUE	YHU



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**DEMO PLAN - GROUND & ROOF**  
 DEVELOPMENT APPLICATION

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project	drawing no.	issue
2020-259	DA03	2
scale @ A1	designed	checked
1 : 500	YHU	AHA



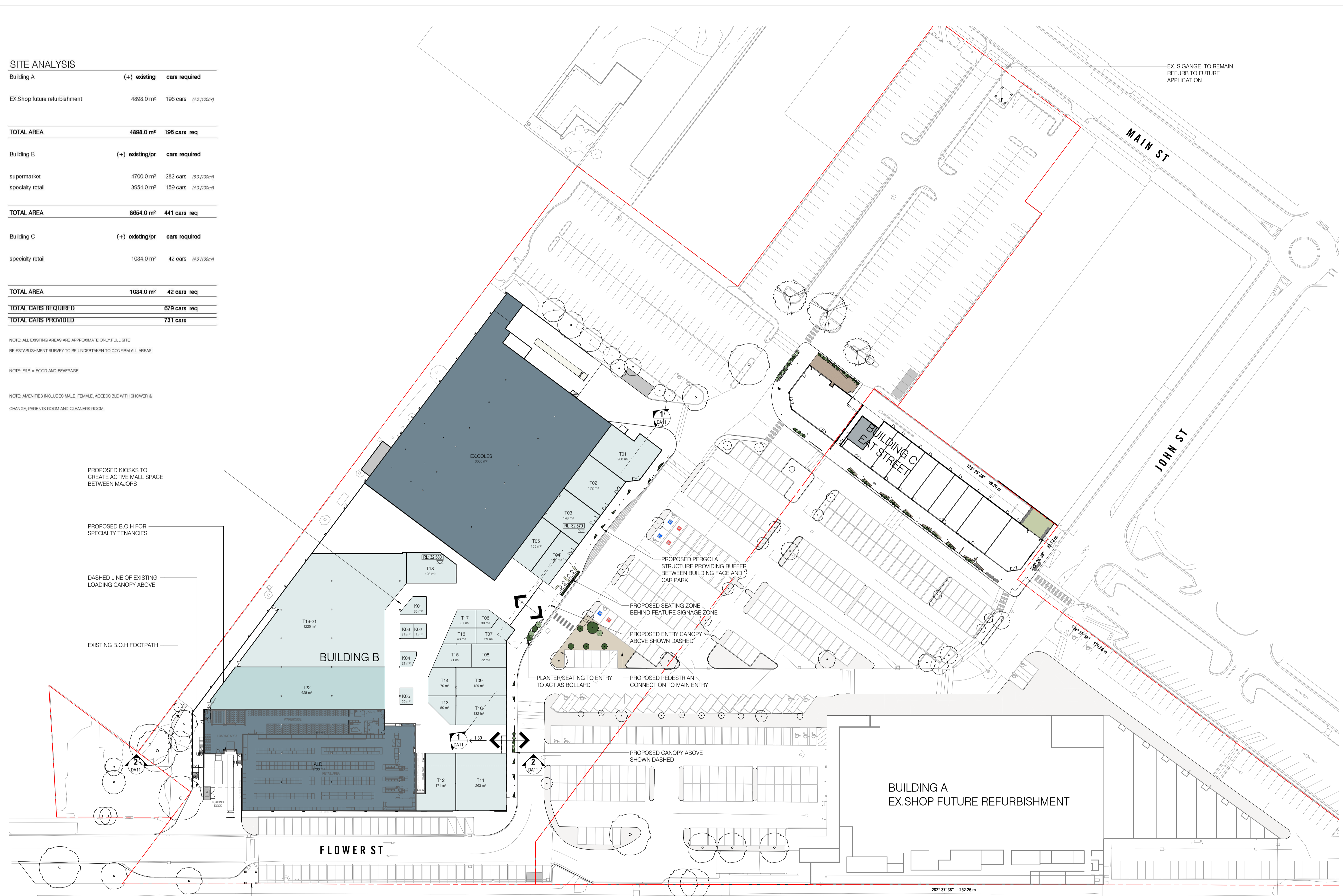
**SITE ANALYSIS**

Building A	(+) existing	cars required
EX.Shop future refurbishment	4898.0 m <sup>2</sup>	196 cars (4.0 /100m <sup>2</sup> )
<b>TOTAL AREA</b>	<b>4898.0 m<sup>2</sup></b>	<b>196 cars req</b>
Building B	(+) existing/pr	cars required
supermarket	4700.0 m <sup>2</sup>	282 cars (6.0 /100m <sup>2</sup> )
specialty retail	3954.0 m <sup>2</sup>	159 cars (4.0 /100m <sup>2</sup> )
<b>TOTAL AREA</b>	<b>8654.0 m<sup>2</sup></b>	<b>441 cars req</b>
Building C	(+) existing/pr	cars required
specialty retail	1034.0 m <sup>2</sup>	42 cars (4.0 /100m <sup>2</sup> )
<b>TOTAL AREA</b>	<b>1034.0 m<sup>2</sup></b>	<b>42 cars req</b>
<b>TOTAL CARS REQUIRED</b>	<b>679 cars req</b>	
<b>TOTAL CARS PROVIDED</b>	<b>731 cars</b>	

NOTE: ALL EXISTING AREAS ARE APPROXIMATE ONLY-FULL SITE RE-ESTABLISHMENT SURVEY TO BE UNDERTAKEN TO CONFIRM ALL AREAS

NOTE: F&B = FOOD AND BEVERAGE

NOTE: AMENITIES INCLUDES MALE, FEMALE, ACCESSIBLE WITH SHOWER & CHANGE, PARENTS ROOM AND CLEANERS ROOM

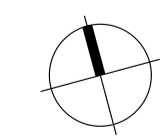


2	29/02/2021	TOWN PLANNING ISSUE	YHU/TE
1	11/12/2020	TOWN PLANNING ISSUE	YHU
no.	date	ISSUE / revision	by



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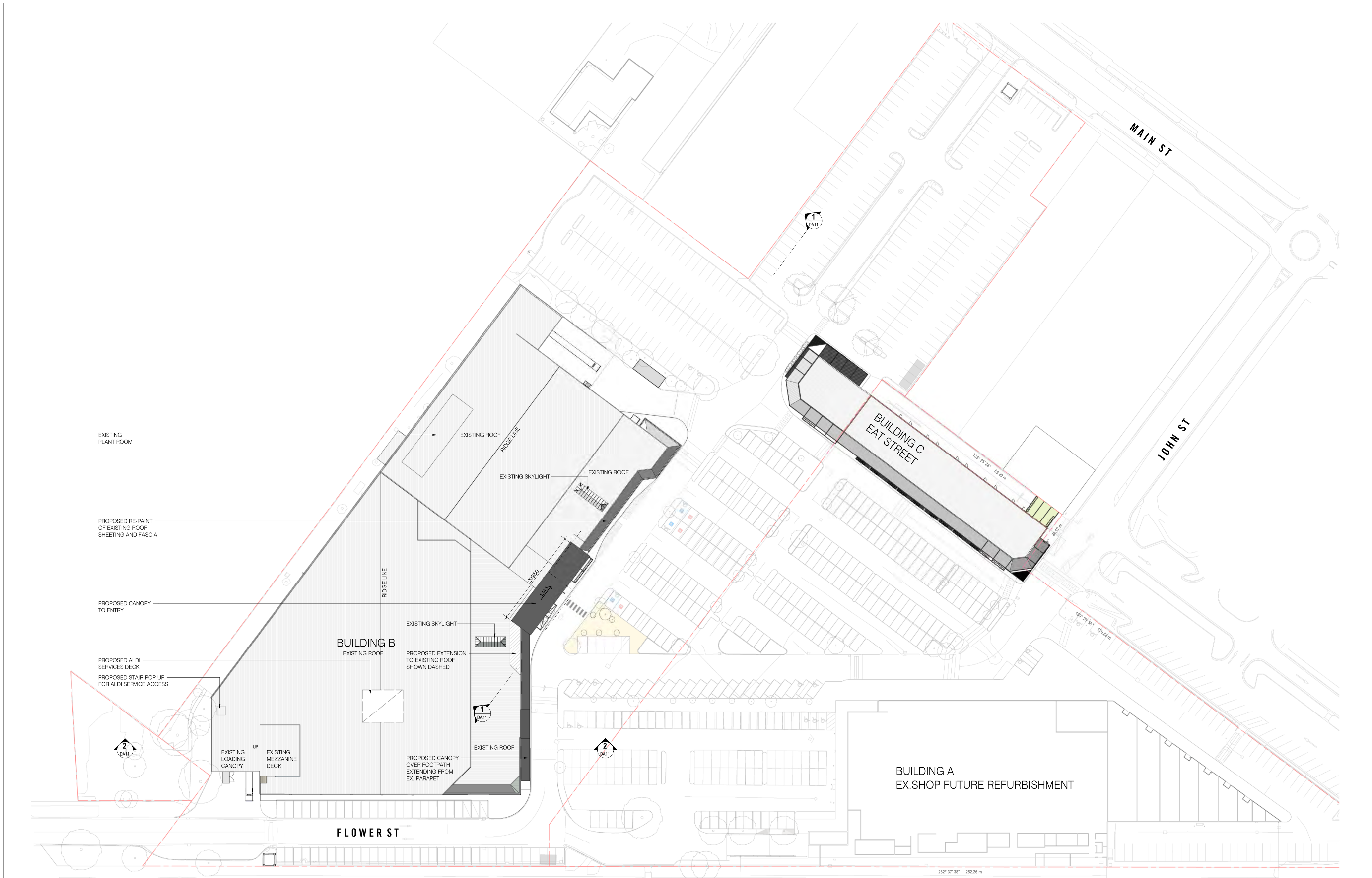


**PROPOSED GROUND FLOOR PLAN**  
DEVELOPMENT APPLICATION

project	2020-259	drawing no.	DA05	issue	2
scale	@ A1	designed	YHU	checked	AHA
scale	1 : 500				

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1	11/12/2020	TOWN PLANNING ISSUE	YHU



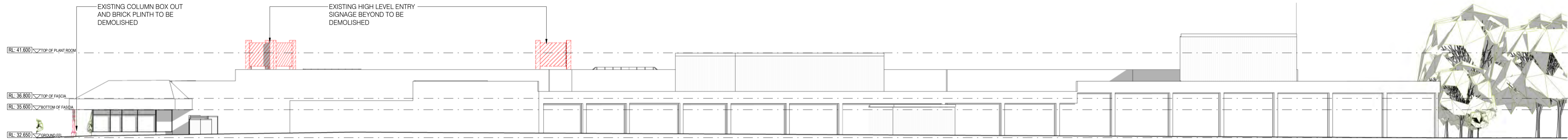
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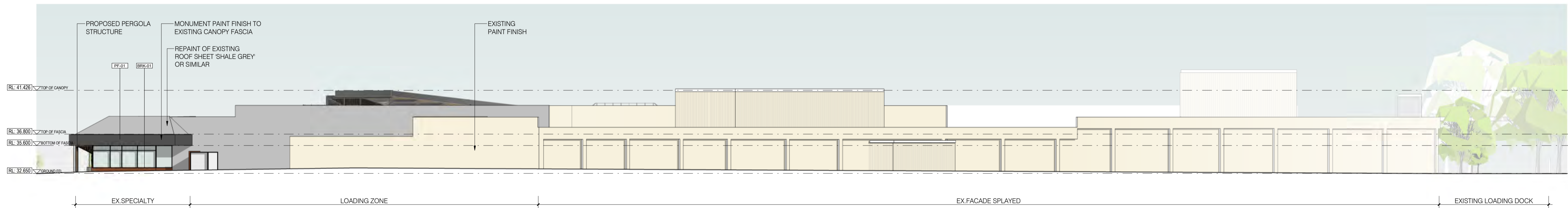
**PROPOSED ROOF PLAN**  
 DEVELOPMENT APPLICATION  
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project	drawing no.	issue
2020-259	DA06	2
scale @ A1	designed	checked
1 : 500	YHU	AHA





**NORTH ELEVATION - DEMOLITION 1 : 200**



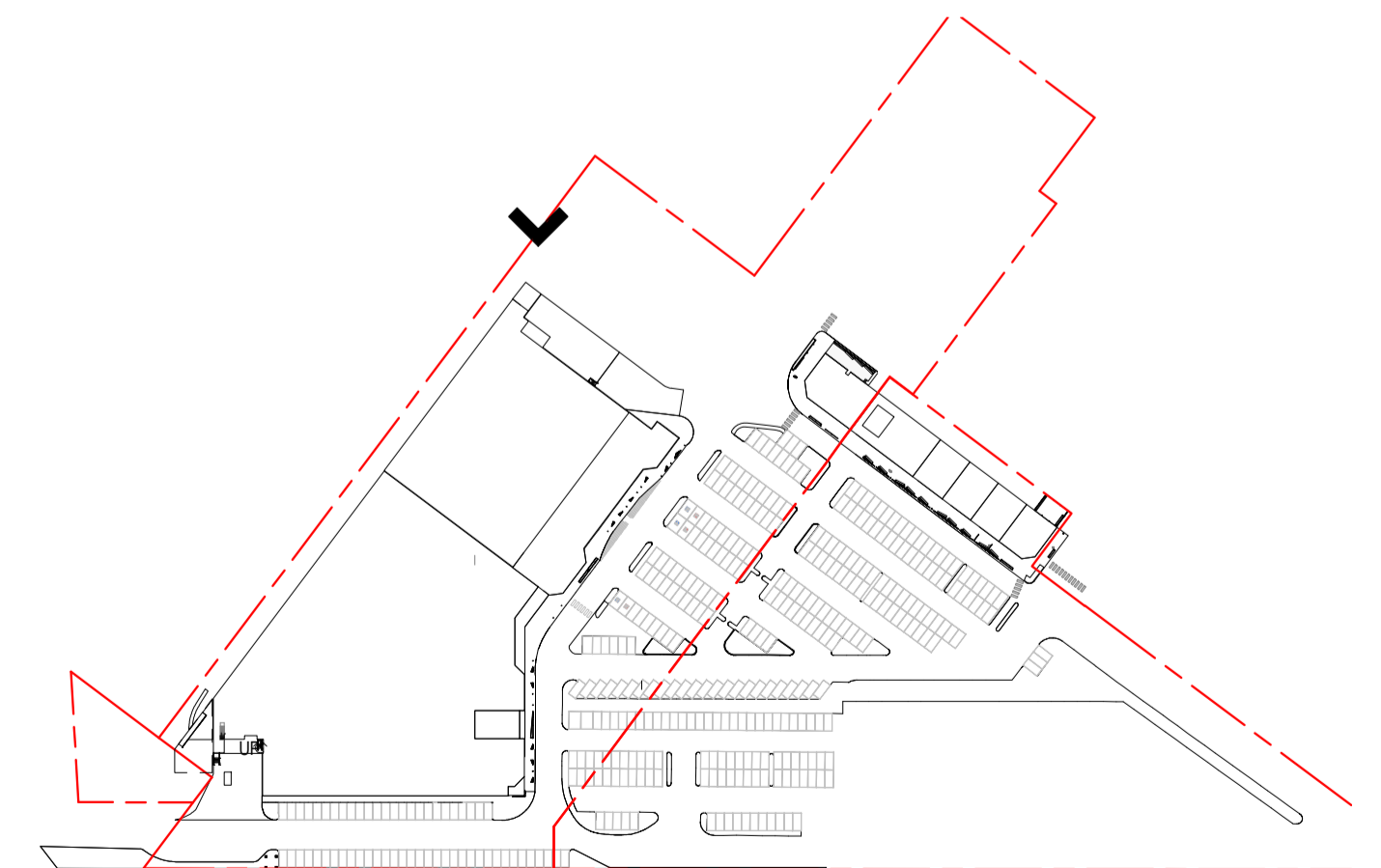
**PROPOSED NORTH ELEVATION 1 : 200**

**FINISHES SCHEDULE**

IMAGE	MARK	DESCRIPTION
	BRK-01	EXISTING RED BRICK
	GRC-01	GLASS FIBRE REINFORCED CONCRETE PLANTER BOX MODULE
	PDC-01	POWDERCOAT FINISH - MONUMENT
	PF-01	PAINT FINISH - DULLUX MONUMENT TO EXISTING FASCIAS

**FINISHES SCHEDULE**

IMAGE	MARK	DESCRIPTION
	PF-02	PAINT FINISH - SHALE GREY TO EXISTING PRECAST CONCRETE
	TIMB-01	TIMBER LOOK PANEL SOFFIT



**KEY PLAN  
PROPOSED ELEVATIONS**

DEVELOPMENT APPLICATION  
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project 2020-259	drawing no. <b>DA07</b>	issue <b>2</b>
scale @ A1	designed YHU	checked AHA
indicated		

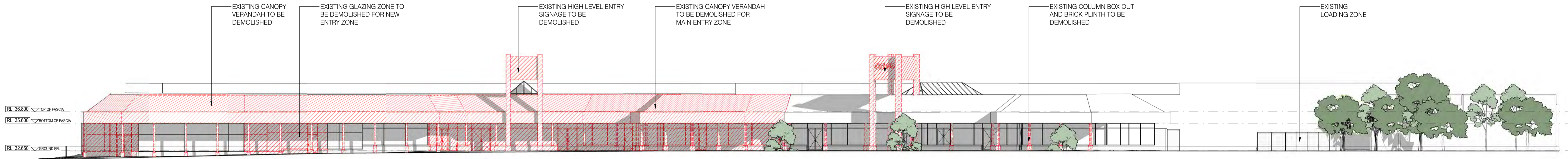
no.	date	ISSUE / revision	by
2	23/02/2021	TOWN PLANNING ISSUE	YHU/TE
1	11/12/2020	TOWN PLANNING ISSUE	YHU



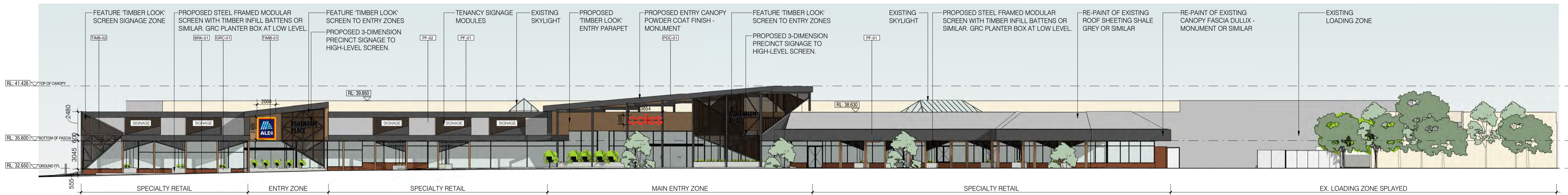
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EAST ELEVATION - DEMOLITION 1 : 200



PROPOSED EAST ELEVATION 1 : 200

FINISHES SCHEDULE

IMAGE	MARK	DESCRIPTION
	BRK-01	EXISTING RED BRICK
	GRC-01	GLASS FIBRE REINFORCED CONCRETE PLANTER BOX MODULE
	PDC-01	POWDERCOAT FINISH - MONUMENT
	PF-01	PAINT FINISH - DULUX MONUMENT TO EXISTING FASCIAS

FINISHES SCHEDULE

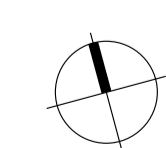
IMAGE	MARK	DESCRIPTION
	PF-02	PAINT FINISH - SHALE GREY TO EXISTING PRECAST CONCRETE
	TIMB-01	TIMBER LOOK PANEL SOFFIT

no.	date	ISSUE / revision	by
2	23/02/2021	TOWN PLANNING ISSUE	YHU/JE
1	11/12/2020	TOWN PLANNING ISSUE	YHU



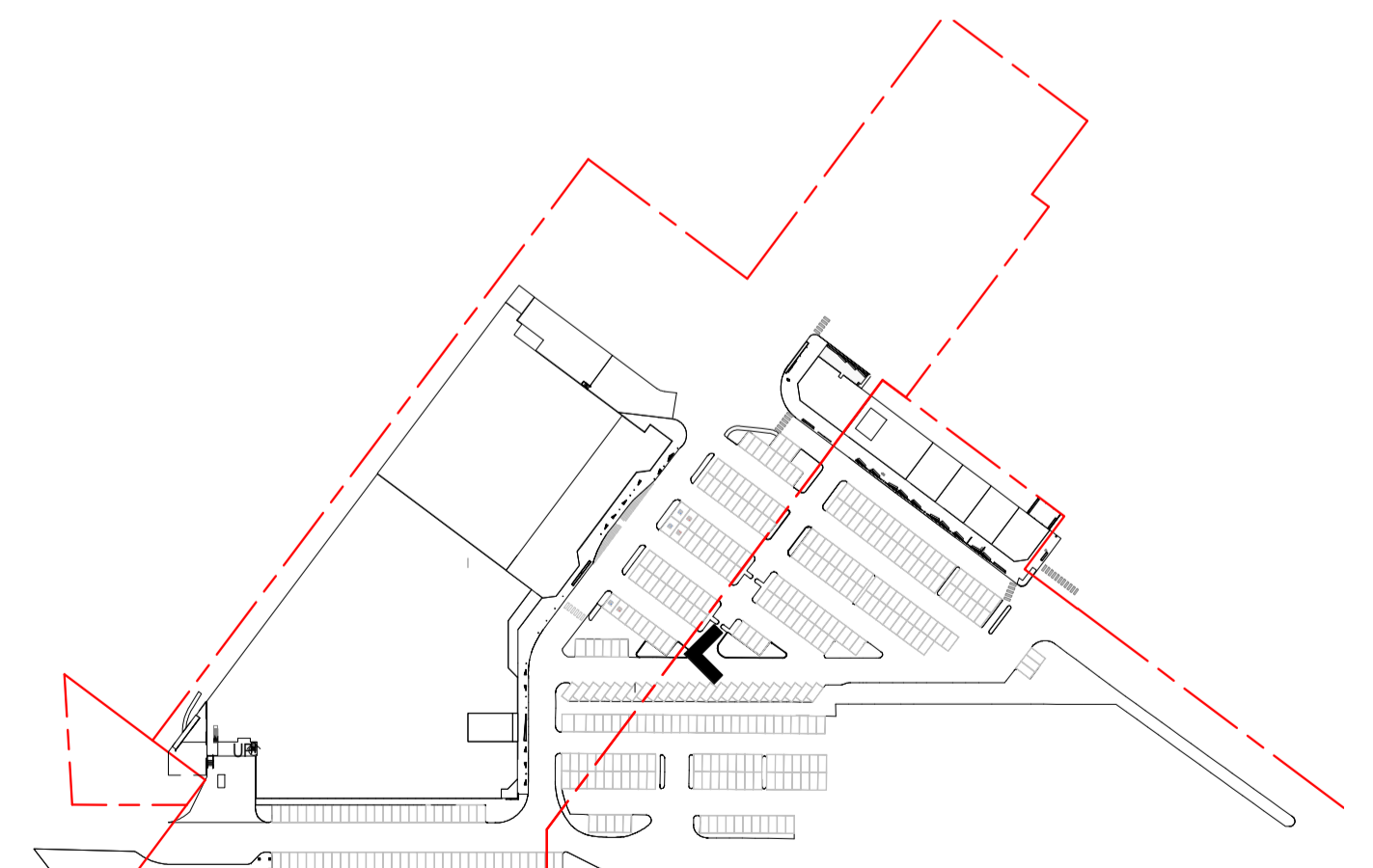
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**PROPOSED ELEVATIONS**  
 DEVELOPMENT APPLICATION

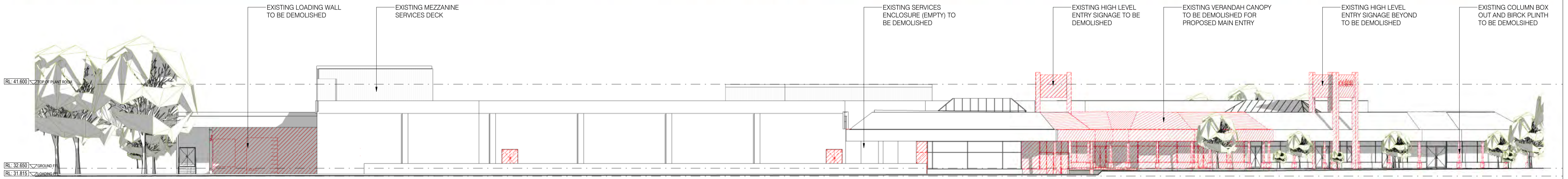
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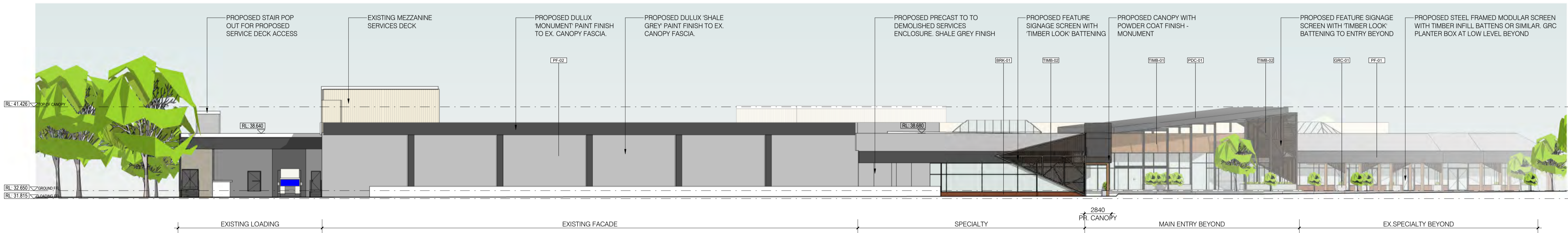
KEY PLAN

project	drawing no.	issue
2020-259	DA08	2
designed YHU	checked AHA	





**SOUTH ELEVATION - DEMOLITION 1 : 200**



**PROPOSED SOUTH ELEVATION 1 : 200**

FINISHES SCHEDULE		
IMAGE	MARK	DESCRIPTION
	BRK-01	EXISTING RED BRICK
	GRC-01	GLASS FIBRE REINFORCED CONCRETE PLANTER BOX MODULE
	PDC-01	POWDERCOAT FINISH - MONUMENT
	PF-01	PAINT FINISH - DULLUX MONUMENT TO EXISTING FASCIAS

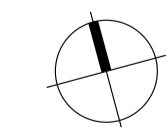
FINISHES SCHEDULE		
IMAGE	MARK	DESCRIPTION
	PF-02	PAINT FINISH - SHALE GREY TO EXISTING PRECAST CONCRETE
	TIMB-01	TIMBER LOOK PANEL SOFFIT

no.	date	ISSUE / revision	by
2	23/02/2021	TOWN PLANNING ISSUE	YHU/JE
1	11/12/2020	TOWN PLANNING ISSUE	YHU



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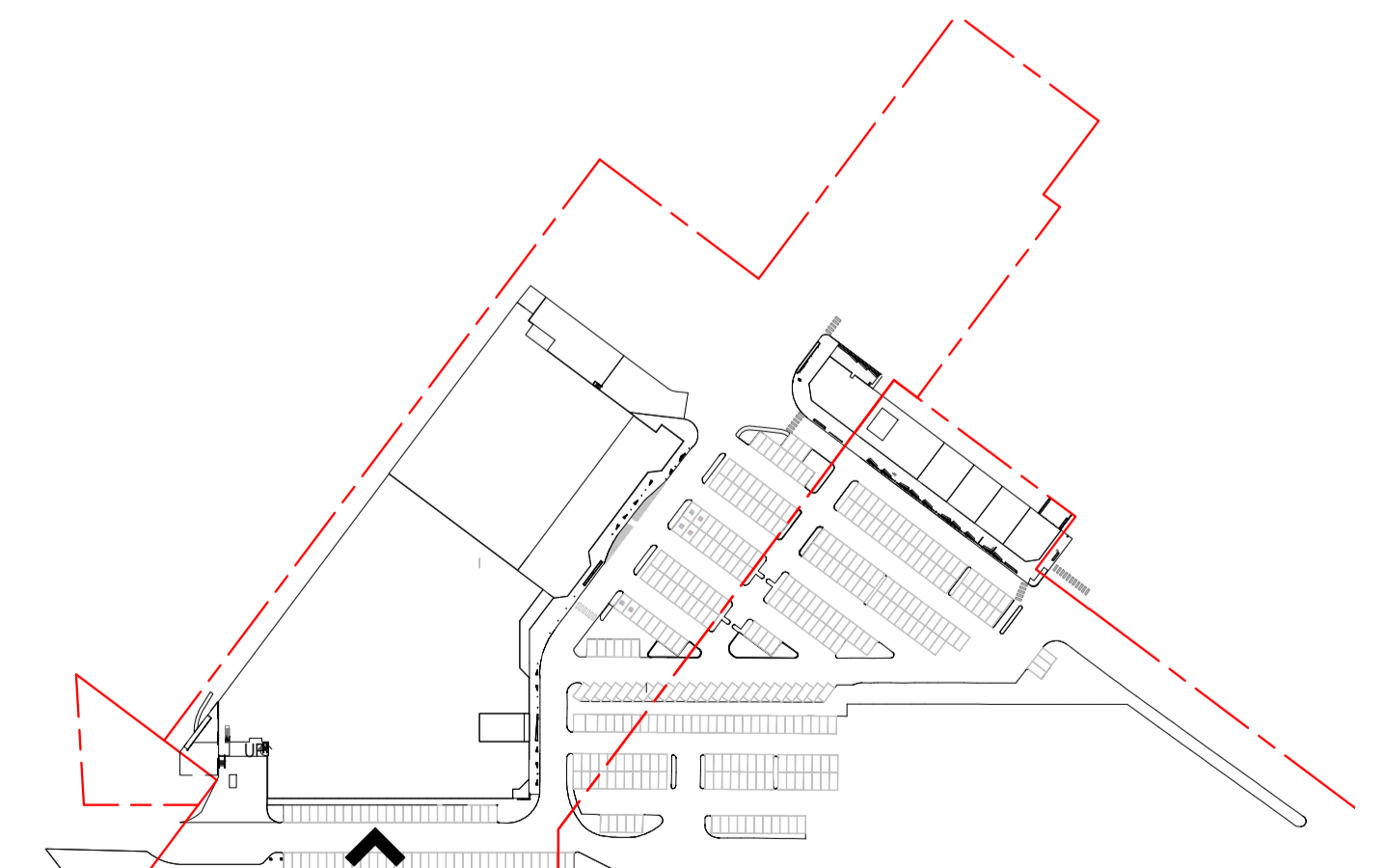
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**PROPOSED ELEVATIONS**  
 DEVELOPMENT APPLICATION

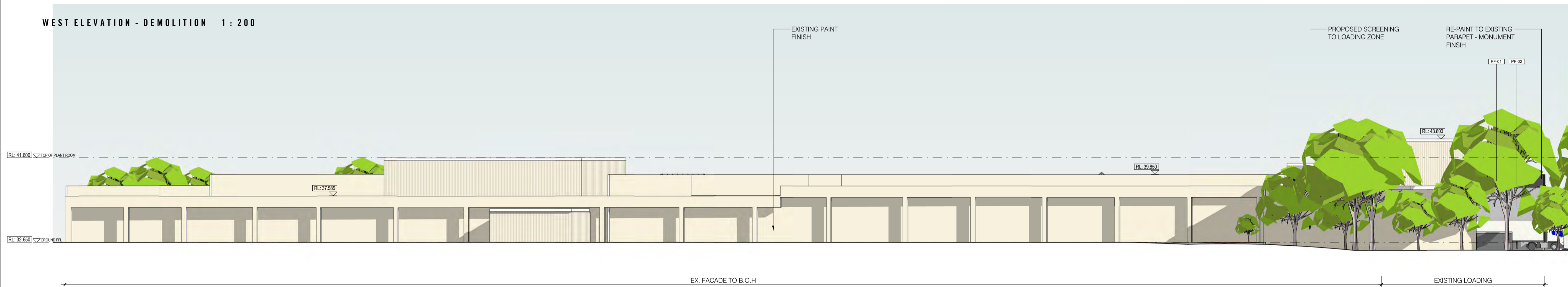
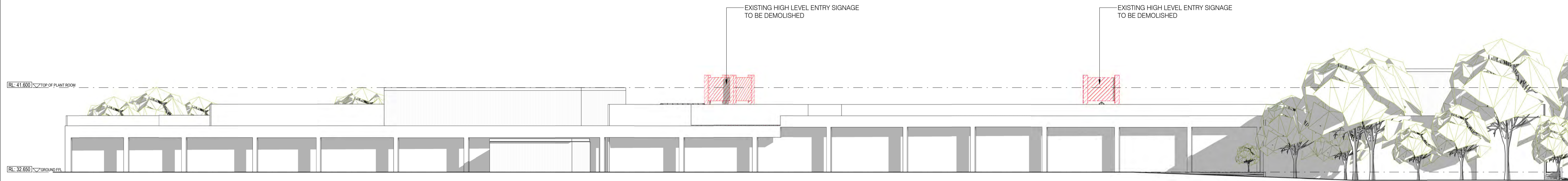
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project 2020-259	drawing no. <b>DA09</b>	issue <b>2</b>
designed YHU	checked AHA	



**KEY PLAN**





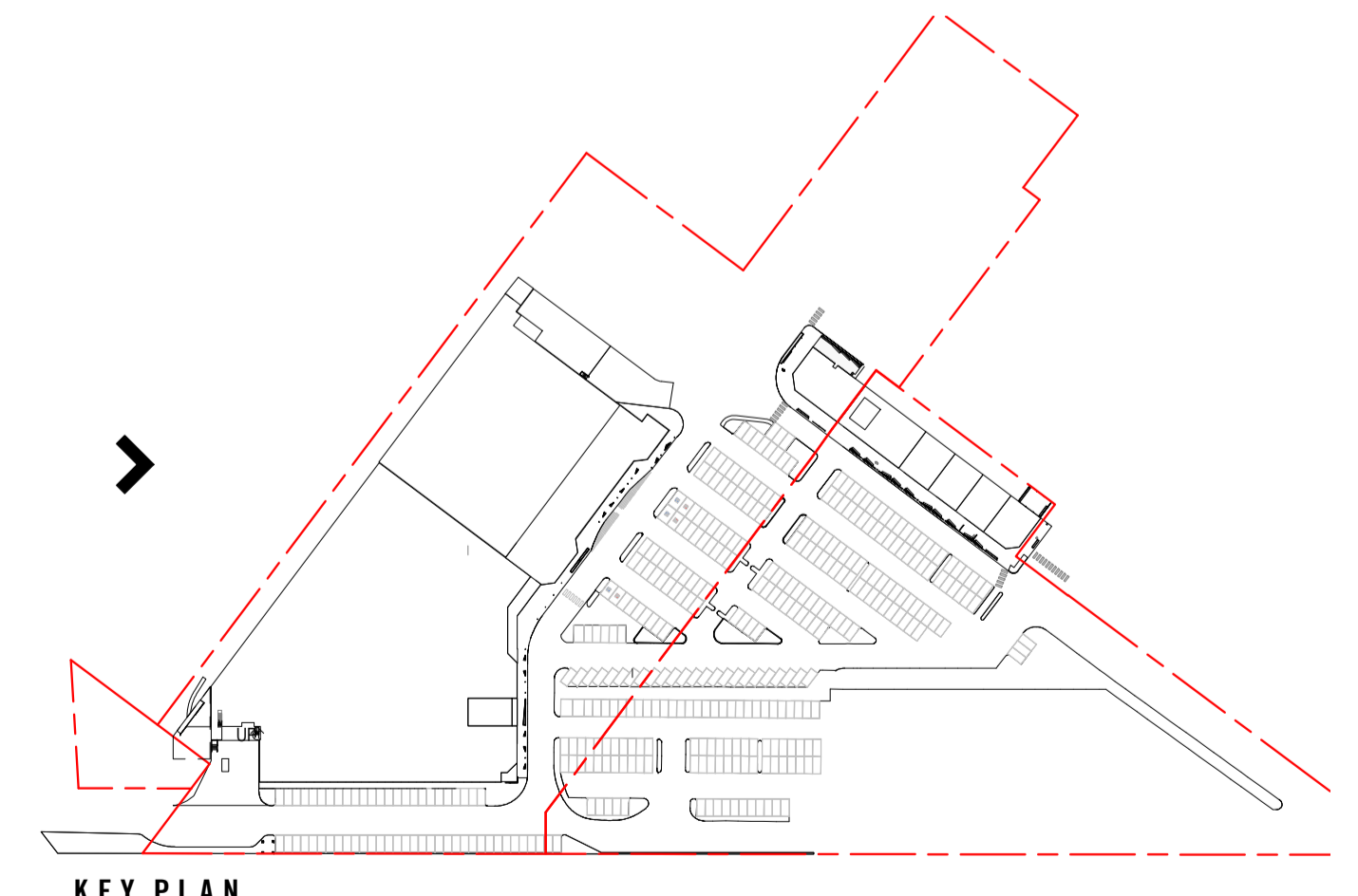
**PROPOSED WEST ELEVATION 1:200**

FINISHES SCHEDULE

IMAGE	MARK	DESCRIPTION
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	GRC-01	GLASS FIBRE REINFORCED CONCRETE PLANTER BOX MODULE
	PDC-01	POWDERCOAT FINISH - MONUMENT
	PF-01	PAINT FINISH - DULLUX MONUMENT TO EXISTING FASCIAS

FINISHES SCHEDULE

IMAGE	MARK	DESCRIPTION
	PF-02	PAINT FINISH - 'SHALE GREY' TO EXISTING PRECAST CONCRETE
	TIMB-01	TIMBER LOOK PANEL SOFFIT

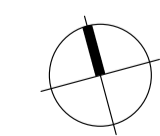


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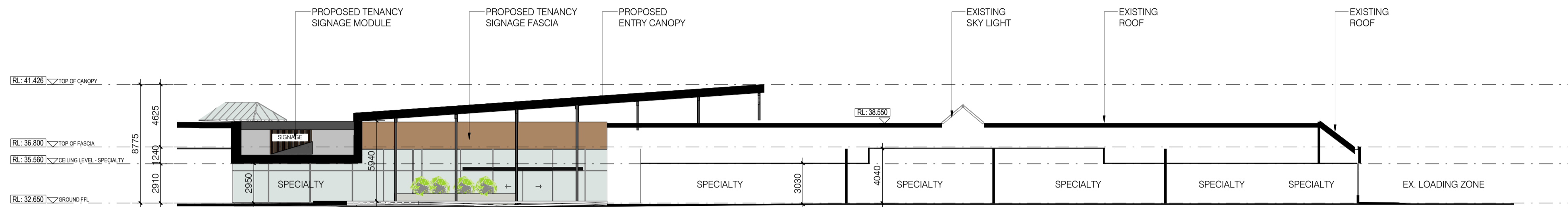
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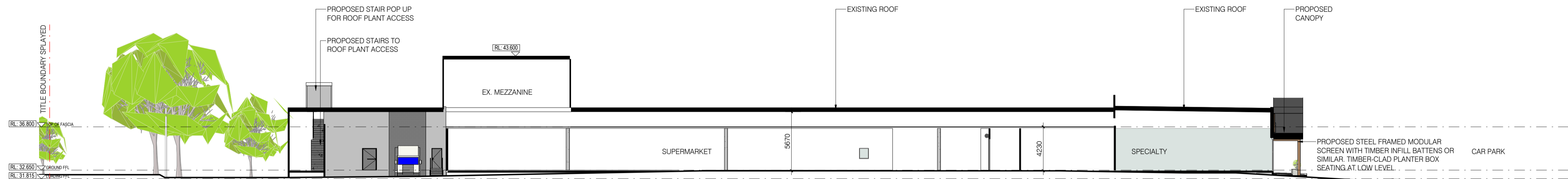
**PROPOSED ELEVATIONS**  
 DEVELOPMENT APPLICATION  
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project	2020-259	drawing no.	DA10	issue	2
designed	YHU	checked	YHU	checked	YHU
indicated					YHU

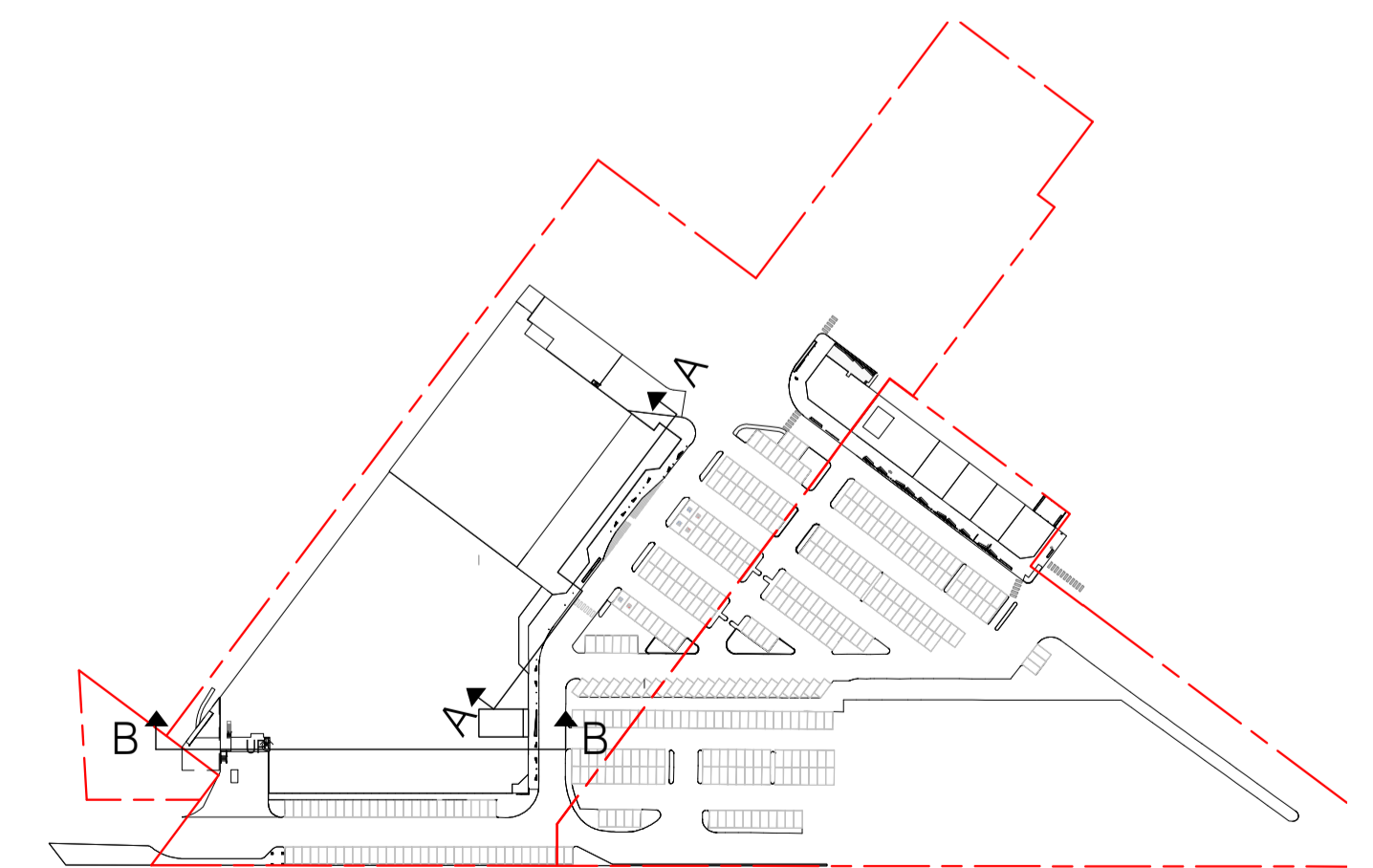




SECTION A - A 1 : 200



SECTION B - B 1 : 200



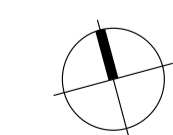
KEY PLAN

2	23/02/2021	TOWN PLANNING ISSUE	YHU/JE
1	11/12/2020	TOWN PLANNING ISSUE	YHU
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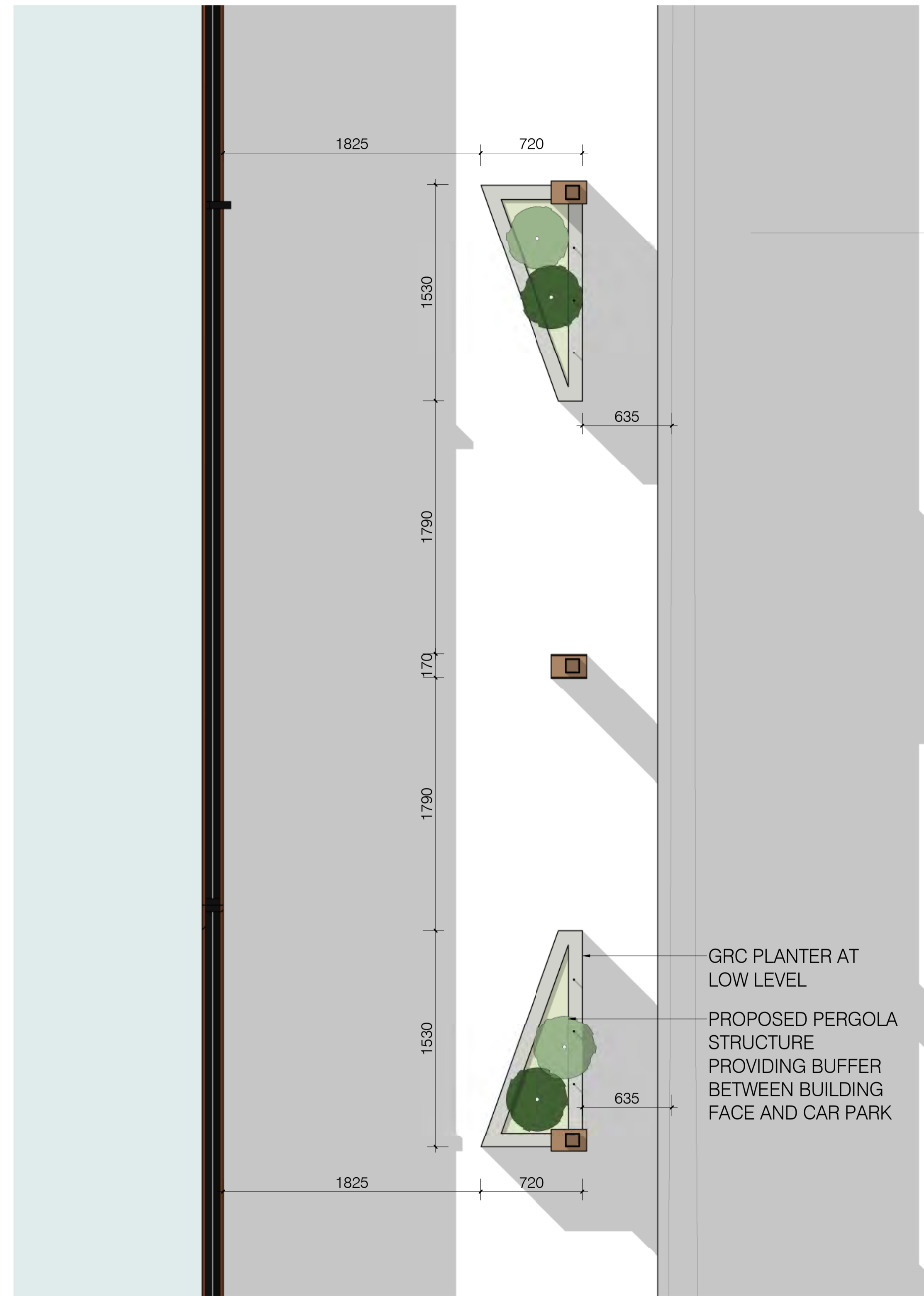


**PROPOSED SECTIONS**  
DEVELOPMENT APPLICATION

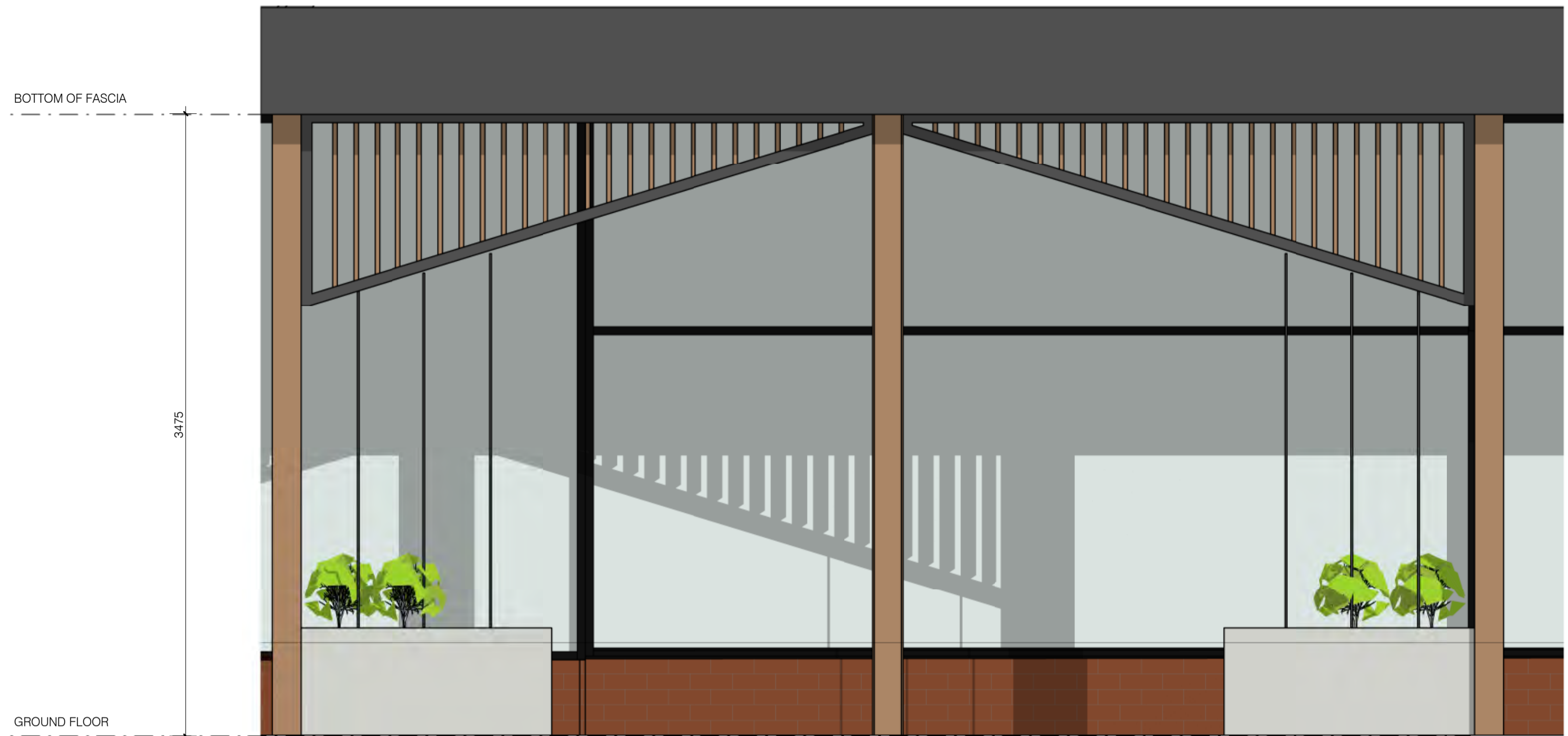
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project	2020-259	drawing no.	DA11	issue	2
designed	YHU	checked	AHA		
scale	as indicated				





PERGOLA MODULE FLOOR PLAN



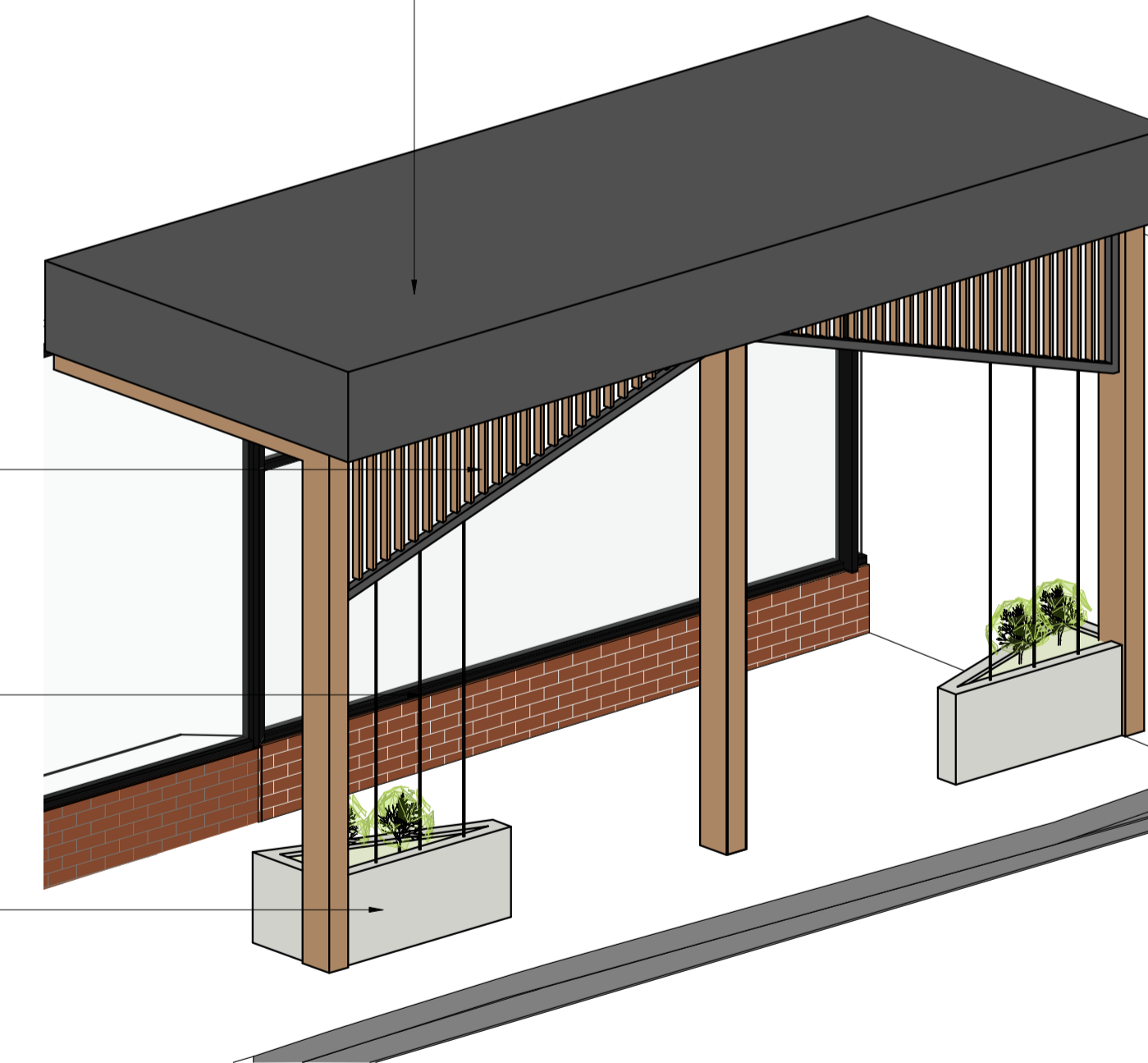
PERGOLA MODULE ELEVATION

PROPOSED CANOPY  
POWDER COAT FINISH - MONUMENT

PROPOSED STEEL FRAMED  
MODULAR SCREEN WITH TIMBER  
INFILL BATTENS OR SIMILAR.

PROPOSED STEEL CABLES TO  
SUPPORT CREEPER VINES  
FROM PLANTER BOX BELOW.

GRC PLANTER BOX AT LOW LEVEL.



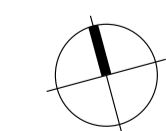
PERGOLA AXO

no.	date	ISSUE / revision	by
2	23/02/2021	TOWN PLANNING ISSUE	YHU/TE
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**PERGOLA MODULES**  
DEVELOPMENT APPLICATION

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project 2020-259	drawing no. <b>DA12</b>	issue <b>2</b>
scale @ A1 1 : 20	designed YHU	checked Checker





PROPOSED CENTRE ENTRY



PROPOSED CENTRE ENTRY

no.	date	ISSUE / revision	by
2	23/02/2021	TOWN PLANNING ISSUE	YHJ/E
1	11/12/2020	TOWN PLANNING ISSUE	YHJ



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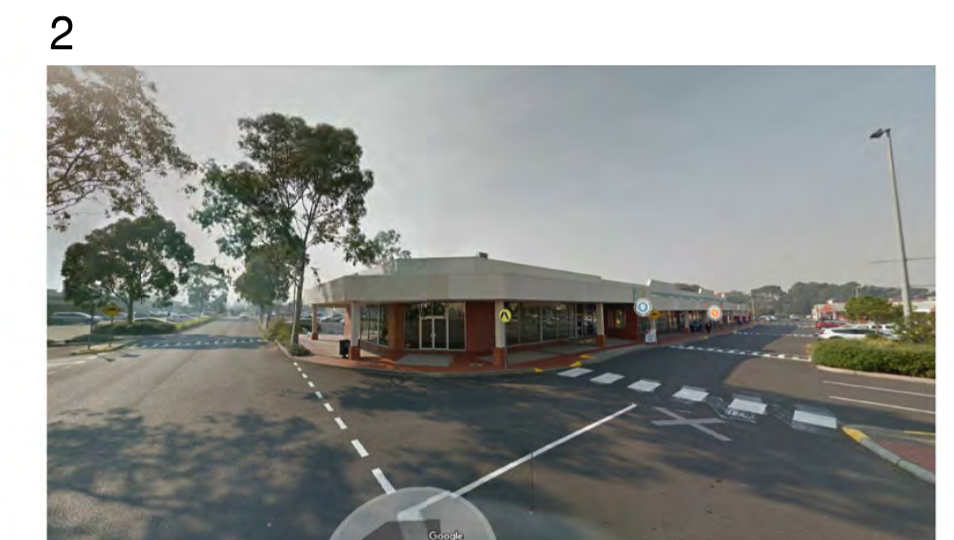
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**PERSPECTIVES**

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2020-259	DA13	2
scale @ A1	designed YHU	checked AHA





- SITE
- CHILD CARE
- PARKLAND/RECREATION
- INDUSTRIAL
- COMMUNITY
- SUPERMARKET

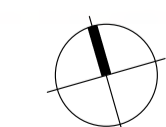
OFFICER  
8 km  
MELBOURNE  
60 km

1	11/12/20	TOWN PLANNING ISSUE	YHJ
no.	date	ISSUE / revision	by



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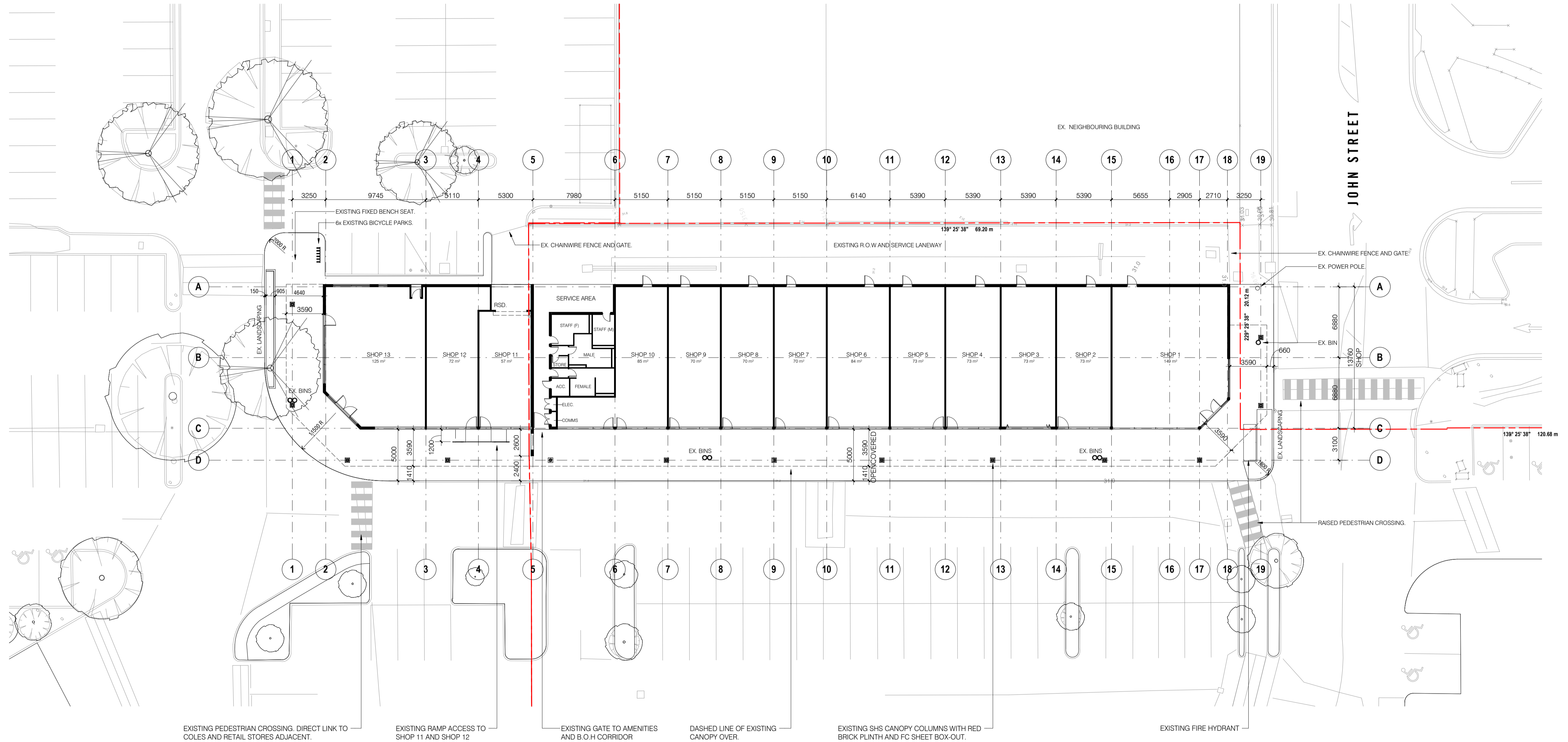
**CONTEXT PLAN**

DEVELOPMENT APPLICATION

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project 2020-259	drawing no. <b>DA01</b>	issue <b>1</b>
scale @ A1 1 : 2000	designed ND/YH	checked AHA





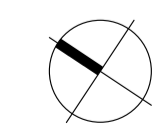
EXISTING PEDESTRIAN CROSSING. DIRECT LINK TO COLES AND RETAIL STORES ADJACENT.      EXISTING RAMP ACCESS TO SHOP 11 AND SHOP 12      EXISTING GATE TO AMENITIES AND B.O.H CORRIDOR      DASHED LINE OF EXISTING CANOPY OVER.      EXISTING SHS CANOPY COLUMNS WITH RED BRICK PLINTH AND FC SHEET BOX-OUT.      EXISTING FIRE HYDRANT

no.	date	ISSUE / revision	by
1	11/12/20	TOWN PLANNING ISSUE	YHJ



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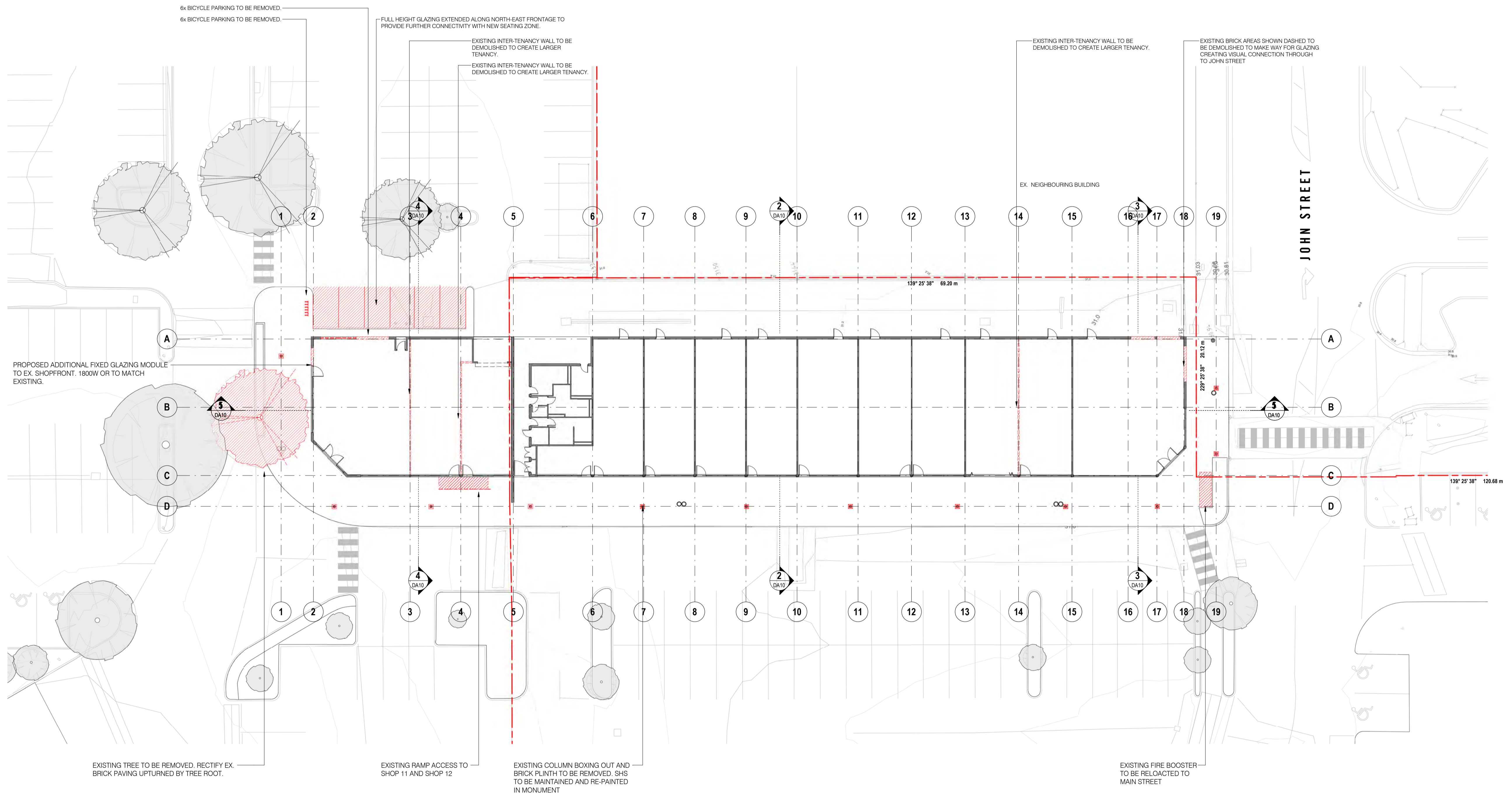


**EXISTING CONDITIONS PLAN**  
DEVELOPMENT APPLICATION

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project	drawing no.	issue
2020-259	DA02	1
scale @ A1	designed	checked
1 : 200	ND/YH	AHA



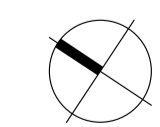


no.	date	ISSUE / revision	by
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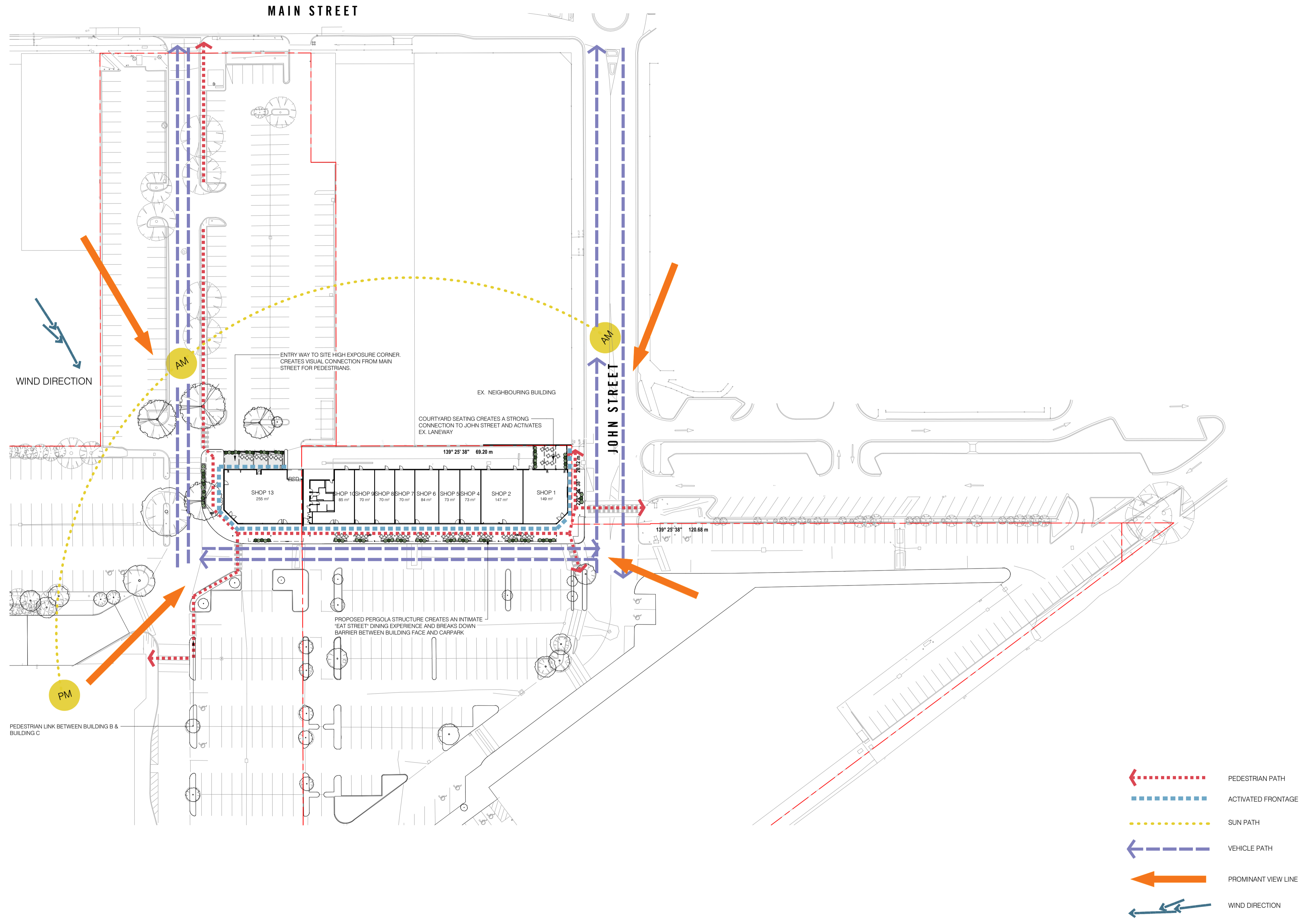


**DEMOLITION PLAN**

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project	drawing no.	issue
2020-259	DA03	1
scale @ A1	designed	checked
1 : 200	ND/YH	AHA



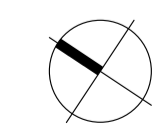


no.	date	ISSUE / revision	by
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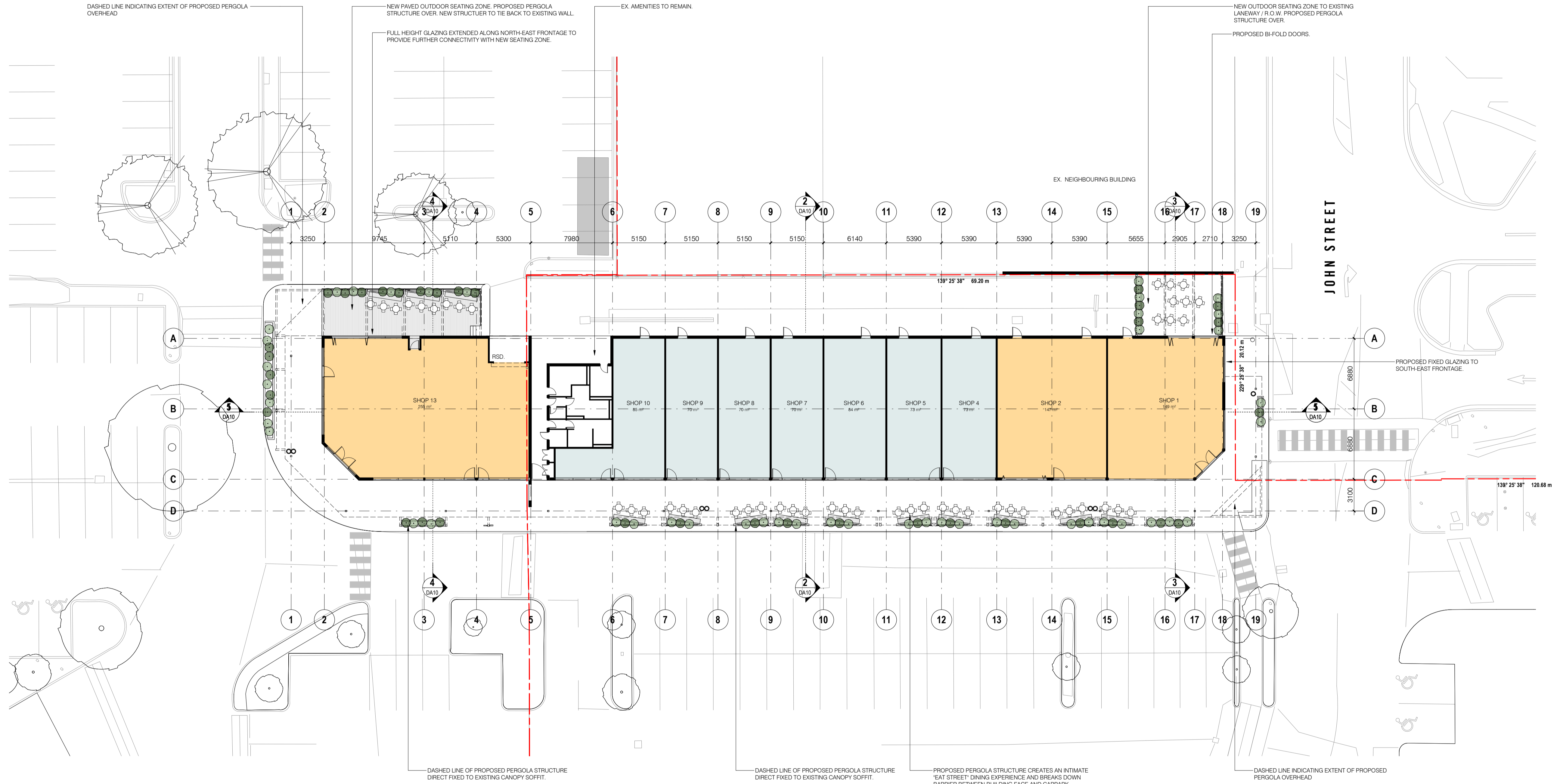


**SITE ANALYSIS / DESIGN RESPONSE**

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project	drawing no.	issue
2020-259	DA04	1
scale @ A1	designed	checked
1 : 500	ND/YH	AHA





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1	11/12/20	TOWN PLANNING ISSUE	YHJ



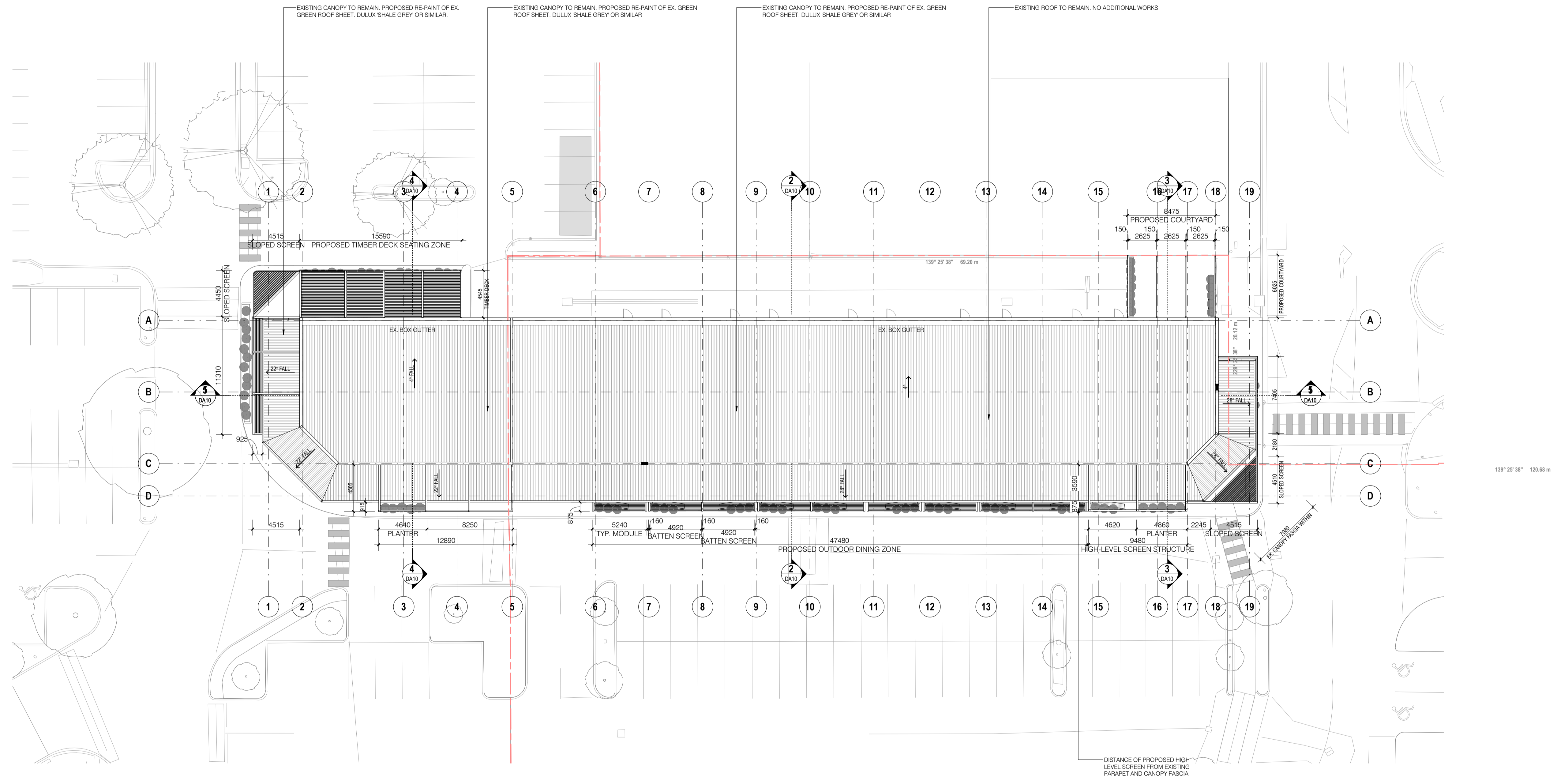
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**PROPOSED GROUND FLOOR PLAN**  
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project	drawing no.	issue
2020-259	DA05	1
scale @ A1	designed	checked
1 : 200	ND/YH	AHA



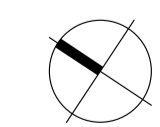


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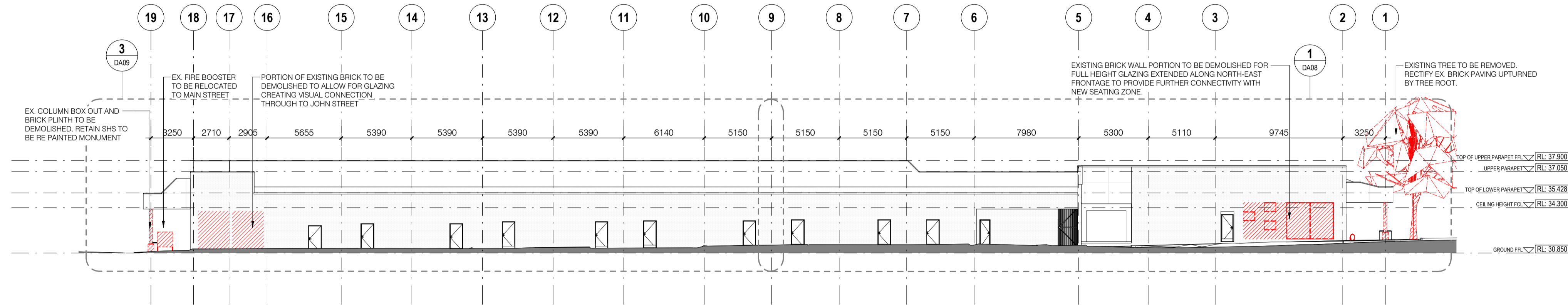
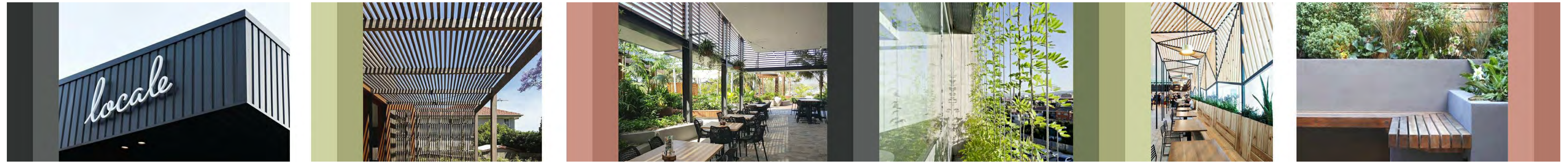


**PROPOSED ROOF PLAN**  
DEVELOPMENT APPLICATION

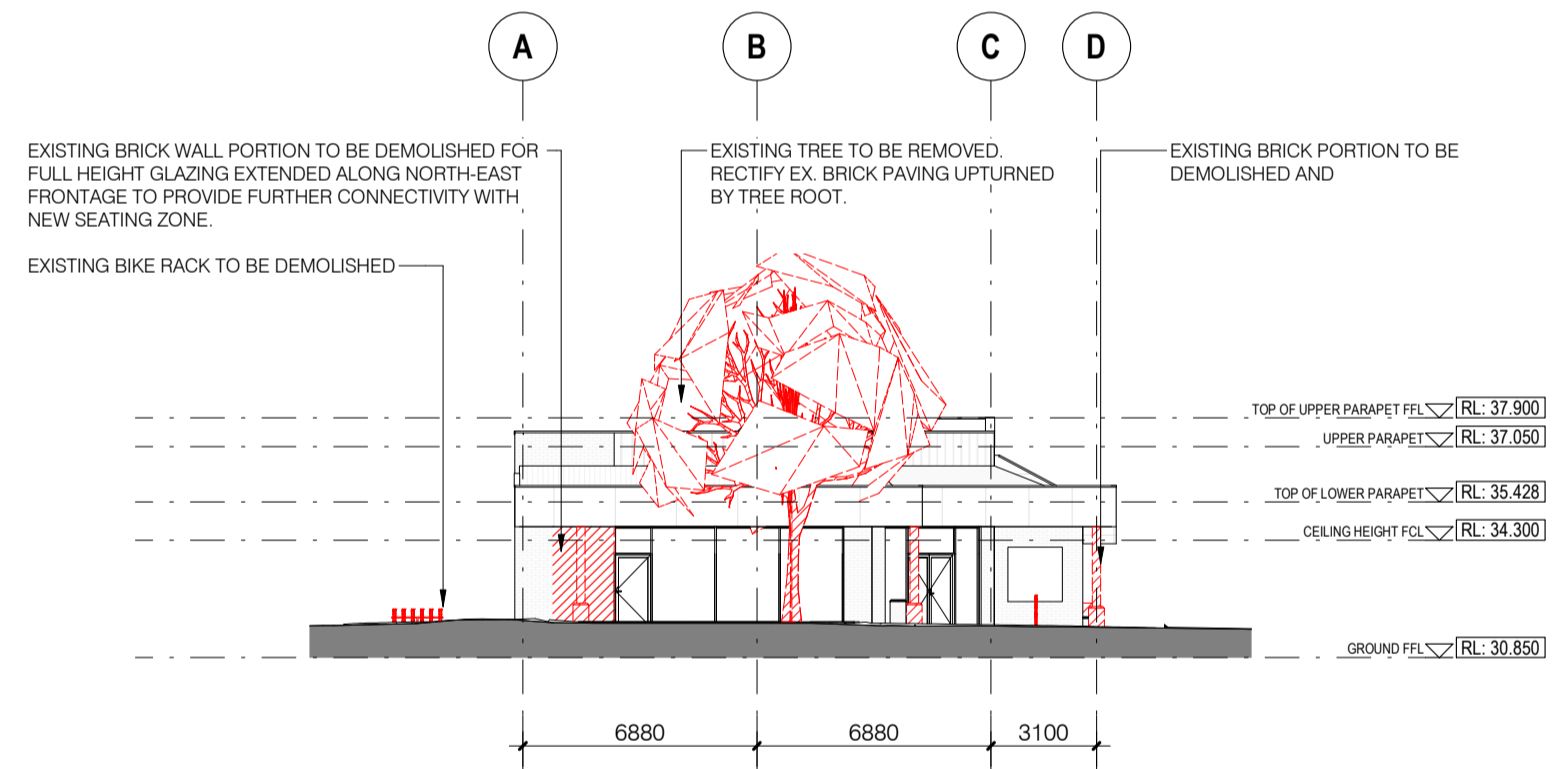
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project	drawing no.	issue
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1 : 200	ND/YH	AHA

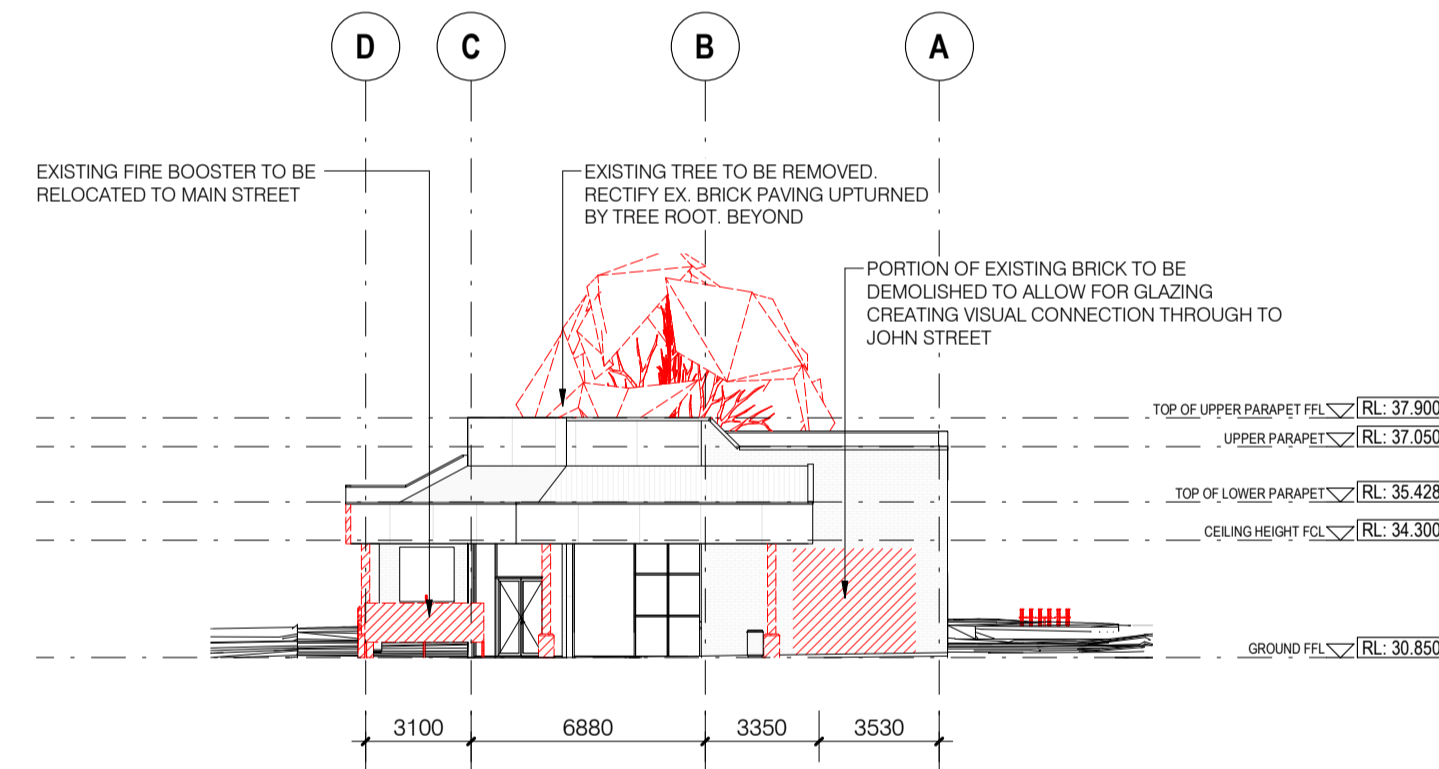




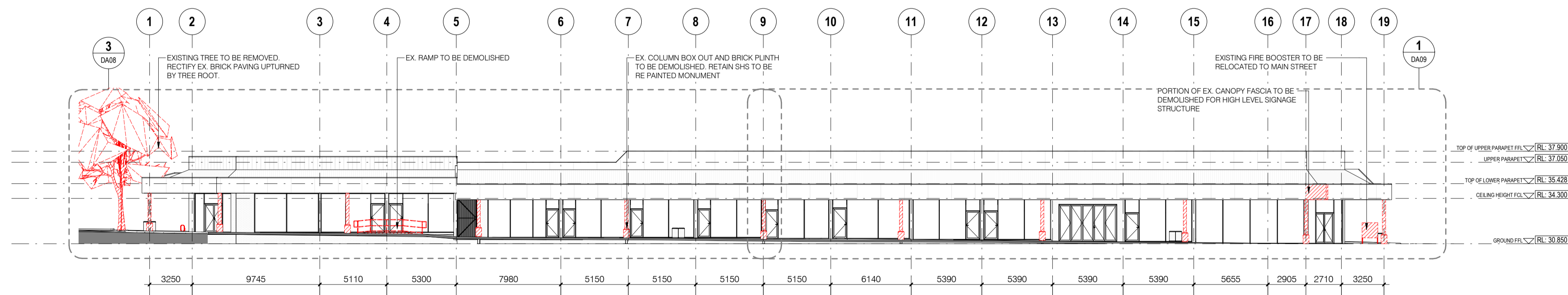
EX. & DEMOLITION NORTH-EAST ELEVATION



EX. & DEMOLITION NORTH-WEST ELEVATION



EX. & DEMOLITION SOUTH-EAST ELEVATION



EX. & DEMOLITION SOUTH-WEST ELEVATION

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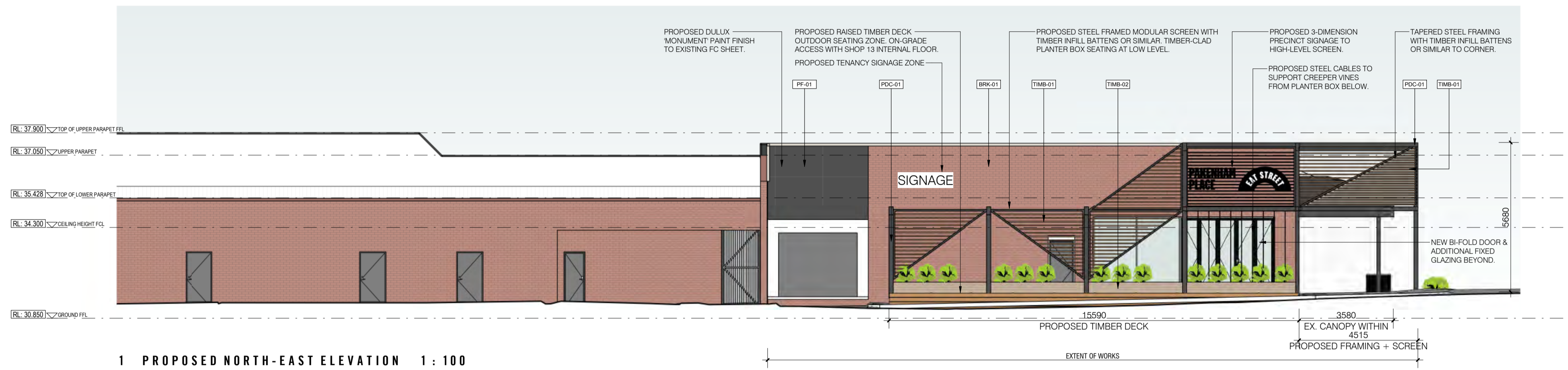
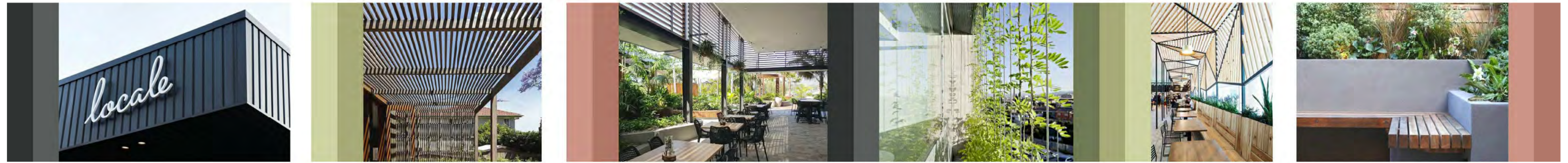
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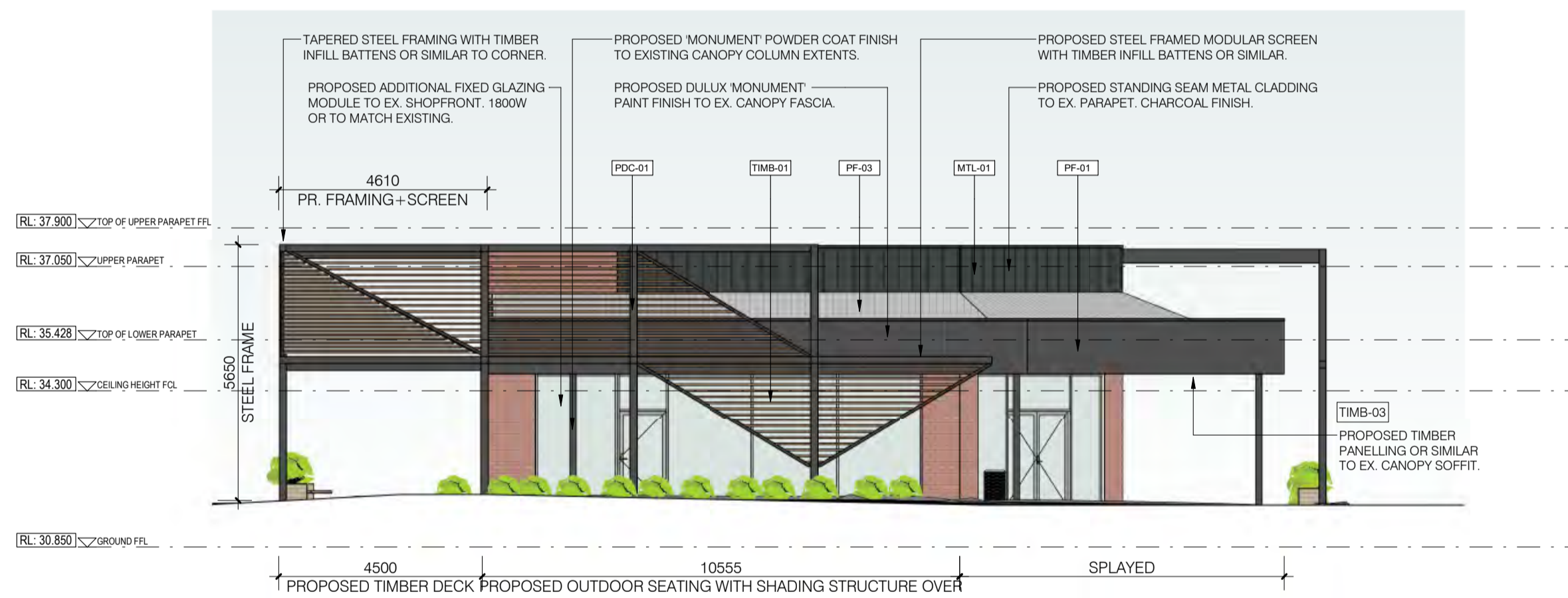
**EXISTING & DEMOLITION ELEVATIONS**  
DEVELOPMENT APPLICATION  
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project	2020-259	drawing no.	DA07	issue	1
scale	@ A1	designed	ND/YH	checked	AHA
	1 : 200				





1 PROPOSED NORTH-EAST ELEVATION 1 : 100

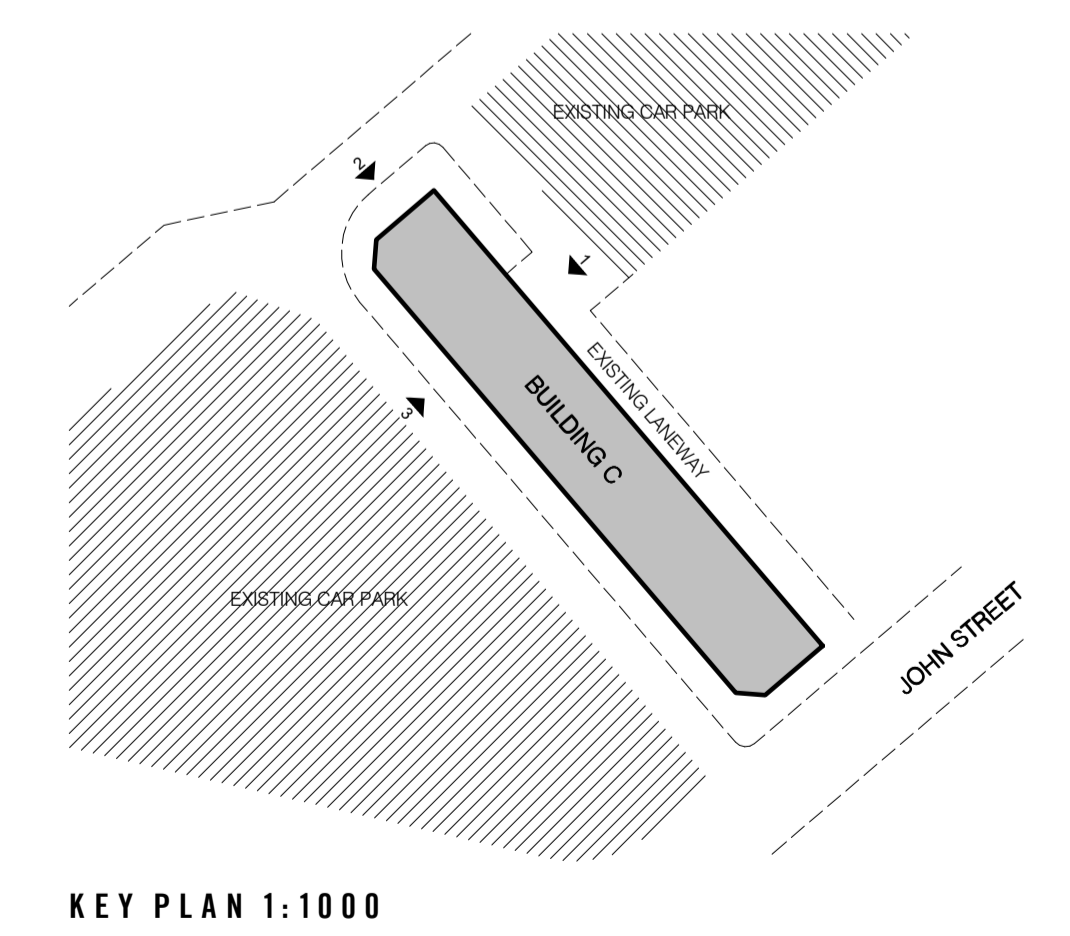


2 PROPOSED NORTH-WEST ELEVATION 1 : 100



3 PROPOSED SOUTH-WEST ELEVATION 1 : 100

FINISHES SCHEDULE	
TAG	DESCRIPTION
BRK-01	EXISTING RED BRICK
FC-01	TIMBER GRAIN FIBRE CEMENT SHEET TO SOFFIT LINING
GRC-01	GLASSFIBRE REINFORCED CONCRETE PLANTER BOX SEATING MODULES
MTL-01	STANDING SEAM METAL CLADDING - CHARCOAL FINISH
PDC-01	POWDERCOAT FINISH - MONUMENT
PF-01	PAINT FINISH ON EX. FC SHEET - DULUX 'MONUMENT'
PF-02	PAINT FINISH ON EX. FC SHEET - DULUX 'VIVID WHITE'
PF-03	PAINT FINISH ON EX. CANOPY ROOF SHEET - DULUX 'SHALE GREY'
TIMB-01	TIMBER BATTENS OR SIMILARLY APPROVED
TIMB-02	TIMBER BOARD CLADDING OR SIMILARLY APPROVED
TIMB-03	TIMBER PANEL SOFFIT LINING OR SIMILARLY APPROVED



KEY PLAN 1:1000

no.	date	ISSUE / revision	by
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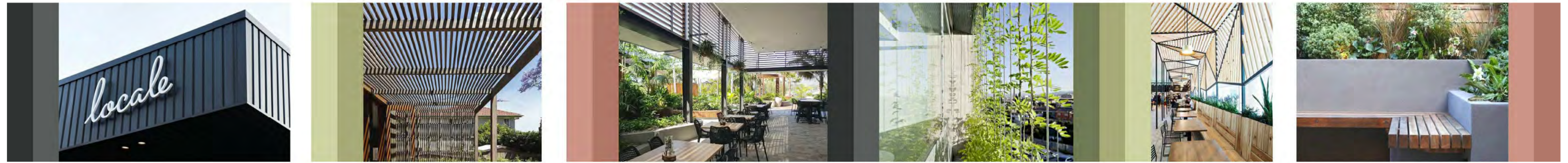
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**PROPOSED ELEVATIONS**  
DEVELOPMENT APPLICATION

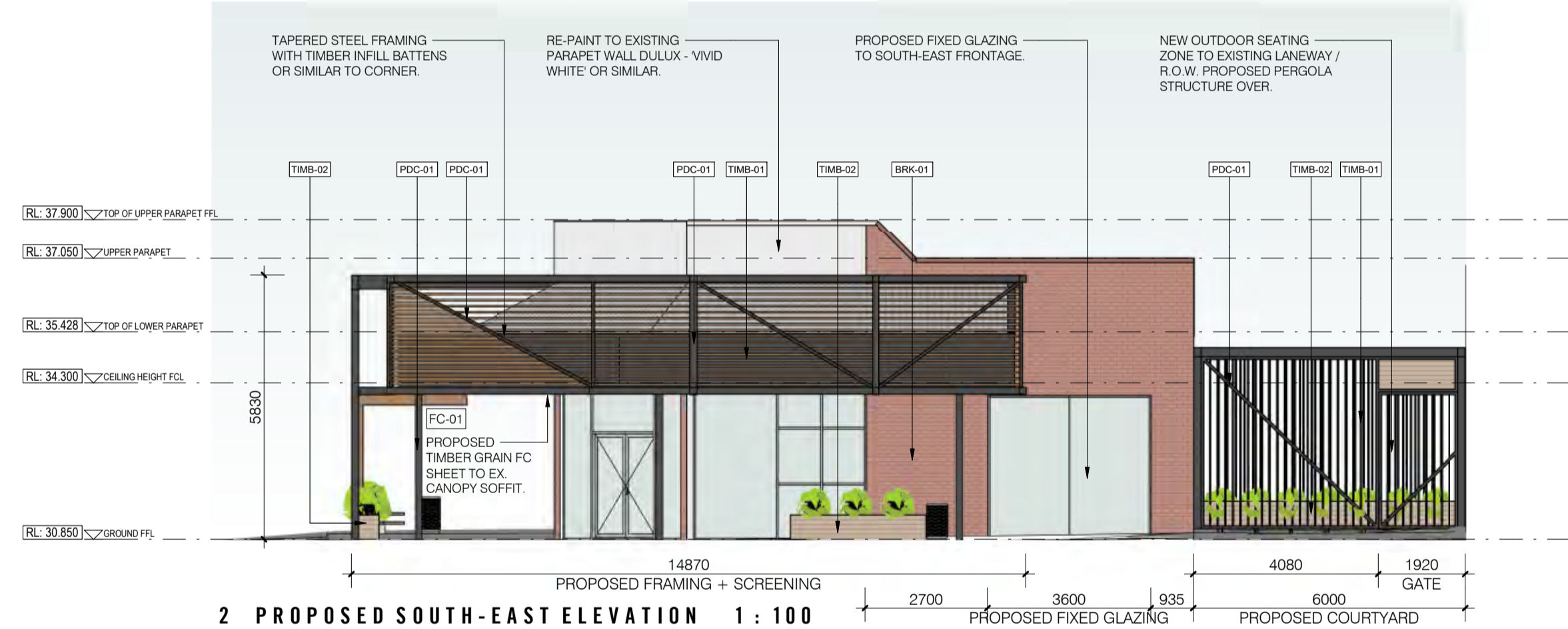
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project	drawing no.	issue
2020-259	DA08	1
scale	designed	checked
1 : 100	ND/YH	AHA

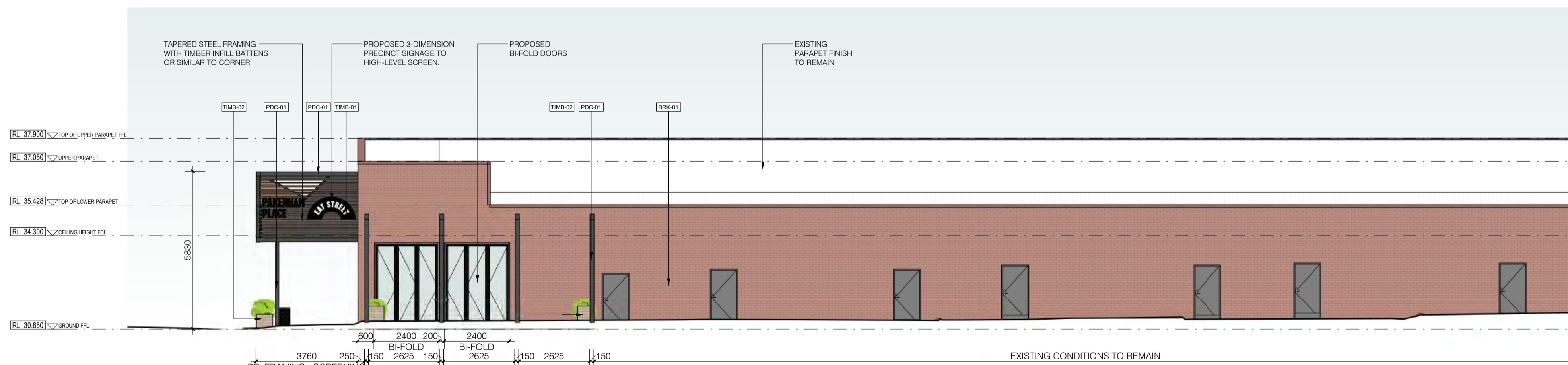




1 PROPOSED SOUTH-WEST ELEVATION 1 : 100

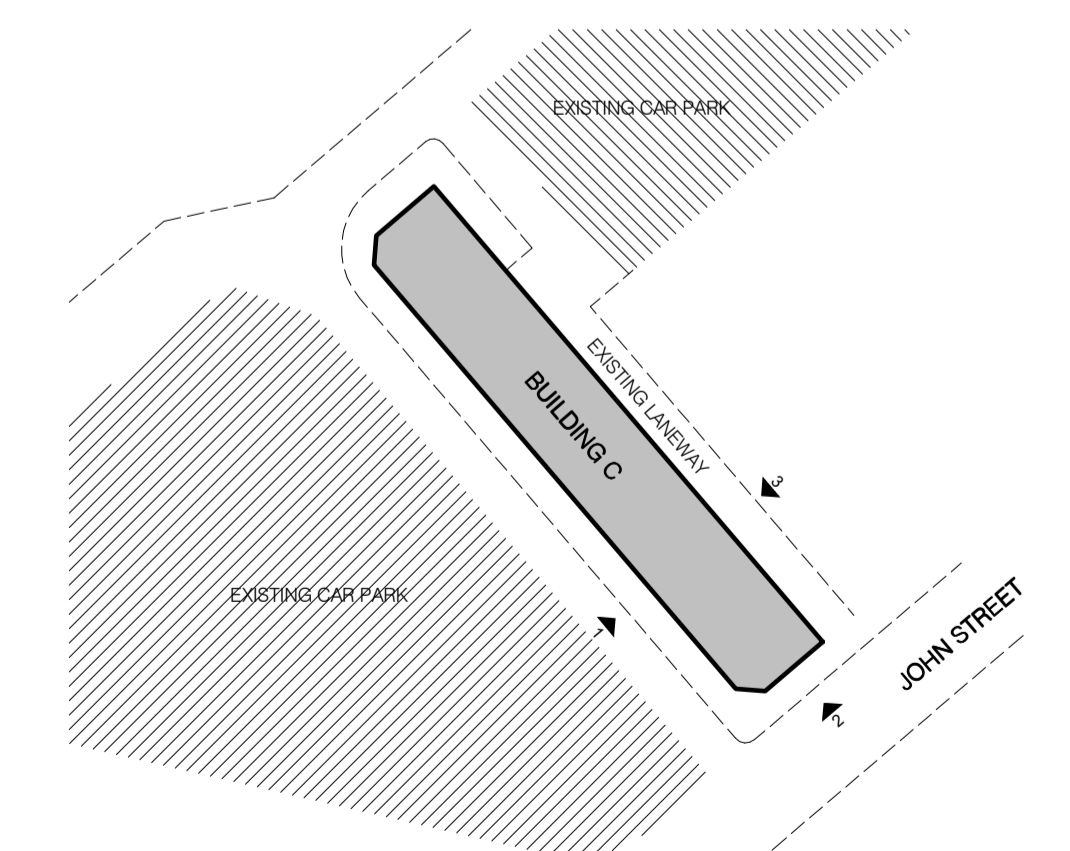


2 PROPOSED SOUTH-EAST ELEVATION 1 : 100



3 PROPOSED NORTH-EAST ELEVATION 1 : 100

FINISHES SCHEDULE	
TAG	DESCRIPTION
BRK-01	EXISTING RED BRICK
FC-01	TIMBER GRAIN FIBRE CEMENT SHEET TO SOFFIT LINING
GRC-01	GLASSFIBRE REINFORCED CONCRETE PLANTER BOX SEATING MODULES
MTL-01	STANDING SEAM METAL CLADDING - CHARCOAL FINISH
PDC-01	POWDERCOAT FINISH - MONUMENT
PF-01	PAINT FINISH ON EX. FC SHEET - DULUX MONUMENT
PF-02	PAINT FINISH ON EX. FC SHEET - DULUX VIVID WHITE
PF-03	PAINT FINISH ON EX. CANOPY ROOF SHEET - DULUX SHALE GREY
TIMB-01	TIMBER BATTENS OR SIMILARLY APPROVED
TIMB-02	TIMBER BOARD CLADDING OR SIMILARLY APPROVED
TIMB-03	TIMBER PANEL SOFFIT LINING OR SIMILARLY APPROVED



KEY PLAN 1:1000

1	11/1/20	TOWN PLANNING ISSUE	YHJ
no.	date	ISSUE / revision	by



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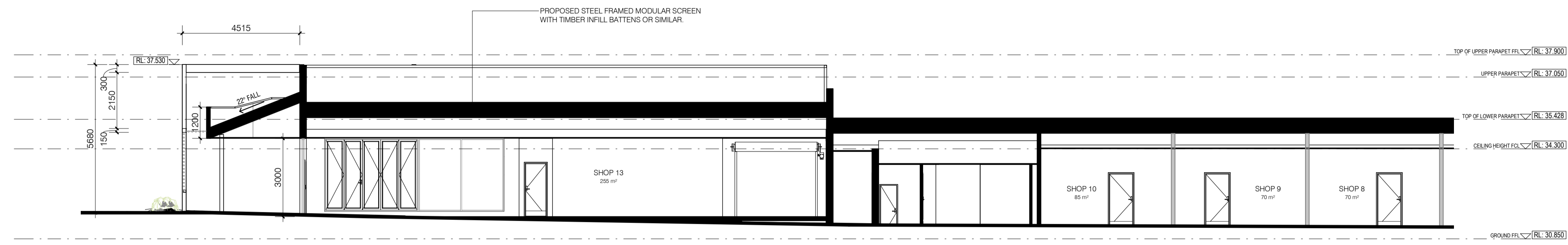
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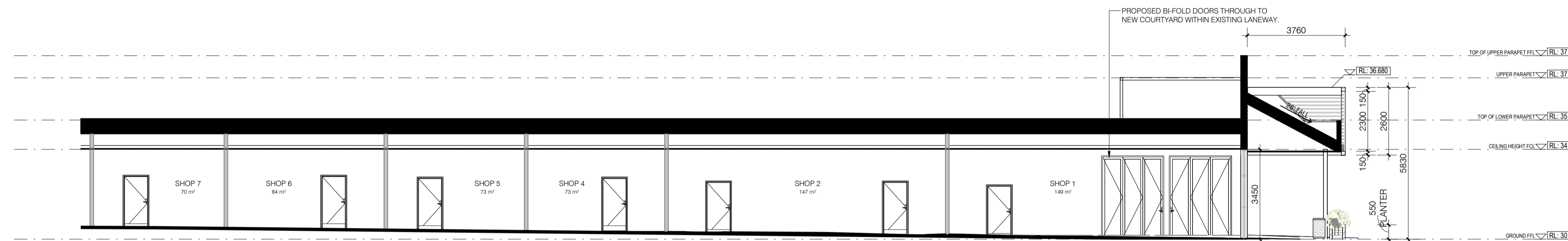
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project	2020-259	drawing no.	DA09	issue	1
scale	@ A1	designed	ND/YH	checked	AHA
	1 : 100				

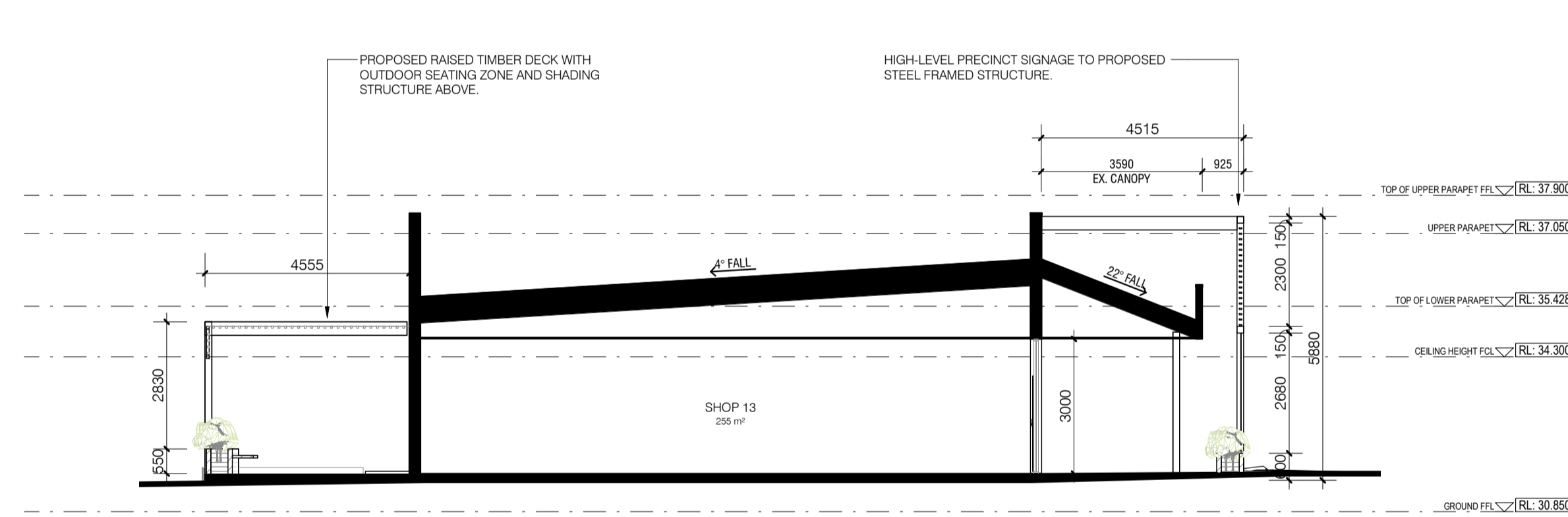




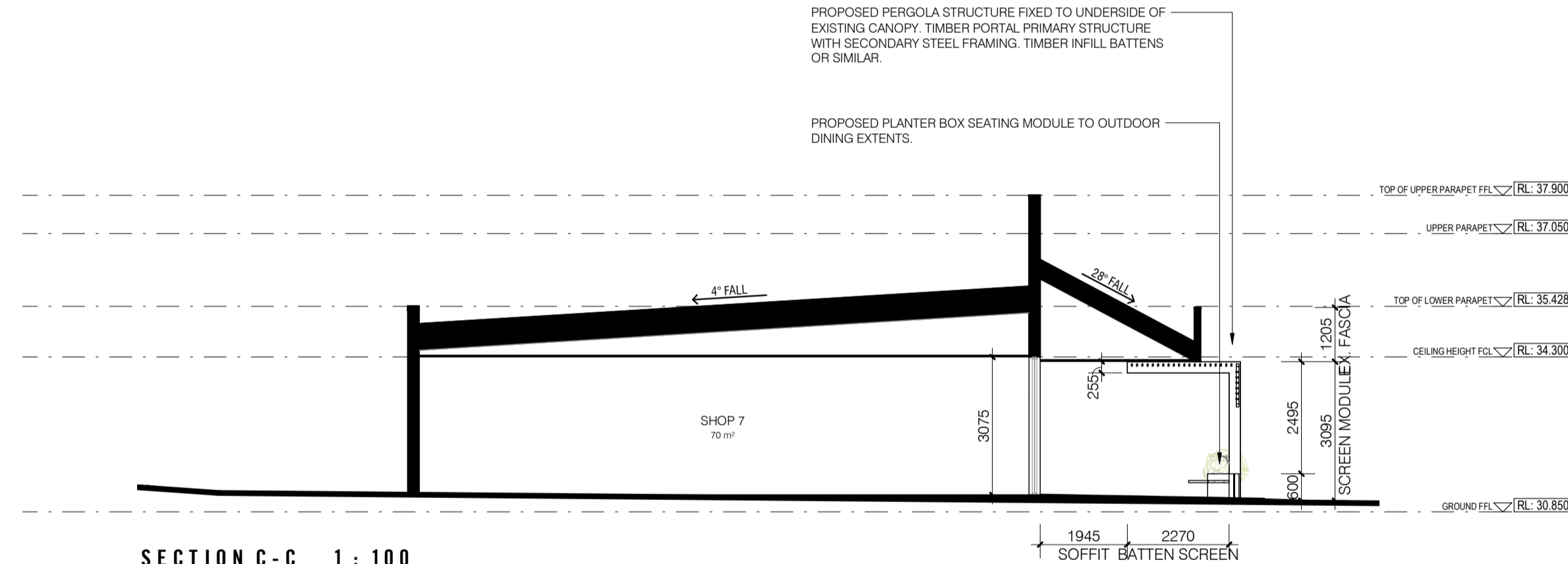
SECTION A-A - NORTH 1 : 100



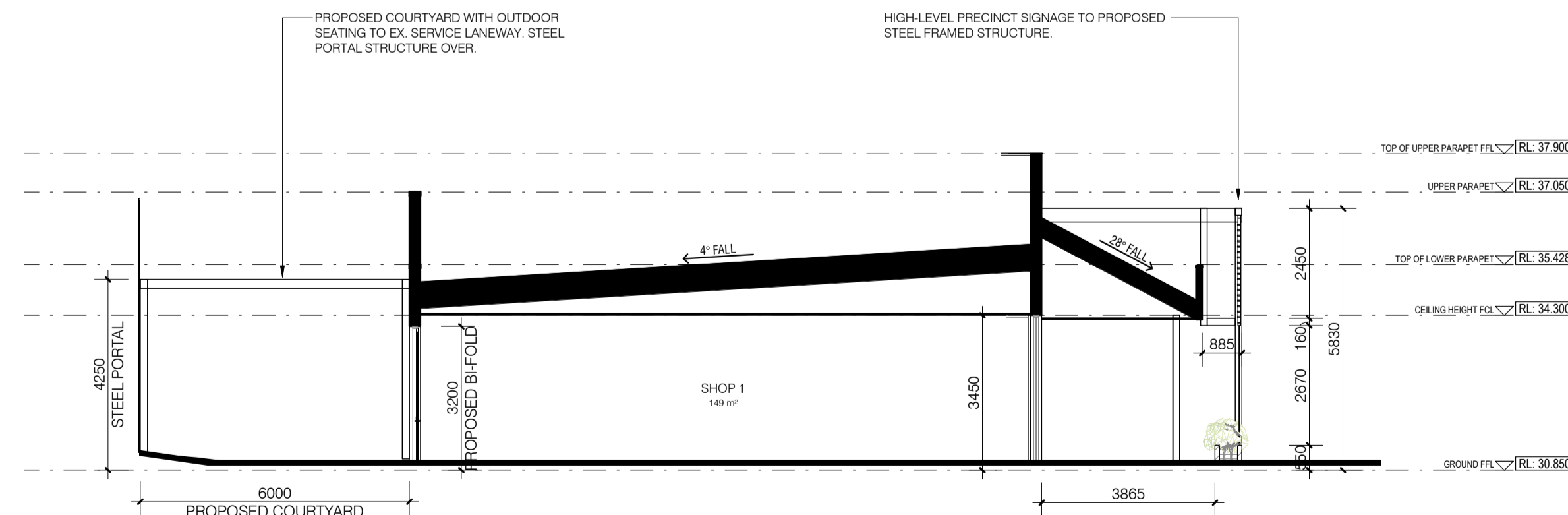
SECTION A-A - SOUTH 1 : 100



SECTION B-B 1 : 100



SECTION C-C 1 : 100



SECTION D-D 1 : 100

no.	date	ISSUE / revision	by
1	11/12/20	TOWN PLANNING ISSUE	YHJ



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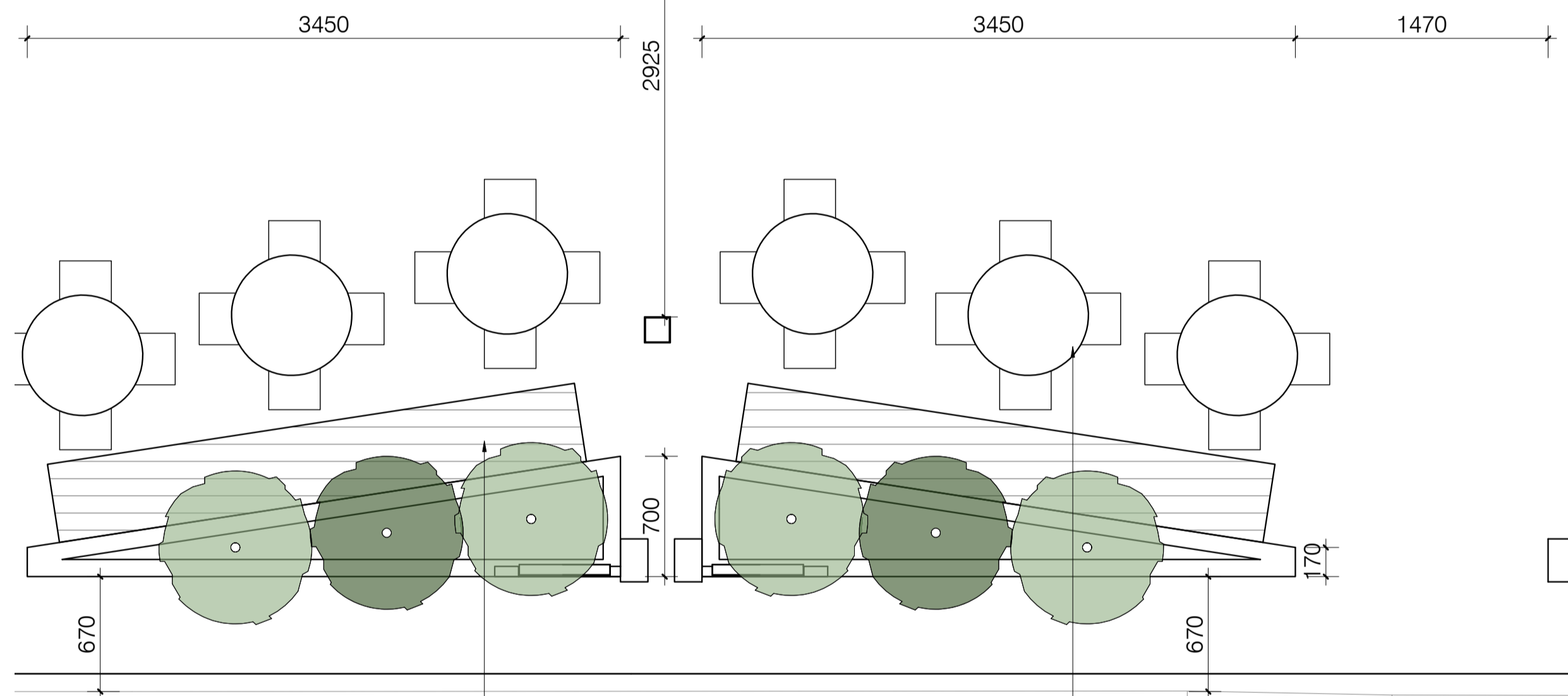
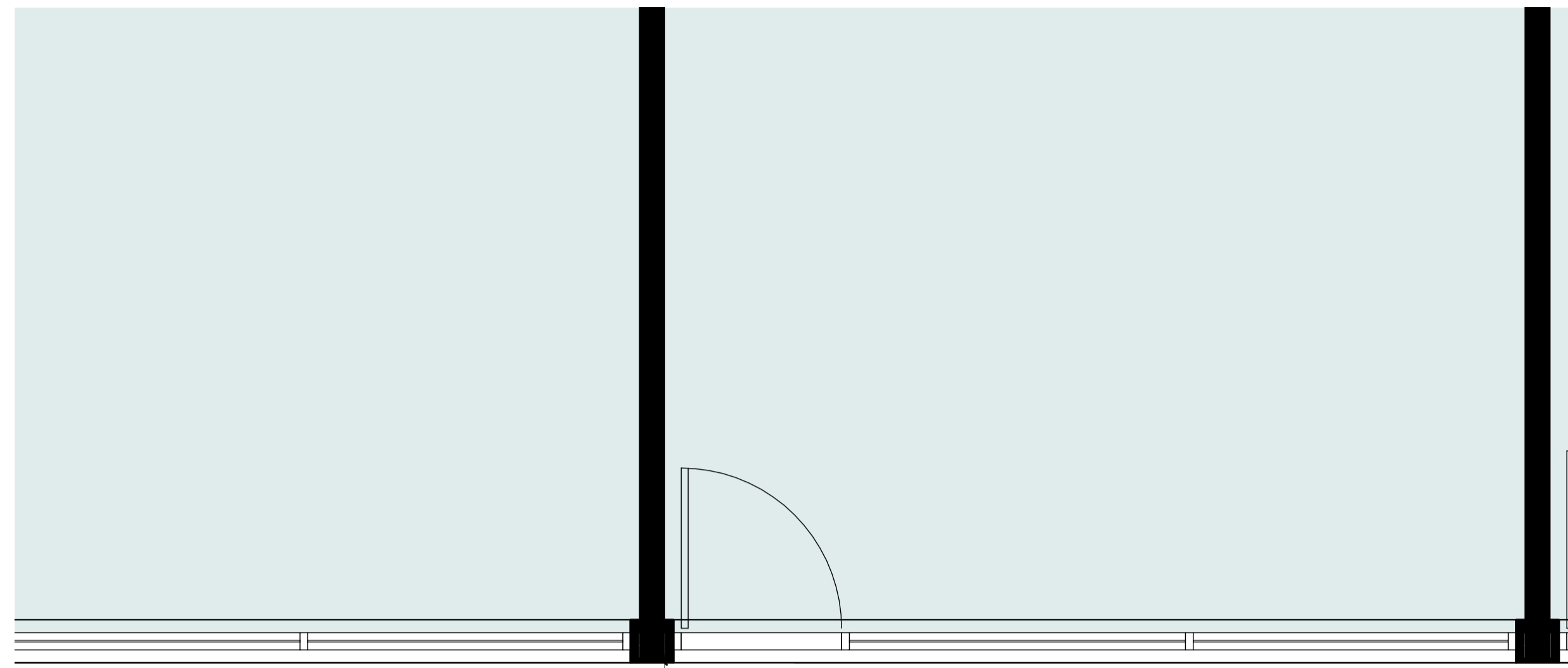
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project	drawing no.	issue
2020-259	DA10	1
scale @ A1	designed	checked
1 : 100	ND/YH	AHA





GRC PLANTER WITH 'TIMBER LOOK' SEATING

PROPOSED PERGOLA STRUCTURE CREATES AN INTIMATE 'EAT STREET' DINING EXPERIENCE AND BREAKS DOWN BARRIER BETWEEN BUILDING FACE AND CARPARK

PERGOLA MODULE FLOOR PLAN

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no.	date	ISSUE / revision	by



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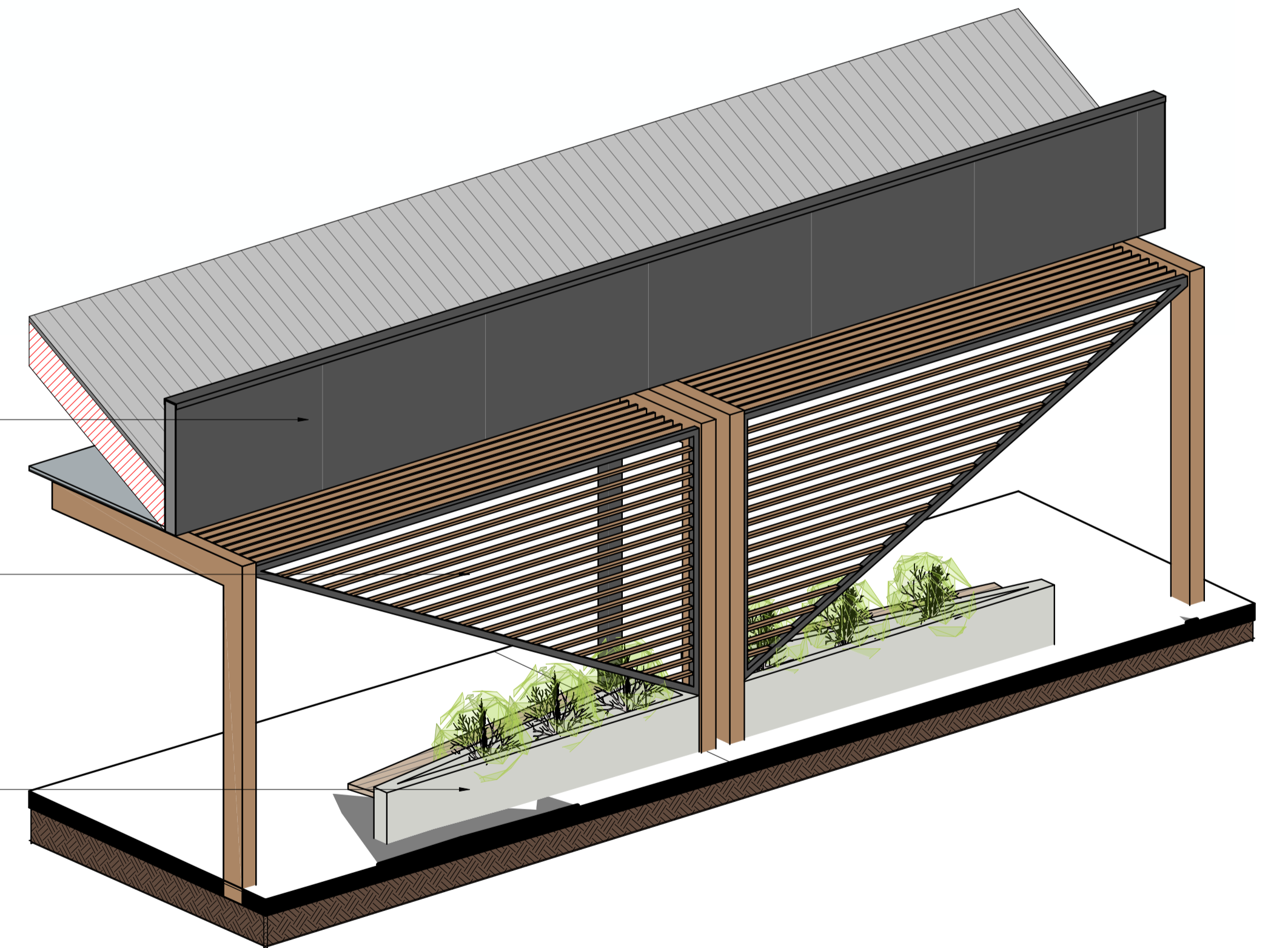


PERGOLA ELEVATION

PROPOSED DULUX 'MONUMENT' PAINT FINISH TO EX. CANOPY FASCIA.

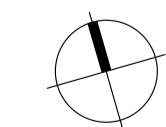
PROPOSED STEEL FRAMED MODULAR SCREEN WITH TIMBER INFILL BATTENS OR SIMILAR.

GRC PLANTER BOX AT LOW LEVEL



PERGOLA AXO

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**PERGOLA MODULES**  
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project 2020-259	drawing no. <b>DA11</b>	issue <b>1</b>
designed YHU	checked YHU	checked Checker





PROPOSED VIEW FROM MAIN ST



PROPOSED VIEW FROM JOHN ST

1	11/1/2020	TOWN PLANNING ISSUE	YHJ
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**PERSPECTIVES**

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project	2020-259	drawing no.	DA12	issue	1
scale	@ A1	designed	ND/YH	checked	AHA





PROPOSED DINING ZONE - INTERNAL



PROPOSED DINING ZONE - EXTERNAL

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**PERSPECTIVES**

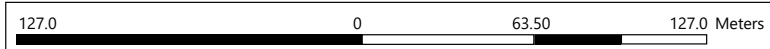
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project 2020-259	drawing no. <b>DA13</b>	issue <b>1</b>
scale @ A1	designed ND/YH	checked AHA



# T210009 PA - Locality map



1: 2,500

Data Source: State & Local Government. © CARDINIA SHIRE COUNCIL

20-Apr-2021

Notes

