

Ordinary Council Meeting

Agenda

Monday 16 December 2024

Commencing 7:00 PM

**Council Chambers
20 Siding Avenue, Officer
Victoria**

Ordinary Council Meeting

Monday 16 December 2024 at 7:00 PM.

Members: Cr Jack Kowarzik Mayor
Cr Alanna Pomeroy Deputy Mayor
Cr Liz Roberts
Cr Samantha-Jane Potter
Cr David Nickell
Cr Casey Thomsen
Cr Collin Ross
Cr Brett Owen
Cr Trudi Paton

Officers: Carol Jeffs Chief Executive Officer
Peter Benazic General Manager Infrastructure and Environment
Debbie Tyson General Manager Community & Planning Services
Wayne Mack General Manager Corporate Services
Sharyn Tilley Coordinator Governance and Councillor Services

Dear Councillor,

You are advised that a meeting will be held in the **Council Chambers, Cardinia Shire Council Civic Centre, 20 Siding Avenue, Officer** on **Monday 16 December 2024** commencing at 7:00 PM.

Carol Jeffs
CHIEF EXECUTIVE OFFICER

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1 Opening And Reflection

I would ask those gathered to join us now for a few moments of silence as we reflect on our roles in this chamber. Please use this opportunity for reflection, Prayer or thought, to focus on our shared intention to work respectfully together for the well-being of our whole community.

2 Traditional Owners Acknowledgement

Cardinia Shire Council acknowledges that we are on the traditional land of the Bunurong and Wurundjeri people and pay our respects to their elders past, present and emerging.

3 Apologies

4 Adoption And Confirmation Of Minutes

That minutes of the following meetings be confirmed:

1. Special Council Meeting 21 October 2024; and
2. Annual Statutory Council Meeting 25 November 2024.

5 Declaration Of Interests

6 Community Questions

7 Ordinary Business

7.1 Town Planning Reports

7.1.1 Cardinia Planning Scheme Amendment C278card - New Environmentally Sustainable Development (ESD) Local Policy (Clause 22.11) and associated changes to the Municipal Strategic Statement (MSS)

Responsible GM: Debbie Tyson
Author: Lorna Lablache

Recommendation(s)

That Council:

1. Adopts Amendment C278card to the Cardinia Planning Scheme, with changes as outlined in this report, under Section 29 of the *Planning and Environment Act 1987*, generally in accordance with Attachment 3 and Attachment 4.
2. Submits the adopted Amendment C278card to the Minister for Planning for approval under Section 31 of the *Planning and Environment Act 1987*.
3. Notifies all submitters to Amendment C278card of the outcome.

Executive Summary

Amendment C278card proposes to introduce an Environmentally Sustainable Development (ESD) Local Planning Policy into the Cardinia Planning Scheme. The policy will ensure specified developments achieve best practice in environmental sustainability from the design stage through to construction and operation. It is also proposed to make changes to the Municipal Strategic Statement (MSS) to support the new local policy.

The proposed Local ESD Policy will apply to new residential and non-residential developments within predetermined thresholds and will strengthen Council's position to consider the principles of environmentally sustainable development through the statutory planning process. It is important to note that incorporating an ESD policy into the planning scheme does not trigger more planning permits and only applies to planning applications already required under other parts of the planning scheme. The policy does not apply to single dwellings, outbuildings or subdivision.

The Amendment brings Cardinia Shire Council into alignment with 27 other councils who have an equivalent ESD local policy.

Amendment C278card was formally exhibited from the 29 February to 8 April 2024 in accordance with the requirements of the *Planning and Environment Act 1987*. At the conclusion of the exhibition of the Amendment, five submissions were received. At the Council meeting held on 17 June 2024, Council resolved to refer all submissions to a Ministerial Planning Panel for consideration.

During the Directions Hearing held on 26 August 2024, the Panel decided to consider the matters relating to this proposed amendment on the written submissions received, a process referred to as 'considering the matter on the papers,' since no submitters wished to be heard.

The Panel Report, received on 6 September 2024, supports Amendment C278card and aligns with minor formatting and administrative changes detailed in the Council's submission to the Panel.

It is recommended that Council:

- Adopt the revised Amendment C278card documentation with changes
- Submit the adopted Amendment C278card to the Minister for Planning for approval.

Background

Council has a duty of care in exercising its functions to manage foreseeable risks and this is embedded in legislation such as the *Planning and Environment Act (1987)*, the *Climate Change Act (2017)* and Section 9(2) of the *Local Government Act (2020)*.

On 16 September 2019, Council supported a Declaration of a climate emergency. Council has committed to prioritising policy and actions that will provide for both mitigation and adaptation in response to accelerating global warming and climate change.

In addition to this, 'tackling climate change and its impact on our environment, economy and people' is identified as one of our most significant challenges and opportunities in the *Council Plan 2021-25 and Community Vision 2040 (June 2021)*. The Council Plan also identifies that the development of an Environmentally Sustainable Design (ESD) Policy is a Council priority (Year 1 - 2021-22) and it requires that the ESD Policy be incorporated in the Cardinia Planning Scheme (Year 2 - 2022-23).

A series of Council adopted documents, all of which have been informed by community consultation envision a sustainable built environment in Cardinia. This also includes specific local policy clauses, incorporated documents and reference documents within the Cardinia Planning Scheme, that also direct planning permit applications to consider and address ESD principles.

In 2021 Cardinia Shire Council became a member of the Council Alliance for a Sustainable Built Environment (CASBE). CASBE is an alliance of councils committed to enabling change to bring about healthy, resilient and liveable urban places. The South East Council's Climate Change Alliance (SECCCA) also supports CASBE's advocacy for environmentally sustainable design. As a member of CASBE, Council proposes to follow the lead of 27 other Councils by implementing an ESD local policy utilising the CASBE Sustainable Design Assessment in the Planning Process (SDAPP) Framework.

The SDAPP framework provides a streamlined and consistent methodology for requesting, receiving and assessing built environment sustainability outcomes through the planning process. The ESD philosophy is 'meeting the needs of the present without compromising the ability of future generations to meet their own needs.'

Proposed Planning Scheme Amendment C278card

What the amendment does

The amendment introduces a new Environmentally Sustainable Development (ESD) Local Planning Policy, for development to achieve best practice in environmental sustainability from its design stage through to construction and operation. This change is supported by refinements to the Municipal Strategic Statement (MSS).

The ESD policy provides statutory weight to what is currently a voluntary approach in the planning process, by requiring those developments which require a planning permit to achieve best practice environmental objectives. The amendment brings Cardinia Shire Council into alignment with 27 other councils who have an equivalent local policy.

The amendment proposes to:

1. Amend the following clauses in the Municipal Strategic Statement (MSS) of the Cardinia Planning Scheme to reflect the introduction of Clause 22.11 Environmentally Sustainable Development:
 - Clause 21.01 Cardinia Shire Key Issues and Strategic Vision (21.01-3 - Key issues - Environment, Settlement and housing and Particular use and development 21.01-4 Strategic vision)
 - Clause 21.02 Environment (21.02-1 Catchment and coastal management - Key issues & Objective 2 Strategies 21.02-2 Landscape – Strategies (Landscape values & Design and built form) 21.02-8 Resource conservation – Key issues, Strategies (Reduction of greenhouse gas emissions & Design and construction) and Implementation – Further strategic work)
 - Clause 21.03 Settlement and Housing (21.03-1 Housing – Key issues, Objective 1 Strategies)
 - Clause 21.04 Economic Development (21.04-2 Agriculture – Key issues 21.04-3 Activity centres – Key issues, Strategies (Design and location) 21.04-4 Industry – Key issues, Strategies (Design) 21.04-5 Tourism – Key issues, Strategies (Assets))
 - Clause 21.06 Particular Uses and Development (21.06-1 Urban Design – Key issues & Objective 1 Strategies)
2. Introduces a new Clause 22.11 Environmentally Sustainable Development (ESD) into the Local Planning Policy Framework of the Cardinia Planning Scheme.
 - The proposed local policy provides objectives and strategies relating to energy performance, integrated water management, indoor environment quality, transport, waste management and urban ecology.
 - The local policy also sets out application requirements.
 - Based on the project's development size, the applicant must illustrate how they will achieve the relevant policy goals by either completing a Sustainable Design Assessment (SDA) or a Sustainability Management Plan (SMP).

Amendment C278card applies to all land in the municipality of Cardinia Shire, where a planning permit is required for development. Incorporating an ESD policy into Cardinia's planning scheme does not trigger any additional planning permits and only applies to planning applications already required under other parts of the scheme.

The proposed ESD policy does not apply to single dwellings, outbuildings or subdivision applications.

What are the planning application requirements of Cardinia's proposed ESD policy?

Amendment C278card proposes the following planning permit application requirements for residential and non-residential developments:

1. Residential developments:
 - a. Comprising 2 - 9 dwellings or a building used for accommodation other than dwellings with a gross floor area between 100 sqm and 999 sqm will require a Sustainable Design Assessment (SDA).

- b. Comprising of 10 or more dwellings or a building used for accommodation other than dwellings with a gross floor area equal to or more than 1000 sqm will require a Sustainability Management Plan (SMP) and a Green Travel Plan.
2. Non-residential development with:
 - a. A gross floor area of 300 sqm to 999 sqm or an extension to an existing non-residential building creating between 300 sqm to 999 sqm of additional gross floor area (excluding outbuildings) will require a Sustainable Design Assessment (SDA).
 - b. A gross floor area equal to or more than 1000 sqm or an extension to an existing non-residential building equal to or creating more than 1000 sqm of additional gross floor area (excluding outbuildings) will require a Sustainability Management Plan (SMP) and a Green Travel Plan

What is the difference between ESD Assessments?

The prescribed ESD assessment is proportional to the scale of development to ensure that the proposed thresholds are reasonable whilst maximising environmental benefits.

1. A Sustainable Design Assessment (SDA) provides a simple assessment of how the development addresses the ESD principles and identifies sustainability measures. A SDA can be prepared by the applicant and commonly does not need to be prepared by an expert in the ESD field.
2. A Sustainability Management Plan (SMP) is more detailed than an SDA. A SMP provides a detailed assessment of the proposal and must identify performance standards and sustainability targets. A SMP will require expert advice from a suitably qualified person such as an environmental engineer or specialist ESD consultant.

A Frequently Asked Questions (FAQ) Sheet for this Amendment is contained in Attachment 1.

At the Council meeting on 20 March 2023, Council resolved to seek authorisation to prepare Amendment C278card. Council received authorisation from the Minister for Planning to prepare Amendment C278card on 23 October 2023.

Amendment C278card was formally exhibited from the 29 February to 8 April 2024 in accordance with the requirements of the *Planning and Environment Act 1987*. At the conclusion of the exhibition of the Amendment, five submissions were received. Of the five submissions, two opposed or requested changes while one sought clarification through a revision of the Explanatory Report.

Concerns raised by the submissions are summarised as follows:

1. Seeking clarification about the Sustainable Design Assessment in the Planning Process (SDAPP) Framework regarding a range of elements such as (but not limited to):
 - a. best practice and mandatory requirements
 - b. the impact on the planning application assessment process
 - c. opportunity for negotiations, options and flexibility
2. Increase cost burden of ESD requirements and impact on affordability.
3. Increase in delays in the approval process.
4. Seeking further clarification on how the principles of urban ecology apply, as well as how the heat island effect impacts bushfire risk.

At the Council meeting on 17 June 2024, Council resolved to refer all submissions to a Ministerial Planning Panel for consideration.

Discussion

The Panel Process

At the commencement of the Panel Hearing administrative process, the Panel received only one request to be heard. The Panel Hearing was initially scheduled for 26 August 2024. However, on 23 August 2024, the submitter withdrew their request to be heard and instead provided an additional written submission. Consequently, a Directions Hearing was held on 26 August 2024, during which the Panel decided to finalise its report based on the written submissions received, a process referred to as 'considering the matter on the papers'.

The Panel Report

The Panel Report for Amendment C278card was received by Council on the 6 September 2024 and was made available to the public on the 16 September 2024. A copy of the Panel Report is provided in Attachment 2.

In summary, the Panel concluded that:

- The mandatory nature of the proposed controls emanating from the policy is appropriate.
- There is likely to be extra costs to development resulting from the Amendment, but no conclusion can be drawn about the magnitude of them.
- There is the potential for overlap between national building codes and local ESD policy but each is focussed on different objectives. No overlap fatal to the Amendment has been identified.
- There is no evidence of significantly increased and excessive delays in the approval process resulting from the approval of the Amendment.
- Challenges faced by developers in the regulatory environment are acknowledged but this is not a reason to oppose the Amendment.

Key statements in the Panel Report worth noting include:

- Council has provided detailed submissions of policy support for the Amendment through a number of Council policies and related actions over a number of years. The Amendment is a logical extension of a consistent strategic pathway which Council established several years ago.
- The Amendment follows the path of and is consistent with ESD policy adopted by many Councils, including some neighbouring Councils.

The Panel supported Amendment C278card subject to minor formatting and administrative changes (consistent with Council's submission). The Panel provided commentary regarding the proposed changes to the Explanatory Report but didn't make a specific recommendation. The Panel suggested that the Council should decide on this matter.

A matter for Council's discretion (not a recommendation)

The proposed change to the Explanatory Report was requested by the Country Fire Authority (CFA). In CFA's submission to the amendment further clarification was sought on the ESD local policy concerning urban ecology principles and the management of the heat island effect in relation to bushfire risk.

After discussions with Council, which included reviewing approved local ESD policies in other Planning Schemes and the SDAPP Framework Fact Sheets, it was noted that several municipalities, like Greater Bendigo, Hepburn, Knox, Mornington Peninsula, Whittlesea, and Yarra Ranges, have implemented local ESD policies in areas with similar bushfire risks to Cardinia Shire.

As a result of these discussions, the CFA requested additional text in the Explanatory Report to address their concerns. The additional text was as follows:

- At the end of the second paragraph of the Explanatory Report, under the heading ‘Does the Amendment address relevant bushfire risk’ insert the following (*Urban Ecology*) *The objectives of Urban Ecology would typically apply in urban areas where there is excessive hard surfaces and limited opportunities for extensive landscaping.*

The proposed change to the Explanatory Report was supported by Council at the 17 June 2024 Council Meeting where Council resolved to refer all submissions to a Ministerial Planning Panel for consideration.

The Panel agreed that the proposed additional sentence in the Explanatory Report addresses the issue raised by the Country Fire Authority, however advised that ‘*it would be helpful to also add this sentence under the heading of Urban Ecology in Clause 22.11, given the limited life of the Explanatory Report.*’ The Panel Report noted this as an observation but did not make a specific recommendation. Instead, it suggested that the matter be left to the discretion of the Council.

While the Council acknowledges the Panel’s comment regarding the limited lifespan of the explanatory report, for context purposes it’s important to note the following:

- The *Planning and Environment Act 1987* requires an Explanatory Report be prepared for every planning scheme amendment. The report must explain the purpose, effect and strategic basis for the amendment and address the matters set out in Minister’s Direction No. 11 – Strategic Assessment of Amendments.
- A requirement of the Minister’s Direction No. 11 is that in preparing an amendment a planning authority must evaluate and include (in the explanatory report) a discussion about how the amendment addresses a series of strategic considerations which includes ‘How does the amendment address any relevant bushfire risk?’
- A planning scheme amendment is referred to the CFA to ensure a planning scheme amendment has adequately considered bushfire risk.

It is the Council’s position that the additional text requested in the CFA’s submission was intended to ensure the explanatory report adequately addressed the question, ‘How does the amendment address any relevant bushfire risk?’ Therefore, it does not necessitate additional text in the clause proposed by this amendment.

Furthermore, there is generally consistent wording in the local ESD planning policies across Victorian planning schemes. These policies are designed to align with state-level objectives and ensure a cohesive approach to sustainable development. While there may be minor differences in the size and scale of developments that trigger the policy, the core principles and requirements are typically the same across different councils.

The Panel’s suggestion to leave the inclusion of additional text under the heading ‘Urban Ecology’ in Clause 22.11 to Council’s discretion has been assessed. However, based on the reasons outlined above, Council does not propose to pursue this suggested change.

Panel Recommendations

The Panel has recommended that Cardinia Planning Scheme Amendment C278card be adopted as exhibited subject to:

- Replacement of the exhibited version of Clause 22.11 with the version attached to Council’s Part C submission (Appendix C of the Panel Report).
 - This was prepared at the request of the Panel.
 - This is provided as Attachment 3.

- Insert the following text at the end of the second paragraph of the Explanatory Report under the heading 'Does the Amendment address relevant bushfire risk' (*Urban Ecology*)
The objectives of Urban Ecology would typically apply in urban areas where there is excessive hard surfaces and limited opportunities for extensive landscaping.
 - This is provided as Attachment 4.

Policy Implications

Strategic Assessment

The full strategic assessment is provided in the Explanatory Report for the Amendment C278card which is contained in Attachment 4.

The strategic assessment demonstrates that the proposed Amendment aligns with the outcomes and policy directions outlined in *Plan Melbourne: Metropolitan Planning Strategy 2017 – 2050*, is consistent with and supports the Planning Policy Framework (PPF) and Municipal Strategic Statement (MSS) of the Cardinia Planning Scheme.

The proposed Amendment is also consistent with a series of Council adopted documents, all of which have been informed by community consultation and the vision to create a sustainable built environment in Cardinia.

Financial and Resource Implications

Incorporating an ESD policy into the planning scheme does not trigger any additional planning permits and only applies to planning applications already required under other parts of the scheme.

The proposed ESD policy will add to the workload for assessing planning permit applications within the Council. Resourcing for an ESD Officer was allocated in the 2023-2024 however this position has not been filled at this point and the following alternate initiatives are being implemented within existing budget:

- Modifications to the existing role of Council's Sustainable Facilities Officer to facilitate the assessment of planning applications with large development requiring Sustainability Management Plans (SMPs).
- The establishment of an internal ESD Planning Working Group (lead by Council's Sustainable Facilities Officer) to review processes and procedures of planning applications. This group is made up of ESD Planning Champions who have crucial knowledge in the current internal processes. A key focus will also be upskilling the group by providing additional specialist training, hands-on learning, mentoring and networking opportunities.
- Training of all planning staff in ESD principles and the evaluation of planning applications.
- Leveraging on the collective knowledge and experience of other CASBE Councils, which is invaluable for refining processes and procedures for effective ESD policy implementation.

Costs associated with the remaining amendment process are to be provided in current and proposed operating budgets for the Planning Strategy and Urban Design Department.

Relevance to Council Plan

2.1 We support the creation of liveable spaces and places

2.1.3 Plan for housing diversity that meets community need, is affordable and delivers environmental sustainability, safety and healthy living outcomes.

3.1 We value our natural assets and support our biodiversity to thrive

3.1.1 Partner with community, business and industry to take action on, and adapt to, climate change.

- 3.1.2 Actively move towards zero waste through increasing waste recovery and reuse.
- 3.1.3 Work with community to improve and manage our natural assets, biodiversity and cultural heritage.
- 3.1.4 Plan and advocate for better water cycle planning and management to reduce environmental impacts.

4.1 We support our productive land and employment land to grow local industries

- 4.1.2 Plan for sustainable employment precincts to entice new industries to the region and support new business.

5.1 We practise responsible leadership

- 5.1.1 Build trust through meaningful community engagement and transparent decision-making.

Climate Emergency Consideration

The development of a local ESD Policy and the incorporation of the ESD Policy into the Cardinia Planning Scheme will assist Council in responding to and addressing its legislative, state policy and local policy responsibility regarding climate change.

The ESD policy is a planning tool that will help strengthen the resilience and safety of communities by adopting a best practice environmentally sustainable development to help prepare for and respond to the impacts of climate change.

Consultation/Communication

The amendment was exhibited from 29 February to 8 April 2024. The Panel considered all written submissions made in response to the exhibition of the Amendment, and further written submissions made as part of the panel process. The opposing submitter received notification of the release of the Panel Report and it was made available to the public on the 16 September 2024.

A letter was sent to all submitters to Amendment C78card advising of this Council Meeting.

Conclusion

Planning Scheme Amendment C278card is a direct outcome of Council's response to the Council Plan which identifies that the development of an Environmentally Sustainable Design (ESD) Policy is a Council priority (Year 1 - 2021-22) and it requires that the ESD Policy be incorporated in the Cardinia Planning Scheme (Year 2 - 2022-23).

Amendment C278card has been exhibited for public input and submissions received have been considered by an independent planning panel, appointed by the Minister for Planning. The Panel report supports the amendment subject to minor formatting and administrative changes to the amendment documentation. The intent and purpose of the exhibited amendment has not been altered. The recommended changes are consistent with Council's submission to the Panel.

It is recommended that Council:

- adopt the revised Amendment C278card documentation with changes
- submit the adopted Amendment C278card to the Minister for Planning for approval.

Attachments

1. Attachment 1 - C278 card Frequently Asked Questions Exhibition [7.1.1.1 - 3 pages]
2. Attachment 2 - Cardinia Planning Scheme Amendment C278 card Environmentally Sustainable Development Policy - 6 September 2024 [7.1.1.2 - 35 pages]

3. Attachment 3 - C278 card D2 Day 1 Version Clause 22.11 tracked changes [7.1.1.3 - 3 pages]
4. Attachment 4 - C278 card Att D 1 Day 1 Version Explanatory Report tracked changes [7.1.1.4 - 11 pages]

Cardinia Planning Scheme Amendment C278card Environmentally Sustainable Development (ESD) Local Planning Policy



Frequently Asked Questions

How will the amendment affect me?

You have been given notice of the amendment as you may be affected by or have an interest in the proposed changes.

This FAQ is for your information and you do not have to do anything further if you do not wish to do so.

What is the Cardinia Planning Scheme?

Each local government in Victoria is covered by a planning scheme. The Cardinia Planning Scheme sets out how land is protected and how it can be used and developed in Cardinia Shire.

Planning schemes require changes from time to time to achieve certain planning outcomes, support new policies and to ensure that requirements continue to meet the needs of the local community.

What does the amendment propose?

The amendment proposes to introduce a new Environmentally Sustainable Development Local Planning Policy (ESD Policy), for development to achieve best practice in environmental sustainability from its design stage through to construction and operation.

The proposed ESD policy is based on the Sustainable Design Assessment in the Planning Process (SDAPP) Framework¹.

The SDAPP Framework was developed by Victorian councils to provide a streamlined and consistent methodology for requesting, receiving and assessing built environment sustainability outcomes through the planning process.

The ESD policy sets out application requirements and the scale of a project will ultimately influence the level of information required to be submitted with an application.

The amendment also includes refinements to the Municipal Strategic Statement (MSS) to support the new policy.

Amendment C278card applies to all land in the Shire of Cardinia, where a planning permit is required for development.

Why is the amendment required?

An ESD Policy in the Cardinia Planning Scheme will:

- Provide statutory weight to what is currently a voluntary approach in the planning process.
- Strengthen the ability for Council to consider ESD early in the design process right through to construction and beyond for both new residential and non-residential buildings.
- Implement sustainable design principles in the planning process, resulting in improved development outcomes and significant economic, social, and environmental benefits in the short, medium and long term.

It is important to note that incorporating an ESD policy into the planning scheme does not trigger any additional planning permits and only applies to planning applications already required under other parts of the scheme.

The amendment brings Cardinia Shire Council into alignment with 26 other councils who have an equivalent ESD local policyⁱⁱ.

What is an ESD Policy?

The primary objective of an ESD Policy is to achieve best practice in environmentally sustainable development from design stage right through to construction and beyond for both new residential and non-residential buildings.

Considering ESD at the planning stage helps to achieve best practice environmental objectives, maximise integrated design outcomes and minimise costs for retrofitting and poor design.

An ESD Policy sets out application requirements for specified types of developments and thresholds for the two types of ESD assessments (a Sustainable Design Assessment (SDA) or a Sustainability Management Plan (SMP)).

This document aims to provide an understanding of the planning scheme amendment process and the terms used in correspondence regarding amendments. For further information go to our [Cardinia Planning Scheme Amendments](#) page or contact Planning and Design on 1300 787 624.

ESD Assessments

The prescribed ESD assessment is proportional to the scale of development to ensure that the proposed thresholds are reasonable whilst maximising environmental benefits.

- A Sustainable Design Assessment (SDA) provides a simple assessment of how the development addresses the ESD principles and identifies sustainability measures. A SDA can be prepared by the applicant and commonly does not need to be prepared by an expert in the ESD field.
- A Sustainability Management Plan (SMP) is more detailed than an SDA. A SMP provides a detailed assessment of the proposal and must identify performance standards and sustainability targets. A SMP will require expert advice from a suitably qualified person such as an environmental engineer or specialist ESD consultant.

ESD Assessment Tools

The Built Environment Sustainable Scorecard (BESS)ⁱⁱⁱ is the recommended tool under the SDAPP framework. BESS is a purpose-built tool to assess sustainable design at the planning permit stage.

BESS is the recommended tool for a SDA. A BESS report alone will not satisfy the requirements of a SMP.

Other ESD assessment tools include (but are not limited to) Melbourne Water tools STORM/MUSIC^{iv} and Green Star^v.

What are the planning application requirements of Cardinia's proposed ESD policy?

The *Environmentally Sustainable Development (ESD) Local Policy – Background Document* (Cardinia Shire Council, 20 March 2023) provides the strategic assessment for this amendment which includes the justification for the proposed thresholds in the ESD Policy. This is a supporting document that forms part of this planning scheme amendment.

Amendment C278card proposes the following planning application requirements:

Residential developments:

- comprising 2 - 9 dwellings or a building used for accommodation other than dwellings with a gross floor area between 100 sqm and 999 sqm will require a Sustainable Design Assessment (SDA).
- of 10 or more dwellings or a building used for accommodation other than dwellings with a gross floor area equal to or more than 1000 sqm with require a Sustainability Management Plan (SMP) and a Green Travel Plan^{vi}.

Non-residential development with:

- a gross floor area of 300 sqm to 999 sqm or an extension to an existing non-residential building creating between 300 sqm to 999 sqm of additional gross floor area (excluding outbuildings) will require a Sustainable Design Assessment (SDA).
- a gross floor area equal to or more than 1000 sqm or an extension to an existing non-residential building equal to or creating more than 1000 sqm of additional gross floor area (excluding outbuildings) will require a Sustainability Management Plan (SMP) and a Green Travel Plan.

How do I make a submission to the Amendment?

Any person who may be affected by the amendment may make a submission clearly stating the grounds on which the amendment is supported or opposed and indicating what changes (if any) the submitter wishes to make.

All submissions must be made in writing and submitted to Council by 5pm on the final day of exhibition.

Submissions can be e-mailed to Council at mail@cardinia.vic.gov.au (please include Amendment C278card in the e-mail title).

Or mailed to:

Planning Strategy and Urban Design
Cardinia Shire Council
PO Box 7
PAKENHAM VIC 3810

What happens if I make a submission?

All submissions received are public documents and Council must consider all submissions as part of the amendment process.

If concerns cannot be resolved by making changes to the amendment, Council may refer submissions to an independent planning panel for review.

What is a Planning Panel?

The Planning Panel is appointed by the Minister for Planning and they will hold a public hearing where all submitters can present and be heard.

This document aims to provide an understanding of the planning scheme amendment process and the terms used in correspondence regarding amendments. For further information go to our [Cardinia Planning Scheme Amendments](#) page or contact Planning and Design on 1300 787 624.

What happens next?

The Planning Panel will review each submission individually and provide a report with recommendations to Council and the Minister for Planning.

When will the Planning Panel hearing occur?

A preliminary hearing date has been pre-set which is as follows:

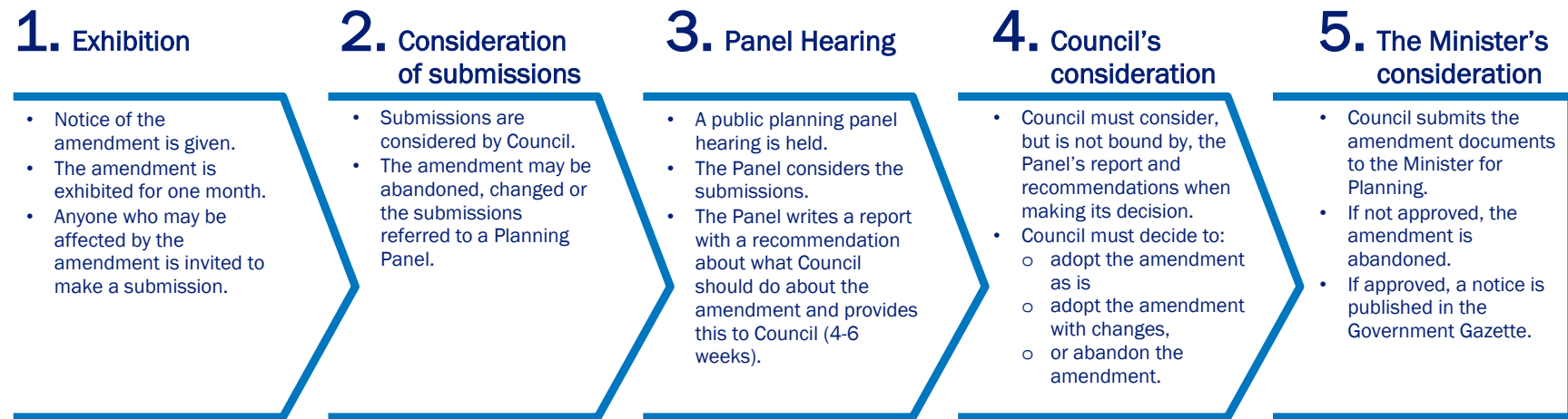
- Directions hearing - Week commencing 22 July 2024
- Panel hearing - Week commencing 26 August 2024

Further details about any Planning Panel Hearing and specific dates will be provided at a later date to those who make a submission.

Where can I find more information?

Amendment documents and more information can be found on Council’s website at <https://creating.cardinia.vic.gov.au>.

You can also contact Council’s Strategic Planning Team on 1300 787 624 to discuss over the phone or to arrange a meeting to answer any questions.



ⁱ For more information go to [Sustainability in planning - The Council Alliance for a Sustainable Built Environment \(CASBE\)](#)
ⁱⁱ As part of the strategic assessment of the amendment, each local government determines thresholds relevant to their local development profile.
ⁱⁱⁱ BESS is an online sustainability assessment tool purpose built by Victorian councils for the SDAPP framework and is owned by the Municipal Association of Victoria and was developed with support by the Victorian Government.
^{iv} For more information go to [STORM and MUSIC tools | Melbourne Water](#)
^v For more information go to [Exploring Green Star | Green Building Council of Australia \(gbca.org.au\)](#)
^{vi} For more information to go [CASBE-06-Transport-v7-June-2022.pdf](#)

This document aims to provide an understanding of the planning scheme amendment process and the terms used in correspondence regarding amendments. For further information go to our [Cardinia Planning Scheme Amendments](#) page or contact Planning and Design on 1300 787 624.

**Planning
Panels
Victoria**

**Cardinia Planning Scheme Amendment C278card
Environmentally Sustainable Development Policy**

Panel Report

Planning and Environment Act 1987

6 September 2024



How will this report be used?

This is a brief description of how this report will be used for the benefit of people unfamiliar with the planning system. If you have concerns about a specific issue you should seek independent advice.

The planning authority must consider this report before deciding whether to adopt the Amendment.
[section 27(1) of the *Planning and Environment Act 1987* (the PE Act)]

For the Amendment to proceed, it must be adopted by the planning authority and then sent to the Minister for Planning for approval.

The planning authority is not obliged to follow the recommendations of the Panel, but it must give its reasons if it does not follow the recommendations. [section 31 (1) of the PE Act, and section 9 of the *Planning and Environment Regulations 2015*]

If approved by the Minister for Planning a formal change will be made to the planning scheme. Notice of approval of the Amendment will be published in the Government Gazette. [section 37 of the PE Act]

Planning Panels Victoria acknowledges the Wurundjeri Woi Wurrung People as the traditional custodians of the land on which our office is located. We pay our respects to their Elders past and present.

Planning and Environment Act 1987

Panel Report pursuant to section 25 of the PE Act

Cardinia Planning Scheme Amendment C278cardcard

Environmentally Sustainable Development Policy

6 September 2024



Rodger Eade, Chair

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Glossary and abbreviations

Amendment	Amendment C278card
BCA	Building Code of Australia
BESS	Built Environment Sustainability Scorecard
CASBE	Council Alliance for a Sustainable Built Environment
Council	Cardinia Council
DTP	Department of Transport and Planning
EEDAC	<i>Environmentally Efficient Design Local Policies, Advisory Committee and Panel Report, 2014</i>
ESD	Environmentally Sustainable Development
MSS	Municipal Strategic Statement
PBR	Puffing Billy Railway
PE Act	<i>Planning and Environment Act 1987</i>
PPF	Planning Policy Framework
SDA	Sustainable Design Assessment
SDAPP	Sustainable Design Assessment Planning Process Framework
SMP	Sustainability Management Plan

Overview

Amendment summary

The Amendment	Cardinia Planning Scheme Amendment C278cardcard
Common name	Environmentally Sustainable Development Policy
Brief description	The Amendment proposes to introduce an Environmentally Sustainable Development Policy into Clause 22 of the Cardinia Planning Scheme and make related changes to Clause 21
Subject land	All land in the municipality
The Proponent	Cardinia Shire Council
Planning Authority	Cardinia Shire Council
Authorisation	23 October 2023 with conditions
Exhibition	29 February to 8 April 2024
Submissions	<p>Number of Submissions: 5 with two opposed or requesting changes. One sought clarification through a revision of the Explanatory Report. Submitters were:</p> <ul style="list-style-type: none"> • Council Alliance for a Sustainable Built Environment • Sette Brothers Pty Ltd and M Sette Pty Ltd • Puffing Billy Railway • Country Fire Authority • South East Water

Panel process

The Panel	Rodger Eade, Chair
Directions Hearing	PPV, 1 Spring Street Melbourne, 22 July and by video conference on 26 August 2024
Panel Hearing	Not held as matter was considered on the papers
Site inspections	Not required
Citation	Cardinia PSA C278card [2024] PPV
Date of this report	6 September 2024

Executive summary

Cardinia Planning Scheme Amendment C278cardcard (the Amendment) seeks to introduce a new Environmentally Sustainable Development (ESD) Local Planning Policy, for development to achieve best practice in environmental sustainability from its design stage through to construction and operation. This change is supported by refinements to the Municipal Strategic Statement (MSS)

Key issues raised in submissions included:

- seeking clarification about the Sustainable Design Assessment in the Planning Process (SDAPP) Framework regarding a range of elements such as, but not limited to:
 - best practice and mandatory requirements
 - the impact on the planning application assessment process
 - opportunity for negotiations, options and flexibility
- increase cost burden of ESD requirements and impact on affordability
- increase in delays in the approval process
- seeking further clarification on how the principles of urban ecology apply, as well as how the heat island effect impacts bushfire risk.

Cardinia Shire Council (Council) provided a comprehensive and detailed policy and strategic context for the Amendment including State legislation and its consistent approach over a number of years to supporting the declaration of a climate emergency. In addition, Council provided detailed strategic support for the assessment framework that it intends to implement in support of the ESD policy and the assessment tools to be used in that framework. These are informed by and consistent with the approach in a many other municipalities.

Following from its assessment the Panel concludes:

- The mandatory nature of the proposed controls emanating from the policy is appropriate.
- There is likely to be extra costs to development resulting from the Amendment, but no conclusion can be drawn about the magnitude of them.
- There is the potential for overlap between national building codes and local ESD policy but each is focussed on different objectives. No overlap fatal to the Amendment has been identified.
- There is no evidence of significantly increased and excessive delays in the approval process resulting from the approval of the Amendment.
- Challenges faced by developers in the regulatory environment are acknowledged but this is not a reason to oppose the Amendment.
- Stormwater management challenges outlined by Mr Sette do not constitute sufficient reason to oppose the Amendment.
- There is no evidence of any overlapping charges or requirements with respect to stormwater or open space as submitted by Mr Sette.
- There is no conflict between the levies and contribution schemes which require developers to contribute to various types of off-site infrastructure and to the achievement of more environmentally sustainable development.
- That the issues raised by PBR have been resolved to the satisfaction of both parties.

Recommendations

Based on the reasons set out in this Report, the Panel recommends that Cardinia Planning Scheme Amendment C278card be adopted as exhibited, subject to:

1. **Replacement of the exhibited version of Clause 22.11 with the version attached to Council's Part C submission (Document 7) and attached to this Report at Appendix C.**
2. **Insert the following at the end of the second paragraph of the Explanatory Report under the heading 'Does the Amendment address relevant bushfire risk':**
(Urban Ecology). The objectives of Urban Ecology would typically apply in urban areas where there is excessive hard surfaces and limited opportunities for extensive landscaping.

1 Introduction

1.1 The Amendment

(i) Amendment description

The purpose of the Amendment is to introduce a new ESD Local Planning Policy, for development to achieve best practice in environmental sustainability from its design stage through to construction and operation. This change is supported by refinements to the MSS.

Specifically, the Amendment proposes to:

- amend the following clauses in the MSS to reflect the introduction of Clause 22.11 Environmentally Sustainable Development:
 - Clause 21.01 Cardinia Shire Key Issues and Strategic Vision
 - 21.01-3 'Environment', 'Settlement and housing' and 'Particular use and development' Key issues
 - 21.01-4 Strategic vision
 - Clause 21.02 Environment
 - 21.02-1 Catchment and coastal management - Key issues and Objective 2 Strategies
 - 21.02-2 Landscape – Strategies for 'Landscape values' and 'Design and built form'
 - 21.02-8 Resource conservation – Key issues, Strategies for 'Reduction of greenhouse gas emissions' and 'Design and construction' and Implementation 'Further strategic work'
 - Clause 21.03 Settlement and Housing
 - 21.03-1 Housing – Key issues and Objective 1 Strategies
 - Clause 21.04 Economic Development
 - 21.04-2 Agriculture – Key issues
 - 21.04-3 Activity centres – Key issues, Strategies for 'Design and location'
 - 21.04-4 Industry – Key issues, Strategies for 'Design'
 - 21.04-5 Tourism – Key issues, Strategies for 'Assets'
 - Clause 21.06 Particular Uses and Development
 - 21.06-1 Urban Design – Key issues and Objective 1 Strategies
- introduce a new Clause 22.11 Environmentally Sustainable Development (ESD) policy into the Local Planning Policy Framework of the Cardinia Planning Scheme.

(ii) The subject land

The Amendment applies to all land in the Shire of Cardinia, where a planning permit is required for the development in accordance with the thresholds in the proposed local policy

1.2 Background

In 2019 Council resolved to support a declaration of a climate emergency. Consistent with this and over several years Council has progressively adopted policies and developed strategies and plans to address aspects on that declaration and within the limits of its jurisdiction has undertaken

relevant actions. It submitted that the Amendment is a logical next step in that series of policies and actions. A summary chronology of the events leading to the Amendment is in Table 1.

Table 1 Chronology of events

Date	Event / description
16 September 2019	Council supported a declaration of a climate emergency
21 June 2021	New Council Plan adopted with tackling climate change as a priority
October 2021	Council became a member of Council Alliance for A Sustainable Built Environment (CASBE)
20 March 2023	Council resolved to seek authorisation to prepare the Amendment
5 April 2023	Council lodged the authorisation documentation
13 April 2023	Council was advised by the Department of Transport and Planning (DTP) that the authorisation request application required further review
24 May 2023	Council received further correspondence from DTP requesting further information
6 June 2023	Council responded to DTP
23 October 2023	Council received authorisation from the Minister for Planning to prepare the Amendment, subject to conditions
29 February to 8 April 2024	Amendment formally exhibited
17 June 2024	A detailed summary of, and response to, the submissions received in response to exhibition forms part of Council's meeting agenda
20 June 2024	Council formally requested a Panel be appointed
16 July 2024	Reconstituted Panel appointed
22 July 2024	Directions Hearing held
26 August 2024	Further Directions Hearing determined to consider the matter on the papers

Source: Council Part A submission, Attachment C (amended)

1.3 Process issues

Only one request to be heard was received by the Panel and at its Directions Hearing on 22 July 2024 it directed that Council and that submitter would be heard at a public hearing scheduled for 26 August 2024. On Friday 23 August 2024 the submitter requested to be heard informed the Panel that it wished to rely on a further written submission and did not wish to be heard by the Panel.

At a further Directions Hearing held on 26 August 2024 the Panel indicated that it would complete its report on this matter on the basis of written submissions received and any further written response to the submitter party that Council wished to make. It issued a further Direction to this effect.

Council subsequently provided a further written Part C submission in response (Document 7)

A number of the exhibited track change documents provided to the Panel included text deletion indicators but did not include the deleted text. At the Direction of the Panel, Council's tabled Day 1 documents provided a clear indication of the deleted text and it is the Panel's understanding that the text of these versions do not differ from the exhibited versions.

The exhibited version of Clause 22.11 had some formatting issues. Council's Day 1 version corrected most of these and a subsequent replacement version attached to its part C submission corrected a further minor formatting issue. It is the Panel's understanding that the text of each version is the same. Clause 22.11 as attached to Council's Part C submission should replace the exhibited version.

1.4 Planning Policy Framework compliant policy

Council is in the process of making its planning scheme Planning Policy Framework (PPF) compliant. It anticipates that this process will be completed in the first half of 2025. The Amendment includes a new local policy at Clause 22. DTP requested Council prepare a PPF compliant version of the policy in anticipation of the translation process underway. This version was not exhibited with the Amendment but was made available to the Panel and submitter party. Council submitted that the exhibited Clause 22.11 and the draft Clause 15.01-2L-01 have consistent wording. The Panel notes this and understands that this clause will replace the exhibited Clause 22.11 local policy when the PPF version of the Cardinia Planning Scheme is approved. At that stage Clause 22.11 as exhibited as part of this Amendment will be redundant.

1.5 The Panel's approach

Key issues raised in submissions were:

- seeking clarification about the SDAPP regarding a range of elements such as, but not limited to:
 - best practice and mandatory requirements
 - the impact on the planning application assessment process
 - opportunity for negotiations, options and flexibility
- increased cost burden of ESD requirements and impact on affordability
- increased delays in the approval process
- seeking further clarification on how the principles of urban ecology apply, as well as how the heat island effect impacts bushfire risk.

The Panel has assessed the Amendment against the principles of net community benefit and sustainable development, as set out in Clause 71.02-3 (Integrated decision making) of the Planning Scheme.

The Panel considered all written submissions made in response to the exhibition of the Amendment, and further written submissions made. It has reviewed the material, and has been selective in referring to the more relevant or determinative material in the Report. All submissions and materials have been considered by the Panel in reaching its conclusions, regardless of whether they are specifically mentioned in the Report.

This report deals with the issues under the following headings:

- Planning context

- Strategic issues
- Issues addressed by the Panel

1.6 Recommendation

The Panel recommends:

- 1. Replace the exhibited version of Clause 22.11 with the version attached to Council's Part C submission (Document 7) and attached to this Report at Appendix C.**

2 Strategic issues

2.1 Planning context

This chapter identifies planning context relevant to the Amendment. Appendix B highlights key imperatives of relevant provisions and policies and provides a detailed list of plans policies and strategies which Council has indicated are relevant to and which are consistent with the Amendment. Only key clauses of the Planning Scheme and policy documents are listed in Table 2.

Table 2 Planning context

	Relevant references
Victorian planning objectives	- section 4 of the <i>Planning and Environment Act 1987</i> (PE Act)
Planning Policy Framework	<ul style="list-style-type: none"> - Clauses 11 (Settlement), 11.01-1S (Settlement), 11.03-1S (Activity centres), 11.03-2S (Growth areas) - Clause 12 (Environmental and Landscape Values), 12.01-1S (Protection of Biodiversity), 12.05-1S (Environmentally sensitive areas) - Clause 13 (Environmental Risk and Amenity), 13.01-1S (Natural hazards and climate change) - Clause 14 (Natural Resource Management), 14.02-1S (Catchment planning and management), 14.02-2S (Water quality) - Clause 15 (Built Environment and Heritage), 15.01-2S (Building design) - Clause 16(Housing), 16-01-1S (Housing supply), 16.01-2S (Housing Affordability) - Clause 18 (Transport), 18.01-1S (Land use and transport planning), 18.01-3S (Sustainable and safe transport), 18.02-1S (Walking), 18.02-2S (Cycling) - Clause 19(Infrastructure), 19.01-1S (Energy supply), 19.01-2S (Renewable energy), 19.03-3S (Integrated water management), 19.03-5S (Waste and resource recovery) - Clause 21.01 Key issues - Clause 21.02 Environment - Clause 21.03 Settlement and housing - Clause 21.04 Economic development - Clause 21.05 Infrastructure - Clause 21.04 Economic Development - Clause 21.06 Particular uses and development
Other planning strategies and policies	<ul style="list-style-type: none"> - <i>Plan Melbourne</i> Directions 5.2, 6.1, 6.2, 6.3, 6.4, 6.5, 6.6, 6.7 - <i>Plan Melbourne Five Year Implementation Plan 2017-2022</i>, Action 80 - <i>The Council Plan 2021–25</i> - <i>Community Vision 2040</i>, Cardinia Shire Council, June 2021

Ministerial directions	Ministerial Direction on the Form and Content of Planning Schemes (Sec 7 (5)) Ministerial Direction No.9 Metropolitan Strategy (Plan Melbourne 2017-2050) (Sec 12 (2) (a)) Ministerial Direction No.11 Strategic Assessment of Amendments (Sec 12 (2) (a))
Planning practice note	- Planning Practice Note 46: Strategic Assessment Guidelines, September 2022

2.2 Strategic justification

(i) Evidence and submissions

Council submitted a very detailed strategic policy context for the Amendment in its Part A submission and its consistency with Ministerial Directions and Planning Practice Notes. This is summarised in Chapter 2.1 with more detail provided in Appendix B. No submitter challenged the strategic basis on the Amendment.

(ii) Discussion

The Panel acknowledges and applauds the detailed strategic assessment undertaken by Council. The Amendment finds strong policy and strategic support at both State and Council level. Council has provided detailed submissions of policy support for the Amendment through a number of Council policies and related actions over a number of years. The Amendment is a logical extension of a consistent strategic pathway which Council established several years ago.

The Panel further notes that the Amendment follows the path of and is consistent with ESD policy in a adopted by many Councils, including some neighbouring Councils. Further, the Amendment is guided by the work of CASBE of which Council is a member.

In addition, Council provided a strong strategic case for the tools which it proposes to use under the SDAPP to underpin the proposed Sustainability Design Assessment (SDA) for smaller developments and the requirement to prepare a Sustainability Management Plan (SMP) for larger developments. The tools are in common usage across and number of municipalities.

The Amendment is consistent with and supports the Planning Policy Framework and relevant Ministerial Directions.

(iii) Conclusions

For the reasons set out in this Report, the Panel concludes that the Amendment:

- is supported by, and implements, the relevant sections of the Planning Policy Framework
- is consistent with the relevant Ministerial Directions
- is well founded and strategically justified
- should proceed subject to addressing minor changes as discussed in other chapters.

3 Issues addressed by the Panel

In this chapter the Panel considers issues raised by submitters on a submitter by submitter basis.

3.1 Issues raised by Sette Brothers Pty Ltd and M Sette Pty Ltd

(i) The issues

The issues are:

- whether the proposed ESD backed requirements should be voluntary rather than mandatory
- lack of flexibility
- the overlap between national construction code requirements and the ESD policy where the federal requirements take precedence
- the burden on developers
- rising costs impacting affordability
- the relatively complicated requirement disproportionately impacting smaller developers
- the different requirements of the national construction code and the ESD policy
- the extra burden on developers after open space provision and stormwater management levies.

(ii) Evidence and submissions

Mr Sette (on behalf of Sette Brothers Pty Ltd and M Sette Pty Ltd) made a submission in response to the exhibited Amendment and supplemented that with a further submission. Issues raised in both are addressed here, although some matters of clarification he sought are not discussed.

Mandatory requirements

Mr Sette submitted:

...we urge policymakers to reconsider the mandatory imposition of ESD requirements and instead adopt a more balanced and collaborative approach to promoting sustainability in development. This approach should prioritize voluntary incentives, technical assistance, and public-private partnerships to foster innovation and achieve mutually beneficial outcomes for all stakeholders.¹

Council responded:

Cardinia Shire has been using a voluntary approach for ESD within the planning framework. I can confirm that this voluntary method has not resulted in significant improvements in ESD outcomes and has proven to be inadequate.²

Lack of flexibility

Mr Sette submitted that there was a lack of flexibility in the one size fits all requirements that will flow from the adoption of the Amendment. He submitted:

¹ Initial submission of Mr Sette p 3.

² Council Part B submission para 89

This lack of flexibility restricts design creativity and limits the ability to tailor solutions that balance sustainability with economic viability. Can also cause siting issues for smaller home sites.³

In its Part B submission Council provided a detailed response to this Mr Sette's submission and stated in part that the ESD policy:

...encourages design versatility by permitting a range of sustainable solutions to be explored and applied. For example, the Built Environment Sustainability Scorecard (BESS) is focused on improving designs and buildings to a level in line with the ESD policies.⁴

Policy overlaps

Mr Sette submitted:

...there is an overlap of the proposed ESD requirements with current legislated energy/efficiency requirements for all new buildings. Specifically residential dwellings now requiring to be Seven star homes and the section j requirements for all conditioned (sic) non residential buildings.⁵

Mr Sette acknowledged that the ESD policy does not apply to single dwellings.

He further submitted that:

Section J and seven-star energy reports are generally more detailed, providing specific construction guidelines, including the orientation for seven-star homes. This level of detail suggests that Building Code of Australia (BCA) requirements likely take precedence over SMP/ESD requirements⁶.

He submitted that most ESD requirements using BESS are already addressed by the existing section J of the national code and seven-star requirements.

In its Part C submission, Council acknowledged that a potential overlap between the BCA and local SMP requirements where both address areas such as environmental sustainability, energy efficiency and resources management. In that instance the BCA will take precedence to the extent of any inconsistency. However, Council further submitted that the ESD local policy at Clause 22.11 goes further than the BCA in many instances. It noted that recent changes to the BESS, a tool used in implementing the local policy, had been recently amended to align with the national code, submitting:

Overall BESS has been enhanced to provide a more user-friendly experience, making it easier for developers and builders to input data and generate reports that demonstrate compliance with the updated National Construction Code requirements.⁷

Council submitted that the aim of the local policy was to ensure that relevant ESD factors were taken into account early in the design process and that the local policy was intended to complement the national code not conflict with it.

Burden for developers

This issue has two dimensions, extra costs for developers and further delays in the approval process

³ Initial submission of Mr Sette p 3

⁴ Council Part B submission para 125

⁵ Submission of Mr Sette

⁶ ibid

⁷ Council Part C submission para 12.5

With respect to the additional costs likely to be incurred by residential, commercial and industrial development, Mr Sette submitted:

Adding another step such as SMPs has the additional cost of getting the report done, waiting for the report, submitting the report, waiting on Council to respond to report, adjust the report, return to Council, await Council to respond.⁸

Mr Sette submitted that the extra requirements imposed by the adoption of an ESD policy would result in further delays in the planning approval processes. He stated that reliance on a single ESD officer to assess an application would add to delays particularly during periods of leave of that officer. He further stated that in his experience processes such as is proposed required multiple drafts further increasing delays, submitting:

These delays will get worse as virtually all commercial/industrial properties and all townhouse/multi unit developments will require an SMP or SDA report that will be assessed by Council. Council will have to employ more staff, which is obviously an additional staffing cost that is not currently required.⁹

Mr Sette said there would be a significant increase in costs for Council and that these resources would be better deployed in providing other services.

Council responded that:

...a thorough assessment has been conducted to ensure that staff resources are in place for a smooth transition to the newly proposed local ESD Policy.¹⁰

Council further submitted:

Pre-application meetings will be encouraged from the beginning. These meetings act as a proactive measure to address any potential design or ESD-related issues early on. They provide a platform for discussion, allowing developers to clarify any doubts or questions about assessment tools and sustainability practices¹¹

In its Part B submission Council provided a detailed explanation of the steps that it has taken to ensure a smooth transition to the new policy regime. This included the lessons learnt being part of the broader CASBE network.

Council further stated that any assessment required under an approved ESD policy would occur in parallel with other assessments and as such should not delay the approval process.

Impact on affordability

Mr Sette submitted that the extra costs imposed on development and likely passed on to end users would detrimentally affect housing affordability at a time when this was a significant issue particularly for first home buyers.

Mr Sette submitted:

These costs and delays in getting these approvals will only worsen the housing shortage and put off developers and builders from building multiple units.

There also will be additional building costs especially related to Heating and cooling as generally Built Environment Sustainability Scorecard requirements are 50% higher than that of the Australian standard. These costs will flow onto the end user.¹²

⁸ Sette op cit

⁹ Sette op cit

¹⁰ Council Part B submission para 115.

¹¹ ibid para 117

¹² Sette op cit

Mr Sette made reference to the 2014 *Environmentally Efficient Design Local Policies Advisory Committee and Panel Report (EEDAC)* policy as stating that consideration of affordability of servicing should be taken into account by Councils

Council responded that 91 per cent of dwellings in Cardinia were separate houses and these would not be affected by ESD requirements. Council further quoted the EEDAC report which in discussing the issue of affordability stated that the longer-term costs and benefits needed to be taken into account and not just the initial construction cost.

Impact on smaller developers

In his initial submission Mr Sette submitted that the adoption of the ESD policy would lead to market distortion in that it would favour larger developers. He repeated this point in his supplementary submission without using the same term, identifying:

The more complicated requirements will push out smaller developers and builders, reducing competition.

This will also affect commercial industrial builders and developers who will need to increase rents in order to cover the additional requirements.¹³

In response, Council submitted that the ESD requirements in fact established an even playing field and went on to explain in detail how developments of varying sizes would face requirements commensurate with the size of the development.

It submitted that Mr Sette:

...has not presented any evidence to substantiate the claim that ESD requirements pose additional expenses that are often prohibitive for developers¹⁴.

Stormwater treatment requirements

Mr Sette objected to a strategy dot point within Clause 15.01-2S which states:

- Minimise stormwater discharge through site layout and landscaping measures that support on-site filtration and stormwater reuse

Mr Sette gave a detailed explanation of why on-site filtration is impractical with respect to many industrial developments which often have a high site coverage thereby leaving limited land available to implement such techniques. He said the amount of stormwater runoff from such developments was miniscule compared with the significant run-off from road and other hard surfaces in the public realm.

In his initial submission Mr Sette gave a detailed assessment of the difficulties of stormwater management across both the private and public realms. He submitted that there were strict controls over what developers must adhere to on private land but contended that there was significant levels untreated runoff from public roads going into waterways.

Council responded with a detailed explanation of the steps that it had taken to manage stormwater runoff on public land.

¹³ ibid

¹⁴ Council Part B submission para 170

Developer contributions

Mr Sette submitted that developers had already made contributions to stormwater management and to the provision of parks through other levies and should not have further costs imposed on them. He submitted:

... there are payments made to Council be it Precinct Structure Plan or open space contributions or both which should be contributing to upgrading stormwater systems and ultimately water quality. These payments are to help cover the increase of stormwater runoff as the subdivision is completed.¹⁵

In its Part C submission, Council responded that the Melbourne Water drainage charge is used to help protect and improve the health of waterways and is not a charge specifically related to managing the runoff and pollution associated with a site-specific development. Council further submitted that waterways and drainage schemes do not apply across the whole municipality and that the ESD policy is municipality wide. Developers could use their contributions to drainage schemes as part of the evidence to support any assessment that is required under the ESD policy.

With respect to the contribution charges required through various Development Contribution Plans and Infrastructure Contribution Plans in place in the municipality, Council explained these related to a range of different infrastructure projects required to support development in the areas in which they apply and were not related to the ESD outcomes being sought.

(iii) Discussion**Mandatory requirements**

Although no specific evidence was produced by either Council or Mr Sette to support the submissions made relating to mandatory or discretionary requirements. The Panel accepts Council's position on this as it is better positioned at a municipal wide level and as a member of CASBE to conclude that voluntary codes for ESD are of limited utility. It seems unlikely to the Panel that Council would expend resources to bring forward this Amendment if a voluntary approach was working. The Panel understands that the policy based requirements in comparator municipalities cited by Council are mandatory.

Lack of flexibility

The Panel notes that Mr Sette did not provide any examples or evidence to support his contention that there will necessarily be a lack of flexibility in outcomes. The Panel accepts that regulation can result in the narrowing of choices. However, it does not see that in this instance the requirements that will be imposed by the adoption of the ESD policy will unreasonably restrict innovation or lead to a one size fits all approach. No evidence was produced that this would be the case.

Policy overlaps

The Panel acknowledges the national building code and the implementation of the tools to support the ESD policy are relatively technical areas. Council is fully cognisant of the potential for overlap between the national code and local policy. The Panel understands that the way in which the ESD policy is being focussed is to ensure that ESD issues are identified and addressed early in the design process and are not left to be addressed as building code issues at the construction stage.

¹⁵ Sette op cit

Council and presumably other Councils using BESS are understood to be proactively refining the tool to address potential overlap. This is likely to be an ongoing process as national codes are revised to address issues relevant to that changing environment, and that consequently there will be a need for constant vigilance to address issues of overlap.

The Panel concludes that Council is acting to address any issues of overlap and is not convinced that there are currently areas of overlap that are fatal to the Amendment achieving good planning outcomes.

Burden for developers

There is no doubt that there will be extra costs for developers associated with the implementation of the ESD policy provisions. It is also likely that some or possibly all of these costs will be passed on to end users. No evidence was produced about the magnitude of these extra costs and therefore the Panel is unable to draw any firm conclusion about their likely impact. The Panel can only conclude that it appears unlikely that the extra costs will have a material impact to the extent that the Amendment should not be supported for these reasons. The Panel further notes that upfront costs may to some extent be ameliorated by lower energy consumption and household operating costs over time.

The Panel notes Council's comments on its preapplication processes and expects that developers will take that opportunity particularly in the early stages of implementation to better understand Council's expectations.

Council has provided the Panel with a detailed assessment of the number of developments likely to require either an SDA or SMP as a result of the adoption of this Amendment. Further, based on the experience of other Councils it has made an estimation of the time likely to be taken in making these assessments. The Panel is not in a position to comment on the accuracy of the time assessments but notes that it has not been specifically challenged.

The Panel sees no logical reason why the adoption of the Amendment should necessarily lead to a significant increase in time taken to process development applications. It is not the role of the Panel to comment on how Council allocates its human and financial resources.

The Panel notes Mr Sette's position that it is likely that a number of drafts will be required by Council to satisfy its ESD requirements. The Panel notes that this is likely to be the case in at least the early stages of implementation as both developers and Council become more familiar with the process and the challenges that each face.

Along with lessons learnt from other Council's with operating policies in place the assessment process is assisted by CASBE fact sheets and guides. The Panel notes that the onus is on Council to proactively work with developers particularly in the early stages of implementation to ensure that unnecessary hurdles are not faced by the development industry.

Impact on affordability

The Panel accepts that there may be some negative impact on housing affordability for multi-unit developments. It agrees with the Advisory Committee report quoted by Mr Sette that such impacts should be considered.

However, it is far from clear how significant the impact on housing affordability will be. There are two further factors to take into consideration here. Firstly, the short term or up-front costs

compared with longer terms cost saving or benefits from having more sustainable development. The second benefit is more enduring and of wider community benefit in addition to reducing household energy costs.

Secondly, the Panel acknowledges that housing affordability is a very significant societal issue. There are a range of factors contributing to this and to discuss them is beyond the scope of the Panel. It is likely that any extra impact on affordability imposed through the approval of this Amendment will not be significant in the context of the overall contributors to the housing affordability challenge.

The potential impact of the Amendment on housing affordability is sufficient reason to not support the Amendment.

Impact on smaller developers

The Panel understands the point that Mr Sette is making and has some sympathy for the position of smaller developers. Council makes the point that developers large and small have the same requirements imposed upon them and therefore there is a level playing field. The Panel accepts this point. However, the fact remains that over time the regulatory environment has become more complex and the range of expertise required to navigate it can be a challenge for smaller operators. However, this is not a new issue or unique to the development sector. All developers, large and small, need to adapt to changing environments including regulatory environments and increasing complexity is not sufficient reason to not support this Amendment.

The Panel notes that Council has recognised the challenges faced by developers and as stated above produced fact sheets to assist in implementation. The Panel urges Council to be proactive in the early stages of implementation to actively assist developers, particularly smaller developers lacking relevant expertise. It is in the interests of Council, the developers and more particularly the community, for this to occur.

Stormwater treatments

The Panel is not in a position to comment on the technical aspects of on-site stormwater treatment. The Panel accepts that Council has undertaken significant actions with respect to stormwater runoff from public assets. That said, what is or is not happening in the public realm is in the Panel's view not a sufficient reason to reject the Amendment. Both Council and developers have responsibilities with respect to the land and other assets under their control irrespective of the Amendment.

Developer contributions

The Panel notes that there appears to be some confusion in Mr Sette's understanding of the various other schemes and levies referred to by him. While he doesn't mention all of these by name the Panel assumes he is referring to Development Contribution Plans, Infrastructure Contributions Plans and possibly the Growth Areas Infrastructure Charge in addition to drainage schemes.

It is not the role of the Panel to go into the details of each of these. It is sufficient to say that these are each charges related to the provision of offsite infrastructure, often some distance from a particular development but which the development gives rise to the need for.

The Panel does not believe that there is any overlap with the ESD requirements which are essentially site or development specific. In saying this the Panel acknowledges the array of charges and requirements that now face developers. The Panel sees no fundamental conflict between the roles that these schemes play and the underlying thrust of the Amendment to achieve environmentally sustainable development. In other words, providing for various types of infrastructure is not at odds with wishing to achieve sustainable development.

(iv) Conclusions

The Panel concludes:

- The mandatory nature of the proposed controls emanating from the policy is appropriate.
- There is likely to be extra costs to development resulting from the Amendment, but no conclusion can be drawn about the magnitude of them.
- There is the potential for overlap between national building codes and local ESD policy but each is focussed on different objectives. No overlap fatal to the Amendment has been identified.
- There is no evidence of significantly increased and excessive delays in the approval process resulting from the approval of the Amendment.
- Challenges faced by developers in the regulatory environment are acknowledged but this is not a reason to oppose the Amendment.
- Stormwater management challenges outlined by Mr Sette do not constitute sufficient reason to oppose the Amendment.
- There is no evidence of any overlapping charges or requirements with respect to stormwater or open space as submitted by Mr Sette.
- There is no conflict between the levies and contribution schemes which require developers to contribute to various types of off-site infrastructure and to the achievement of more environmentally sustainable development.

3.2 Issues raised by Puffing Billy Railway

(i) The issues

In its initial submission and in follow up correspondence with Council, Puffing Billy Railway (PBR) raised a number of issues which can be summarised as:

- how will the policy apply to original buildings when extensions are proposed
- the impact of the policy on heritage listed buildings
- how will the policy apply where buildings are being recreated on previously closed sections of the railway
- how will 'best practice' response be defined and managed?

In addition, PBR raised several management and process issues, which while relevant to its main concerns, are not directly relevant to the Amendment.

(ii) Background

Prior to the Directions Hearing, Council had a number of email exchanges with senior employees of PBR, which included detailed responses to issues raised by PBR both in its initial submission and

subsequent correspondence. As a result, PBR emailed Council on 9 May 2024 identifying that it still had the following outstanding concerns:

- whilst it would appear that most of the developments which are proposed by PBR in the future will be below the 300m² threshold. Some may still exceed that and due to new development or extension, trigger the ESD requirements. Can you confirm that for extensions which trigger the limit, will there be a requirement to upgrade the entire facility / building to the higher standard? Does this also apply to significant maintenance works such as restorations?
- how would this also affect any heritage listed or registered properties which have no such ESD provisions?
- the provision in the planning scheme for Council to allow for heritage in the requirement or not to install solar panels are noted.
- PBR is in the process of recreating sections of the railway previously lost. Our era of significance is 1020 (sic) to 1930 where the station buildings did not even have ceilings let alone insulation. Will there be any allowance for such buildings, perhaps based on type of use?
- It is noted that PBR has the option of withdrawing our submission if we choose not to go to a Panel. Does that mean that our submission is not noted or recorded in any way? Whether or not PBR chooses to submit to a panel the Railway would like our concerns to have been recorded and noted for future reference.

PBR did not submit a request to be heard by the Panel and as a result the Panel issued a Direction that Council engage further with PBR before the Hearing in an attempt to resolve outstanding issues.

(iii) Submissions

Council undertook further discussions as Directed by the Panel and on 31 July 2024 provided copies of all correspondence between it and PBR. This included an email from PBR dated 31 July 2024 indicating that it considered that all issues raised by it had been resolved to its satisfaction.

(iv) Discussion

Resolution of the issues raised by PBR was complicated by changes in senior personnel at PBR. The Panel notes the correspondence between PBR and Council regarding the resolution of issues and offers no further comment on these.

(v) Conclusion

The Panel concludes:

- That the issues raised by PBR have been resolved to the satisfaction of both parties.

3.3 Country Fire Authority

In its written submission the Country Fire Authority suggested that:

...further consideration is had on where the principles of urban ecology apply and how the heat island effect will be managed.¹⁶

Council replied, clarifying where the requirements of the ESD policy would be focussed. It was agreed between the submitter and Council that this issue was best addressed by adding a

¹⁶ Submission by the Country Fire Authority p1

clarifying sentence to the exhibited Explanatory Report under the heading 'Does the Amendment address relevant bushfire risk', as follows:

The objectives of Urban Ecology would typically apply in urban areas where there is excessive hard surfaces and limited opportunities for extensive landscaping.

The Panel considers that it would be helpful to also add this sentence under the heading of Urban Ecology in Clause 22.11, given the limited life of the Explanatory Report. It offers this as an observation but does not make a specific recommendation to this effect. This is left in the hands of Council. The Panel concludes:

- The proposed additional sentence in the Explanatory Report addresses the issue raised by the Country Fire Authority.

3.4 Recommendation

The Panel recommends:

2. **Insert the following at the end of the second paragraph of the Explanatory Report under the heading 'Does the Amendment address relevant bushfire risk':**
(Urban Ecology). The objectives of Urban Ecology would typically apply in urban areas where there is excessive hard surfaces and limited opportunities for extensive landscaping.

Appendix A Document list

No.	Date	Description	Provided by
1	25 Jul 2024	Panel Directions and Timetable (version 1)	Planning Panels Victoria (PPV)
1a	31 Jul 2024	Correspondence between Council and Puffing Billy Railway	Cardinia Council (Council)
2	20 Aug 2024	Council Part A submission and 22 attachments	Council
3	23 Aug 2024	Correspondence from Mr Sette (for Sette Brothers Pty Ltd and M Sette Pty Ltd) advising he no longer wished to be heard	Mr Sette
4	23 Aug 2024	Council Part B submission and 23 attachments and accompanying documents	Council
5	23 Aug 2024	Written submission and 4 attachments from Mr Sette	Mr Sette
6	26 Aug 2024	Further Directions from the Panel	PPV
7	29 Aug 2024	Council Part C submission and two attachments	Council
8	1 Sep. 2024	Further Direction from the Panel	PPV

Appendix B Planning context

B:1 Planning policy framework

Council submitted that the Amendment is supported by various clauses in the Planning Policy Framework and State legislation, which the Panel has summarised below.

Planning and Environment Act 1987. The Amendment will assist in implementing State policy objectives set out in section 4 of the PE Act with strategies:

- to ensure sound, strategic planning and co-ordinated action at State, regional and municipal levels (Sec 4 (2) (a))
- to enable land use and development planning and policy to be easily integrated with environmental, social, economic, conservation and resource management policies at State, regional and municipal levels (Sec 4 (2) (c))
- to ensure that the effects on the environment are considered and provide for explicit consideration of social and economic effects when decisions are made about the use and development of land (Sec 4 (2) (d))
- to facilitate development which achieves the objectives of planning in Victoria and planning objectives set up in planning schemes (Sec 4 (2) (e))
- to encourage the achievement of planning objectives through positive actions by responsible authorities and planning authorities (Sec 4 (2) (g)).

Climate Change Act 2017 sets the legislative foundation to manage climate change risks, maximise the opportunities that arise from decisive action and drive the transition to a climate resilient community and economy with net zero emissions by 2050.

Local Government Act 2020 came into effect in Victoria on 24 March 2020. The Act strengthened the mandate for considerations of climate change risk in Council's decision-making processes.

Cardinia Planning Scheme

Clause 11 Settlement

- Planning is to recognise the need for, and as far as practicable contribute towards the following issues:
 - adaptation in response to changing technology
 - economic viability
 - a high standard of environmental sustainability, urban design and amenity
 - climate change adaptation and mitigation
 - land use and transport integration
 - waste minimisation and resource recovery.
- 11.01-1S (Settlement). It is a strategy to deliver networks of high-quality integrated settlements that will:
 - support resilient communities and their ability to adapt and change
 - integrate the management of water resources into the urban environment in a way that supports water security, public health, environment and amenity outcomes
 - contribute to net zero greenhouse gas emissions through renewable energy infrastructure and energy efficient urban layout and urban design

- support metropolitan and regional climate change adaptation and mitigation measures.
- 11.03-1S (Activity centres). It is a strategy to improve access by walking, cycling and public transport to services and facilities and to improve the social, economic and environmental performance and amenity of activity centres
- 11.03-2S (Growth areas). It is strategy to develop precinct structure plans that provide better transport choices, respond to climate change and increase environmental sustainability.

Clause 12 Environmental and Landscape Values

- planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values
- 12.01-1S (Protection of Biodiversity) seeks to assist the protection and conservation of Victoria's biodiversity, including by ensuring that decision making considers the impacts of land use and development on Victoria's biodiversity
- 12.05-1S (Environmentally sensitive areas) which seeks to protect and conserve environmentally sensitive areas.

Clause 13 Environmental Risks and Amenity

- planning should strengthen the resilience and safety of communities by adopting a best-practice environmental management and risk management approach as well as prepare for and respond to the impacts of climate change
- 13.01-1S (Natural hazards and climate change) objective is to minimise the impacts of natural hazards and adapt to the impacts of climate change through risk-based planning. Strategies include:
 - responding to the risks associated with climate change in planning and management decision making processes
 - identifying at-risk areas using the best available data and climate change science
 - ensuring planning controls allow for risk mitigation and climate change adaptation strategies to be implemented.

Clause 14 Natural Resource Management

- planning is to assist in the conservation and wise use of natural resources including energy, water, land, stone and minerals to support both environmental quality and sustainable development
- 14.02-1S (Catchment planning and management) objective is to assist the protection and restoration of catchments, waterways, estuaries, bays, water bodies, groundwater, and the marine environment. Strategies include:
 - ensuring that development at or near waterways provide for the protection and enhancement of the environmental qualities of waterways and their instream uses
 - requiring appropriate measures to restrict sediment discharges from construction sites.
- 14.02-2S (Water quality) objective is to protect water quality.

Clause 15 Built Environment and Heritage

- planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods
- planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design
- planning should promote development that is environmentally sustainable and should minimise detrimental impacts on the built and natural environment
- planning should facilitate development that:
 - is adapted and resilient to climate related hazards
 - supports the transition to net zero greenhouse gas emissions
 - minimises waste generation and supports resource recovery
 - conserves potable water
 - supports the use of, and access to, low emission forms of transport
 - protects and enhances natural values
 - minimises off-site detrimental impacts on people and the environment.

15.01-2S (Building design) objective is to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development. Strategies for this clause address several ESD elements, such as:

- ensuring a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development
- improving the energy performance of buildings through siting and design measures that encourage:
 - passive design responses that minimise the need for heating, cooling and lighting.
 - on-site renewable energy generation and storage technology
 - use of low embodied energy materials
 - ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.
- encourage use of recycled and reusable materials in building construction and undertake adaptive reuse of buildings, where practical
- encourage water efficiency and the use of rainwater, stormwater and recycled water
- minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse
- ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.

Clause 16 Housing

- planning should ensure the long-term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space
- 16-01-1S (Housing supply) strategies include encouraging the development of well-designed housing that provides a high level of internal and external amenity

- 16.01-2S (Housing Affordability) strategies include promoting good housing and urban design to minimise negative environmental impacts and keep costs down for residents and the wider community.

Clause 18 Transport

- planning should ensure a safe, integrated and sustainable transport system that actively contributes to environmental sustainability and supports health and wellbeing
- 18.01-1S (Land use and transport planning) seeks to support urban development that makes jobs and services more accessible by taking advantage of all available modes of transport and design neighbourhoods to better support active living and increase the share of trips made using sustainable transport modes
- 18.01-3S (Sustainable and safe transport) objective is to facilitate an environmentally sustainable transport system that is safe and supports health and wellbeing. Strategies that relate to ESD elements include:
 - prepare for and adapt to climate change impacts
 - prioritise the use of sustainable personal transport
 - avoid, minimise and offset harm to the environment by protecting biodiversity and reducing transport-related greenhouse gas emissions
- 18.02-1S (Walking) objective is to facilitate an efficient and safe walking network and increase the proportion of trips made by walking
- 18.02-2S (Cycling) objective is to facilitate an efficient and safe bicycle network and increase the proportion of trips made by cycling
- both 18.02-1S (Walking) and 18.02-2S (Cycling) strategies include to plan and develop walking and cycling networks that provide routes that are safe, direct and comfortable to use and accommodating emerging forms of low-emission, low and moderate speed personal transport.

Clause 19 Infrastructure

- infrastructure planning should avoid, minimise and offset environmental impacts, and incorporate resilience to natural hazards, including future climate change risks
- 19.01-1S (Energy supply) objective is to facilitate appropriate development of energy supply infrastructure. Strategies that support ESD elements include:
 - support the development of energy generation, storage, transmission, and distribution infrastructure to transition to a low-carbon economy
 - ensure energy generation, storage, transmission and distribution infrastructure and projects are resilient to the impacts of climate change
 - facilitate renewable energy generation and storage to meet on-site energy needs.
- 19.01-2S (Renewable energy) objective is to support the provision and use of renewable energy in a manner that ensures appropriate siting and design considerations are met. Strategies that support ESD elements include:
 - facilitate renewable energy development in appropriate locations
 - protect renewable energy infrastructure against competing and incompatible uses
 - set aside suitable land for future renewable energy infrastructure
 - consider the economic, social and environmental benefits to the broader community of renewable energy generation while also considering the need to minimise the effects of a proposal on the local community and environment

- 19.03-3S (Integrated water management) objective is to sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach. Strategies include to:
 - plan and coordinate integrated water management, bringing together stormwater, wastewater, drainage, water supply, water treatment and re-use, to:
 - protect downstream environments, waterways and bays
 - manage and use potable water efficiently
 - reduce pressure on Victoria's drinking water supplies
 - minimise drainage, water or wastewater infrastructure and operational costs
 - minimise flood risks
 - provide urban environments that are more resilient to the effects of climate change
 - integrate water into the landscape to facilitate cooling, local habitat improvements and provision of attractive and enjoyable spaces for community use
 - facilitate use of alternative water sources such as rainwater, stormwater, recycled water and run-off from irrigated farmland
- 19.03-5S (Waste and resource recovery) objective is to reduce waste and maximise resource recovery to reduce reliance on landfills and minimise environmental, community amenity and public health impacts. Strategies include:
 - ensuring future waste and resource recovery infrastructure needs are identified and planned for to safely and sustainably manage all waste streams and maximise opportunities for resource recovery
 - encouraging technologies that increase recovery and treatment of resources to produce high value, marketable end products.

Clause 21.01 Key issues and strategic Vision identifies that the key issues facing Cardinia are focussed around five strategic themes including environment.

Clause 21.02 Environment sets out a range of objectives and strategies to protect the environment of Cardinia.

Clause 21.03 Settlement and housing sets out objectives and strategies to create a functional, attractive, safe and sustainable urban environment.

Clause 21.04 Economic development including resilience in the local economy.

Clause 21.05 Infrastructure supports socially and economically sustainable communities.

Clause 21.06 Particular uses and development acknowledges that the long-term benefits of good design are a more attractive, functional and sustainable built environment.

B:2 Other relevant planning strategies and policies

i) Plan Melbourne

Plan Melbourne 2017-2050 sets out strategic directions to guide Melbourne's development to 2050, to ensure it becomes more sustainable, productive and liveable as its population approaches 8 million. It is accompanied by a separate implementation plan that is regularly updated and refreshed every five years.

Plan Melbourne is structured around seven outcomes, which set out the aims of the plan. The outcomes are supported by Directions and Policies, which outline how the outcomes will be achieved.

Table 3 Relevant sections of Plan Melbourne

Outcome	Directions	Policies
Inclusive city	5.2 Safe supportive communities	
Sustainable city	6.1 Energy water and waste performance	6.1.1 and 6.1.2
	6.2 Impacts of natural hazard events	6.2.1 and 6.2.2
	6.3 Integrate development and water management	6.3.1, 6.3.2 and 6.3.3
	6.4 Cooler and greener Melbourne	6.4.1
	6.5 Protect and restore natural habitats	6.5.1, 6.5.2 and 6.5.3
	6.6 Air quality and noise	6.6.1
	6.7 Waste and waste management	6.7.1, 6.7.2, and 6.7.3

ii) Other State plans and strategies

The *Environmentally sustainable development of buildings and subdivisions - a roadmap for Victoria's planning system* (Department of Environment, Land, Water and Planning, July 2020) (ESD Roadmap) outlines a program to introduce new ESD planning policies and standards.

iii) Structure Plans

Council has listed the following structure plans as relevant as they contain elements that support sustainable development:

- Cardinia Road Precinct Structure Plan
- Cardinia Road Employment Precinct Structure plan
- Officer Precinct Structure Plan
- Pakenham east Precinct Structure Plan
- Pakenham South Employment Precinct Structure Plan
- Officer South Employment Precinct Structure
- Bunyip Township Strategy
- Cockatoo Township Strategy
- Emerald District Strategy
- Garfield Township Strategy
- Gembrook Township Strategy
- Koo Wee Rup Township Strategy
- Lang Lang Township Strategy
- Upper Beaconsfield Township Strategy.

iv) Reference documents

Council lists the following reference documents as relevant:

- Beaconsfield Structure Plan
- Cardinia Westernport Green Wedge management Plan
- Pakenham Major Activity Centre Structure Plan

v) Other Council strategies, plans and policies

Council lists the following as relevant:

- Sustainable Development Goals at Cardinia Shire Council
- Council Plan 2021-2025
- Council's Vision 2021-2025
- Cardinia Shire Council Liveability Plan 2017-29 (Reviewed 2021)
- Sustainable Environment Policy 2018-2028
- Aspirational Energy Transition Plan 2014-24
- Climate Change Adaptation Strategy 2022-2032
- Integrated Water Management Plan 2015-25
- Waste and Recovery Strategy 2017-26
- Biodiversity Conservation Strategy 2019-29
- Council Enhanced Standard – Sustainable Buildings 2020-26
- Crime Prevention Through Environmental Design Policy.

B:3 VC Amendments

Council has listed the following VC (Statewide) Amendments to the Planning Scheme as relevant to the Amendment:

- VC220 – Supports the efficient delivery of neighbourhood
- VC221 – Facilitates all-electric developments
- VC244 – Stormwater requirements to non-residential developments in urban growth areas.
- VC226 – Updates requirements for solar panels in the heritage areas.
- VC227 – Supports the facilitation of the container deposit scheme
- VC246 – Land use controls to support the container deposit scheme
- VC250 – Prohibits new gas connections for new dwellings, apartments and residential subdivisions where a planning permit is required

B:4 Planning scheme provisions

Council lists the following zones as having objectives requirements or other provision relevant to Environmentally Sustainable Development:

- Urban Growth Zone
- Comprehensive Development Zone
- Activity Centre Zone.

B:5 Ministerial Directions

The Explanatory Report states that the Amendment is consistent with the following Ministerial Directions but provides no discussion on this:

- Ministerial Direction on the Form and Content of Planning Schemes (*Sec 7 (5)*)
- Ministerial Direction No.9 Metropolitan Strategy (Plan Melbourne 2017-2050) (*Sec 12 (2) (a)*)
- Ministerial Direction No.11 Strategic Assessment of Amendments (*Sec 12 (2) (a)*).

No issue was raised with respect to compliance and the Panel accepts that the Amendment is consistent as claimed by Council.

Council submitted that the Amendment has been prepared in accordance with Planning Practice Note 46 Strategic Assessment Guidelines.

Appendix C Clause 22.11 Environmentally Sustainable Development

22
Proposed C278card

CARDINIA PLANNING SCHEME

ATTACHMENT A - Copy of ATTACHMENT D.2 (Part B) DAY 1 VERSION DOCUMENT - AM C278CARD CLAUSE 22.11 Tracked changes Pg 3 of 3 format change

LOCAL PLANNING POLICIES

22.11 ENVIRONMENTALLY SUSTAINABLE DEVELOPMENT

22.11-1 Policy Application

This policy applies to residential and non-residential development, excluding subdivision, in accordance with the thresholds detailed in this policy.

22.11-2 Objective

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Strategies

Facilitate development that minimises environmental impacts.

Encourage environmentally sustainable design that:

- Is consistent with the type and scale of the development.
- Responds to site opportunities and constraints.
- Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimises environmental impacts.

Energy performance

Reduce both energy use and energy peak demand through design measures such as:

- Building orientation.
- Shading to glazed surfaces.
- Optimising glazing to exposed surfaces.
- Inclusion of or space allocation for renewable technologies.

Integrated water management

Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.

Encourage the appropriate use of alternative water sources (including greywater, rainwater and stormwater).

Incorporate best practice water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.

Indoor environment quality

Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation, cooling and lighting.

Reduce indoor air pollutants by encouraging use of low-toxicity materials.

Minimise noise levels and noise transfer within and between buildings and associated external areas.

Transport

Design development to promote the use of walking, cycling and public transport, in that order; and minimise car dependency.

Promote the use of low emissions vehicle technologies and supporting infrastructure.

CARDINIA PLANNING SCHEME**Waste management**

Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.

Encourage use of durable and reusable building materials.

Ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

Urban ecology

Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.

Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy and significant trees.

Encourage the provision of space for productive gardens, particularly in larger residential developments.

22.11-3 Policy guidelines**Residential**

A Sustainable Design Assessment (including an assessment using BESS, STORM or other methods) for:

- 2 - 9 dwellings, or
- A building used for accommodation other than dwellings with a gross floor area between 100 sqm and 999 sqm.

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- 10 or more dwellings, or
- A building used for accommodation other than dwellings with a gross floor area equal to or more than 1000 sqm.

Non-residential

A Sustainable Design Assessment (including an assessment using BESS and STORM/MUSIC or other methods) for:

- A non-residential building with a gross floor area of 300 sqm to 999 sqm (excluding outbuildings), or
- An extension to an existing non-residential building creating between 300 sqm to 999 sqm of additional gross floor area (excluding outbuildings).

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- A non-residential building with a gross floor area equal to or more than 1000 sqm (excluding outbuildings).
- An extension to an existing non-residential building equal to or creating more than 1000 sqm of additional gross floor area (excluding outbuildings).

Mixed use

Applicable assessments for the residential and non-residential components of the development.

Consider as relevant the following tools to support a Sustainable Design Assessment or Sustainability Management Plan:

- *Sustainable Design Assessment in the Planning Process (IMAP, 2015)*

CARDINIA PLANNING SCHEME

- *Built Environment Sustainability Scorecard 'BESS' (Council Alliance for a Sustainable Built Environment 'CASBE')*
- *Green Star (Green Building Council of Australia)*
- *Model for Urban Stormwater Improvement Conceptualisation 'MUSIC' (Melbourne Water)*
- *Nationwide House Energy Rating Scheme 'NatHERS' (Department of Climate Change and Energy Efficiency)*
- *Stormwater Treatment Objective - Relative Measure 'STORM' (Melbourne Water)*
- *Urban Stormwater Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999)*
- *Waste Management and Recycling in Multi-Unit Developments - Better Practice Guide (Sustainability Victoria, 2018).*

In determining an application, the responsible authority will consider as appropriate:

- Whether an ESD plan or framework has previously been approved by the responsible authority.

22.11-4 COMMENCEMENT

This policy does not apply to applications received by the responsible authority before the approved gazettal date of Amendment C278card.

22.11-5 EXPIRY

This policy will expire when it is superseded by a equivalent provision of the Victoria Planning Provisions.

CARDINIA PLANNING SCHEME

ATTACHMENT A - Copy of
ATTACHMENT D.2 (Part B)
DAY 1 VERSION DOCUMENT -
AM C278CARD CLAUSE 22.11
Tracked changes Pg 3 of 3 format
change

LOCAL PLANNING POLICIES

22

Proposed C278card

22.11 ENVIRONMENTALLY SUSTAINABLE DEVELOPMENT

22.11-1 Policy Application

This policy applies to residential and non-residential development, excluding subdivision, in accordance with the thresholds detailed in this policy.

22.11-2 Objective

To achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Strategies

Facilitate development that minimises environmental impacts.

Encourage environmentally sustainable design that:

- Is consistent with the type and scale of the development.
- Responds to site opportunities and constraints.
- Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimises environmental impacts.

Energy performance

Reduce both energy use and energy peak demand through design measures such as:

- Building orientation.
- Shading to glazed surfaces.
- Optimising glazing to exposed surfaces.
- Inclusion of or space allocation for renewable technologies.

Integrated water management

Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.

Encourage the appropriate use of alternative water sources (including greywater, rainwater and stormwater).

Incorporate best practice water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.

Indoor environment quality

Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation, cooling and lighting.

Reduce indoor air pollutants by encouraging use of low-toxicity materials.

Minimise noise levels and noise transfer within and between buildings and associated external areas.

Transport

Design development to promote the use of walking, cycling and public transport, in that order; and minimise car dependency.

Promote the use of low emissions vehicle technologies and supporting infrastructure.

CARDINIA PLANNING SCHEME**Waste management**

Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.

Encourage use of durable and reuseable building materials.

Ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

Urban ecology

Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.

Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the retention and provision of canopy and significant trees.

Encourage the provision of space for productive gardens, particularly in larger residential developments.

22.11-3 Policy guidelines**Residential**

A Sustainable Design Assessment (including an assessment using BESS, STORM or other methods) for:

- 2 - 9 dwellings, or
- A building used for accommodation other than dwellings with a gross floor area between 100 sqm and 999 sqm.

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- 10 or more dwellings, or
- A building used for accommodation other than dwellings with a gross floor area equal to or more than 1000 sqm.

Non-residential

A Sustainable Design Assessment (including an assessment using BESS and STORM/MUSIC or other methods) for:

- A non-residential building with a gross floor area of 300 sqm to 999 sqm (excluding outbuildings), or
- An extension to an existing non-residential building creating between 300 sqm to 999 sqm of additional gross floor area (excluding outbuildings).

A Sustainability Management Plan (including an assessment using BESS/Green star, STORM/MUSIC or other methods) and a Green Travel Plan for:

- A non-residential building with a gross floor area equal to or more than 1000 sqm (excluding outbuildings).
- An extension to an existing non-residential building equal to or creating more than 1000 sqm of additional gross floor area (excluding outbuildings).

Mixed use

Applicable assessments for the residential and non-residential components of the development. Consider as relevant the following tools to support a Sustainable Design Assessment or Sustainability Management Plan:

- *Sustainable Design Assessment in the Planning Process (IMAP, 2015)*

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- *Built Environment Sustainability Scorecard 'BESS' (Council Alliance for a Sustainable Built Environment 'CASBE')*
- *Green Star (Green Building Council of Australia)*
- *Model for Urban Stormwater Improvement Conceptualisation 'MUSIC' (Melbourne Water)*
- *Nationwide House Energy Rating Scheme 'NatHERS' (Department of Climate Change and Energy Efficiency)*
- *Stormwater Treatment Objective - Relative Measure 'STORM' (Melbourne Water)*
- *Urban Stormwater Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999)*
- *Waste Management and Recycling in Multi-Unit Developments - Better Practice Guide (Sustainability Victoria, 2018).*

In determining an application, the responsible authority will consider as appropriate:

- Whether an ESD plan or framework has previously been approved by the responsible authority.

22.11-4 COMMENCEMENT

This policy does not apply to applications received by the responsible authority before the approved gazettal date of Amendment C278card.

22.11-5 EXPIRY

This policy will expire when it is superseded by a equivalent provision of the Victoria Planning Provisions.

ATTACHMENT D.1

DAY 1 VERSION DOCUMENT - AM C278CARD AMENDED EXPLANATORY REPORT

Planning and Environment Act 1987

CARDINIA PLANNING SCHEME

AMENDMENT C278card

EXPLANATORY REPORT

Who is the planning authority?

This amendment has been prepared by Cardinia Shire Council which is the planning authority for this amendment.

The amendment has been made at the request of Cardinia Shire Council.

Land affected by the amendment

The amendment applies to all land in the Shire of Cardinia, where a planning permit is required for the development in accordance with the thresholds in the proposed local policy.

What the amendment does

The amendment introduces a new Environmentally Sustainable Development (ESD) Local Planning Policy, for development to achieve best practice in environmental sustainability from its design stage through to construction and operation. This change is supported by refinements to the Municipal Strategic Statement (MSS).

The ESD policy provides statutory weight to what is currently a voluntary approach in the planning process, by requiring those developments which require a planning permit to achieve best practice environmental objectives.

The amendment brings Cardinia Shire Council into alignment with 26 other councils who have an equivalent local policy.

The amendment:

- Amends the following clauses in the Municipal Strategic Statement (MSS) to reflect the introduction of Clause 22.11 Environmentally Sustainable Development:
 - Clause 21.01 Cardinia Shire Key Issues and Strategic Vision
 - 21.01-3 - Key issues - Environment, Settlement and housing and Particular use and development
 - 21.01-4 Strategic vision
 - Clause 21.02 Environment
 - 21.02-1 Catchment and coastal management - Key issues & Objective 2 Strategies
 - 21.02-2 Landscape – Strategies (Landscape values & Design and built form)
 - 21.02-8 Resource conservation – Key issues, Strategies (Reduction of greenhouse gas emissions & Design and construction) and Implementation – Further strategic work
 - Clause 21.03 Settlement and Housing
 - 21.03-1 Housing – Key issues, Objective 1 Strategies
 - Clause 21.04 Economic Development
 - 21.04-2 Agriculture – Key issues
 - 21.04-3 Activity centres – Key issues, Strategies (Design and location)
 - 21.04-4 Industry – Key issues, Strategies (Design)
 - 21.04-5 Tourism – Key issues, Strategies (Assets)

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- Clause 21.06 Particular Uses and Development

21.06-1 Urban Design – Key issues & Objective 1 Strategies

- Introduces a new Clause 22.11 Environmentally Sustainable Development (ESD) into the Local Planning Policy Framework of the Cardinia Planning Scheme.

The proposed local policy provides objectives and strategies relating to the following ESD principles:

- Energy performance
- Integrated water management
- Indoor environment quality
- Transport
- Waste management
- Urban ecology

The local policy also sets out application requirements. Depending on the scale of development, an applicant needs to demonstrate how the relevant policy objectives will be achieved, by completing either a Sustainable Design Assessment (SDA) or a Sustainability Management Plan (SMP).

Strategic assessment of the amendment

Why is the amendment required?

The amendment is required to strengthen Council's ability to consider environmentally sustainable design measures in the Local Planning Policy Framework and to ensure that development achieves best practice in environmental sustainability, from the design stage through to construction and operation.

There is currently limited ability under the Cardinia Planning Scheme to require a planning permit application to consider and implement ESD principles. This is considered a significant gap in the decision-making ability of Council and is having negative effects on the liveability of the Shire of Cardinia.

The proposed local policy:

- Provides clear objectives and application requirements for planning permit applications.
- Ensures best practice ESD initiatives are considered at the time of planning approval for new developments, to maximise integrated design outcomes and minimise costs for retrofitting and poor design.

The *Council Plan 2021–25 and Community Vision 2040* (Cardinia Shire Council, June 2021) is Council's key strategic document and incorporates the long-term Community Vision 2040. Council's Vision 2021 – 25 is identified as:

The unique identity of our urban, hills and rural areas is strengthened. We meet the challenges we face together as a community. How we respond balances the needs of our people, businesses, our productive land and natural environments.

The Council Plan is structured around 5 strategic objectives that underpin the overarching strategic direction: (1) Strong communities, (2) Liveable places, (3) Thriving environments, (4) Prosperous economies and (5) Responsible leadership. Strategic Direction 3 – Thriving environments, includes the development of an ESD policy in Year 1 (2021-22) and the incorporation of the ESD policy into the planning scheme in Year 2 (2022-23).

How does the amendment implement the objectives of planning in Victoria?

The amendment implements the following objectives of planning set out the *Planning and Environment Act 1987 (the Act)*:

- to provide for the fair, orderly, economic and suitable use, and development of the land (Sec 4 (1) (a))

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- to provide for the protection of natural and manmade resources and the maintenance of ecological processes and genetic diversity (Sec 4 (1) (b))
- to secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria (Sec 4 (1) (c)) and
- to balance the present and future interests of all Victorians (Sec 4 (1) (g)).

The amendment is also consistent with the objectives of the planning framework established by the Act, in particular:

- to ensure sound, strategic planning and co-ordinated action at State, regional and municipal levels (Sec 4 (2) (a))
- to enable land use and development planning and policy to be easily integrated with environmental, social, economic, conservation and resource management policies at State, regional and municipal levels (Sec 4 (2) (c))
- to ensure that the effects on the environment are considered and provide for explicit consideration of social and economic effects when decisions are made about the use and development of land (Sec 4 (2) (d))
- to facilitate development which achieves the objectives of planning in Victoria and planning objectives set up in planning schemes (Sec 4 (2) (e)) and
- to encourage the achievement of planning objectives through positive actions by responsible authorities and planning authorities (Sec 4 (2) (g)).

The amendment achieves the section 4 objectives by supporting and strengthening the application of ESD design and construction principles and methods; an approach that is in the equitable interests of all Victorians.

How does the amendment address any environmental, social and economic effects?

The Amendment is expected to deliver a net community benefit by introducing a local planning policy to facilitate sustainable development through the planning process.

Likely benefits include:

Environmental effects

- creating more energy and water efficient development to reduce wastage and reliance on non-renewable resources
- improving indoor environmental quality for the health and productivity of building occupants
- improving stormwater management to mitigate the impacts of stormwater on the environment, and provide cooling, local habitat and amenity benefits
- avoiding more waste generation by promoting greater reuse and recycling (in that order) during the design, construction and operation stages of development
- increasing resource recovery and minimising materials sent to landfill
- encouraging better protection and enhancement of biodiversity
- reducing heat island effects through building design, landscape design, water sensitive urban design and the retention of canopy and significant trees
- minimising car dependency by ensuring that the built environment is designed to promote the use of walking, cycling and public transport (in that order) and
- promoting the use of low emissions vehicle technologies and supporting infrastructure.

Economic effects

- whilst the upfront cost of development may increase in some instances, the Amendment will facilitate better consumer outcomes by:
 - aligning ESD outcomes to development scale
 - maximising cost-neutral ESD outcomes and avoiding retrofitting costs through more considered design and planning of development

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- reducing operating costs over the life of a building and
- lowering peak demands for energy and water consumption.

Social effects

- increasing affordability over the life of a building for commercial and residential occupiers through reduced servicing costs
- improving resilience to a warming climate and
- providing comfort, liveability and overall productivity for building occupiers.

Does the amendment address relevant bushfire risk?

The Amendment will not result in any increase to the risk to life as a priority, property, community infrastructure and the natural environment from bushfire.

Whilst the Amendment proposes to introduce a local policy that contains strategies to retain and provide indigenous vegetation (including canopy and significant trees) within development to reduce the urban heat island effect and protect and enhance biodiversity (Urban Ecology). The objectives of Urban Ecology would typically apply in urban areas where there is excessive hard surfaces and limited opportunities for extensive landscaping.

I, the following provisions of the Cardinia Planning Scheme take precedence (as relevant) where bushfire risk may be evident:

- Clause 13.02-1S Bushfire Planning
- Clause 21.02-4 Bushfire management
- Clause 44.06 Bushfire Management Overlay (BMO)
- Clause 52.12 Bushfire Protection Exemptions
- Clause 53.02 Bushfire Planning

Does the amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The amendment is consistent with the following Ministerial Directions as outlined in the Act:

- *Ministerial Direction on the Form and Content of Planning Schemes* (Sec 7 (5))
- *Ministerial Direction No.9 Metropolitan Strategy (Plan Melbourne 2017-2050)* (Sec 12 (2) (a)) and
- *Ministerial Direction No.11 Strategic Assessment of Amendments* (Sec 12 (2) (a)).

The amendment aligns with the following key outcomes and policy directions outlined in *Plan Melbourne: Metropolitan Planning Strategy 2017 – 2050*:

Outcome 5: Melbourne is a city of inclusive, vibrant and healthy neighbourhoods

- Direction 5.2: Create neighbourhoods that support safe communities and healthy lifestyles.

Outcome 6: Melbourne is a sustainable and resilient city

- Direction 6.1 - Transition to a low-carbon city to enable Victoria to achieve its target of net zero greenhouse gas emissions by 2050. Policy 6.1.1 specially seeks to 'improve energy, water and waste performance of buildings through environmentally sustainable development and energy efficiency upgrades'.
- Direction 6.2 - Reduce the likelihood and consequences of natural hazard events and adapt to climate change.
- Direction 6.3 - Integrate urban development and water cycle management to support a resilient and liveable city.
- Direction 6.4 - Make Melbourne cooler and greener.
- Direction 6.5 - Protect and restore natural habitats.
- Direction 6.6 - Improve air quality and reduce the impact of excessive noise.

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- Direction 6.7 - Reduce waste and improve waste management and resource recovery.
- *Plan Melbourne (Department of Environment, Land, Water and Planning, 2017)* is supported by the *Plan Melbourne Five Year Implementation Plan 2017-2022 (Department of Environment, Land, Water and Planning, 2019)* which focuses on the delivery of actions of Plan Melbourne.
- Action 80, Review the Victorian planning and building systems to support environmentally sustainable development outcomes for new buildings to consider their energy, water and waste management performance is identified as a short-term action (by the end of 2018 (0–2 years).

The *Plan Melbourne 2017 – 2050, 2020 Report on Progress (Department of Environment, Land, Water and Planning, 2021)* identifies that:

The 'Environmentally sustainable development of buildings and subdivisions: A roadmap for Victoria's planning system document' was released in early 2021 and outlines the government's agenda for supporting Environmentally Sustainable Development through Victoria's planning system. Work is currently underway to review planning standards on energy efficiency, air and noise pollution exposure, waste and resource recovery, and measures to ameliorate the impacts of urban heat extremes.

The amendment will help to achieve the above-mentioned outcomes of Plan Melbourne.

How does the amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment is consistent with and supports the following elements of the Planning Policy Framework:

Clause 11 Settlement

- Planning is to recognise the need for, and as far as practicable contribute towards the following issues:
 - Health, wellbeing and safety
 - Diversity of choice
 - Adaptation in response to changing technology
 - Economic viability
 - A high standard of environmental sustainability, urban design and amenity
 - Climate change adaptation and mitigation
 - Prevention of land, water, air and noise pollution
 - Protecting, conserving and improving biodiversity, waterways and other natural resources
 - Accessibility
 - Land use and transport integration
 - Waste minimisation and resource recovery
- 11.01-1S (Settlement). It is a strategy to deliver networks of high-quality integrated settlements that will:
 - support resilient communities and their ability to adapt and change
 - integrate the management of water resources into the urban environment in a way that supports water security, public health, environment and amenity outcomes
 - contribute to net zero greenhouse gas emissions through renewable energy infrastructure and energy efficient urban layout and urban design and
 - support metropolitan and regional climate change adaption and mitigation measures.
- 11.03-1S (Activity centres). It is a strategy to improve access by walking, cycling and public transport to services and facilities and to improve the social, economic and environmental performance and amenity of activity centres.

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- 11.03-2S (Growth areas). It is strategy to develop precinct structure plans that provide better transport choices, respond to climate change and increase environmental sustainability.

Clause 12 Environmental and Landscape Values

- Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.
- 12.01-1S (Protection of Biodiversity) seeks to assist the protection and conservation of Victoria's biodiversity, including by ensuring that decision making considers the impacts of land use and development on Victoria's biodiversity.
- 12.05-1S (Environmentally sensitive areas) which seeks to protect and conserve environmentally sensitive areas.

Clause 13 Environmental Risks and Amenity

- Planning should strengthen the resilience and safety of communities by adopting a best practice environmental management and risk management approach as well as prepare for and respond to the impacts of climate change.
- 13.01-1S (Natural hazards and climate change) objective is to minimise the impacts of natural hazards and adapt to the impacts of climate change through risk-based planning. Strategies include:
 - Respond to the risks associated with climate change in planning and management decision making processes.
 - Identify at risk areas using the best available data and climate change science.
 - Ensure planning controls allow for risk mitigation and climate change adaptation strategies to be implemented.

Clause 14 Natural Resource Management

- Planning is to assist in the conservation and wise use of natural resources including energy, water, land, stone and minerals to support both environmental quality and sustainable development.
- 14.02-1S (Catchment planning and management) objective is to assist the protection and restoration of catchments, waterways, estuaries, bays, water bodies, groundwater, and the marine environment. Strategies include:
 - Ensure that development at or near waterways provide for the protection and enhancement of the environmental qualities of waterways and their instream uses.
 - Require appropriate measures to restrict sediment discharges from construction sites.
- 14.02-2S (Water quality) objective is to protect water quality.

Clause 15 Built Environment and Heritage

- Planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods.
- Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
- Planning should promote development that is environmentally sustainable and should minimise detrimental impacts on the built and natural environment.
- Planning should facilitate development that:
 - Is adapted and resilient to climate related hazards.
 - Supports the transition to net zero greenhouse gas emissions.
 - Minimises waste generation and supports resource recovery.
 - Conserves potable water.

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- Supports the use of, and access to, low emission forms of transport.
- Protects and enhances natural values.
- Minimises off-site detrimental impacts on people and the environment.
- 15.01-2S (Building design) objective is to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development. Strategies for this clause address several ESD elements, such as:
 - Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.
 - Improve the energy performance of buildings through siting and design measures that encourage:
 - Passive design responses that minimise the need for heating, cooling and lighting.
 - On-site renewable energy generation and storage technology.
 - Use of low embodied energy materials.
 - Ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.
 - Encourage use of recycled and reusable materials in building construction and undertake adaptive reuse of buildings, where practical.
 - Encourage water efficiency and the use of rainwater, stormwater and recycled water.
 - Minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse.
 - Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.

Clause 16 Housing

- Planning should ensure the long-term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
- 16.01-1S (Housing supply) strategies include encouraging the development of well-designed housing that provides a high level of internal and external amenity.
- 16.01-2S (Housing Affordability) strategies include promoting good housing and urban design to minimise negative environmental impacts and keep costs down for residents and the wider community.

Clause 18 Transport

- Planning should ensure a safe, integrated and sustainable transport system that actively contributes to environmental sustainability and supports health and wellbeing.
- 18.01-1S (Land use and transport planning) seeks to support urban development that makes jobs and services more accessible by taking advantage of all available modes of transport and design neighbourhoods to better support active living and increase the share of trips made using sustainable transport modes.
- 18.01-3S (Sustainable and safe transport) objective is to facilitate an environmentally sustainable transport system that is safe and supports health and wellbeing. Strategies that relate to ESD elements include:
 - Prepare for and adapt to climate change impacts.
 - Prioritise the use of sustainable personal transport.
 - Avoid, minimise and offset harm to the environment by protecting biodiversity and reducing transport-related greenhouse gas emissions.
 - Design development to promote walking, cycling and the use of public transport, in that order, and minimise car dependency.

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- 18.02-1S (Walking) objective is to facilitate an efficient and safe walking network and increase the proportion of trips made by walking.
- 18.02-2S (Cycling) objective is to facilitate an efficient and safe bicycle network and increase the proportion of trips made by cycling.
- Both 18.02-1S (Walking) and 18.02-2S (Cycling) strategies includes to plan and develop walking and cycling networks that provide routes that are safe, direct and comfortable to use and accommodating emerging forms of low-emission, low and moderate speed personal transport.

Clause 19 Infrastructure

- Infrastructure planning should avoid, minimise and offset environmental impacts, and incorporate resilience to natural hazards, including future climate change risks.
- 19.01-1S (Energy supply) objective is to facilitate appropriate development of energy supply infrastructure. Strategies that support ESD elements include:
 - Support the development of energy generation, storage, transmission, and distribution infrastructure to transition to a low-carbon economy.
 - Ensure energy generation, storage, transmission and distribution infrastructure and projects are resilient to the impacts of climate change.
 - Facilitate renewable energy generation and storage to meet on-site energy needs.
- 19.01-2S (Renewable energy) objective is to support the provision and use of renewable energy in a manner that ensures appropriate siting and design considerations are met. Strategies that support ESD elements include:
 - Facilitate renewable energy development in appropriate locations.
 - Protect renewable energy infrastructure against competing and incompatible uses.
 - Set aside suitable land for future renewable energy infrastructure.
 - Consider the economic, social and environmental benefits to the broader community of renewable energy generation while also considering the need to minimise the effects of a proposal on the local community and environment.
- 19.03-3S (Integrated water management) objective is to sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach. Strategies include to:
 - Plan and coordinate integrated water management, bringing together stormwater, wastewater, drainage, water supply, water treatment and re-use, to:
 - Protect downstream environments, waterways and bays.
 - Manage and use potable water efficiently.
 - Reduce pressure on Victoria's drinking water supplies.
 - Minimise drainage, water or wastewater infrastructure and operational costs.
 - Minimise flood risks.
 - Provide urban environments that are more resilient to the effects of climate change.
 - Integrate water into the landscape to facilitate cooling, local habitat improvements and provision of attractive and enjoyable spaces for community use.
 - Facilitate use of alternative water sources such as rainwater, stormwater, recycled water and run-off from irrigated farmland.
- 19.03-5S (Waste and resource recovery) objective is to reduce waste and maximise resource recovery to reduce reliance on landfills and minimise environmental, community amenity and public health impacts. Strategies include:
 - Ensure future waste and resource recovery infrastructure needs are identified and planned for to safely and sustainably manage all waste streams and maximise opportunities for resource recovery.

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- Encourage technologies that increase recovery and treatment of resources to produce high value, marketable end products.

How does the amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

Cardinia Shire Council has a longstanding commitment to environmental sustainability. This commitment is embodied in Council's 16 September 2019 Climate Emergency Declaration which compels Council to act immediately and with urgency to reverse global warming.

Council Plan 2021-2025 identifies the development of an Environmentally Sustainable Design (ESD) Policy as a Council priority (Year 1 2021 -22) and it requires that the ESD Policy be incorporated in the Cardinia Planning Scheme (Year 2 2022 – 23).

Council's *Climate Change Adaptation Strategy 2022–33* acknowledges the *Council Plan 2021-25* commitment to the development (and timing) of the ESD Policy and Planning Scheme amendment. This Council Plan initiative would support long term adaptation benefits by raising the resilience of the built environment system to the accelerating impacts of climate change.

The Local Planning Policy Framework (LPPF) and Municipal Strategic Statement (MSS) supports sustainability through environmentally focused land use and development planning.

The strategic vision for the municipality (as outlined in [Clause 21.01-4 Strategic vision](#)) is:

Cardinia Shire will be developed in a planned manner to enable present and future generations to live healthy and productive lives and to enjoy the richness of the diverse and distinctive characteristics of the Shire.

The proposed amendment responds to the vision, objectives and strategies in the LPPF as follows:

- An objective of Clause 21.02-1 Catchment and coastal management includes 'To protect and improve the environmental health and social and economic values of water resources and ensure their efficient management'. Other objectives refer to the management and treatment of stormwater as well as utilising recycled waste water.
- Clause 21.02-8 Resource conservation identifies that the community needs to respond to climate change through strategies to reduce greenhouse gas emissions and the implementation of adaptation strategies to reduce vulnerability to projected future impacts of climate change. Three key areas for reducing the impact on the environment within the municipality are air, water and general waste.

The objective of this clause is to develop and promote more environmentally sustainable ways of living and working, including greenhouse gas emission reductions.

Strategies identified to achieve this include the reduction of greenhouse gas emissions, reduction in water consumption and encouraging development to incorporate sustainable building design including design that promotes the health and wellbeing of occupants.

This clause also identifies the 'development of local sustainable buildings guidelines' as further strategic work.

- Clause 21.03-2 Urban Established Area - Beaconsfield and Pakenham and 21.03-3 Urban Growth Area objective is to create a functional, attractive, safe and sustainable urban environment for the existing and future community. Several key principles for development are listed in both sections, including to increase environmental sustainability.
- Clause 21.03-4 Rural townships includes an objective to provide for the sustainable development of townships in the municipality having regard to environmental and servicing constraints. Strategies include providing sewage treatment and stormwater management systems to minimise the impact of existing township development on the environment.
- Clause 21.04 Economic Development identifies that the 'Officer-Pakenham State-significant Industrial Precinct' that will be a major provider of employment and business opportunities for residents of Cardinia Shire and Melbourne's south-east region.

A key issue of this clause is 'recognising the need for innovation, diversification and resilience within the local economy to improve and develop employment opportunities and a strong employment base within the municipality to meet the demands of the growing population'.

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- Clause 21.05-4 Public transport acknowledges the sparse nature of settlement in the municipality affects the viability of providing public transport to all residents, and there is a need to look at innovative and cost-effective means to maximise public transport services in the Cardinia Shire.
- Clause 21.05-5 Pedestrian and bicycle network identifies that alternative transport options such as walking and cycling are important in developing environmentally, socially and economically sustainable communities.
- Clause 21.06-1 Urban Design recognises that the long-term benefits of good design are a more attractive, functional and sustainable built environment. Enhancing the design and built form of existing industrial areas is identified as a key issue.

The Amendment is consistent with and supports the LPPF and MSS. The new ESD policy reinforces the need for future development to respond to sustainable development principles, providing guidance in achieving sustainability in the most efficient way. The policy provides a specific framework for the consideration of ESD during the planning permit process, specifying what types of development should implement ESD measures and to what degree.

Does the amendment make proper use of the Victoria Planning Provisions?

The amendment has been prepared in accordance with *Planning Practice Note 8 - Writing a Local Planning Policy* and *Planning Practice Note 46 - Strategic Assessment Guidelines*.

In particular, the Amendment makes proper use of the Victoria Planning Provisions as:

- the Municipal Strategic Statement includes broad strategic support for the local planning policy position; and
- local planning policies are appropriate tools to guide decision making in relation to a specific discretion.

How does the amendment address the views of any relevant agency?

The amendment leverages off support agencies have previously given to similar ESD local policies. Relevant agencies will also have an opportunity to provide their views on this amendment as part of the Amendment's statutory exhibition.

Does the amendment address relevant requirements of the Transport Integration Act 2010?

The amendment will not have a significant impact on the transport system, as defined in the Transport Integration Act 2010, as it would not in itself result in any increase in demand on the transport system.

Resource and administrative costs

- **What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

It is anticipated that the amendment will not have a significant impact on the resources and administrative costs of the responsible authority, given that:

- the amendment will not result in an increased number of planning permit applications;
- the policy will provide a transparent and consistent framework for decision making, reducing resources currently required to negotiate planning outcomes.

The Amendment will require the Responsible Authority to engage a dedicated ESD assessment resource and obtain relevant licensing to specified assessment tools. These resources will form part of Council's budget process.

Where you may inspect this amendment

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The amendment is available for public inspection, free of charge, during office hours at the following places:

Cardinia Shire Council

20 Siding Avenue

Officer 3809

The amendment can be inspected free of charge at:

- Cardinia Shire Council website at <https://www.cardinia.vic.gov.au/> and/or
- Department of Transport and Planning website at www.planning.vic.gov.au/public-inspection or by contacting 1800 789 386 to arrange a time to view the amendment documentation.

Submissions

Any person who may be affected by the amendment may make a submission to the planning authority. Submissions about the amendment must be received by 5pm **8 April 2024**.

Electronic submissions are preferable and should be sent to mail@cardinia.vic.gov.au (please include Amendment C278card in the e-mail title).

Or mailed to:

Cardinia Shire Council

Planning Strategy and Urban Design

Amendment C278card

PO Box 7

PAKENHAM VIC 3810

Panel hearing dates

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- Directions hearing: To commence in the week of **Monday 22 July 2024**.
- Panel hearing: To commence in the week of **Monday 26 August 2024**.

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7.1.2 Council Submission to Proposed Ministerial Amendment - Lang Lang Strategic Extractive Resource Area (SERA)

Responsible GM: Debbie Tyson
Author: Teresa Hazendonk

Recommendation(s)

That Council:

1. Notes and consider the proposed Ministerial Planning Scheme Amendment to apply new planning provisions to Strategic Extractive Resource Areas (SERAs) in Lang Lang contained in Attachment 1.
2. Endorses the submission contained in Attachment 2 that objects to the proposed Ministerial Planning Scheme Amendment to apply new planning provisions to Strategic Resource Areas (SERAs) in Lang Lang.
3. Submits the submission contained in Attachment 2 to the Minister for Planning accompanied by a cover letter signed by the CEO.
4. Notes that there are fundamental gaps in the proposed Strategic Extractive Resource Areas (SERAs) Planning Scheme Amendment as reported in Council's submission contained in Attachment 2.
5. Calls on the Victorian State Government to commit to fund the gap required for the Lang Lang Sand Truck Bypass.
6. Endorses the Mayor writing to the Minister for Planning highlighting the strong dissatisfaction with the process and impact on the community and request the amendment process is ceased until appropriate due diligence on community impact and community consultation is undertaken.

Executive Summary

State Government policy recognises that extractive resources such as rock, sand and gravel are vital to the building and construction industries in Victoria and need to be protected from inappropriate land use and development.

The State Government intends to identify and protect areas of strategic importance for extractive resources in planning schemes across Victoria via:

1. The Special Use Zone (SUZ) to land where there are active extractive industry operations to clearly identify that the land is used for this purpose.
2. The State Resource Overlay (SRO) to:
 - 2.1. identify existing EPA buffers around existing operational quarries to protect them from sensitive or inappropriate uses, and
 - 2.2. identify land in appropriate locations for future extractive industry and to ensure the compatibility of uses and development within the overlay with the future use of the area for extractive industries.

These planning controls have been applied in the South Gippsland and Wyndham Planning Schemes. It is now proposed to apply similar controls to the sand extraction areas in Lang Lang in the Cardinia Planning Scheme.

The proposal seeks to apply planning controls to areas around Lang Lang where there are known sand resources, as well as to existing operating quarries with a buffer control of 250 metres that currently exists via an EPA control, to ensure that sensitive uses such as dwellings do not encroach within the buffer.

To meet the deadline for lodging a submission, Council officers lodged an officer-level submission with the Minister for Planning on the 6 December 2024.

The submission contained in Attachment 2 is largely the same as the officer-level submission but modified to indicate that it is has become a Council endorsed submission.

Council's submission objects to the proposed Ministerial Planning Scheme Amendment in its exhibited form and requested that all issues raised in the attached submission are properly addressed, and the proposed planning scheme amendment is re-exhibited in accordance with a formal statutory procedure, to provide the opportunity for detailed scrutiny and natural justice for the community and Council.

Council's submission makes 29 requests, including the following:

1. The content of the proposed Special Use Zone – Schedule 8 (SUZ8) is amended to ensure all new proposed uses are strategically justified or continue to accurately align with the current Green Wedge Zone – Schedule 1 (GWZ1) and Rural Conservation Zone – Schedule 1 (RCZ1).
2. The content of the proposed Strategic Resource Overlay (SRO1) is amended to ensure the Notice, Decision and Review rights are not removed from the Lang Lang community when new or expanded quarries are proposed.
3. The State Resource Overlay (SRO1) is not applied to:
 - 3.1. Land on the western side of South Gippsland/Bass Highway in the Rural Conservation Zone (RCZ1) due to its conservation values and its proximity to the environmentally important and internationally significant Ramsar wetlands of Westernport Bay.
 - 3.2. Land within the Environmental Significance Overlay – Schedule 3 (ES03) due to the identified environmental values.
4. A Public Acquisition Overlay (PAO) be applied to the remaining sections of land that need to be acquired for the Lang Lang Sand Truck Bypass Road.
5. The Lang Lang Sand Truck Bypass Road is constructed before any new or expanded quarry proposals are approved.
6. The State Government provide funding for the acquisition of land and construction of the Lang Lang Sand Truck Bypass Road.
7. The Transport Zone 2 (TZ2) is applied to the Lang Lang Sand Truck Bypass Road after construction is completed.

Background

Victoria's population is set to double by 2050 and the demand for quarry materials like rock, gravel, and sand will also increase to build infrastructure, houses and other developments. The State Government document, *Helping Victoria Grow: Extractive Resources Strategy 2018*, identifies Victoria's high demand for extractive resources and emerging supply shortfalls are creating an urgent need for the State Government to take immediate action to secure these resources to meet Victoria's current and future infrastructure and housing needs.

The Strategy notes that the Extractive Industry Interest Areas (EIAs) were established in the 1990s and are recognised in Plan Melbourne and the Regional Growth Plans to identify the importance of stone and sand resources. Land around Lang Lang is included in an Extractive Industry Interest Area. The Strategy also identifies that the Extractive Industry Interest Areas do not provide a clear mechanism to protect these areas from encroachment from new housing developments or sterilisation caused by other permitted land uses such as small lot subdivisions in rural or green wedge areas or other policy overlays and planning decisions.

As a result, the State Department of Energy, Environment and Climate Action (DEECA) and Department of Transport and Planning (DTP) has identified Strategic Extractive Resource Areas (SERAs) within Extractive Industry Interest Areas, with the purpose to protect these SERAs with new planning provisions to ensure current and future quarries are protected from conflicting land uses and can supply raw materials.

Ministerial Planning Scheme Amendment VC196 was gazetted on 19 August 2021, introducing new planning provisions in the Wyndham, South Gippsland and Cardinia Planning Schemes. The purpose was to provide:

- Certainty for quarry operators to know that current and potential future operations will not be impacted by housing or other incompatible land uses.
- Certainty for local community to know that their lives will not be impacted by quarry operations near their homes.
- Certainty for the broader Victorian community and business to know that the construction materials required to build the infrastructure the State needs will be safeguarded and affordable.

Amendment VC196 introduced the State Resources Overlay (SRO2) into the Cardinia Planning Scheme to identify existing 250 metre EPA buffers generated by quarries located in the South Gippsland Shire.

The Department of Energy, Environment and Climate Action (DEECA) and the Department of Transport and Planning now propose another Ministerial Planning Scheme Amendment to introduce new planning provisions into the Cardinia Planning Scheme to protect land known to contain sand resources in Lang Lang for Extractive Industry purposes. A new Special Use Zone (SUZ8) is proposed to be applied to land where there are active extractive industry operations to clearly identify that the land is used for this purpose. Also, two State Resource Overlays (SRO1 and SRO3) are proposed to be applied; one to identify the existing 250 metre EPA buffers surrounding existing operational quarries to further assist in protecting them from sensitive or inappropriate uses, and the other to identify land for future extractive industry in appropriate locations known to contain sand resources in Lang Lang and to ensure there will be compatibility of uses and development within the overlay with the future use of the land for Extractive Industry.

To meet the Minister's deadline for lodging a submission, Council officers lodged an officer-level submission with the Minister for Planning on 6 December 2024.

The submission contained in Attachment 2 is largely the same as the officer-level submission but modified to indicate that it is has now become a Council endorsed submission.

The Department of Energy, Environment and Climate Action and the Department of Transport and Planning have exhibited Plan 1 to show locations of the proposed new Zone and Overlays.



Plan 1: Draft Planning Controls Lang Lang Strategic Extractive Resource Area

Discussion

The proposed Ministerial Amendment documents contained in Attachment 1 generally identify where the Special Use Zone (SUZ8) and State Resource Overlays (SRO1 and SRO3) are proposed to be applied. More accurate plans requested by Council officers during the preliminary consultation phase were not provided.

Proposed SUZ8

In principle, Council officers are supportive of the intent behind application of the SUZ8 to existing operational quarries as it clearly identifies land that is already used for quarrying. The SUZ8 will not be applied to proposed quarries that are not yet operational. An existing 250 metre EPA buffer surrounds each of these existing quarries.

Council’s submission however raises concerns about some of the proposed ‘Section 1 – No permit required uses’ and ‘Section 2 – Permit required uses’. Some of these proposed uses are not ancillary to Extractive Industry and are currently not allowed in the GWZ1 and RCZ1. Strategic justification for these proposed uses has not been provided. Council’s submission

requests strategic justification for these new uses, or they should retain their current status in the GWZ1 and RCZ1.

It is also not clear whether existing planning permits for Extractive Industry will continue to have force and effect if Extractive Industry becomes a 'Section 1 – No permit required use'. Council's submission requests confirmation from the Minister that existing permit conditions can continue to be enforced, or consideration be given to the implications if they cannot be enforced.

Council's submission does not support the application of the SUZ8 until these matters have been clarified and strategically justified.

Proposed SRO1

The Department of Energy, Environment and Climate Action and the Department of Transport and Planning state that they have identified the SERAs/SRO1 boundaries by considering a range of criteria, including environmental and cultural heritage values, including native vegetation and waterways. The technical background assessments that consider these matters in detail have not been exhibited.

Council's submission objects to the proposed SRO1 in its exhibited form until detailed technical background assessments on a wide range of issues have been carried out to demonstrate the necessary strategic justification for applying the SRO1.

Land on western side of South Gippsland/Bass Highway.

This area is zoned Rural Conservation Zone (RCZ1) and is very close to Westernport Bay which is identified as a Ramsar wetland. It is one of the three most important areas for migratory wader birds in Victoria and supports numerous migratory species listed under international migratory bird conservation agreements. The environmental importance of Westernport Bay is of international significance, and the land within the RCZ1 is identified to have conservation values that need to be protected.

The SRO1 should not be applied to this land until detailed technical background assessments that provide strategic justification to apply this Overlay to the land are provided for public examination and comment.

Land within the Environmental Significance Overlay – Schedule 3 (ES03)

The ESO is only applied to land that has been demonstrated to contain important environmental values that must be protected.

The SRO1 should not be applied to this land until detailed background reports that provide the strategic justification to apply this Overlay to the land are provided for public examination and comment.

Exemption from Notice, Decision and Review rights

The proposed SRO1 seeks to exempt a planning permit application for Extractive Industry from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2) and (3) and the review requirements of section 82(1) of the Planning and Environment Act 1987, if the proposed quarry:

- Is to be located at least 250 metres from a sensitive land use, and,
- Has access to a road in Transport Zone 2 (TZ2) (the principal road network), including a declared arterial road.

The second point would include new and expanded quarry proposals with access to Westernport Road which is in Transport Zone 2. This exemption would remove the current legal rights of the community to receive notification, make a submission or objection and

appeal a decision whenever a new quarry proposal intends to establish or expand on Westernport Road and increase the number of quarry trucks passing through the township.

Council's submission objects to this exemption due to the detrimental amenity and safety issues caused by quarry trucks that are already being experienced by residents of the Lang Lang township. Any new or expanded quarry proposal should not be exempt from the usual Notice, Decision and Review requirements.

Council's submission also does not support this exemption as it risks excluding Council from being able to impose or advocate (i.e. for Ministerial permits) for planning permit conditions for new quarries to contribute money towards the future Lang Lang Bypass.

Proposed SRO3 (buffers around proposed SUZ8)

In principle, Council officers support the application of the SRO3 as it will make the existing 250 metre EPA buffer surrounding existing quarries transparent in the planning scheme.

Council's submission does, however, raise concern about the need to include a Decision Guideline requiring consideration of Council's Biolink Plan.

Safety, Amenity and Roads

Delivery of the Lang Lang Sand Truck Bypass Road

Heavy vehicles (quarry trucks) use Westernport Road and McDonalds Track to access quarry sites on the eastern side of the township, causing detriment to the safety and amenity of business owners and users in the central business area and residents using and living along these roads. The continual recurring damage to these roads is also a major problem causing damage to private vehicles and costly road repairs for Council.

In recent years, the Department of Energy, Environment and Climate Action and the Department of Transport and Planning have increased the permitted truck size of quarry trucks travelling on Westernport Road through the town centre from 26 metres long to 36.5 metres long without consulting the community or Council. This has only increased the serious problems that were already being experienced by the community and Council.

The proposed planning scheme amendment seeks to facilitate and increase the number and size of quarries in Lang Lang but has not analysed and responded to the relevant local planning provisions that are strongly presented in the Cardinia Planning Scheme.

As evident by numerous local planning provisions that have been approved by the Minister for Planning, the need to deliver the Lang Lang Sand Truck Bypass Road has been identified for more than 18 years in the Cardinia Planning Scheme to improve community safety and amenity in the township. While the strong economic benefits to quarry operators are clearly evident, this cannot be at the detriment to the community of the Lang Lang township. This has been recognised by Local planning provisions which include a requirement for quarry operators to make monetary contributions to assist in funding the delivery of the Lang Lang Sand Truck Bypass Road

Lang Lang Sand Truck Bypass Road - Land acquisition

Most of the land required for the bypass road has already been acquired from relevant landowners via planning scheme requirements and planning permits. There appears to be three sections of land still needed to be acquired for the proposed road, these have been highlighted red in the depiction of the Lang Lang Framework Plan in Plan 2 below. One of these sections will form part of Stage 1 of the sand truck bypass road which is on the eastern side of McDonalds Track and is on private land within a sand quarry. The other two sections will form part of Stage 2 of the sand truck bypass road which is on the western side of McDonalds Track. These are located within the Green Wedge Zone on private land that cannot

be subdivided, and as such there will be no opportunity to acquire these two sections via planning permits granted for subdivisions.

The need for the bypass road will significantly increase as more sand quarries come into operation. The proposed planning provisions seek to increase protection and will further elevate the importance of the sand resources in Lang Lang. The increased quarry truck traffic through the town centre will be detrimental to the amenity and safety in the township through increased traffic, noise, dust and damage to roads.

To ensure the bypass road can be delivered, Council's submission requests that the proposed planning provisions are expanded to include the application of a Public Acquisition Overlay (PAO) on the remaining sections of land needed for the Lang Lang Sand Truck Bypass Road and that the State Government provide funding for acquisition of the land.

Lang Lang Sand Truck Bypass Road - Functional design of Stages 1 and 2

A functional design for the bypass road was carried out in 2014. The design requirements and traffic data that informed that design are now outdated.

Council officers have progressed work on a new feasibility study (including concept functional design) that will be informed by new traffic data and current design requirements.

Lang Lang Sand Truck Bypass Road - Construction of Stage 1

Following the completion of the concept functional designs for Stage 1, detailed designs will be required. This will take approximately 12-18 months to complete and will need to include approvals from Melbourne Water, Department of Transport and Planning and the Department of Energy, Environment and Climate Action. A Planning Permit for vegetation removal may also be required. The construction of Stage 1 is anticipated to cost more than \$20 million.

Lang Lang Sand Truck Bypass Road - Construction of Stage 2

Following the completion of the concept functional designs for Stage 2, a detailed design will be required. This will take approximately 12-18 months to complete and will need to include approvals from Melbourne Water, Department of Transport and Planning and the Department of Energy, Environment and Climate Action to assist further progression to construction. A Planning Permit for vegetation removal may also be required. The construction of Stage 2 is anticipated to cost more than \$20million.

In the past 18 years Council has applied planning permit conditions for new quarries to contribute to towards the construction of Stage 1 of the bypass road or entered into complex Deeds with new quarries to contribute towards the bypass road. The level of contribution imposed on new quarries towards the bypass road is based on sand extraction rates which directly relate to the number of trucks required to travel through the Town Centre.

Council have had to aggressively negotiate with each new quarry operator to contribute towards the bypass road. Council officers highlight the challenges in imposing and securing compliance with permit conditions including the existence of an active Shire of Cranbourne planning permit and the lack of support for Council's position on the bypass road at the Victorian Civil Administrative Tribunal. Council has collected some funds for the construction of Stage 1 of the bypass road and the provision of noise attenuation barriers for Stage 2 of the bypass road.

Council's submission requests that the State Government provide funding to construct the Lang Lang Sand Truck Bypass Road.

South Gippsland Highway Intersection

There are known peak hour capacity issues with the existing roundabout at the intersection of Westernport Road and South Gippsland Highway. The proposed planning scheme amendment

seeks to facilitate and increase the number and size of quarries in Lang Lang which will increase quarry truck traffic due to this expansion. It is anticipated that this roundabout will need to be upgraded or an alternative intersection to be provided. This would apply to both heavy vehicles and passenger vehicles.

Council's submission requests that the capacity of the existing roundabout at the intersection of South Gippsland Highway and Westernport Road is properly investigated, and the intersection is upgraded to accommodate the expected increase in quarry truck traffic before any new or expanded quarry proposals are approved.

Biodiversity

Council's submission raises the following issues in relation to biodiversity.

Western Port Green Wedge Coastal Precinct & Western Port Ramsar Site

Council's submission objects to the proposed SRO1 being applied to land between South Gippsland Highway and Western Port Bay. Further detailed investigations need to be conducted and exhibited for public examination with a focus on how the SRO1, which encourages extractive industries, can balance planning objectives to ensure that any activities do not negatively impact the vision for the Western Port Green Wedge Coastal Precinct and the values of the Western Port Ramsar Site. Strong consideration must be given to whether this area of land can reasonably support extractive industry while protecting the area's high environmental, landscape and scenic values, including the internationally significant Western Port Ramsar site.

Environment Significant Overlay- Schedule 3.

Council's submission objects to the proposed SRO1 being applied to land located within an Environment Significance Overlay (ESO3) until detailed background reports that provide the strategic justification to apply this overlay to the land are provided for public examination.

Impacts on flora and fauna values

Council's submission raises concern that the determination of the SRO1 boundaries has not been informed by empirical data but rather relies on modelled datasets which may not capture the full complexity of on ground conditions. To enhance the accuracy and reliability of the Background Technical Report informing the SRO1 boundaries, it is requested that detailed field assessments be conducted. By integrating terrestrial and aquatic ecology field assessments, the planning process can be more grounded in actual environmental conditions, leading to more informed and sustainable decision-making

Cardinia Biolinks

The *Cardinia Biolink Plan 2023-33* (Biolink Plan) is an initiative by the Cardinia Shire Council aimed at enhancing biodiversity and supporting wildlife movement across the region. It focuses on creating and maintaining wildlife corridors, known as biolinks, which connect pockets of native vegetation.

While the Lang Lang SERA focuses on securing quarry resources, the Cardinia Biolink Plan aims to enhance biodiversity through habitat connectivity. Balancing these objectives requires careful planning and collaboration to ensure sustainable development and conservation.

Council's submission requests careful consideration of the Biolink Plan and integration into the decision guidelines of the SROs to assist in planning and balancing the environmental impacts of resource extraction and support biodiversity conservation efforts.

Cardinia Significant Roadsides

Located within the SERA are number of significant roadsides which serve as vital ecological corridors, connecting fragmented habitats and allowing wildlife to move freely in search of food, shelter, and mates. This connectivity is essential for maintaining genetic diversity and the overall health of ecosystems.

Council's submission requests proper consideration of significant roadside vegetation and Council's involvement in all planning and construction decisions, including those where the Council may not be the Responsible Authority (such as ministerial permit applications), and integrating consideration of significant roadside areas to ensure that Cardinia Shire's natural environment remains resilient, healthy, and valued by the community. This approach supports both biodiversity and ecological health

Eucalyptus strzeleckii (Strzeleckii Gum)

Council Environment Officers conducted a field evaluation of the Lang Lang SERA to inform Council's submission. During this assessment trees observed within the SERA displayed strong characteristic associated with a species known as *Eucalyptus strzeleckii* (Strzeleckii Gum) which is classified as 'Vulnerable' under the Commonwealth Government *Environment Protection and Biodiversity Conservation Act 1999* and as "Critically Endangered" under the Victorian Government *Flora and Fauna Guarantee Act 1988*.

Council's submission has requested that targeted field assessments of Strzeleckii Gum are carried out to inform the final boundaries of the proposed SRO1.

Climate Change

Planning for Sea Level Rise and Storm Surge

Planning for Sea Level Rise (SLR) and Storm Surge (STM) poses a hazard to proposed sand mine quarrying activities, particularly with the western section of the proposed SRO1.

Council's submission requests proper consideration of the projected impacts of Sea Level Rise (SLR) and Storm Surge (STM) and that the SRO1 is not applied to land where Sea Level Rise and Storm Surge poses a hazard.

Land Subject to Inundation Overlay (LSIO)

The proposed SRO1 does not appear to take into consideration the Land Subject to Inundation Overlay (LSIO). The State Government climate models for the year 2100 (0.82 metres) highlight a hazard to proposed changes to land use via sand mine quarrying activities.

Council's submission requests that the proposed SRO1 demonstrates careful consideration of land within an LSIO.

Groundwater Resources

The proposed SRO1 does not appear to take into consideration of areas where there are already maximum ground water allocation licences.

Council's submission requests that the proposed SRO1 demonstrates proper consideration of integrated water management and water resources.

Renewable Energy Zones

Part of the proposed SRO1 is within the State Government's Renewable Energy Zones Investigation Area. The proposed SRO1 could preclude any future renewable energy proposals.

Council's submission requests that the proposed SRO1 demonstrates proper consideration of the Renewable Energy Zones Investigation Area.

Resource Conservation

The proposed SRO1 does not appear to consider resource conservation and provide a response to greenhouse gas emissions.

Council's submission requests that the proposed SRO1 proper consideration of resource conservation and include provisions to develop and promote land use in a more environmentally sustainable way including greenhouse gas emission reductions aligned to the State Target of Net Zero by 2045 and reducing water consumption.

Post Contact Heritage

Part of the proposed SRO1 is within a Heritage Overlay (HO). The heritage property located at 115 Jetty Lane is affected by H050 Bayview Farm including House, Dairy Shed and Well.

Council's submission requests that the proposed SRO1 demonstrates proper consideration of post-contact heritage.

Policy Implications

Relevant planning policies include the following:

Relevant State Planning Policy

Clause 13.07-1S Land use compatibility

The objective is "to protect community amenity, human health and safety while facilitating appropriate commercial, industrial, infrastructure or other uses with potential off-site impacts."

Clause 14.03-1S (Resources exploration and extraction)

The objective is "to encourage exploration and extraction of natural resources in accordance with acceptable environmental standards."

An important strategy to note is:

- Recognise the possible need to provide infrastructure, including transport networks, for the exploration and extraction of natural resources.

Relevant Local Planning Policy

Clause 21.04-6 Extractive Industry

Recognises that Cardinia Shire contains areas known as EIAs, including hard rock which is primarily extracted from the hills north of the Princes Highway and sand resources in the Lang Lang area.

The objective is "to recognise and protect significant sand and stone resources in the municipality and allow the extraction of these resources if it can be demonstrated that the extractive operation will not adversely impact on the environment or community."

An important strategy to note is:

- Designate transport routes between extractive industry sites and the arterial road network and require contributions towards the upgrading and maintenance of transport routes from extractive industry sites.

An important strategic implementation to note is:

- Completing the planning and design of the Lang Lang Bypass for sand truck traffic.

Clause 21.05-2 Freeways, declared arterial roads

Recognises the need to ensure a quality road network and the critical importance that Council's land use and transport planning seeks to maximise the efficiency, safety and visual outlook of these roads.

An important key issue to note is:

- Providing for the upgrade and construction of future declared arterial roads, including Lang Lang bypass.

The objective is "to provide for an efficient, safe and attractive arterial road network and to ensure effective integration of land use, transport and environmental outcomes."

An important strategy to note is:

- Facilitate the development of the Lang Lang bypass.

Clause 21.05-3 Local roads

Recognises the need to provide adequate roads in townships and upgrading of the local road network to support economic development and maintain environmental values.

An important key issue to note is:

- Completing the Lang Lang bypass to keep the heavy vehicles associated with the sand extraction industry out of the Town Centre.

Objective 1 is 'to provide an efficient, safe and attractive local road network and minimise potential adverse impacts from traffic on the amenity of adjoining residents.'

An important strategy to note is:

- Facilitate the development of the Lang Lang Bypass.

Objective 2 is "to manage the impact of the use, development and subdivision of land on the local road network."

An important strategic implementation to note is:

- Including land required for road improvements such as widening and realignments in a Public Acquisition Overlay.

Clause 21.08-1 Lang Lang

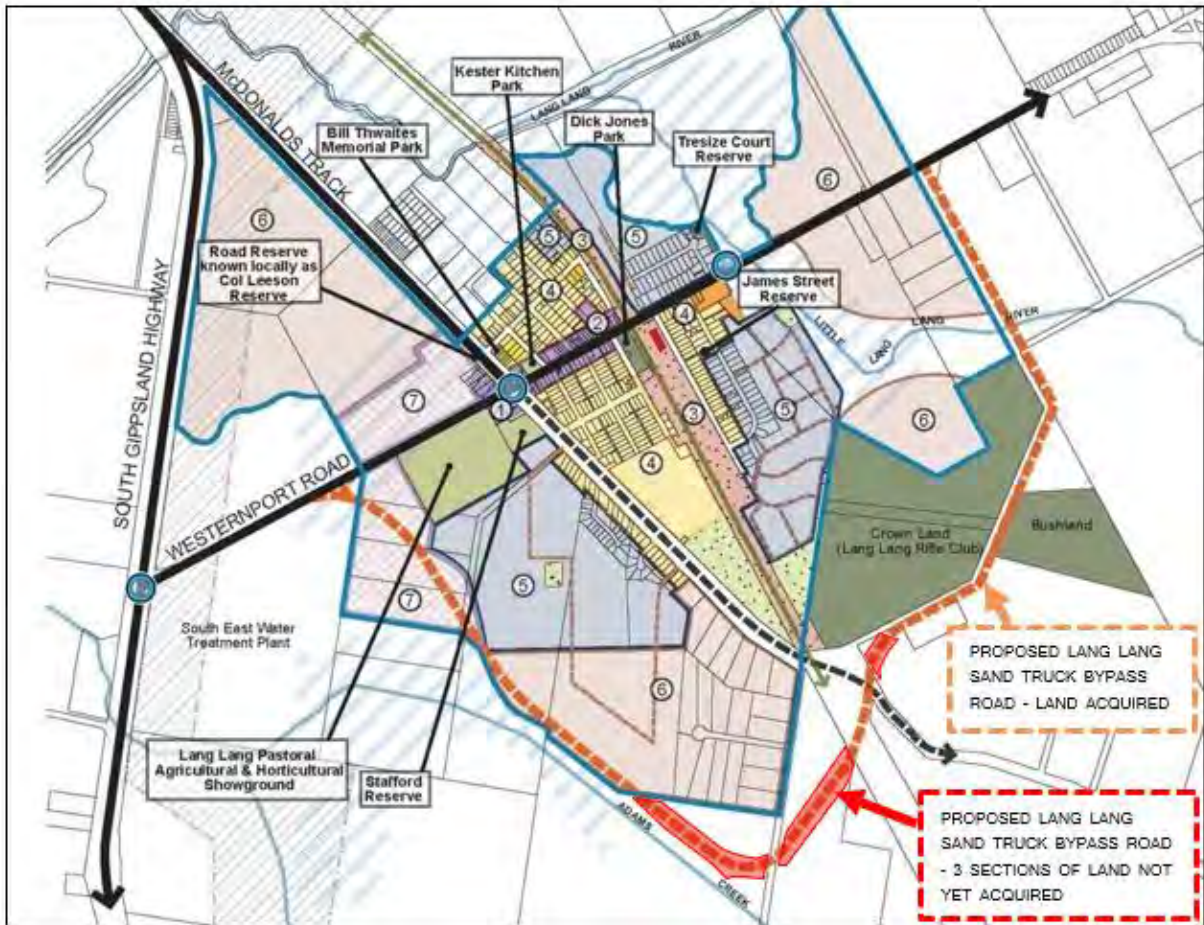
Requires development to accord with the Lang Lang Framework Plan and the *Lang Lang Township Strategy 2009*. It seeks the provision of the Lang Lang sand truck bypass road to keep quarry trucks from passing through the township and damaging local roads, including McDonalds Track which is under Council's management.

Lang Lang Township Strategy 2009

The Lang Lang Township Strategy 2009 is an Incorporated Document in the Cardinia Planning Scheme. As Incorporated Documents forming part of the Planning Scheme, it holds significant weight in planning decision making. It continues to stand the test of time as an important piece of legislation to achieve important planning outcomes for the community, particularly the need and delivery of the Lang Lang Sand Truck Bypass Road.

To date planning scheme provisions have been successful in acquiring most of the land required for this bypass road from the relevant landowners. There appears to be three sections

of land still needed to be acquired for the proposed road, these have been highlighted red in the depiction of the Lang Lang Framework Plan below in Plan 2.



Plan 2: Lang Lang Framework Plan

Clause 22.02 Sand extraction – Lang Lang to Grantville

Recognises that the Lang Lang to Grantville area contains significant sand resources which are expected to become a major source of sand for the Melbourne supply area over the next 10 to 20 years. The extraction of the sand resources will have significant economic, social, and environmental effects on the area.

This clause has an objective to protect the sand resources in this area for extraction and rehabilitation in a manner that protects the significant environmental, economic, and social values of the area.

Clause 22.05 Western Port Green Wedge Policy

This policy places Lang Lang township and land to the north, east and south of the township in Precinct 1: Agriculture, Horticulture and soil based food production.

Land to the west of the township is in Precinct 2: Coastal.

Both precincts make important directions in relation to Extractive Industry:

- Support the investigation and operation of potential future extractive industry in the area nominated as an Extractive Industry Interest Area
- Ensure that there is a balance between the extraction of natural resources and the intent of the precinct and that any investigation and operation is carefully planned to ensure that it is compatible with local amenity, landscape, flora and fauna.

Cardinia Western Port Green Wedge Management Plan, May 2017

The Cardinia Western Port Green Wedge Management Plan, May 2017, is the Reference Document that underpins this local planning policy. Section 7.12. This reference document adopted by Council has a section relating to Extractive industry and stipulates Council's objective, strategies and actions.

The objective is to “*Recognise the importance of extractive industry for both the municipality and metropolitan Melbourne and ensuring that these activities are not detrimental to the environment.*”

An important strategy to note is:

- *Protect the sand resources in the Lang Lang area in order to provide for the extraction of these resources and the rehabilitation of sites in a manner that protects the significant environmental, social and economic values of the area.*

An important action to note is to “*Write to the Minister for Planning seeking support for the requirement of an EES when Council becomes aware that a future planning permit application will be made, or a planning permit application is lodged for extractive industry proposals that have the potential to significantly adversely affect the environment.*”

Financial and Resource Implications

The review of the proposed amendment and preparation of this submission has occurred within existing operational expenditure. Likewise, advocacy initiatives and project feasibility of the Lang Lang Bypass will continue within existing allocated budgets.

It should be recognised that if the amendment is supported, additional unknown costs, which may be substantive, will occur to Council.

Relevance to Council Plan**1.1 We empower our communities to be healthy, connected and resilient**

1.1.4 Facilitate a partnership approach to create safer communities.

2.1 We support the creation of liveable spaces and places

2.1.1 Advocate, plan for and deliver accessible community infrastructure and services that address community need.

2.1.5 Upgrade Council's road network to improve safety and connectivity while considering traffic demand and freight transport needs.

3.1 We value our natural assets and support our biodiversity to thrive

3.1.3 Work with community to improve and manage our natural assets, biodiversity and cultural heritage.

3.1.4 Plan and advocate for better water cycle planning and management to reduce environmental impacts.

5.1 We practise responsible leadership

5.1.1 Build trust through meaningful community engagement and transparent decision-making.

5.1.2 Manage our finances responsibly and leave a positive legacy for future generations.

5.1.4 Maximise value for our community through efficient service delivery, innovation, strategic partnerships and advocacy.

5.1.5 Champion the collective values of the community through the Councillors' governance of the shire.

Climate Emergency Consideration

Extractive resources are required to construct major projects across Melbourne, including the Suburban Rail Loop, Metro Tunnel, Level Crossing Removals, North-East Link, Westgate Tunnel and Regional Rail renewal. These projects will provide additional public transport opportunities and help to reduce congestion across Melbourne, which will have a positive environmental impact.

The impact from SERA's proposal on areas of environmental significance including climate change considerations, Western Port Bay and other important biodiversity, are a significant focus of Council's submission.

Consultation/Communication

At the request of Department of Transport and Planning and Department of Energy, Environment and Climate Action officers, the Minister for Planning directed that the draft planning controls be formally exhibited to the public from 2 October to 18 November 2024 to assist informing a proposed Section 20(4) planning scheme amendment.

The Department of Transport and Planning and Department of Energy, Environment and Climate Action officers held a public information drop-in session in Lang Lang on 22 October 2024. The session was well attended by the community, with approximately 200 community members attending, who raised numerous concerns with the proposed planning controls. Council officers have also been informed by the Department of Energy, Environment and Climate Action officers that another public information session in Lang Lang was held on 7 November 2024.

Council officers have received several enquiries and objections from the community. We have encouraged these community members to submit their objections to the Minister for Planning. Council officers have heard the following key concerns and sentiments from the community:

- Impacts on the Environment (water table and access to water, loss of flora and fauna, detriment to Western Port Bay and proximity to a RAMSAR site).
- Impacts on the Community (concerns with silicious, amenity, safety, light spill and enforcement of existing quarries practices).
- Impacts on the Economy (landowners and businesses concerned with existing land use rights, impact on the town and the inability to review proposed quarries in the future).
- Impacts from increased truck movement in the town and surrounds. Many community members desire the Sand Truck Lang Lang Bypass to be built now, prior to the proposed amendment being progressed.
- Concerns with the proposed amendment process undertaken.

Council officers have created an information page on the Cardinia Shire Council website to assist the community with accessing State Government information and understanding that this is not a Council-led planning scheme amendment.

Conclusion

The State Government has identified the need to protect land that is suitable for extractive industry from encroachment from sensitive uses such as dwellings across Victoria.

After completing amendments to the South Gippsland and Wyndham Planning Schemes, it is now proposed to amend the Cardinia Planning Scheme to apply new planning provisions to the sand extraction area in Lang Lang.

Cardinia Shire Council objects to the proposed Ministerial Planning Scheme Amendment in its exhibited form and requested that all issues raised in the attached submission (Attachment 2)

are properly addressed, and the proposed planning scheme amendment is re-exhibited in accordance with a formal statutory procedure, to provide the opportunity for detailed scrutiny and natural justice for the community and Council.

It is recommended that Council:

1. Notes and consider the proposed Ministerial Planning Scheme Amendment to apply new planning provisions to Strategic Extractive Resource Areas (SERAs) in Lang Lang contained in Attachment 1.
2. Endorses the submission contained in Attachment 2 that objects to the proposed Ministerial Planning Scheme Amendment to apply new planning provisions to Strategic Resource Areas (SERAs) in Lang Lang.
3. Submits the submission contained in Attachment 2 to the Minister for Planning accompanied by a cover letter signed by the CEO.
4. Notes that there are fundamental gaps in the proposed Strategic Extractive Resource Areas (SERAs) Planning Scheme Amendment as reported in Council's submission contained in Attachment 2.
5. Calls on the Victorian State Government to commit to fund the gap required for the Lang Lang Sand Truck Bypass.
6. Endorses the Mayor writing to the Minister for Planning highlighting the strong dissatisfaction with the process and impact on the community and request the amendment process is ceased until appropriate due diligence on community impact and community consultation is undertaken.
7. Commences a communication and advocacy campaign highlighting Council's submission.

Attachments

1. Attachment 1 - Proposed Ministerial Planning Scheme Amendment - Lang Lang SERA - Amendment Documentation [7.1.2.1 - 114 pages]
2. Attachment 2 - Cardinia Shire Council submission Proposed Ministerial (4) [7.1.2.2 - 54 pages]



Strategic Extractive Resource Areas

Background Technical Report
to Draft Planning Controls - Lang Lang,
Oaklands Junction and Trafalgar

/ September 2024



Department
of Transport
and Planning

ACKNOWLEDGEMENTS

Authorisation

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Document information

Date of approval September 2024.

We proudly acknowledge Victoria's First Nations people and their ongoing strength in practising the world's oldest living culture. We acknowledge the Traditional Owners of the lands and waters on which we live and work and pay our respects to their Elders past and present.

Description of artwork

Aaron (Gunaikurnai) *'Movements Between the Five Clans'* 2019, acrylic on canvas.

'The tracks are going between the five clans of the Gunaikurnai and the hands are the symbols of my spirit travelling around the campsites.'

This artwork was created through programs provided by the Torch. The Torch provides art, cultural and arts industry support to Indigenous offenders and ex-offenders in Victoria. The Torch aims to reduce the rate of re-offending by encouraging the exploration of identity and culture through art programs to define new pathways upon release.



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1. INTRODUCTION

About this report

This report explains the Strategic Extractive Resource Areas (SERAs) program and the rationale for the draft planning controls proposed to apply to three SERAs, near Lang Lang in Cardinia Shire, Oaklands Junction in Hume City, and Trafalgar in Baw Baw Shire.

The proposed planning changes detailed in this report have been prepared by the Department of Transport and Planning (DTP) and Resources Victoria (within the Department of Energy, Environment and Climate Action) with input from the Bunurong Land Council Aboriginal Corporation, Gurnaikurnai Land and Waters Aboriginal Corporation and Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation as well as the Bass Coast, Baw Baw, Cardinia, Hume and South Gippsland councils. Consultation with extractive industry peak bodies – Concrete, Cement and Aggregates Australia and the Construction Material Processors Association have also informed the proposals.

There is additional information at engage.vic.gov.au/sera-langlang-oaklandsjunction-trafalgar namely:

- draft planning controls for each proposed SERA
- information sheets for each SERA
- frequently asked questions.

The draft planning controls are now subject to public consultation, and written submissions about them are invited.

Submissions must be made by **Friday 8 November 2024**.

Submissions can be made at www.engage.vic.gov.au/sera-langlang-oaklandsjunction-trafalgar

If you have any questions about the proposals for the consultation, please phone **136 186** or email planning.implementation@transport.vic.gov.au

After public consultation has ended and all submissions have been considered, the Minister for Planning will decide on the final implementation of the SERA planning controls.

About Strategic Extractive Resource Areas

A Strategic Extractive Resource Area (SERA) is an area known or likely to contain a significant supply of extractive resources (such as hard rock or sand) located close to a large population that will need these resources over the long-term for construction purposes.

A SERA may comprise:

- a broad area of land with few or no existing quarries but which may provide new supply opportunities over the long-term
- land encompassing an existing quarry that annually supplies a significant volume of extractive resources and has a long-term supply of available resources.

A SERA:

- is well-serviced by roads and reasonably close to where extractive resources are needed to reduce transport (and therefore construction) costs and emissions
- is located where a quarry will not have significant or unmanageable impacts on the environment and surrounding land uses
- has surrounding environmental attributes that are manageable
- does not change any requirements regarding the process or preparation of a cultural heritage management plan under the *Aboriginal Heritage Act 2006*.

SERAs are called 'strategic' because Victoria must have ready access to enough of the quality resources it needs to build affordable homes and public and private sector infrastructure for our growing population, which is set to double by 2050. We must plan for the long-term to get the balance right between ensuring these resources are available and ensuring communities can continue to develop, but not in ways that limit or prevent existing and future quarries from operating. Planning schemes must clearly identify SERAs and their requirements for protection so that:

- planning authorities, responsible authorities and others may properly consider SERAs when making decisions about nearby land uses and development
- extractive industry knows SERAs are suitable places for future quarries: where quantities of quality resources are likely to occur, there is good road access and the local planning system balances operators' needs with existing values, land uses and community interests
- the community knows where future quarries are likely to be, so plans for development around them can occur in a way that limits potential noise, dust and traffic impacts.

About the SERA program

The Victorian Government developed the Strategic Extractive Resource Areas (SERA) program to plan for the long-term to get the right balance between safeguarding the future availability of strategic extractive resources and ensuring communities can continue to develop, but not in locations that are too close to existing or future quarries.

The SERA program aims to:

- protect strategic extractive resources from incompatible land uses over the long-term to ensure there is a sufficient supply of these resources to meet the growing demand from housing, infrastructure and other construction projects
- secure supplies as close as practicable to where the resources will be needed, helping to lower the cost of these much-needed construction materials and the emissions generated by transporting them

- increase certainty for local communities, the extractive and construction industries and others about future locations for extractive industry and land uses in and around those locations
- protect the resources and provide certainty in a way that acknowledges environmental, social, cultural and economic assets and values, including Aboriginal cultural heritage.

The intended benefits of the SERA program include:

- greater long-term certainty for extractive industry about the preferred locations of future quarrying operations and land uses close to them
- better long-term protection of areas of known strategic extractive resources close to transport infrastructure
- better guidance for decision-makers about managing proposed sensitive land uses, development and subdivision near SERAs and operating quarries.

The SERA program is being jointly delivered by the DTP and Resources Victoria in DEECA.

Why the SERA program?

In recent years, unprecedented public and private sector investment in Victoria's infrastructure has been a major factor in the growing demand for strategic extractive resources. The Victorian Government has increased its investment from an average \$4.6 billion per year over the decade to 2015-16 to an average \$12.2 billion a year between 2016-17 and 2020-1. This heightened level of infrastructure investment will continue, with major works underway and committed, including Victoria's Big Build and Big Housing Build. There has also been extensive commercial and residential construction, particularly in urban growth areas.

Victoria's growing population will further increase the demand for extractive resources. Victoria's population is projected to almost double from an estimated 6.8 million in 2023 to 10.3 million by 2051. Most of this population growth is planned to be accommodated in the established suburbs of Melbourne and Victoria's regional cities, with some accommodated in Melbourne's growth areas.

Population growth drives demand for public and private infrastructure: houses, roads and bridges, rail infrastructure, health and educational facilities, employment precincts, renewable energy projects and facilities for sport, tourism and recreation. Annual demand for extractive resources to build this infrastructure is expected to reach close to 80 million tonnes by 2030, an increase from 63.7 million tonnes in 2020-21.

To provide infrastructure for its people, Victoria must have a long-term supply of competitively priced, quality, strategic extractive resources.

As population centres expand, so does land use and development pressure, including in areas close to and containing extractive resources. Each year, tens of millions of tonnes of resources are extracted and trucked from Victorian quarries – often located in Melbourne's peri-urban areas and green wedges – to construction sites, mostly in Melbourne and other major population centres. To contain transport costs (which flow onto building costs) and reduce emissions, extractive industry should be located as close as practicable to demand.

Sensitive land uses (such as housing) are generally incompatible with the extractive industry. Extractive industry – quarrying, sorting, weighing, loading and transporting extractive resources – generates dust, noise, traffic and ground and air vibrations. Hard rock quarrying also includes rock crushing and air blasting – using compressed air to break or dislodge rock formations – and fly rock – fragments of rocks that fly into the air during blasting.

Encroachment by sensitive land uses on SERAs can make a quarry unviable or prevent it from reaching its full extractive potential. The planning system can protect current and future quarries against encroachment by managing the land around them to omit uses that, when the time comes, would stop resources from being extracted from them. Preventing encroachment by sensitive land uses through the planning system allows extractive industry to operate confidently and protects sensitive land uses from quarrying's detrimental impacts.

About extractive industry

Victorian extractive industry supports the state's construction sector, which is the third largest employer in Victoria and delivered \$40.9 billion of building work in 2022-23. Victoria has about 470 active quarries producing in excess of 70 million tonnes of hard rock, sand, gravel and limestone annually. The quarry gate value of this annual production is more than \$1.3 billion.

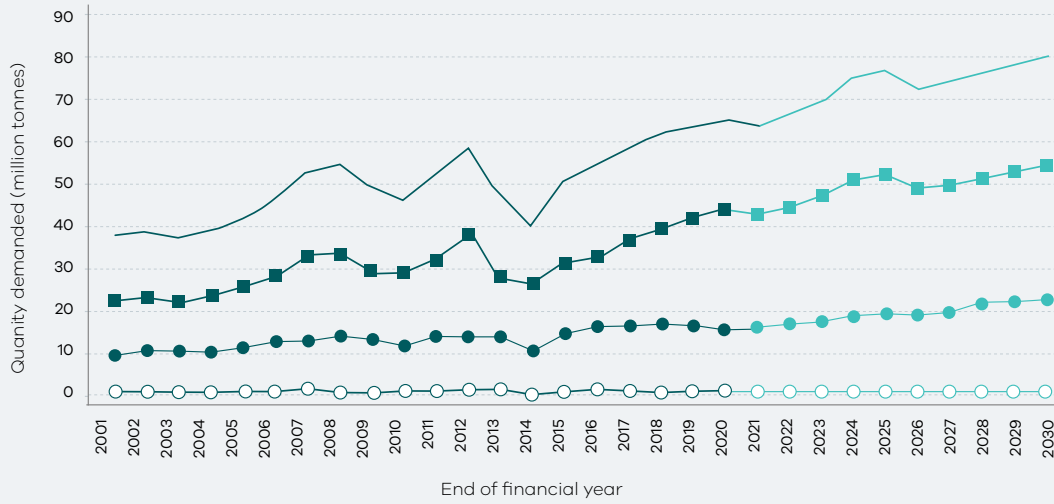
Extractive resources vary in quality and nature. A stone quarry might contain hard rock of different grades, which is processed and blended on-site, ready for transport to where it is needed. Stone or sand quarried from a site may also be transported to a different quarry for processing and blending. Occasionally, the resource is of sufficient quality to need very little processing or blending before it is transported to where it's needed.

Unlike mineral resources (such as gold, silver, lithium and coal), which are owned by the Crown, extractive resources like stone and sand are owned by the landholder.

Extractive resources demand and supply

Since 2016, Resources Victoria and its predecessors have conducted extractive resources supply and demand studies that forecast the likely tonnage of rock, sand and clay that Victoria will need in the medium-to-long term for housing, infrastructure and other development projects.

The *2023 Extractive Resources in Victoria: Supply and Demand Study 2022-30* included statewide and regional supply and demand forecasts for the key extractive resources. It reported that statewide demand for extractive resources is expected to increase from 63.7 million tonnes in 2020-21 to 79.5 million tonnes by 2030, which is higher growth than the historical trend. Figure 1 shows statewide actual and forecast demand for hard rock, sand and clay from 2001 to 2030.



▲ Figure 1: Statewide demand for extractive resources, 2001-2030



The earlier 2016 *Extractive Resources in Victoria: Demand and Supply Study 2015-2050* found that demand for extractive resources would double by 2050 to 87.8 million tonnes a year above 2015 levels. Since 2016, demand for extractive resources has been tracking above the highest scenario the study forecasted. Updated modelling shows that Victoria's demand for extractive resources will double the 2015 demand much earlier than previously forecast. In 2022-23, statewide production reached 72.3 million tonnes.

Demand forecasts indicate that greater Melbourne will account for about 80% of total demand for extractive resources from 2021-22 to 2029-30. In particular, Melbourne's outer urban growth areas, including Casey, Cardinia, Hume, Melton, Mitchell, Wyndham and Whittlesea, as well as large regional cities such as Greater Geelong, will have strong demand for extractive resourcing driven by the housing and infrastructure needs of their growing populations.

The highest-demand extractive resource is hard rock, followed by sand, for which demand is steadily increasing. Demand for clay is much lower and relatively constant.

On the supply side, industry survey data gathered in 2022 showed that current extractive Work Authority (WA) approvals issued under the *Mineral Resources (Sustainable Development) Act 1990* (MRSDA) hold at least 1.13 billion tonnes of reserves approved for development. A further 811 million tonnes of extractive resources in those WAs could become available, subject to further regulatory approvals being issued for those sites.

The three SERAs near Lang Lang, Oaklands Junction and Trafalgar are located in municipalities that comprise Regional Development Victoria partnership 'zones' with the highest supply of reserves in Victoria, as outlined in the *Extractive Resources in Victoria: Supply and Demand Study 2022-30*.

Table 1 and Table 2 show the top regions for sand and hard rock supply in Victoria.

▼ **Table 1: Top three sand supply regions**

REGION	GIPPSLAND*	GREATER MELBOURNE	BARWON*
Total reserves (million tonnes)	56-121	26-55	26-55
Local government areas	<ul style="list-style-type: none"> - Bass Coast - Baw Baw - East Gippsland - Latrobe - South Gippsland - Wellington 	<ul style="list-style-type: none"> - Cardinia - Casey - Frankston - Mornington Peninsula - Kingston - Others 	<ul style="list-style-type: none"> - Colac Otway - Greater Geelong - Queenscliffe www.queenscliffe.vic.gov.au/Home - Surf Coast

*These regions are addressed by Regional Development Victoria Regional Partnerships.

▼ Table 2: Top four hard rock supply regions

REGION	GREATER MELBOURNE	LODDON CAMPASPE*	GOULBURN*	BARWON*
Total reserves (million tonnes)	248-510	149-247	26-55	26-55
Local government areas	<ul style="list-style-type: none"> - Cardinia - Hume - Melton - Whittlesea - Wyndham - Others 	<ul style="list-style-type: none"> - Campaspe - Central Goldfields - Greater Bendigo - Loddon - Macedon Ranges - Mount Alexander 	<ul style="list-style-type: none"> - Greater Shepparton - Mitchell (Pt) - Moira - Murrindindi - Strathbogie 	<ul style="list-style-type: none"> - Colac Otway - Greater Geelong - Queenscliffe - Surf Coast

*These regions are addressed by Regional Development Victoria Regional Partnerships.

The forecast cumulative demand of 640 million tonnes from 2021 to 2030 represents about 56% of current reserves. While there would appear to be enough extractive resources statewide to meet forecast demand to 2030, demands in practice are for specific resource products from specific locations, and these may not correspond to the quality and location of available reserves. So, extractive resources to meet Melbourne's growth may need to come from further afield.

Extractive resources should be sourced from close to where they are needed to reduce transport costs and emissions. The extractive resources in quarries close to Melbourne continue to diminish, and supply is not being sufficiently replenished from nearby new or expanding quarries. The SERAs will secure long-term extractive resources within a reasonable distance of major demand locations. The Local Government Areas (LGAs) in which the SERAs are located are classified by the 2018 *Joint Ministerial Statement on Extractive Resources* as 'Designated Supply' LGAs (within 50 km of a 'Top 10 Demand' LGA).

Recycling as a source of construction materials

Recycled asphalt, concrete and glass are an increasingly important secondary source of construction materials.

The Victorian Government's 2020 *Recycling Victoria: A New Economy* includes actions to use more recycled materials, including for road and building construction. These include aggregates, soil, sand, concrete and bricks. The 2018 *Helping Victoria Grow: Extractive Resources Strategy* also recognises opportunities for reducing demand on extractive resources by substituting them with recycled products if appropriate. However, while recycling of materials is very important, the volume of these materials is insufficient to result in major reductions in demand for extractive resources.

Table 3 shows examples of recycled materials used for road construction projects.

▼ **Table 3:** Examples of recycled materials used for road construction projects

MATERIAL	USE	EXAMPLE
Reclaimed asphalt pavement	Can make up to 40% of new asphalt	The Peninsula Link has 22% reclaimed asphalt pavement
Crushed concrete	If 100% pure, it is used as a road sub-base	Recent major road projects in Melbourne have used up to 200,000 tonnes of crushed concrete
Recycled crushed glass in concrete	Aggregate in footpaths	Wyndham City Council has trialled this material in new footpaths
Recycled crushed glass	Can replace sand in asphalt, road base, pipe bedding and filter material	The Kororoit Creek Road level crossing removal project used this in bedding material

Replenishment

The 2023 *Extractive Resources Supply and Demand Study 2022-30* identified the volume of extractive resources needed to supply housing, infrastructure and other land development across the state and the need for ‘replenishment’ of supply.

Active quarries eventually ‘exhaust’ their extractive resources and when this happens, they can no longer provide supply and are closed. If one or more quarries close in a given area without a replenishment supply being opened nearby, there can be a lack of sufficient resources close to demand, potentially delaying project plans and increasing project costs. It is therefore important to provide certainty of supply of construction materials for both public and private construction projects.

There are long lead times to bring new extractive resource projects to market. It currently takes about 10 years to establish a quarry on a greenfield site and 3–5 years to expand an existing quarry. Establishing new quarries to replace the forecast closure of existing quarries requires a long-term, strategic approach to ensure suitable areas remain available for future resource extraction.

Greenhouse gas emissions

It is essential that extractive resources be sourced with minimum greenhouse gas (GHG) emissions to support Victorian Government’s targets of a 40% reduction on 2005 emissions by 2030 and for the state to be net-zero by 2045.

Operational measures and site location can reduce GHG emissions by extractive industry. Individual quarry operators are responsible for operational measures, some of which are considered during the approvals process. Operators are also using ‘smart’ technology and electric trucks to reduce emissions.

The location of SERAs close to areas of high demand for extractive resources provides long-term planning for future quarries close to where they will be needed. This will help minimise GHG emissions from heavy vehicles used to transport materials from quarries to consumers.

If a quarry location aligns with the existing rail network, rail transport, which has a lower environmental impact than road transport, is preferable. One train trip can replace about 37 B-double truck trips, and rail freight is three times more fuel-efficient.

Due to the constraints associated with locating quarries close to existing rail connections and the long lead times for developing new rail connections, reducing the distance travelled and increasing the efficiency of road freight vehicles is the best way to reduce emissions in the short-to-medium term.

Locating quarries close to major demand locations also provides economic benefits by limiting potential supply chain risks and reducing fuel costs, which lowers the supply cost to consumers.

The evolution of strategic extractive resources protection

The SERA project continues Victorian Government efforts to take a strategic approach to securing extractive resources for the future.

Extractive Industry Interest Areas

In the 1990s, the Geological Survey of Victoria (GSV) identified Extractive Industry Interest Areas (EIAs), which were then introduced into planning schemes to form part of the Victoria Planning Provisions (VPPs). EIAs are areas of land located reasonably close to major population centres, likely to contain commercially viable extractive resources where extractive industry may be established.

2016 Extractive Resources in Victoria: Demand and Supply Study 2015–2050

In 2012, the Victorian Government found that EIAs were not providing sufficient protection of extractive resources and there was insufficient information to identify and protect land containing extractive resources to meet future demand. Additionally, existing quarries were being encroached on by sensitive land uses, resulting in lost opportunities for supply. Proposed quarries were also subject to long, complex planning permit application assessment processes that were being applied inconsistently by decision makers.

In the same year, a joint government-industry Extractives Strategy Taskforce was established to examine how extractive resources supply and demand could be secured over the long-term. The Taskforce included representatives of the two Victorian Government departments that manage earth resources and land use planning, as well as the extractive industry peak bodies, Cement Concrete and Aggregates Australia (CCMA) and the Construction Material Processors Association (CMPA).

The Taskforce commissioned the 2016 *Extractive Resources in Victoria: Demand and Supply Study 2015–2050* that identified important locations within LGAs that could potentially provide long-term supply. The study also found that planning schemes should:

- better recognise and protect existing quarries and significant areas containing strategic extractive resources
- apply ‘buffer’ areas to the edges of current extractive WAs to discourage encroachment by incompatible land uses.

2018 Helping Victoria Grow: Extractive Resources Strategy

The Victorian Government's 2018 *Helping Victoria Grow: Extractive Resources Strategy*, informed by the *Extractive Resources in Victoria: Demand and Supply Study 2015–2050*, included priorities and actions to better protect areas containing strategic extractive resources through land use planning. Its six themes for action were: Resource and land use planning, including demand and supply modelling; Transport planning; Efficient regulation; Promoting environmental sustainability; Promoting innovation (particularly with post-quarry land use); and Confident communities.

Priority Actions contained in the Strategy included a ‘refresh’ of EIAs ‘to delineate areas of importance to the State and recognise these within the planning system’ and to ‘conduct a pilot Strategic Extractive Resource Area project in partnership with local government’ (see below).

2018 Joint Ministerial Statement on Extractive Resources

In 2018, the former Minister for Resources and the former Minister for Planning issued the *Joint Ministerial Statement on Extractive Resources*. The Statement committed the two Victorian Government departments that manage earth resources and land use planning to deliver the *Helping Victoria Grow: Extractive Resources Strategy*, in recognition of government's aim of addressing the State's long-term demand for extractive resources.

2020 SERA pilot project

In 2020, the SERA pilot project was launched. The pilot project was overseen by the Extractives Strategy Taskforce, and the project aim was to review existing planning mechanisms in the Victorian planning system to:

- develop knowledge through geoscience and industry supply and demand studies
- protect existing quarries and safeguard potential extractive resources
- establish SERAs in collaboration with stakeholders and the community.

2020 review of Extractive Industry Interest Areas

The review found that more than 40% of EIAs had been compromised by residential and other 'sensitive' development due to Environment Protection Authority (EPA) buffers – also known as 'minimum separation distances' – required between operating quarries and 'sensitive' uses to reduce the risks to residents of dust, noise and ground and air vibrations.

In 2020, the Victorian Government commissioned a review to determine the extent to which incompatible development and rezoning had reduced the availability of resources for future extraction within EIAs – for example, where residential development and associated buffers to reduce the risk of dust, noise and vibrations from current or future quarries restricted current quarrying operations and/or quarry expansion. The review found that more than 40% of EIAs had been compromised by residential development and associated buffers.

2021 Planning Scheme Amendment VC196

In August 2021, following public consultation, the SERA pilot project resulted in Amendment VC196, which changed Victoria Planning Provision *Clause 14.03-1 S Resource exploration* and extraction to designate SERAs as areas for long-term protection of current and potential future quarries.

Amendment VC196 also changed the Wyndham Planning Scheme for the Werribee-Little River SERA and the Cardinia and South Gippsland Planning Schemes for the Nyora West SERAs by:

- introducing schedules to a new *Clause 44.07 State Resource Overlay* to protect areas of state-significant mineral, stone and other resources from uses and development that would prejudice the current or future productive use of the resources
- updating and amending schedules to the Special Use Zone (SUZ) related to extractive industry
- rezoning some WAs to SUZ.

The SRO schedules introduced planning permit requirements for sensitive land uses, which are explained at pages 28 and 32 in this report.

The *Amendment VC196 Explanatory Report* and the *Strategic Extractive Resource Areas Pilot Project Draft Report* provide more information about Amendment VC196.

2021 Strategic Extractive Resources Roadmap

In 2021, the Strategic Extractive Resources Roadmap built on previous initiatives to improve coordination between agencies and support the implementation of the 2018 Strategy's land use actions, particularly the roll-out of future SERAs and an EIA 'refresh' following the EIA review.

The Roadmap identified 12 'Priority' LGAs as well as other 'Additional Supply' LGAs as key sources of hard rock, sand and gravel located close to markets. Three of the 12 Priority LGAs were identified for the SERA Pilot Project and nine for further background investigations to be undertaken. The Priority LGAs were mainly located in Melbourne's peri-urban and surrounding areas, with some located further to Melbourne's west and east.



The Priority LGAs were listed in the top 20 strategic resource locations identified in the *Extractive Resources in Victoria: Demand and Supply Study 2015–2050*. These LGAs contain substantial supplies of resources, have high production levels and support the growth of metropolitan Melbourne.

Additional Supply LGAs were also potential candidates for SERAs based on their high production levels and proximity to high-demand growth areas. The Victorian Government departments that manage earth resources and land use planning analysed planning schemes, geological studies, supply and demand data, transport networks, biodiversity, settlement and land holding patterns to further assess these areas. Table 28 at Appendix 1 to this report provides more detail on this process.

Of the 12 Priority LGAs, two Background Investigation Areas were identified as being suitable for prioritising 'greenfield' SERAs:

- Trafalgar Sands in Baw Baw Shire, with SERA boundaries then refined to identify the 'Trafalgar SERA'
- Cardinia Bass Sands, with SERA boundaries then refined to identify the 'Lang Lang SERA' in Cardinia Shire. The portion of the Cardinia Bass Sand Background Investigation Area located within Bass Coast Shire was ultimately not included within the Lang Lang SERA boundaries, due to the need for further investigation of planning and environmental matters.

Of the Additional Supply LGAs, one existing 'brownfield' site at Oaklands Junction in Hume City, which is known to contain a substantial, long-term supply of hard rock, was also considered in the background investigations. A quarry is already located within the site and has large volumes of annual hard rock production. Extraction of the hard rock resources are at risk from emerging land uses proximate to the site. This has resulted in the identification of the 'Oaklands Junction SERA'.

Other planning provision changes

In 2020, Amendment VC175 altered VPP *Clause 13.07-1 S Land use compatibility* to protect commercial, industrial and other employment-generating uses from encroachment by uses or development that would compromise their ability to function safely and effectively.

In 2021, Planning Practice Note 92 *Managing buffers for land use compatibility* was introduced to the VPPs to guide planning for land use compatibility and the planning policy framework, including requirements about the management of buffers.

In 2022, Amendment VC219 was gazetted, affecting the Farming, Rural Conservation, Green Wedge, Rural Living and Rural Activity zones. This amendment created a requirement for planning permit applications for accommodation uses within 500m of a lot containing a current WA to be referred to the Secretary of the department administering the *Mineral Resources (Sustainable Development) Act 1990* (MRSD Act) – currently DEECA. On receipt of the referral, the Secretary or their representative can object to the proposal, compelling the decision-maker (usually either a council or the Minister for Planning) to refuse it. This is relevant because much of the land within the three SERAs is in either the Green Wedge, Farming or Rural Conservation zones.

In 2023, Amendment VC242 introduced two new particular provisions into the VPP to facilitate developments that provide a significant level of housing, which may include affordable housing, or make a significant contribution to Victoria's economy and provide substantial public benefit, including new jobs. These developments must meet requirements specified in *Clause 53.22 Significant Economic Development* and *Clause 53.23 Significant residential development with affordable housing* to qualify as a significant development.

A key feature of these new provisions is they remove third-party appeal rights for decisions about planning permit applications. They also make the Minister for Planning the responsible authority for determining proposals to which Clause 53.22 or Clause 53.23 apply. And they allow more circumstances for a permit applicant to submit their application directly to the Minister for Planning as the decision-maker. *Clause 53.22 Significant Economic Development* includes permit applications for extractive industry proposals if the value of the extractive resource is more than \$30 million as verified by an industry-approved measure. This clause applies to new quarries and the expansion of existing quarries beyond what has already been approved.

The use of the new provisions is voluntary. Applicants can choose to have these provisions applied if their application includes written advice from Invest Victoria and a report confirming the estimated cost of development. Applicants will still have the option for their proposal to be assessed via the process that predates the introduction of Clause 53.22.

Traditional Owner engagement matters

Feedback from engagement with representatives of the Registered Aboriginal Parties (RAPs) whose Country contains the proposed SERAs contributed to the draft planning controls and SERA boundaries. These RAPs are the Bunurong Land Council Aboriginal Corporation (Lang Lang SERA), the Wurundjeri Woi Wurrung Aboriginal Corporation (Oaklands Junction SERA) and the Gunaikurnai Land and Waters Aboriginal Corporation (Trafalgar SERA).

As a result of this engagement:

- the SRO1 schedule and the schedule to *Clause 66.06 Notice of permit applications under local provisions* of the VPPs will require notice to be given to RAPs of otherwise exempt quarry applications (but not review or appeal rights) - these provisions are further explained at page 30 in this report

- the SRO1 boundaries were defined to avoid areas of known Aboriginal cultural heritage sensitivity where possible, particularly areas unaffected by current or proposed work authorities and at the edges of the boundaries
- the information produced for public consultation was drafted to explain that the application of the quarry application exemption test in the SRO1 planning controls does not provide 'short cuts' for future quarry proponents to meet requirements for Aboriginal Cultural Heritage Management Plans or related matters (such as Indigenous land use agreements).

Implications for the proposed overlay and zone changes for the three SERAs were also considered, having regard to the *Native Title Act 1993*. Indigenous Land Use Agreements under the Act that have been entered into for land within the Trafalgar SERA are further explained at page 80 in this report.

▼ **Figure 2:** Registered Aboriginal parties for SERAs





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2. RELEVANT LEGISLATION, PLANNING CONTROLS, GUIDANCE AND POLICIES

Legislation, planning controls and guidance

Table 4 shows legislation, Victoria Planning Provisions and general guidance relevant to extractive industry approvals and SERAs more specifically.

▼ Table 4: Relevant Acts and planning controls

ITEM	FUNCTION	COMMENT
<i>Planning and Environment Act 1987 (PE Act)</i>	The Act establishes the framework for the VPP to enable planning permit quarry applications to be prepared and determined.	The Act identifies the decision-making framework and processes and rights of parties to achieve the objectives and purpose of the Act. It authorises giving weight to guidelines (such as EPA publication 1518, described below).
<i>Mineral Resources (Sustainable Development) Act 1990 (MRSD Act)</i>	The Act establishes the legislative framework to approve WAs and associated work plans.	The Act, in land use terms, ensures that risks to the environment, the public, land, property and infrastructure by work done under a licence or extractive industry WA are identified and eliminated or minimised as far as reasonably practicable (s(2)(1)(b)).
<i>Clause 13.07 Amenity, human health and safety</i>	The clause sets out objectives and strategies addressing risks of harm to the environment, human health and amenity.	The clause addresses encroachment issues and the practice of separating incompatible land uses (e.g. extractive industry and dwellings).
<i>Clause 14.03 Earth and energy resources</i>	The clause sets out objectives and strategies to assist in the conservation and use of earth resources.	The clause addresses extractive industry, including SERAs and other earth resource commodities.
<i>Clause 37.01 Special Use Zone</i>	The clause recognises or provides for the use and development of land for specific purposes as identified in a schedule to the zone.	The clause is typically used to provide for extractive industry in a site-specific situation.
<i>Clause 44.07 State Resource Overlay (SRO)</i>	The clause protects areas of mineral, stone and other resources identified as state-significant from use and development that would prejudice the resource's current or future productive use.	The clause addresses sensitive land uses and protects existing and future extractive industry.

ITEM	FUNCTION	COMMENT
Clause 52.08 Earth and energy resources industry	The clause encourages land to be used for exploration and extraction according to acceptable environmental standards.	The clause sets out the approval pathways for extractive industry, including quarries. The quarry approval pathway is via a planning permit trigger in conjunction with Clause 52.09 or the environmental effects statement process. It also addresses applications and referral requirements for mines.
Clause 52.09 Extractive industry and extractive industry interest areas	The clause provides for the appropriate use and development of extractive industry, quarry rehabilitation and decision-making about protecting EIAs and extractive industry proposals.	The clause provides for the Secretary of the department administering the MRSD Act to provide input into decision-making about sensitive land uses that may encroach on extractive industry under s55 of the PE Act.
Clause 53.22 Significant economic development	The clause prioritises and facilitates the planning, assessment and delivery of projects that will significantly contribute to Victoria's economy and provide substantial public benefit, including jobs for Victorians.	The clause provides an opt-in approval pathway for large quarry proposals, exemption from some decision requirements and review rights and makes the Minister for Planning the responsible authority. Decision guidelines and referrals still apply. The pathway for consideration via an environmental effects statement remains.
Clause 62.01 Uses not requiring a permit	The clause lists 16 categories of use that do not require a permit, sometimes with qualifying criteria (e.g. meeting a local law, code or other provision of the planning scheme). Often included in section 1 of the zone tables with the wording, 'Any use listed in Clause 62.01'.	The clause exempts the proposed extractive industry from needing a planning permit if the conditions of Clause 52.08 are met.
Planning Practice Note 89 (PPN89) Extractive industry and resources	The note sets out the processes to enable extractive industry approval by the planning and resources regulatory systems.	The note includes guidelines for decision-making about SERAs and for planning applications for non-quarry land uses near SERAs and existing quarries.
Planning Practice Note 92 Managing buffers for land use compatibility	The note provides guidance about planning for land use compatibility and VPP requirements about the management of buffers.	The note supports the interpretation of <i>Clause 13.07 Amenity, human health and safety 13.07</i> and <i>Clause 44.08 Buffer Area Overlay</i> .
EPA publication 1518: Recommended separation distances for industrial residual air emissions	The guidance sets how close sensitive land uses can be located to quarries and the criteria for varying that distance. The PE Act obliges decision-makers to consider this guidance.	The EPA is currently reviewing the guidance.

Policies

Plan Melbourne 2017-2050

The Victorian Government's *Plan Melbourne 2017–2050* and its five-year implementation plan guide long-term planning for Melbourne's future growth. The following Plan Melbourne direction, policy and action relate specifically to securing strategic extractive resources.

Direction 4.5 Plan for Melbourne's green wedges and peri-urban areas

'As Melbourne grows, planning for Melbourne's green wedges and peri-urban areas is required... to protect extractive industries ...

'Consistent with Plan Melbourne and the Regional Growth Plans, planning for green wedge and peri-urban areas should define and protect areas that are strategically important to the metropolitan area and the state, for the environment, biodiversity, landscape, open space, water, agriculture, energy, recreation, tourism, environment, cultural heritage, infrastructure, extractive and other natural resources.'

Policy 1.4.2 Identify and protect extractive resources (such as sand and stone) important for Melbourne's future needs

'Extractive industry resources in green wedges and peri-urban areas need to be protected and carefully planned to provide for Melbourne's needs without impacting on local amenity. Effective strategic planning for these resources will increase industry certainty and improve community confidence... the sequencing of urban development in growth areas should allow strategic resources such as sand and stone to be extracted ahead of establishing urban areas, with provision for these areas to proceed outside defined buffer zones that can be subsequently in-filled by other urban land uses.

'If not managed, urban encroachment, rural-residential expansion and other incompatible development will constrain the operations of existing quarries and curtail future supplies of extractive resources-endangering Melbourne's medium-to long-term growth prospects. To secure a long-term supply of extractive resource materials at competitive prices, current extractive industries must be protected and future extractive resource areas must be identified.'

Action 18 Management of extractive industry

'Protect extractive industry and future extractive resource assets from incompatible land uses by adopting planning options consistent with the findings of *Extractive Resources in Victoria: Demand and Supply Study 2015–2050*.

Plan for Victoria

A new plan for Victoria will focus on delivering more homes near transport, job opportunities and essential services in vibrant, liveable and sustainable neighbourhoods.

DTP is preparing a new plan for Victoria, to guide future growth and change over the next 30 years. The new plan will establish a unified approach to deliver and take the necessary actions to drive Victoria to become more liveable, affordable, and sustainable.

The development of a plan that encompasses the whole state provides greater opportunity to ensure Victorians' access to a wider variety of well-designed housing with improved housing affordability, within liveable neighbourhoods in the urban areas of Melbourne and Victoria's regional cities with more equitable access to jobs, services and transport.

Housing affordability is an increasing issue across Victoria. There are many contributing factors to this issue resulting in the need for a whole-of-Victorian-Government approach and cross-portfolio collaboration, including the alignment of planning and fiscal policy levers. Developing a plan for the whole of Victoria will enable a coordinated and cohesive whole-of-state approach to strategic land use planning including for extractive resources.

Victoria's Housing Statement 2024–2034

The Victorian Government's *Victoria's Housing Statement, The Decade Ahead 2024-2034* recognises that Victoria is the fastest growing state in Australia. With Victoria's population expected to reach 10.3 million by 2051, 1.6 million homes and associated urban infrastructure will need to be built to meet the demands of a growing population.

The Housing Statement acknowledges the need for government to make big decisions faster, with the Minister for Planning to be the decision maker for significant residential developments that include affordable housing. This aligns with Planning Scheme Amendment VC242 that introduced *Clause 53.22 Significant economic development* - as noted in Table 4 - to meet the demand for extractive resources by making the Minister for Planning the decision maker for extractive industry planning permit applications when relevant criteria are met. It is also consistent with the government's long-term strategic planning for protection of state-significant extractive resources.



3. APPLICATION OF PLANNING CONTROLS

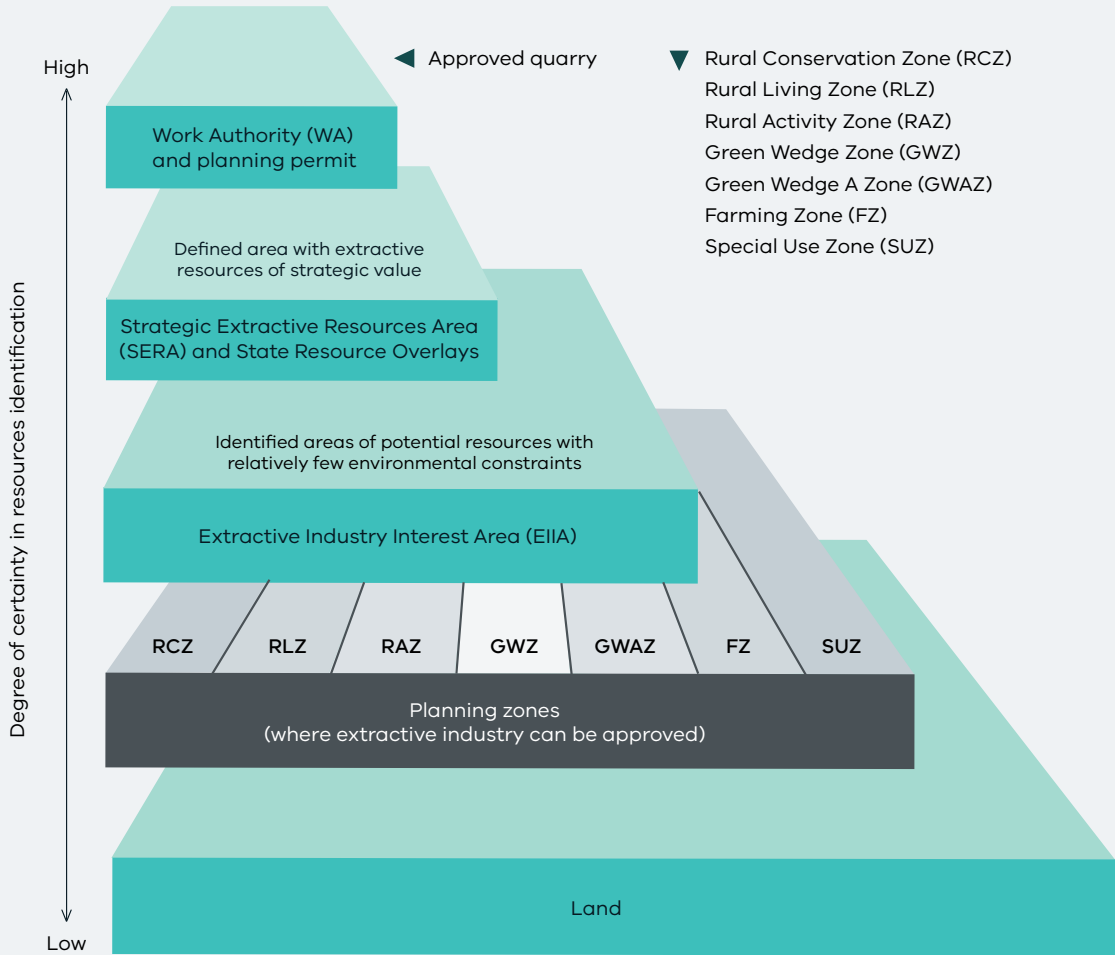
Planning control protection for strategic extractive resources

Figure 3 illustrates Victoria's tiered approach to identifying and protecting strategic extractive resources.

It uses:

- **Land** as the baseline in the progression; the Victoria Planning Provisions apply to all land in Victoria except for Commonwealth-owned land
- **Planning zones where extractive industry can be approved**, subject to a planning permit, include Farming Zone (FZ), Green Wedge Zone (GWZ), Green Wedge A Zone (GWAZ), Rural Activity Zone (RAZ), Rural Conservation Zone (RCZ), Rural Living Zone (RLZ) and Special Use Zone (SUZ)
- **Extractive Industry Interest Areas (EIAs)**: areas likely to have a good supply of extractive resources and are in locations with good transport links and relatively few environmental constraints
- **Strategic Extractive Resource Areas (SERAs)**: areas known to have long-term supplies of strategic extractive resources at the required quantity and quality to support commercial quarrying operations to make a substantial contribution to building Victoria's public and private sector infrastructure – these are individually identified in the VPPs via the **State Resource Overlay**, Schedule 1 (SRO1), with WAs at the edge of each SERA protected via the SRO2/SRO3
- **Work Authorities (WAs)**: licences issued under the *Mineral Resources (Sustainable Development) Act 1990* for quarries to operate.

▼ Figure 3: Planning control protection for strategic extractive resources



Extractive Industry Interest Areas

The Geological Survey of Victoria established EIAs in the VPPs in the 1990s. EIAs identify land reasonably close to major population centres that are likely to contain commercially viable extractive resources and where extractive industry could potentially be established.

EIAs have played a minor role as a planning tool in the planning system, due in part to their location within a particular area being shown on maps that have not be easily accessed, and therefore not easily identifiable. As a result, the current planning controls at *Clause 52.09 Extractive industry and extractive industry interest areas* do not adequately protect strategic extractive resources. Some EIAs have been encroached on by sensitive land uses or inappropriate development, which has resulted in those resources no longer being available for extraction.

The Helping Victoria Grow: Extractive Resources Strategy found that EIAs are too extensive, inconsistent with other government strategic planning documents and do not provide a binding mechanism to secure extractive resources of strategic importance. Implementing the SERA pilot project was one of the strategy’s top three actions in response to EIAs not providing the level of protection that was originally intended.

There is also considerable variation in planning approaches to extractive resources, as relevant policies are included in various sections of planning schemes. The SERA designation builds

on the EIAs approach, to define requirements in planning schemes in a much clearer and more consistent way, in that:

- SERA boundaries are better investigated and determined, with greater public consultation
- the three proposed SERAs are in areas with existing EIAs and will be by clearer, more enforceable planning controls
- the SERA designation gives areas with strategic extractive resources a higher policy profile in planning schemes, which should encourage new extractive industries to establish in areas where those resources are known to exist
- the draft planning controls provide clearer guidelines to ensure SERAs are considered in land use assessments and planning permit applications for sensitive uses.

Quarry approvals process

In Victoria, applications for new quarries and extensions to existing quarries are assessed under the PE Act and the MRSD Act.

Quarry applications - also known as applications for extractive industry - may also be assessed under other legislation and regulations, having regard to a range of values including environmental, biodiversity, water and Aboriginal cultural heritage values.

Figure 4 shows the key steps in the quarry approval process. *Planning Practice Note 89 Extractive industry and resources* explains the process of obtaining a WA.

▼ **Figure 4: Quarry approvals process**

1	Work plan	The proponent prepares a work plan in consultation with the Earth Resources Regulator and responsible authorities
2	Planning permit or EES	The proponent applies for a planning permit (as usually occurs) or prepares an Environment Effects Statement
3	Work authority	The proponent submits the work plan, planning approval or EES, rehabilitation plan and bond to the Earth Resources Regulator Minister for Energy and Resources issues a work authority if all is in order
4	Quarry operations	The proponent operates the quarry according to the work plan and planning permit/EES conditions the quarry operator reports production volumes and sales values to Resources Victoria annually

Work plan

The process begins with the proponent preparing a work plan in consultation with the Earth Resources Regulator in DEECA and with responsible authorities.

The plan:

- sets out the site layout and the proposed works
- shows how the applicant will meet council, water authority and environmental management and catchment authority requirements, including with respect to traffic, environmental management, native vegetation, amenity and Aboriginal cultural heritage
- shows how the applicant will satisfactorily manage dust, noise, vibration, earthworks and drainage risks.

Native vegetation removal is not permitted without approval, subject to the VPP and related legislation. Typically, land within 20m of the proposed WA boundaries must be left in its natural condition and not used for quarrying activity, stockpiles or storage.

Resources Victoria's *Extractive industry work plan guideline* has detailed information about preparing a work plan.

Planning permit or Environment Effects Statement

Once the department head administering the MRSD Act approves the work plan, the proponent must then either:

- apply for a planning permit to use and develop land for extractive industry (as usually occurs) or
- prepare and have assessed an Environment Effects Statement (EES) under the *Environment Effects Act 1978* and have a WA issued for the land: this alternative to the requirement for a planning permit is allowed under *Clause 52.08 Earth and energy resources industry* and section 77T of the MRSD Act.

A planning permit is required if no EES is prepared.

If the responsible authority decides to issue a planning permit, the permit sets out conditions to manage extractive operations, including hours of operation, off-site traffic management, amenity, appearance and environmental matters. These operational details recorded in the work plan must align with those recorded in the documents submitted to the responsible authority to satisfy planning permit conditions.

Clause 52.09 Extractive industry and extractive industry interest areas sets out application requirements, the referrals and giving notice processes and other matters.

The responsible authority to make a decision on the planning permit application is usually Council, unless the Minister for Planning exercises their power to call in the application – or it is submitted via the Clause 53.22 pathway noted earlier in this report. The Minister for Planning is also the responsible authority for the EES.

Work authority

Once completed, the proponent submits the work plan, planning approval or EES, a rehabilitation plan and a bond to secure the rehabilitation to the Earth Resources Regulator. In some cases, they may also need to submit an Aboriginal cultural heritage management plan.

If all is in order, the Minister for Energy and Resources, through Resources Victoria, issues a licence to operate the quarry - a work authority after actions under section 77(3) of the MRSD Act are completed. The WA has a sunset date. The planning permit is valid indefinitely unless the quarry ceases to operate for more than ten years.

Extractive activities can only happen within the approved area under the work plan, which is set out in the WA. Over time, the work plan can be varied to extract resources in the WA outside the current extraction limit or to change production levels or layout. Such variations may need further approvals under the MRSD and PE Acts.

The quarry operator must report production volumes and the value of sales to Resources Victoria annually for each quarry. The sales value reporting is 'at gate' or 'at the quarry gate' and is the value of the extractive resources in the trucks as they leave the site's weighbridge, less production costs to that point. This reporting allows Resources Victoria to understand and report on the value of production across the state.

Encroachment, buffers and the planning system

Despite best practice management, the effects of the dust, noise and ground and air vibrations that extractive industry generates can sometimes not be wholly contained within the site. A land use buffer — a separation distance — around the edges of a quarry discourages sensitive land uses like dwellings from locating too close to a quarry. A land use buffer enables a quarry to operate in accordance with its licence, and it provides confidence to those nearby (such as residents) that quarrying will not adversely affect their amenity.

Land use buffers are most effective when they can be readily identified in the VPP and planning schemes.

The planning system uses buffers to separate incompatible land uses from encroaching on established uses. Some buffers are easily identifiable through the use of overlays. Others are described in planning schemes or referred to in guidelines (such as *EPA publication 1518: Recommended separation distances for industrial residual air emissions*).

Table 5 shows the VPPs and other items in planning schemes relevant to buffers.

▼ **Table 5: Planning controls relevant to buffers**

ITEM	FUNCTION	REMARK
Precinct structure plans (PSPs) or framework plans	These may indicate buffer areas, which may also be included in an enabling planning scheme zone or overlay.	Any buffers in PSPs are usually shown or described on structure plan maps either as incorporated documents or in schedules to the Urban Growth Zone.
Clause 35 Rural Zones	These zones require applications for accommodation uses within 500m of the nearest title boundary of the land on which a WA has been applied for or granted to be referred to the Secretary of the department administering the MRSD Act.	VicPlan, the Victorian Government's online mapping service, shows the presence and status of current and proposed WAs and buffers.
Clause 44.07 State Resource Overlay (SRO)	An SRO schedule can be used to identify buffers for extractive industry areas.	The SRO buffer schedule is used to manage the encroachment of sensitive or incompatible land uses near extractive industry operations.
Clause 44.08 Buffer Area Overlay (BAO)	A BAO can be used to prevent incompatible land uses and development from co-locating. Referrals to the Environment Protection Authority are required for proposed sensitive land uses within a BAO.	A BAO, where applied, is in the relevant local government's planning scheme. It does not include extractive industry among the uses for which the overlay is to be applied.
Clause 52.09 Extractive industry and extractive industry interest areas	The clause sets out referral and notice requirements when accommodation in a rural zone is proposed within 500m of a current WA or proposed extractive industry operation.	VicPlan, the Victorian Government's online mapping service, shows the presence and status of current and proposed WAs and EIAs.
Clause 53.10 Uses and Activities with Potential Adverse Impacts	The clause provides for buffers or separation distances between sensitive land uses and uses that could cause offence or unacceptable risk. If they could, a referral to the EPA is required.	Extractive industry is not included in the list of uses in the clause.
PPN 92: Managing buffers for land use compatibility	The clause provides guidance on planning for land use compatibility and requirements in the VPPs about the management of buffers.	Supports interpretation of clause 13.07 and the Buffer Area Overlay.
EPA publication 1518 Recommended Separation Distances for Industrial Residual Air Emissions – Guideline (EPA 2013)	The guidance recommends a 500m for blasting (stone) and a 250m buffer for non-blasting (sand) quarries. It must be considered in strategic and statutory planning processes as an adopted guide under Clause 60(1A)(g) of the PE Act.	This guidance is to be updated in August 2024 to EPA Guideline 1947, which will apply a standard buffer of 500m for all quarries. A risk assessment will be required for all sensitive uses proposed within 500m of an existing quarry or a new/expanded quarry within 500m of a sensitive use.

Proposed Special Use Zone schedule changes

While the Special Use Zone (SUZ) provides for the use and development of land for specific purposes identified in a schedule to the zone, the VPPs do not include a zone that specifically provides for the use of land for extractive industry.

The SERA project therefore includes:

- rezoning of some or all land within a SERA that contains a WA to the SUZ, subject to a set of selection criteria
- applying or updating SUZ schedules for extractive industry to provide for the use of land within the SUZ that is already being used for quarrying.

While a WA provides a quarry with some protection from encroachment and includes specific land management requirements, the SUZ schedule will prohibit incompatible land uses, providing certainty to quarry operators and neighbours about land uses that may or may not occur within the SUZ. The SUZ schedule will also encourage interim uses and land rehabilitation after quarrying operations have concluded, and the schedule can be tailored to each individual SERA.

Most of the land in the Lang Lang SERA is in the Green Wedge Zone, Schedule 1 (GWZ1), with one parcel zoned Rural Conservation Zone, Schedule 1 (RCZ1). The Oaklands Junction SERA is already partially zoned SUZ in recognition of the existing land use as a hard rock quarry, but a portion of this SERA is also in the GWZ. The Trafalgar SERA contains land in the Farming Zone, Schedule 1 (FZ1). Sections 4 – 6 of this report contain detailed zoning analyses of each SERA.

The SUZ tends to be a more appropriate zone for land containing WAs than the rural zones of GWZ1, RCZ1 and FZ1. While a planning permit can be issued for quarrying in rural zones, these zones also allow a range of land uses that can be incompatible with quarrying and may or may not require a planning permit. These land uses include bed and breakfasts, dwellings, group accommodation, halls, funeral parlours and primary schools. Such uses can potentially limit approved and potential future extractive industry, which is why it is better to have a specific SUZ schedule to manage land uses that are incompatible with extractive industry.

For various reasons, not all WAs within SERAs are proposed to be rezoned to the SUZ. For example, when land is rezoned, all of the land within the title boundaries must be rezoned to ensure consistency of zoning within that land parcel/lot. In many instances, WA boundaries are the same as Title boundaries, but sometimes WA boundaries cover only a small portion of the lot. In some instances, WA boundaries extend beyond the title boundaries of one lot into two or more lots.

Factors considered when determining whether a particular WA within a SERA should be proposed for rezoning therefore include:

- whether the alignment of WA boundaries is the same/close to the lot boundaries of the land parcel/parcels
- if the WA boundaries cover only a small portion of the larger lot boundaries, then it is not proposed to be rezoned
- if the WA boundaries extend into two or more lots, whether the WA boundaries comprise a majority of the area of all lots
- whether the WA, lot and/or zone boundaries are determined by specific features within the landscape, such as a road or watercourse
- whether the land is affected by existing factors that would prevent its potential future use for extractive industry, such as an incompatible land use that is already established within the buffer area of a WA.

It is proposed to:

- rezone to the Special Use Zone Schedule 1 (SUZ1) nine WA sites within the Lang Lang SERA, the GWZ portion of the Oaklands Junction SERA and two WAs within the Trafalgar SERA
- update the existing Schedule 1 to *Clause 37.01 Special Use Zone* for the Oaklands Junction SERA.

The GWZ1, RCZ1 and FZ1 include a planning provision that:

- requires a minimum subdivision lot size of 40 ha
- allows the granting of a permit for a smaller lot if the subdivision is a re-subdivision of existing lots and will not increase the number of lots or dwellings or where the subdivision is by a public authority or utility service for a utility installation.

For consistency, it is proposed to retain these requirements for the subdivision of land in the SUZ planning controls.

Proposed State Resource Overlay Schedule 1

The proposed State Resource Overlay 'Strategic Extractive Resource Areas' Schedule 1 (SRO1) would apply to all of the land within each SERA, identifying its extent and requiring a planning permit for all sensitive uses, buildings, works and subdivision. The draft planning controls also include a two-step test for determining whether planning permit applications for a new quarry or extension to an existing quarry would be exempt from the notice, review and appeal rights under the PE Act, based on the proximity of the proposed quarry to existing sensitive uses and road transport infrastructure.

The Statement of Resource Significance in the SRO1 describes the importance of extractive resources within each SERA, to provide a more specific context and assist with decision making.

The proposed SRO1 boundaries have been mapped having regard to surrounding environmental and Aboriginal cultural heritage values, existing land uses, transport networks and proximity to extractive resource markets.

The SRO1 planning controls are intended to form a part of the VPPs over the long-term. The SRO1 boundaries may, therefore, change over time due to various factors, including the approval of a nearby new quarry or expansion of an existing quarry, the productive 'life' of a quarry coming to an end and its land being rehabilitated, changes to sensitive land use buffer distances or changes in government priorities. If approved in future, any amendments to SERA boundaries would be made via the planning scheme amendment process.

Boundary determination

The SRO1 boundaries have been mapped following detailed analysis, which considered:

- geoscience and geological evidence as the basis for each SERA's shape, and it confirms that the SERA contains strategic extractive resources: see Appendix 2 and each SERA section for detailed information
- updated supply and demand information, which Resources Victoria produces periodically
- biodiversity and native vegetation: see Appendix 3 and each SERA section for detailed information
- amenity, particularly avoiding nuisance from dust, noise and ground and air vibrations, having regard to existing guidelines for separation distances, settlement patterns and land use zoning
- transport: the relationship of the site to its surrounding transport network and proximity to where the extractive resource is needed
- cultural heritage: by examining areas of Aboriginal cultural heritage sensitivity, as defined in the *Aboriginal Heritage Regulations 2018*
- land use, asset and hazard mapping shown on planning scheme zones and overlays
- lot boundaries versus WA boundaries: whereas the SUZ rezoning boundaries align with lot boundaries, SRO1 boundaries may generally align with lot boundaries or WA boundaries, depending on how closely the WA boundary aligns with the lot boundary. If the WA boundary closely aligns with the lot boundary, then the SRO1 boundary will as well. If the WA boundaries do not closely align with the lot boundaries, then the SRO1 boundary will align with the WA boundary.

An assessment was also undertaken of community impacts, consistent with the Confident Communities theme of the 2018 *Helping Victoria Grow: Extractive Resources Strategy*. The assessment sought to identify and address issues that commonly concern communities around quarry sites. Planning permit application assessment processes are lengthier and more complex where quarries are proposed in areas with high cultural heritage, biodiversity, amenity or environmental values. Local communities understandably want to know that potential quarry operators will respect and protect these values.

Planning permit requirement

To prevent inappropriate development within a SERA, under SRO1 a planning permit will be required:

- for new sensitive land uses within SRO1 to ensure it is compatible with potential future quarrying
- to construct a building or to construct or carry out works, except for:
 - an alteration or extension to an existing building, provided the gross floor area of the alteration or extension is no greater than 200m²
 - a non-habitable building with a gross floor area no greater than 200m²
 - a building or works associated with the use of land for extractive industry
 - works with an area not exceeding 200m²
 - works associated with the use of land for agriculture (agriculture is generally considered a compatible land use)
 - a rainwater tank
 - land in the Public Use Zone, Schedule 4
- to subdivide land unless each lot created by the subdivision is at least 40 ha.

Sensitive land uses

The proposed SRO1 would identify sensitive land uses that require a planning permit. These land uses are typically incompatible with current or future quarrying operations.

Sensitive land uses:

- encourage people to congregate in an area
- may gradually increase in scale to such an extent that they discourage or prevent the complete extraction of otherwise available resources
- are commercial activities that depend on the surrounding area to have high amenity values.

The sensitive land uses proposed in SRO1, consistent with the approach taken across the VPPs, are:

- accommodation (including a dwelling, dependent persons' housing, retirement village and hotel)
- crematorium
- education centre (including a school and childcare centre)
- funeral parlour
- hospital
- leisure and recreation facility (including a formal or informal facility, with or without paid access)
- place of assembly (including a hall, function centre and place of worship)
- retail premise (including a shop, restaurant, cafe and farm gate sales premise)
- winery
- veterinary clinic.

Subdivision

The fragmentation of land via subdivision can deter a prospective quarry operator from buying and aggregating sufficient land holdings to set up a viable extractive industry operation. Small or fragmented rural lots can also be attractive locations for rural living and other sensitive land uses incompatible with extractive industry.

To ensure the potential subdivision of lots smaller than 40 ha is monitored and considered under extractive industry policy, the proposed SRO1 will require a planning permit to subdivide land, except where each lot created is greater than 40 ha.

Planning permit referrals

It is proposed that all planning permit applications triggered by the SRO schedules be referred to Resources Victoria as the determining referral authority. This means Resources Victoria may specify conditions to the granting of a planning permit or direct that the permit application be refused.

If Resources Victoria specifies permit conditions, they must be included as part of the permit. If it directs that the permit must be refused, then the responsible authority (Council, the Minister for Planning or the Victorian Civil and Administrative Tribunal) must refuse to grant a planning permit.

Planning permit decision guidelines

In addition to the decision guidelines in VPP *Clause 44.07 State Resource Overlay and Clause 65 Decision guidelines*, the decision guidelines the responsible authority would have to follow for planning permit applications triggered via SRO1 are:

- the statement of resource significance and the management objectives specified in a schedule to the overlay
- the significance of the future productive use of the resource to the state
- any transport network implications related to the application
- when the resource is likely to be required for extraction
- the desirability of preventing any use, buildings, works or subdivision that may adversely impact the future productive use of the resource
- any other matters specified in a schedule to the overlay.

Exemptions from quarry application notice, decision and review rights

The proposed SRO1 exempts a planning permit application for extractive industry (quarrying) from the PE Act's notification, decision and appeal provisions if the proposed quarry:

- is to be located at least 250m (for a sand quarry) or 500m (for a hard rock quarry) from a sensitive land use
- has access to a road in TR22 (the principal road network), including a declared arterial road.

This means if the above two tests are met, the responsible authority will not provide public notification of the application and its decision – to grant or refuse a permit – cannot be appealed at the Victorian Civil and Administrative Tribunal (VCAT). The reason for this is that if an application meets the two tests, the proposed quarry will likely have minimal impact on the amenity of surrounding sensitive land uses. This approach is consistent with the planning controls approved as part of the SERA pilot project.

An exception to an application being exempt from notification would occur if a specific person or entity is listed in the table in a *Clause 66.06 Notice of permit applications under local provisions* schedule. It is proposed to add the Registered Aboriginal Party (RAP) under the *Aboriginal Heritage Act 1990* whose Country would be affected by the proposed quarry to this table. While the RAP could submit an objection to the proposal, it would not have the right to appeal the responsible authority's decision at VCAT.

The exemption of notification, decision and appeal provisions does not mean a proposed quarry is automatically approved. It must still be assessed in accordance with the relevant decision guidelines under the PE Act and the WA application process under the MRSD Act.

Table 6 provides more detail about the legislative context for exempting planning permit applications for extractive industry in SERAs if the responsible authority determines the two tests are met.

▼ **Table 6: Planning permit application notification, decision and appeal exemptions legislative context**

EXEMPTION	CONTEXT
NOTIFICATION	
<p>Notice of the application to neighbouring owners and occupiers <i>PE Act section 52(1)(a)</i></p>	<p>The proposed exemption would omit neighbours being notified of a planning permit application for a quarry. However, under section 77K of the MRSD Act, the WA licence holder must consult with the community throughout the period that the WA is current by sharing information about their activities and giving community members reasonable opportunities to express their views about those activities.</p>
<p>Notice of the application to a neighbouring council where relevant <i>PE Act section 52(1)(b)</i></p>	<p>The proposed exemption would remove this step.</p>
<p>Notice of the application to any person to who the planning scheme requires <i>PE Act section 52(1)(c)</i></p>	<p>The proposed exemption would not remove this step and would require notice to be given to any persons (organisation) identified within the planning scheme at Clause 66.05 or Clause 66.06 (as noted above).</p>
<p>Notice of the application to any other person <i>PE Act section 52(1)(d)</i></p>	<p>The proposed exemption would remove this step. The proposed exemption does not stop a council from deciding to give further notice of an application if it is likely to be of interest or concern to the community (PE Act section 52(1)(3)).</p>
DECISION	
<p>Giving notice of a decision to refuse a permit <i>PE Act sections 65(1) and (2)</i></p>	<p>Should the application be refused, the applicant and any objectors would not be notified of the decision or the grounds for the decision.</p>
<p>Giving notice of a decision to grant a permit <i>PE Act sections 64(5)</i></p>	<p>If the application is approved, the applicant and any objectors would be given a copy of the decision.</p>
APPEAL	
<p>An objector may not apply to the Victorian Civil and Administrative Tribunal for a review of the decision to grant a permit, should one be issued <i>PE Act sections 82(1)</i></p>	<p>As noted above, this exemption would only apply if there were no existing sensitive land uses within 250m of a proposed sand quarry or 500m of a proposed stone quarry and the proposed quarry has access to a road in the TRZ2.</p>



Work authority approval process is unchanged

The requirements for approvals for a WA under the MRSD Act are not affected by the SERA draft planning controls. Similarly, there are no changes proposed to planning controls that apply under *Clause 52.09 Extractive industry and extractive industry interest areas*. The assessment process for proposed extractive industry outside a SERA are also unchanged. A planning permit will continue to be required for extractive industry under relevant zoning provisions.

Proposed State Resource Overlay Schedule 2 or 3

The proposed State Resource Overlay 'Protecting Extractive Industries' Schedule 2 or 3 (SRO2/3) — also called the 'SRO buffer' in this report — would be applied to land outside the SERA adjacent to a WA that is located within the SERA towards the edge. The SRO buffer would require a planning permit for the same sensitive land uses, development and subdivision as for the SRO1. This would prevent incompatible activity being locating close to an existing quarry or from encroaching on or limiting the ability of the quarry to function into the future.

For the Oaklands Junction and Trafalgar SERAs, the schedule number would be 2 (SRO2) and for the Lang Lang SERA, the schedule number would be 3 (SRO3). This is because the SERA pilot project introduced the SRO2 schedule via Amendment VC196 into the Cardinia and South Gippsland Planning Schemes as the SRO buffer for the Nyora West SERA, located in South Gippsland Shire, so Schedule 3 is numerically next in the sequence.

The proposed SRO buffer width would be a maximum of 500m from the edge of a WA boundary for stone quarries - which normally use explosive blasting as part of the extraction process - and a maximum width of 250m from the edge of the WA boundary for sand quarries, which do not usually use explosive blasting.

Extractive industry operators on land adjacent to the proposed SRO buffer would continue to be required to meet their environmental duty of care and other requirements to control dust, noise and ground and air vibrations within their WA site boundaries. The 250m / 500m SRO buffer distances that were applied as part of the SERA Pilot project and which form part of the draft planning controls are consistent with the Environment Protection Authority's 2013 *Recommended Separation Distances for Industrial Residual Air Emissions - Guideline*.

In August 2024, the EPA provided an update to the guidelines that require a risk assessment to be undertaken for sand quarries proposed to be located within 500m of an existing sensitive use, and for sensitive uses proposed to be located within 500m of an existing sand quarry. This is consistent with the 500m threshold for stone quarries. The previous distance threshold for sand quarries was 250m. The draft planning controls currently retain a 250m threshold distance for managing sensitive land uses within the buffer of the SERA.

The proposed SRO buffer specifies land uses, development and subdivisions that will require a planning permit, along with decision guidelines to be considered by the relevant responsible authority. Permit applications will be referred to Resources Victoria under the same requirements as applications referred under SRO1.

The proposed SRO buffers were determined by measuring the distance from the property boundary of the land within which the WA is located. This approach is consistent with *Clause 52.09 Extractive industry and extractive industry interest areas* and with the SERA pilot project method. Using title boundaries as the measurement point is also consistent with other planning controls that address extractive industry and buffers.

The locations of the SRO buffer boundaries are intended to remain within the VPPs over the long-term. The locations of these boundaries may be amended in response to WA boundaries moving over time, as the locations of a quarry pit and the associated machinery, plant, equipment and other structures change over the life of the quarry. Any such changes to SRO buffer boundary locations would occur via an amendment to the VPPs.

The planning controls associated with the SRO buffer are exactly the same as those in SRO1, except that planning permit applications for extractive industry on land within the SRO buffer would not be exempt from the notice, decision and review requirements explained in Table 7.

Planning permit decision guidelines

To ensure that incompatible land uses are discouraged from locating close to an existing quarry or from encroaching on or limiting its ability to function now or in the future, a decision about granting a planning permit will take into account whether:

- the proposed use or development is compatible with the extractive industry use operating on nearby land
- the use or development could limit the operation and expansion of the extractive industry
- if existing natural features and topography will mitigate the potential impacts of existing or future extractive industry on the proposed use
- the proposed use or development is a major capital development which may adversely affect the future productive extraction of the resource
- the proposed development is designed and sited in a location that minimises amenity impacts from resource extraction operations and transportation
- the proposed subdivision would lead to land use outcomes that inhibit the use of the land for extractive industries.



4. LANG LANG SERA

About the Lang Lang SERA

The Lang Lang SERA is approximately 33.6 km² in area and wholly located within the Cardinia Shire. It includes areas of land that form part of a larger group of EIAs extending from Lang Lang in Cardinia Shire through Nyora in South Gippsland Shire and south to Grantville and Glen Alvie in Bass Coast Shire.

Sand resources to the east (near Nyora) have been extracted since the 1950s, and sand extraction in this area is projected to continue for the next few decades. Sand extracted in this area is used in construction projects across Melbourne.

Most land parcels in the SERA are over 40 ha, and most of the remainder are over 21 ha. Land uses in and around the SERA are farming, a gas plant, rural-residential, quarrying, major transport corridors and areas with important environmental values (including Ramsar wetlands and remnant native vegetation).

Cardinia Shire is one of the top five strategic extractive resource locations in Victoria and is Victoria's second-highest sand-producing LGA, supplying 2,591,000 tonnes of sand and gravel: 16.45% of all sand and gravel produced in Victoria in 2022–23.

Two EIAs for sand and gravel cover most of the Lang Lang SERA. There are nine WAs in the SERA - WA127, WA338, WA456, WA1005, WA1029, WA1338, WA1372, WA1516 and WA006051 - contained within 11 lots. Of these, seven are currently 'in production' (that is, operating as quarries). Six of the WA boundaries closely align with the lot boundaries, with the other WA boundaries generally aligning with lot boundaries.

Figure 5 shows the proposed SERA boundaries.

While most of the land within the SERA is in private ownership, there are also 27 Crown land parcels. These are used for services and utilities, community uses and resources, as well as nature reserves and local waterways.

Snapshot



LGA

Shire of Cardinia



LOCATION

About 94 km south-east of Melbourne’s CBD and 18 km from the Urban Growth Boundary at Pakenham



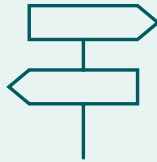
AREA

3,301 ha (33 km²) approx.



REGISTERED ABORIGINAL PARTY

Bunurong Land Council Aboriginal Corporation



NEARBY SETTLEMENTS

- Lang Lang
- Jam Jerrup
- Nyora



EXTRACTIVE RESOURCES

- Sand
- Gravel



WORK AUTHORITIES

Nine WAs, covering about 800 ha, of which seven are in production



SUPPLY

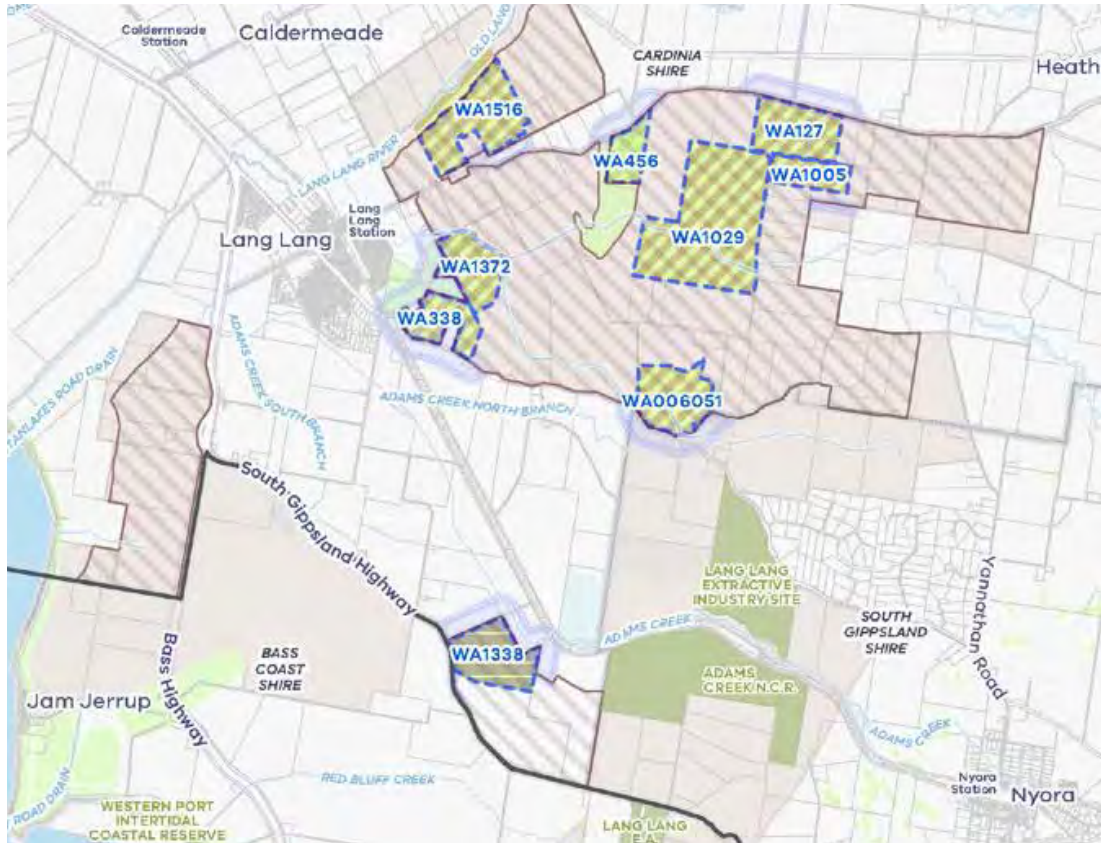
Quarries in Cardinia supplied 2.46 million tonnes of sand to Victoria (mainly Melbourne) in 2022-23, representing about 15% of Victoria’s sand production



LAND USES IN AND AROUND THE SERA

Farming, a gas plant, rural-residential, quarrying, major transport corridors and areas with important environmental values (including Ramsar wetlands and remnant native vegetation)

▼ Figure 5: Lang Lang SERA



Consultation Draft Planning Controls - Lang Lang (Cardinia Shire)

Existing	Proposed
Work Authority (WA) of quarry	State Resource Overlay, Schedule 1 (SRO1)
Extractive Industry Interest Area (EIIA)	State Resource Overlay, Schedule 2 (SRO2)
Environmental Significance Overlay, Schedule 3 (ESO3)	Rezone Green Wedge Zone (GWZ) to Special Use Zone, Schedule 1 (SUZ1)
Park/Reserve	Rezone Rural Conservation Zone, Schedule 1 (RCZ1) to Special Use Zone, Schedule 8 (SUZ8)
Named Waterways	Bass Coast Distinctive Area and Landscape boundary

Geoscience

The Lang Lang SERA has substantial sand and gravel resources of strategic importance for Melbourne and Victoria. There are seven current work authorities. Quarrying operations have started in six of them but not in WA1029.

The bulk of the SERA is located between the Lang Lang Fault in the west and the Heath Hill Fault in the east, and it has several types of sand:

- in Cardinia, extraction is mainly from Pleistocene-age Cranbourne sand and Pliocene-to-Miocene-age Sandringham sandstone units
- in the south around Grantville, extraction is from the Pliocene-to-Oligocene age Yallock Formation.

The sand from each production area has different physical properties, but they both meet specifications for construction use.

The sands from the areas are considered prospective, justifying the application of two EIAs (884122 and 883996) for sand and gravel. Incompatible land uses have not significantly encroached on the EIAs within the SERAs.

The sand resources in the SERA are suitable for the production of construction sand. Considering all the WAs throughout the sand area of Cardinia and Bass Coast shires between Grantville and Lang Lang, the average overburden thickness is about 3.5m and the overburden-to-sand ratio is 1:6, indicating the sand can be extracted economically.

Aboriginal cultural heritage

The Lang Lang SERA is located within the RAP boundaries of the Bunurong Land Council Aboriginal Corporation. Section 58 of the Aboriginal Heritage Regulations 2006 identifies extractive industry as a high-impact activity, and statutory authorisation is required to use the land for this purpose.

A substantial part of the Lang Lang SERA contains or potentially contains land of Aboriginal cultural heritage significance under the Aboriginal Heritage Regulations 2018, including land within 200m either side of the Little Lang Lang River (north and south branches), Adams Creek and the Lang Lang River, and land within 200m of the Western Port shoreline.

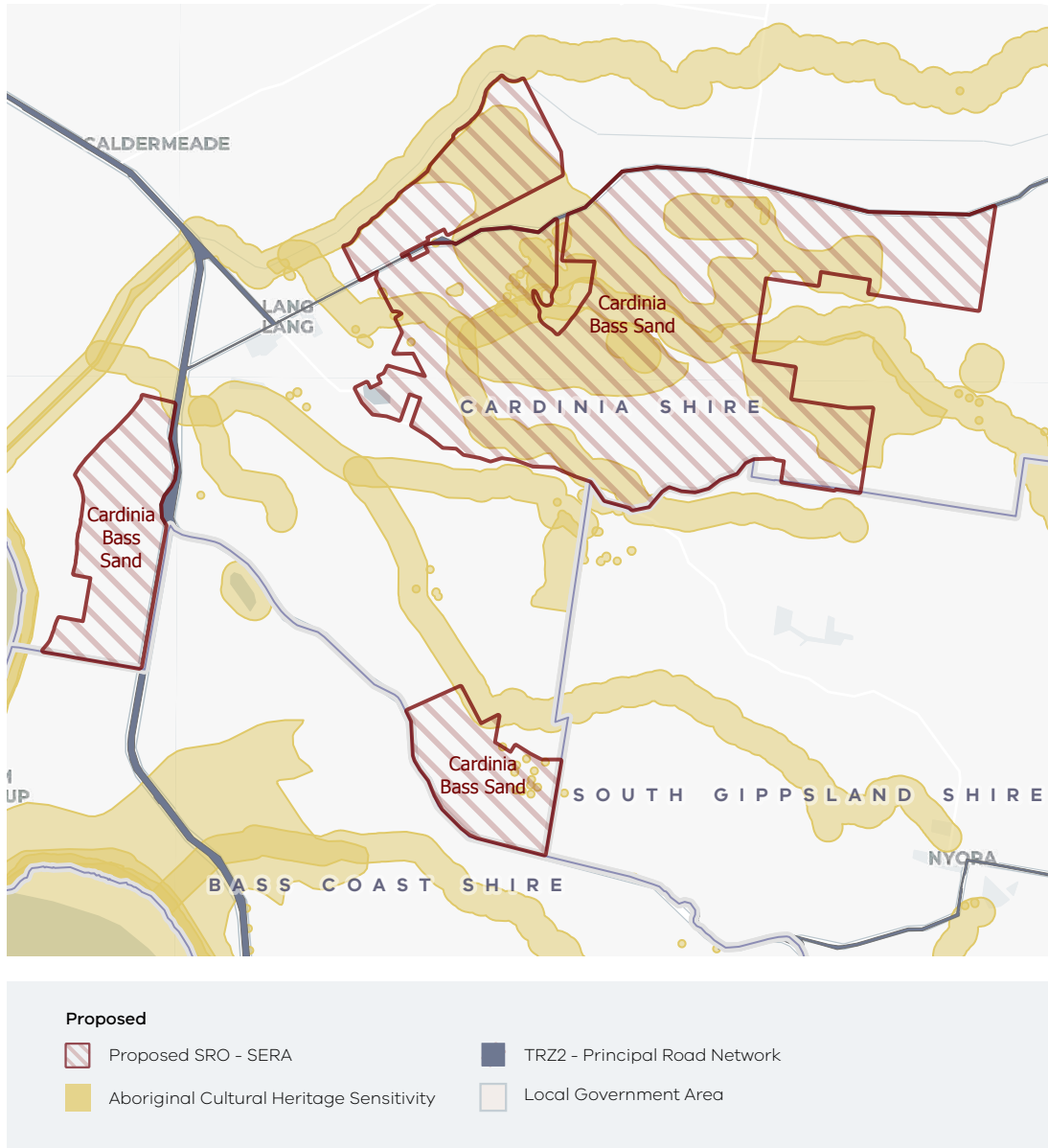
Several named waterways, coastal land and the Koo Wee Rup Plain are mapped as areas of Aboriginal cultural heritage sensitivity. Figure 6 shows mapped areas of Aboriginal cultural heritage sensitivity.

There are several registered Aboriginal places in the area. The proposed SERA boundaries seek to minimise impacts on these places. The smaller portions of the SERA encompass areas with few known areas of Aboriginal cultural sensitivity, but the larger northern portion of the SERA contains known areas of Aboriginal cultural heritage significance. Protections provided under the *Aboriginal Heritage Act 2006* will continue to apply to any future development within the SERA.

Extractive industry is identified as a high-impact activity under section 58 of the *Aboriginal Heritage Regulations 2006*, which requires statutory authorisation to use the land for extractive industry.

The Lang Lang SERA does not contain places listed on the Victorian Heritage Register, World Heritage List, National Heritage List or Commonwealth Heritage List.

▼ Figure 6: Mapped areas of Aboriginal cultural heritage sensitivity within and near the SERA



Environment

The Lang Lang SERA is within the Gippsland Plain bioregion. It is characterised by undulating land, plains and low-lying areas. Vegetation types include heath and grassy woodlands, swampy riparian woodlands and swampy woodlands.

Western Port is located to the west of the SERA, and the foothills of the Strzelecki Ranges are located to the east. The Koo Wee Rup low-lying area is to the north. The Lang Lang River and the Little Lang Lang River (north and south branches) are in and adjoin the SERA, running westwards to Western Port, part of the Bunyip River basin. Further south is the native vegetation corridor that locals refer to as Western Port woodlands, which extend into Bass Coast Shire.

Significant land clearing and altering have fragmented the native vegetation and habitat across the SERA. Vegetation has mainly been cleared for agricultural purposes, but there is some remnant native vegetation.

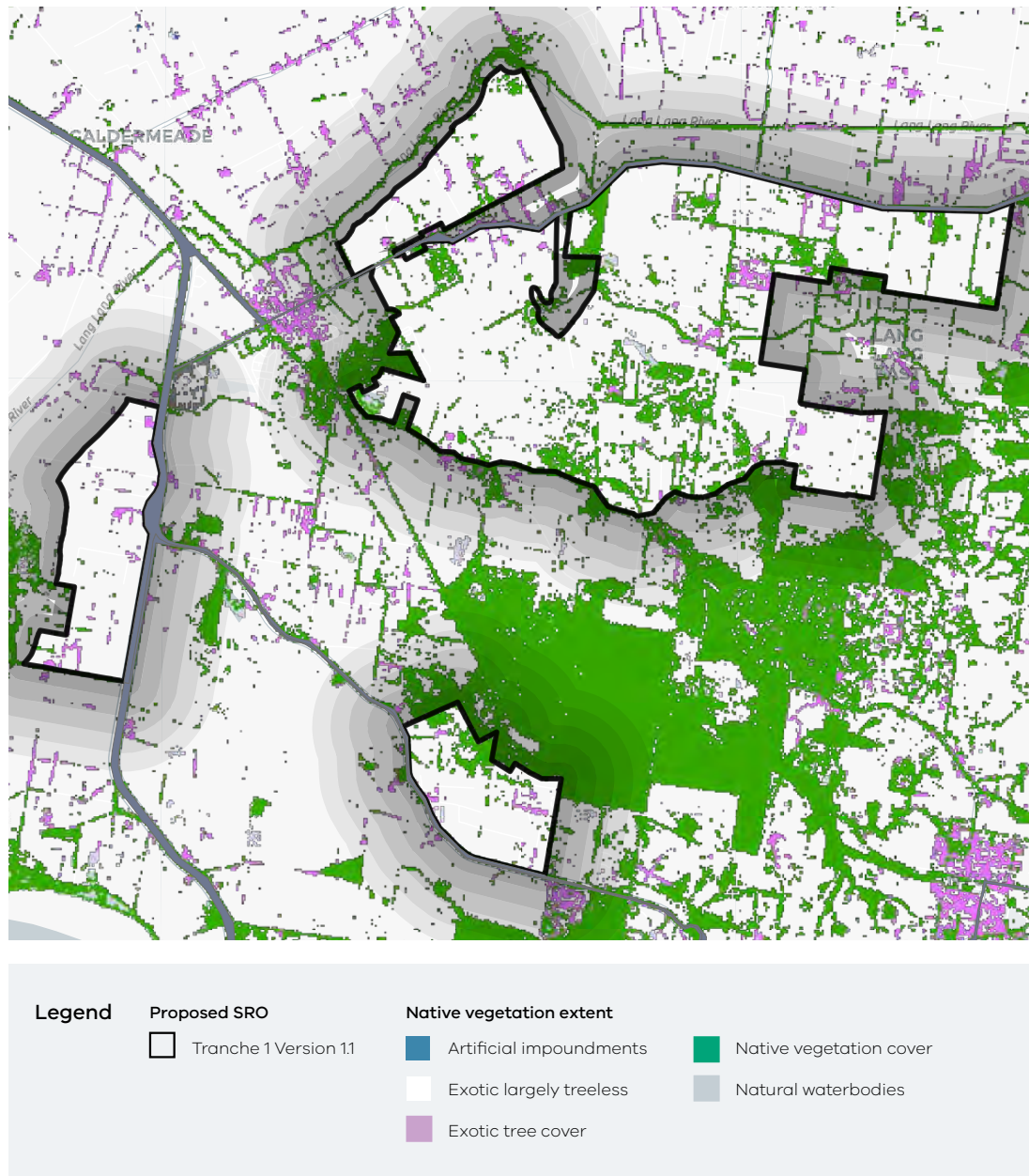
Figure 7 shows remnant native vegetation in and around the SERA. It is mainly located along roads, fence lines and waterways within and surrounding the Adams Creek Nature Conservation Reserve and clustered around current WAs.

Table 7 shows flora and fauna species recorded within the SERA listed under the Commonwealth *Environment Protection and Biodiversity Conservation Act 1999* (EPBC Act) and the Victorian *Flora and Fauna Guarantee Act 1988* (FFG Act).

▼ **Table 7: Lang Lang SERA threatened flora and fauna species**

COMMON NAME	EPBC ACT	FFG ACT
Large-leaf cinnamon-wattle	N/A	Endangered
Velvet apple-berry	N/A	Endangered
Spurred helmet-orchid	N/A	Endangered
Glaucous flax-lily	N/A	Critically endangered
Southern brown bandicoot	Endangered	Endangered
Eastern curlew	Critically endangered	Critically endangered
Southern toadlet	N/A	Endangered
Lace monitor	N/A	Endangered

▼ Figure 7: Lang Lang SERA native vegetation extent





Western Port Ramsar site

The Western Port Ramsar site is 60 km southeast of Melbourne. It comprises much of the Western Port embayment north of Phillip Island and consists of large, shallow intertidal areas dissected by deeper channels, as well as saltmarsh and mangroves set in a natural wetland marine embayment. Several vulnerable, endangered or critically endangered species or threatened ecological communities are established here. Figure 8 shows the site, which covers about 60,000 ha.

The SERA has low-lying land subject to inundation. The short length of the Lang Lang River and its tributaries, combined with low-lying areas and flood risk from the river, increases the risk of turbidity and siltation from adjoining land uses, including extractive industry. Over time, changes to the course of the Lang Lang River and the drainage of low-lying areas have altered its natural flow conditions.

The SERA is within the land subject to the *Koo Wee Rup Groundwater Management Plan*, administered by Southern Rural Water, for sustainable groundwater use for domestic, commercial and environmental purposes. The SERA is on the southern edge of the Koo Wee Rup Swamp, which has been drained for agriculture since the 1890s, and the first groundwater bore was sunk here in 1922.

Transport

The Lang Lang SERA is located about 94 km from Melbourne's CBD and some 90 minutes by road. Four declared roads run through the SERA: the Bass Highway (M420) along the western edge, Westernport Road (C431) running south-west to north-east, the South Gippsland Highway (A440) through the southern portion, connecting South Gippsland with Melbourne via the Monash Freeway (M1) and Eastlink (M3) and McDonalds Track, running south-east to north-west.

The Bass Highway (M420) and the South Gippsland Highway (A440) carry local, commuter and tourist traffic as well as heavy vehicle traffic to and from quarries and agricultural operations. South Gippsland Highway and Westernport Road have been approved for use by trucks up to 36.5 metres in length. There are several unsealed roads that also form part of the wider road network supporting extractive industry.

The township of Lang Lang is on the (now-closed) Cranbourne–Nyora rail line, which was used to transport glass-grade sand until 1985. There is no existing or proposed railway that could transport sand.

▼ **Figure 8:** Western Port Ramsar site



Figure 9 shows the transport network within and around the SERA.

Cardinia Planning Scheme *Clause 21.04-6 Extractive industry* identifies the need to complete planning and designing a bypass for truck traffic from the northern part of the SERA. If realised, the Lang Lang Bypass stages 1 and 2 would seek to redirect heavy traffic, including quarry trucks, around Lang Lang by linking McDonalds Track with Westernport Road and Bass Highway. The bypass has been designed to accommodate trucks up to 26m in length.

Truck and trailer configurations up to 19m long and weighing 50 tonnes (with a carrying capacity of 34 tonnes) can access any road in Victoria. Larger truck configurations such as B-Double and Performance Based Standards (PBS) vehicles up to 36.5 metres long and weighing 113 tonnes can only operate on roads with the relevant national classification.

'Trucks' in this section refers to larger vehicles unless otherwise specified. It is a common issue that even if a nearby highway is approved for these larger trucks, the connecting road to a quarry may not be. Truck traffic issues are addressed during the WA approval process, which is a separate to the process of establishing a SERA. Freight Victoria plays a key role in negotiating 'last kilometre' access to WAs, with roads providing access to quarries recommended to be declared as arterial roads due to the high volume of traffic and associated road maintenance costs.

In 2021-22, the combined annual quarry production from quarries in the Lang Lang SERA was two million tonnes. Assuming a 4% a year increase in production to meet forecast demand, the production output is projected to grow to 2.6-2.7 million tonnes a year by 2030. Combined production in 2022-23 was 30% greater than in 2021-22, noting, however, that annual production fluctuates in line with market demand.

The likely increase in demand and consequent greater production will increase the volume of ruck movements. Based on future demand and supply predictions, the 69,000¹ return truck trips in 2021-22 would increase to about 90,000 return truck trips in 2030. This projection is based on the composition of the existing quarry fleet servicing the SERA. Changes to the truck fleet's composition would alter this projection. For example, larger-capacity trucks carry more material and so make fewer trips, which aligns with the Victorian Government's 2021 **High Productivity Freight Vehicle Plan: Moving more with Less**, which intends to improve productivity, safety and environmental outcomes.

The existing road network within and around the Lang Lang SERA will likely require upgrades over time. Further investigation is required to determine the scope and extent of these works. This may include upgrades in the short-to-medium term to meet the demands of growing communities as well as existing and increased quarrying to address:

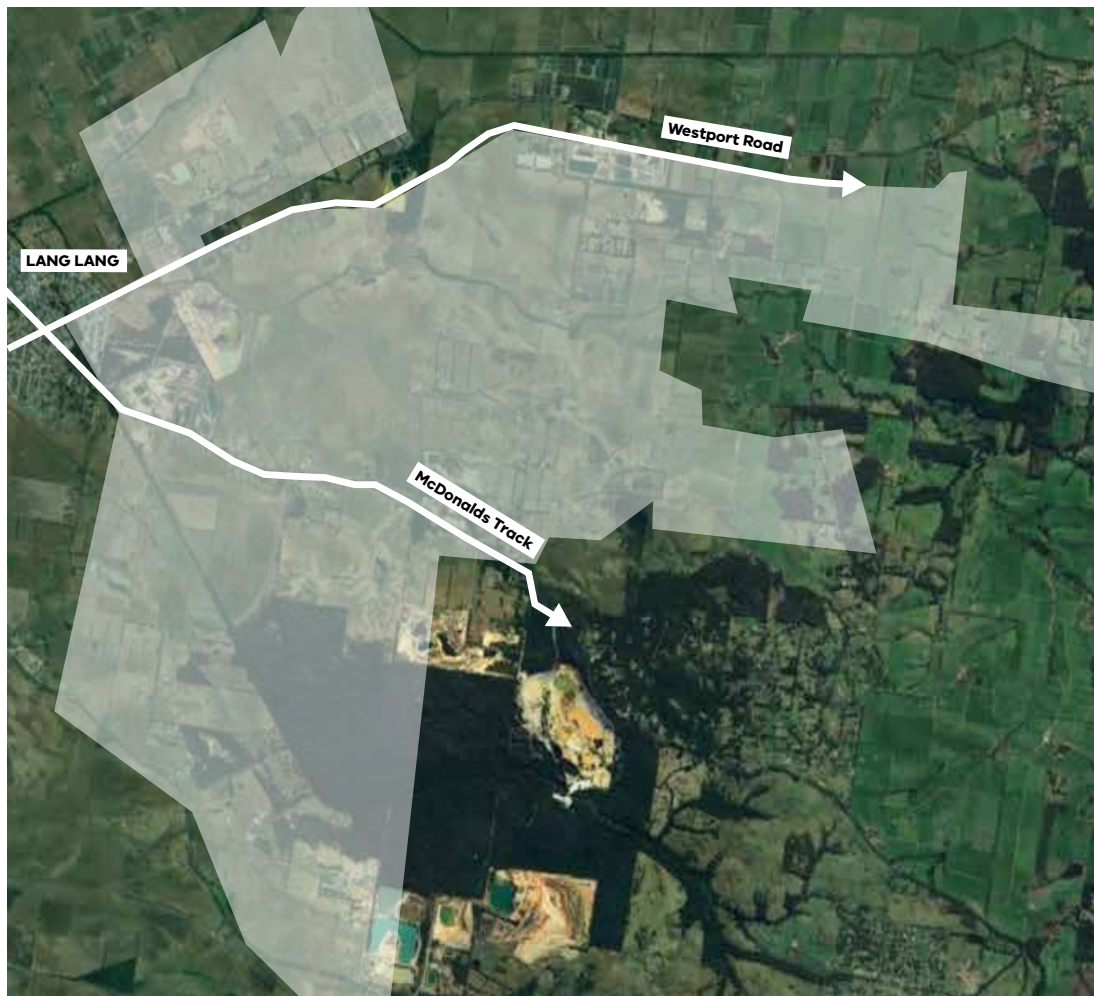
- traffic congestion outside the SERA, including at the roundabout on the South Gippsland / Bass Highway where quarry trucks access the freight network and congestion towards Koo Wee Rup's and Cranbourne's urban areas
- road-sharing inside the SERA, with quarry truck routes affecting and being affected by new residential estates on the edge of Lang Lang and by primary school traffic
- the lack of access lanes or access lanes being too narrow for heavy vehicles to merge with quickly moving highway traffic
- minor roads not having been built for large articulated heavy vehicles and roads in low-lying areas having drainage issues that weaken the road, both of which lead to congestion and difficulties moving across the network.

1 69,000 return truck trips comprise 34,500 outward truck loads from the Lang Lang SERA to markets and 34,500 empty trucks returning to the SERA.

Proposed boundaries

Table 8 summarises the assessment of the Cardinia Bass Sand (Cardinia and Bass Coast) Investigation Area and the consequent determination of the proposed boundaries of the Lang Lang SERA (as per the proposed SRO1) and SRO buffers (as per the proposed SRO3), which Table 9 shows. The main factors in determining the boundary were environmental and Aboriginal cultural heritage factors and including as much EIIA land as desirable.

▼ **Figure 9:** Lang Lang SERA transport network

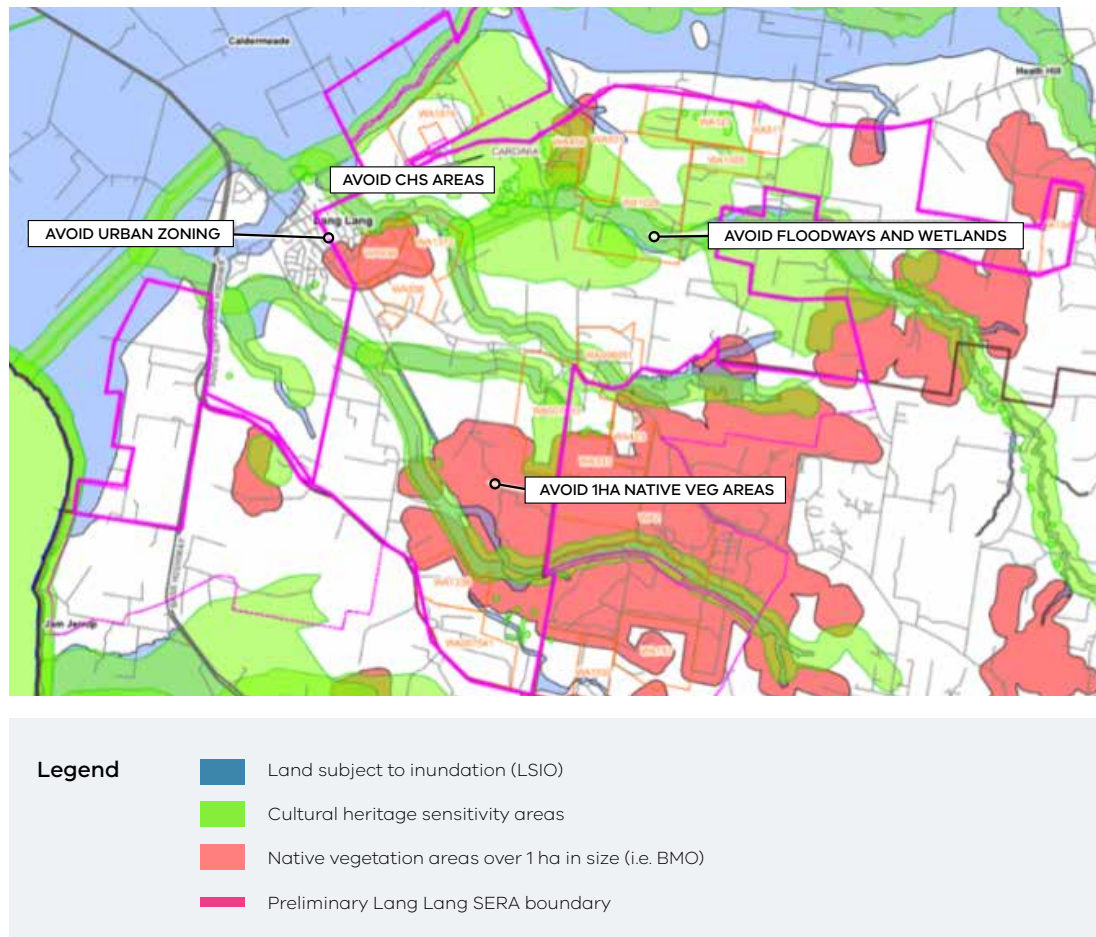


▼ **Table 8:** Factors in determining proposed Lang Lang SERA SRO1 and SRO3 boundaries

FACTOR	ANALYSIS	RESPONSE TO ANALYSIS
Geoscience	The investigation area is based on the EIIA extent. The geoscience assessment indicates the sand resource is of a quality and quantity to be significant.	The proposed SRO1 seeks to maximise the coverage of the sand resource subject to other considerations.
Aboriginal cultural heritage	There are substantial and widespread Aboriginal cultural heritage areas along named waterways and at some high points.	There are mapped areas of Aboriginal cultural heritage sensitivity across the Lang Lang sand resource, and they were considered in setting the proposed SERA boundaries. The boundaries were not set to remove all these areas because future development in the SERA must comply with <i>Aboriginal Heritage Act 2006</i> and Aboriginal Heritage Regulations 2007 requirements.
Environment	The SERA is located close to Ramsar wetlands, low-lying areas and waterways. It contains remnant vegetation.	The proposed SRO1 avoids the Ramsar area and, in part, the Lang Lang River, Little Lang Lang River and Adams Creek, areas with identified inundation risks and areas of important remnant native vegetation. Any future removal of native vegetation will be subject to the 2017 <i>Guidelines for the removal, destruction or lopping of native vegetation</i> .
Land uses	Lang Lang township is to the west and in the north of the SERA, and there are also scattered rural living sites in the area. Land parcels of more than 40 ha are common. The remaining land in and surrounding the SERA contains mostly rural land uses (such as farms), quarries, highways and a gas plant.	The proposed SRO1 and SRO3s are generally set away from urban-zoned land.
Transport	Three Transport Zone 2 (Principal Road Network) roads adjoin and pass through the SERA. These are ideal for transporting extractive resources. The road network may need upgrading in the short-to-medium term to meet industrial and community needs.	Transport factors did not require any changes to the proposed SRO1 and SRO3 boundaries.

Figure 10 shows the Cardinia Bass Sand Investigation Area — the pink line — which was the starting point from which the proposed SERA boundaries were then refined, having regard to the items listed in Table 9.

▼ **Figure 10: Preliminary Lang Lang SERA**



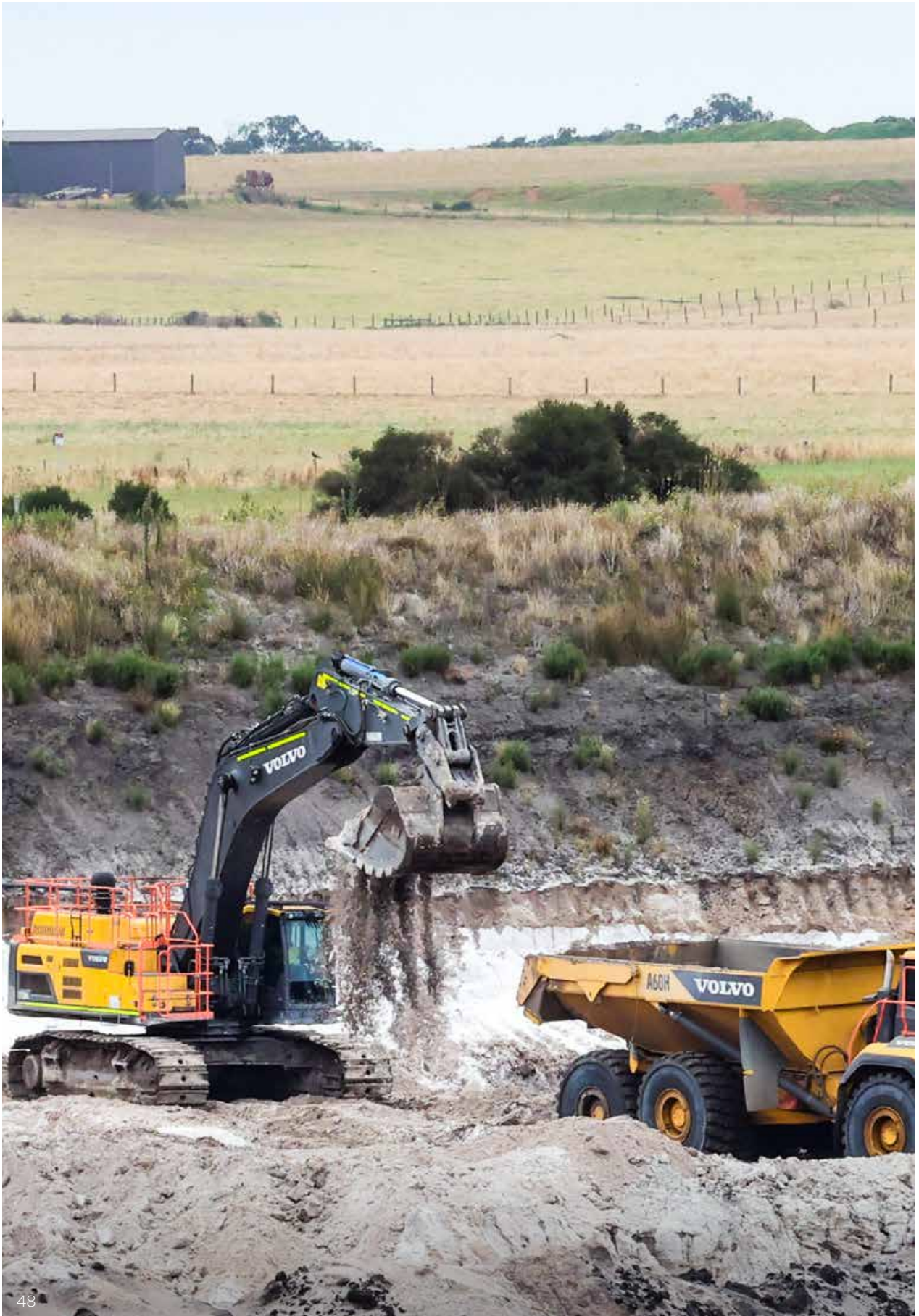


Figure 11 shows the final proposed boundaries of the Lang Lang SERA following analysis of land subject to inundation, Aboriginal cultural heritage sensitivity and native vegetation areas over 1 ha in size.

▼ Figure 11: Proposed Lang Lang SERA



Relevant policies, zones and overlays

Table 9, Table 10 and Table 11 show relevant planning policies, zones and overlays in the Cardinia and South Gippsland planning schemes relevant to the Lang Lang SERA. These apply in conjunction with the legislative and planning controls in Table 5.

▼ **Table 9: Lang Lang SERA relevant planning policies**

ITEM	RELEVANCE TO SERA
<p>Plan Melbourne 2017–2050 Policy 1.4.2 Identify and protect extractive resources (such as stone and sand) important for Melbourne's future needs</p>	Cardinia Shire has green wedge land identified for its strategic significance for extractive resources.
<p>Gippsland Regional Growth Plan</p>	The plan recognises that extractive industry for sand and rock is necessary to support growth in Melbourne and regional Victoria. EIIAs within the region contain areas of known future interest to the extractive industry.
CARDINIA PLANNING SCHEME	
<p>Clause 21.01-5 Strategic framework plan</p>	Figure 1 in the clause shows the SERA as an agriculture area with environmental or landscape values.
<p>Clause 21.04-6 Extractive Industry</p>	The clause acknowledges the SERA has high value for extractive industry and needs protection while managing amenity, environmental, transport and site rehabilitation impacts.
<p>Clause 21.05 Infrastructure, including Clause 21.05-2 Freeway, declared arterial roads</p>	The clause identifies as a key issue providing for the upgrading and constructing of future declared arterial roads, including facilitating the Lang Lang bypass.
<p>Clause 21.08 Local Areas – Western Port Region, including Clause 21.08-1 Lang Lang</p>	The clause shows the Lang Lang bypass route and supports its facilitation.
<p>Clause 22.02 Sand Extraction – Lang Lang to Grantville Region</p>	The clause provides policy support to protect sand resources in the Lang Lang–Grantville area, facilitate extractive industry and rehabilitate sites in a way that protects the area's significant environmental, social and economic values.
<p>Clause 22.05 Western Port Green Wedge Policy</p>	The clause recognises sand quarrying within the SERA.
SOUTH GIPPSLAND PLANNING SCHEME	
<p>Clause 02.03-5 Natural resource management: Extractive industry</p>	The clause protects the area identified in the <i>Regional Sand Extraction Strategy: Lang Lang to Grantville</i> in the northwest of the shire for its significant sand resource.

▼ Table 10: Lang Lang SERA relevant zones

ITEM	RELEVANCE TO SERA
Clause 32.03 Low Density Residential Zone (LDRZ)	LDRZ adjoins the SERA on its western boundary. There is no adjoining WA to the land, so it is not affected by the proposed SRO3.
Clause 32.09 Neighbourhood Residential Zone (NRZ)	Land with existing dwellings in the NRZ on the north side of Westernport Road immediately adjacent to WA1516 is not proposed to be included within the SRO, given land within the buffer area is already zoned for a range of sensitive land uses.
Clause 35.04 Green Wedge Zone (GWZ)	Most land within the SERA is zoned GWZ schedule 1 (GWZ1). GWZ1 specifies a minimum lot size for subdivision of land of 40 ha, thereby protecting approved and future WAs.
Clause 35.06 Rural Conservation Zone (RCZ)	RCZ schedule 1 (RCZ1) is applied to land adjacent to Western Port, the Lang Lang River and a portion of land south of the Lang Lang town boundary within the SERA. The land is reserved for bushland or conservation purposes. RCZ1 specifies a minimum lot size for subdivision of land of 40 ha, thereby protecting approved and future WAs.
Clause 35.07 Farming Zone (FZ)	FZ applies to land mainly south of the SERA.
Clause 36.03 Public Conservation and Resource Zone (PCRZ)	Land in the GWZ and PCRZ on the south side of Westernport Road opposite the NRZ land is not proposed to be included within SROs due to its distance from WA1516.
Clause 36.04 Transport 1 Zone (TRZ1)	TRZ1 is applied to transport assets identified as state transport infrastructure. TRZ1 land within the SERA comprises the former Gippsland Railway Line, now developed as a rail trail.
Clause 36.04 Transport Zone 2 (TRZ2)	TRZ2 is applied to roads forming the Principal Road Network. TRZ2 land within the SERA includes the South Gippsland Highway and Westernport Road. As quarries must have access to major transport routes, land zoned TRZ2 is important for supporting quarry operations.
Clause 36.04 Transport Zone 3 (TRZ3)	TRZ3 is applied to significant municipal roads. TRZ3 land within the SERA includes the McDonalds Track. As quarries must have access to major transport routes, land zoned TRZ3 is important for supporting quarry operations.

▼ Table 11: Lang Lang SERA relevant overlays

OVERLAY	RELEVANCE TO SERA
CARDINIA PLANNING SCHEME	
Clause 42.01 Environmental Significance Overlay (ESO3)	ESO schedule 3 (ESO3) covers about 100 ha of land south of Westernport Road and includes all WA456. It is applied to other significant sites of botanical or zoological significance. ESO3 affects the eastern areas of the SERA. ESO3 aims to ensure a site's habitat values are not diminished by incremental development and that development is sensitively designed and sited to reinforce environmental characteristics.
Clause 42.03 Significant Landscape Overlay (SLO3)	SLO schedule 3 (SLO3) is applied to the Lang Lang – Heath Hill area east of Lang Lang to Nyora in the south and Poowong in the east. The National Trust recognises the area, including its landforms, alluvial river flats, sandy heaths and rolling hills. SLO3 affects most of the SERA east of the Lang Lang town boundary. The SLO3 aims to protect and conserve vegetation and flora and fauna habitat and ensure new buildings and works avoid detrimental effects on the landscape's key characteristics.
Clause 43.01 Heritage Overlay (HO50)	The SERA contains one site affected by the HO schedule identified at HO50, which applies to Bay View (house, dairy shed and well) at 115 Jetty Road, Lang Lang.
CARDINIA AND SOUTH GIPPSLAND PLANNING SCHEMES	
Clause 44.04 Land Subject to Inundation Overlay (LSIO)	LSIO schedule 1 applies to all riverine areas in or near the SERA.
Clause 44.06 Bushfire Management Overlay (BMO)	The BMO affects areas of vegetation over 1 ha within the SERA.



Application of planning controls

This section should be read in conjunction with the draft planning controls for the Lang Lang SERA.

The draft planning controls proposed for inclusion in the Cardinia Planning Scheme for the Lang Lang SERA would:

- rezone eight parcels of land containing WAs from GWZ1 to SUZ8 and one WA from RCZ1 to SUZ8
- apply State Resource Overlay 'Strategic Extractive Resource Areas' Schedule 1 (SRO1) to all land within the SERA
- apply State Resource Overlay 'Protecting Extractive Industries' RO Schedule 3 (SRO3) to six WAs located within the SERA to land up to 250 metres outside the SERA.

The draft planning controls proposed for inclusion in the South Gippsland Planning Scheme for the Lang Lang SERA would apply the SRO3 to one WA at the edge of the SERA.

Special Use Zone

Consistent with *Clause 35.04, Schedule 1, Green Wedge Zone* and *Clause 35.06, Schedule 1, Rural Conservation Zones* in the Cardinia Planning Scheme, for land in the SUZ8, a planning permit will be required to subdivide land to create lots of less than 40 ha. A permit may be granted for smaller lots if the subdivision is a re-subdivision of existing lots and it will not increase the number of lots or existing dwellings; or if the subdivision is for a utility installation.

The draft planning controls for SUZ8 would also encourage land management practices and rehabilitation that minimise adverse impacts on the use and development of nearby land.

Table 12 compares the current planning permit requirements for all sensitive land uses in the GWZ1 and RCZ1 schedules with the proposed SUZ1.

▼ **Table 12:** Planning permit requirements for sensitive land uses in the existing Green Wedge Zone Schedule 1 and Rural Conservation Zone Schedule 1 compared with the proposed Special Use Zone Schedule 8

SENSITIVE LAND USE		GWZ1	RCZ1	SUZ8
Accommodation	- Dwelling <i>(other than a bed and breakfast)</i>	●● Permit required if tests are met; otherwise prohibited ● No permit required for a bed and breakfast if tests are met	● Prohibited , except a permit is required for dependent person's unit, dwelling, group accommodation, host farm and residential hotel ● No permit required for a bed and breakfast if tests are met	● Prohibited , except a permit is required for a caretaker's house
	- Camping and Caravan park	●	●	●
	- Host farm	●	●	●
	- Small second dwelling	●●	●	●
	- Residential building	●● Permit required if tests are met; otherwise prohibited	●	●
	- Group accommodation			
	- All others	●	●	●
Crematorium	●	●	●	
Education centre	- Primary & secondary school	●	●	●
	- All others	●	●	●
Funeral parlour	●	●	●	
Hospital	●	●	●	

Key: ● No Permit required ● Permit required ● Prohibited

SENSITIVE LAND USE		GWZ1	RCZ1	SUZ8
Leisure and recreation	- Informal outdoor recreation	●	●	●
	- Indoor recreation facility	●	●	●
	- Major sports and recreation facility	●	●	●
	- Motor-racing track	●	●	●
	- All others	●	●	●
Place of assembly	- Cinema-based entertainment facility	●	●	●
	- Nightclub	●	●	●
Retail premises	- Landscape gardening supplies	●	●	●
	- Manufacturing sales	●	●	●
	- Primary produce sales	●	●	●
		No permit required if tests are met; otherwise prohibited		
	- Market	●	●	●
	- Plant nursery	Permit required if tests are met; otherwise prohibited		
- Restaurant				
- All others	●	●	●	
Veterinary centre		●	●	●
Winery		●	●	●

Table 13 shows the nine land parcels containing current WAs that are proposed to be rezoned from GWZ1 and RCZ1 to SUZ8.

▼ **Table 13:** Application of SUZ to land parcels containing WAs within the Lang Lang SERA

WA	CURRENT ZONE	PROPOSED ZONE
WA127	Green Wedge Zone	Special Use Zone
WA338	Green Wedge Zone	Special Use Zone
WA456	Green Wedge Zone	Special Use Zone
WA1005	Green Wedge Zone	Special Use Zone
WA1029	Green Wedge Zone	Special Use Zone
WA1338	Rural Conservation Zone	Special Use Zone
WA1372	Green Wedge Zone	Special Use Zone
WA1516	Green Wedge Zone	Special Use Zone
WA006051	Green Wedge Zone	Special Use Zone

State Resource Overlay Schedule 1





















Applying SRO1 to the SERA would not significantly increase the planning permit triggers beyond what is already required under the current rural zones (VPP clauses 35.03 to 35.08) and EIA-related planning controls (VPP Clause 52.09).

As land within the Lang Lang SERA is currently zoned either GWZ1 or RCZ1, the planning permit requirements for sensitive land uses within the proposed SRO1 are similar to those that already

exist in these zones. For example, in both zones, a planning permit is typically required to use land for accommodation – for a dwelling – when the land size is less than 40 ha.

Table 14 compares existing planning permit triggers for sensitive land uses in the GWZ1 and RCZ1 with those proposed under SRO1.

▼ Table 14: Land use planning permit triggers, SRO1 compared to Green Wedge Zone / Rural Conservation Zone

LAND USE	GREEN WEDGE ZONE	RURAL CONSERVATION ZONE
Accommodation	 Permit required (no change)	 Permit required (no change)
Crematorium	 Permit required (no change)	 Permit required (no change)
Education centre	 Permit required (no change)	 Permit required (no change)
Funeral parlour	 Prohibited (no change)	 Permit required (no change)
Hospital	 Prohibited (no change)	 Permit required (no change)
Leisure and recreation	 Permit required; includes 'informal outdoor recreation', which otherwise requires no permit	 Prohibited, except for 'informal outdoor recreation', which is currently 'no permit required'. This is proposed as 'permit required' as it is a sensitive land use
Place of assembly	 Permit required (no change)	 Prohibited (no change)
Retail premises	 Permit required (no change), except 'primary produce sales', which requires a permit per the SRO	 Permit required (no change)
Veterinary centre	 Permit required (no change)	 Permit required (no change)
Winery	 Permit required (no change)	 Permit required (no change)

Key:  No Permit required  Permit required  Prohibited

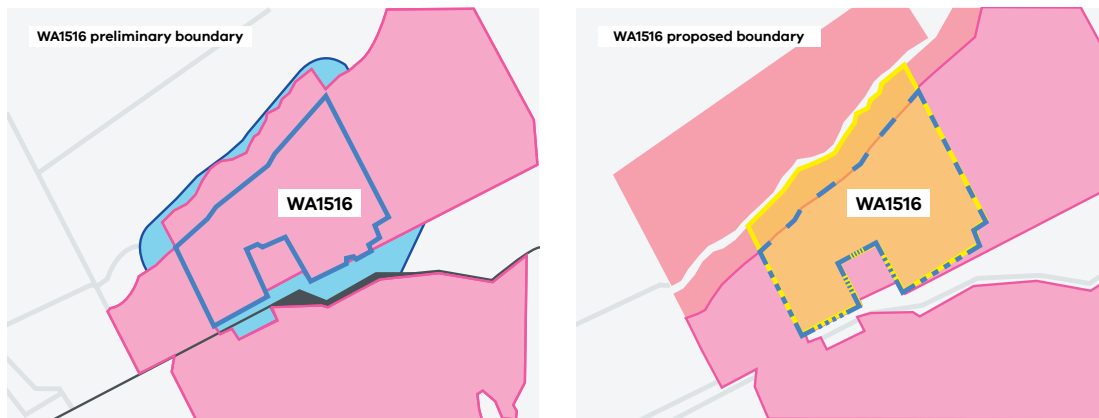
State Resource Overlay Schedule 3

As sand and gravel are the extractive resources proposed for protection within the Lang Lang SERA, SRO3 would apply a 250m buffer from either the lot boundary or the WA boundary, depending on how closely the WA boundaries align with the lot boundaries.

SRO3 is proposed to apply to the edge of eight WAs in Cardinia Shire: WA127, WA338, WA456, WA1005, WA1372, WA1338, WA1516 and WA006051; and to a small portion of one WA in South Gippsland Shire: WA006051.

In most instances, the WA boundaries generally align with lot boundaries. Where this occurs, the SRO3 buffer distance of 250m extends outwards from the lot boundaries that contain those WAs. The exception in the Lang Lang SERA is WA1516, where the WA boundary does not generally align with the lot boundary. In this instance, the SRO buffer extends outwards from the WA boundary. Figures 12 and 13 shows the proposed extent and location of the SRO buffer. The preliminary boundary was at the 250-m extent, but there is a named waterway along the north-east side and it therefore became the north-east boundary.

▼ Figures 12 and 13: WA1516 initial and proposed SRO buffer boundaries



It is not proposed to apply SRO3 to land in Bass Coast Shire for WA1338 because the Victorian Government is currently finalising the Bass Coast Statement of Planning Policy, which will affect land use planning in that shire.

An area of land southwest of WA1516, shown in Figure 14 shaded pink and circled in orange, contains 22 lots with frontage to Westernport Road and is zoned Neighbourhood Residential Zone Schedule 1 (NRZ1). The SRO buffer is not proposed in this area, as a purpose of the NRZ1 is to recognise areas of mainly single

and double-storey residential development. NRZ1 does not require a planning permit for the use of land for residential development, which is a sensitive land use. It would, therefore, be at cross-purposes to apply the SRO buffer to this land as the purpose of the SRO buffer is to discourage sensitive land uses.

It is also proposed not to apply the SR buffer to the land to the north-west of WA1516 as this land is within 200m of the Lang Lang River and is, therefore, in an area of Aboriginal cultural heritage sensitivity.

▼ Figure 14: Land in Neighbourhood Residential Zone schedule 1 on Westernport Road





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APPENDICES

Appendix 1: SERA selection criteria

The process of identifying potential SERAs commenced during preparation of the *Extractives Demand and Supply Study* which mapped key sources of sand and stone supply located close to existing and projected demand areas. From this group, a set of priority areas were named in the *Extractive Resources Roadmap*. Most candidate SERA locations were chosen because they included Extractive Industry Interest Areas (EIAs). This process culminated in the creation of 12 SERA investigation areas.

Desktop multi-criteria analysis of the 12 investigation areas was then undertaken to assess their complexity level and review their priority status as stated in the *Roadmap*. Selection criteria included the factors noted above and was also informed by planning scheme provisions, public datasets and supply and demand data. This resulted in the selection of two pilot SERAs near Nyora West and Werribee-Little River. It also resulted in the selection of the three SERAs near Lang Lang, Oaklands Junction and Trafalgar.

While the 12 investigation areas cover extensive ‘greenfield’ sites with a scattering of existing quarries within a wider rural setting, ‘brownfield’ sites covering single quarries were also considered. These sites are already in substantial production and are significant as major suppliers to the Melbourne metropolitan area. Their inclusion as a SERA supports their ongoing operation for decades to come.

Existing planning controls to protect Aboriginal cultural heritage and environmental values were also considered during the SERA selection process. As quarrying permanently alters Country and landscapes, decision-making for quarry operations is generally lengthier and more complex when these values are in abundance. It is important to build confidence in the community that the SERA program seeks to identify and preserve areas of relatively less complexity for current and potential future quarries. Quarry applications will continue to require assessments under applicable state and federal laws to protect these values. Quarries can also be proposed in areas that are not within an EIA or SERA.

The final boundaries of each SERA have been influenced by a more detailed analysis of the areas. Areas of potentially high value for cultural heritage, biodiversity and/or environmental factors have been identified and, where practical, avoided.

The high-level criteria for prioritising the SERAs are based on the factors shown in Table 30.

▼ Table 30: High-level SERA selection criteria factors

FACTOR	INCLUDES
Geoscience	<ul style="list-style-type: none"> – Production potential (or supply) of sand or hard rock – Likelihood of longevity of operation into the future – Proximity to demand for its products
Site-specific characteristics	<ul style="list-style-type: none"> – WA holder and/or peak industry body has been briefed – Substantial size of parcel – Appropriate zoning – Proximity to good road connections
Environmental and cultural values	<ul style="list-style-type: none"> – Assessment of the impact on areas with high natural and/or Aboriginal cultural heritage values

Table 31 shows additional criteria for prioritising SERAs.

▼ **Table 31: Additional criteria for determining the inclusion of SERA sites**

CRITERIA	GREENFIELD SERA	BROWNFIELD SERA
Resource significance		
The resource (sand or stone) is in high demand	Yes	Yes
There is a projected shortfall in the type of strategic extractive resource in the subject region	Yes	Yes
The area's extractive resources support Melbourne's growth by its location, proximity to markets and transport links	Yes	Yes
The brownfield area has extractive resources of sufficient quality and quantity to yield more than 1 million tonnes a year for 15 years	N/A	Yes
The area has potential to expand quarrying operations or for the quarry 'life' to be extended	Yes	Yes
The greenfield area has significant long-term extractive resources – in excess of 15m tonnes – as verified by the Geological Survey of Victoria	Yes	N/A
SITE ASSESSMENT		
The area has manageable constraints as per planning scheme provisions (e.g. suitable zoning, buffer areas; planning policy compliance)	Yes	Yes
The area is accessible to markets via suitable transport routes that support projected truck traffic requirements (e.g. B-double trucks)	Yes	Yes
The area is likely to experience 'threats' from urban expansion or an increase in sensitive land uses, development or subdivision	Yes	Yes
The brownfield area is wholly or partly zoned SUZ for extractive industry	N/A	Yes
The brownfield area contains an existing single work authority	N/A	Yes
The greenfield area contains multiple work authorities and/or areas for potential new quarries to be established	Yes	N/A
The greenfield area contains a large proportion of land parcels greater than 40 ha	Desirable	N/A
KEY STAKEHOLDERS		
The WA's landowner agrees to a potential SERA	Desirable	Yes
The WA holder agrees to a potential SERA	Desirable	Yes
The council agrees to a potential SERA	Yes	Desirable



Appendix 2: SERA investigation areas: resource prospectivity

Purpose

The purpose of this summary is to provide a geological assessment of the tranche 1 Strategic Extractives Resource Areas (SERAs) background investigation areas. The assessment is based on available geoscience data and knowledge.

Background

With Victoria's growing population and increasing requirements for extractive resources to build homes and necessary infrastructure comes the need to secure the long-term supply of strategic extractive resources, close to areas where they will be used. The SERAs address this need by facilitating greater visibility, recognition, and planning protection of strategic extractives resources in defined locations.

A SERA provides planning controls that include:

- utilising the Special Use Zone (SUZ) for existing quarries
- applying a State Resource Overlay (SR01) to areas that have been identified as potential new or expanded quarries in the future
- applying a State Resource Overlay (SR02) around existing quarries as a buffer.

The location of a SERA is based on an assessment of source rock availability and quality, cultural sensitivity, existing land uses, supporting transport networks and proximity to markets.

Two SERAs have been implemented in the South Gippsland and Wyndham Local Government Areas (LGAs), and the Strategic Extractive Resources Roadmap outlines priority areas for further SERAs. Background investigations of priority areas commenced in September 2021, with the Geological Survey of Victoria (GSV) providing a geological assessment for these.

Scope

Priority areas for SERA background investigations have been divided into three tranches by the Strategic Resources Planning team. The focus of this assessment is on the first tranche of priority areas; Cardinia Bass and Trafalgar. The boundary for each area was provided by the Strategic Resources Planning team. No assessment of the geology and associated extractives prospectivity has been conducted outside the background investigation area boundaries. Each area has been assessed independently and no comparisons have been made between areas. Commentary regarding economic viability of a resource and distance to market is not included within the scope of this assessment.

Extractive Industry Interest Areas

Extractive Industry Interest Areas (EIIA) were first developed by the Geological Survey of Victoria (GSV) in 1993, and refined in 1996 and 2003, to assist in strategic planning for future quarry material supply across Victoria. They were based on geoscience and planning scheme desktop reviews and identified areas with potential for economically viable quarry resources.

Identification of EIAs involved a geoscientific desktop analysis of historical data, including historical GSV drilling campaigns, and regional scale geological mapping. Planning scheme reviews identified areas where there were potentially fewer land use planning constraints at the time. Although EIAs provide an indication of the extractives prospectivity of an area, they do not have any planning controls with respect to the planning scheme.

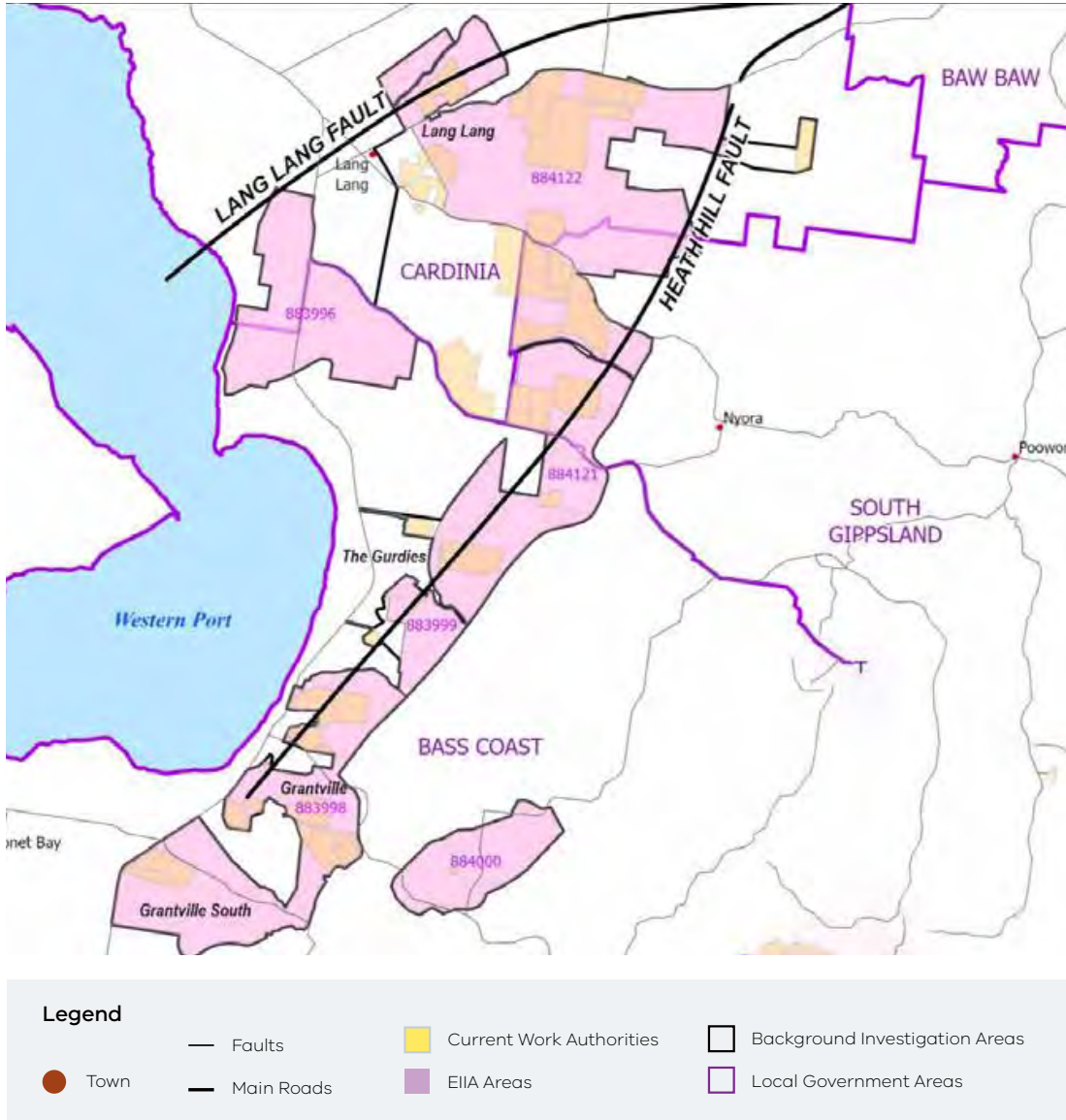
Over the 17 years since the last EIIA review there have been changes to geoscience data and knowledge, local government planning schemes and construction material consumer demands. To ensure EIAs remain a robust delineation of extractives prospectivity, EIIA boundaries were recently reviewed and updated based on current planning scheme zones and sterilisation of EIAs by incompatible land uses (e.g., urban development). EIAs referenced in this assessment are the most recent boundaries.

Cardinia/Bass extractive resource prospectivity

Regional geology

The area encompassed by the Cardinia Bass background investigation area is a major production centre for coarse and fine sand products that supply the Melbourne metropolitan and eastern growth corridors. The area of interest encompasses parts of both the Cardinia and Bass LGAs (Figure 26). In Cardinia, extraction is primarily from the Pleistocene age Cranbourne Sand and Pliocene to Miocene age Sandringham Sandstone units, while in the south, around Grantville, extraction is from the Pliocene to Oligocene age Yallock Formation. The productive sand units are structurally constrained by the Lang Lang Fault to the west and the Heath Hill Fault to the east (Figure 26). The sands from each production area differ in their physical properties, however they both achieve the necessary specifications for construction material supply.

▼ Figure 26: Cardinia Bass background investigation area, along with LGA boundaries, overlapping EIAs and current Work Authorities





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Background investigation area

The majority of the investigation area overlaps with several EIAs, which were previously identified as being prospective for sand extraction (Figure 26). The recent review of the EIA boundaries has not substantially altered EIA coverage across the investigation area. For the purpose of this assessment, the area has been divided into production centres, shown in Figure 26, and these are as follows:

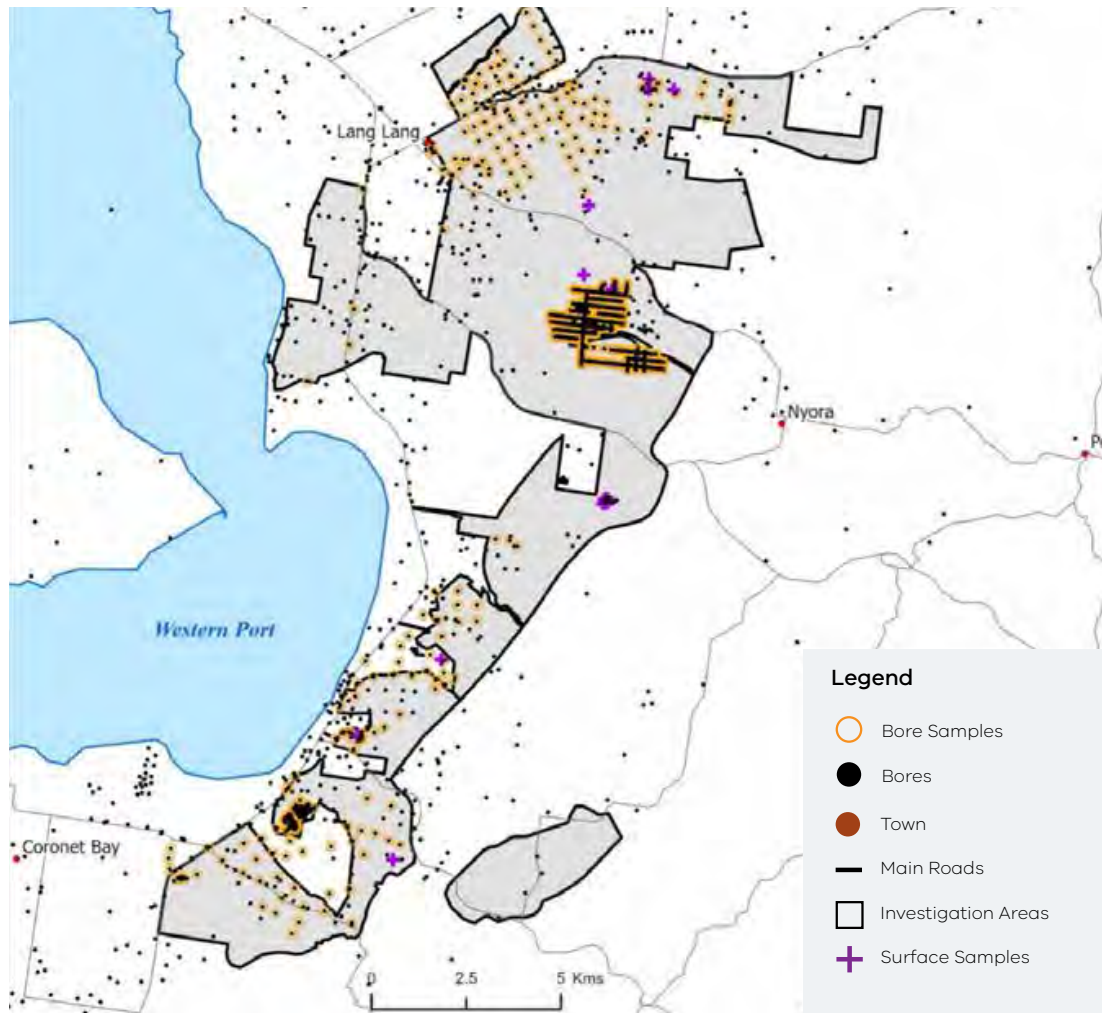
- Cardinia LGA - Lang Lang
- Bass Coast LGA - The Gurdies, Grantville and Grantville South

Available geoscience data

Recent investigations by the GSV have made new extractives geoscience data available to the public. This data comprises both new engineering geoscience data obtained during a focussed GSV quarry sampling program, and historic extractives data collected by government and industry.

The GSV borehole database shows a total of 1,241 boreholes across the background investigation area, and of these 506 boreholes have downhole lithology logs. Extractives sampling coverage comprises 2,550 individual borehole samples and 20 surface samples with extractives related testing data. Figure 27 shows the distribution of borehole and surface sample datapoints across the Cardinia Bass background investigation area. Engineering geoscience data and particle size distribution data is available for the background investigation area.

▼ Figure 27: Borehole and surface sample data points across the Cardinia Bass background investigation area



Suitability of source rock for quarrying products

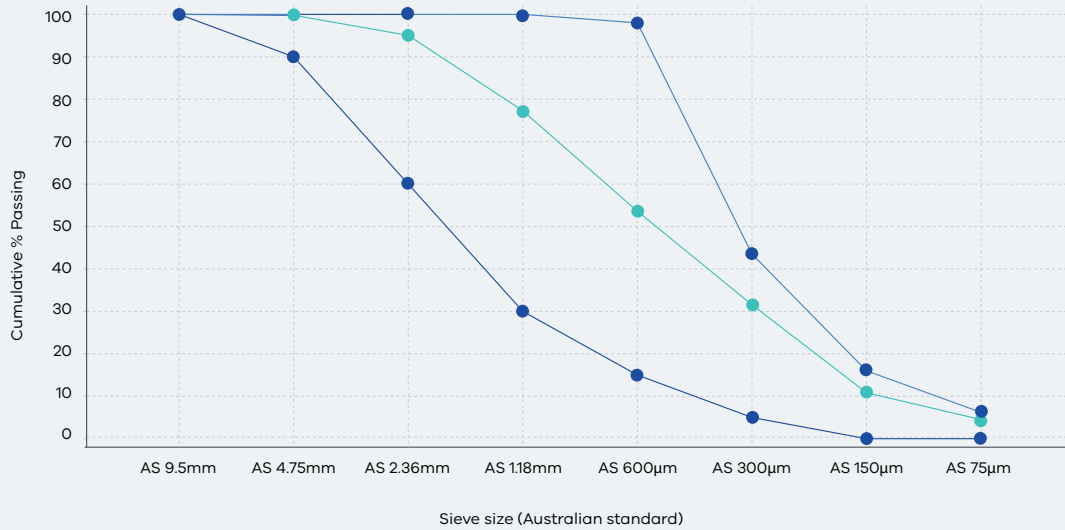
Sand resources in the Cardinia Bass background investigation area are suitable for production of construction sands. There are 39 current WAs within the background investigation area, although not all WAs are currently producing. An example of a concrete sand product from the Grantville production centre is presented in Figure 28. Assessment of the available lithology data gives an average overburden thickness of approximately 3.5m and an overburden to sand ratio of 1:6, which indicates suitability for economic extraction.

Particle size distribution data for the production centres, along with the Australian Standard AS2758.1-1985 specification curves for concrete sand and VicRoads Section 610 specification is presented in Figure 29 and Figure 30. These curves are the average of all particle size distribution data available to the GSV in each of the production centres. Although there is variation in particle size distribution between the production centres, the majority of samples fall within the Australian Standard and VicRoads specifications for concrete sand. Where the grading curves fall outside the specification envelope, they are still within the tolerance limits for achieving specification by standard production processes.

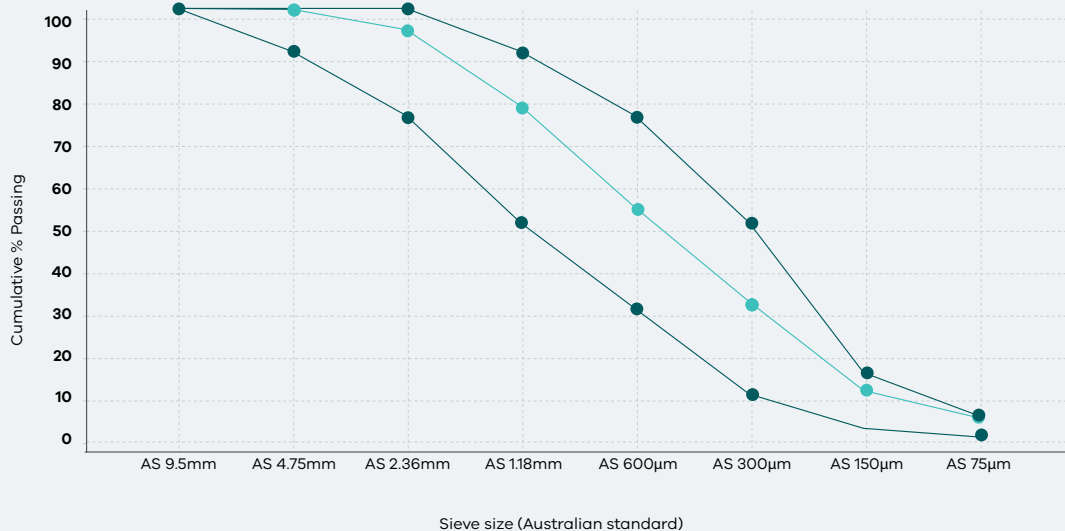
▼ **Figure 28:** Construction sand product from a current Work Authority in Cardinia Bass

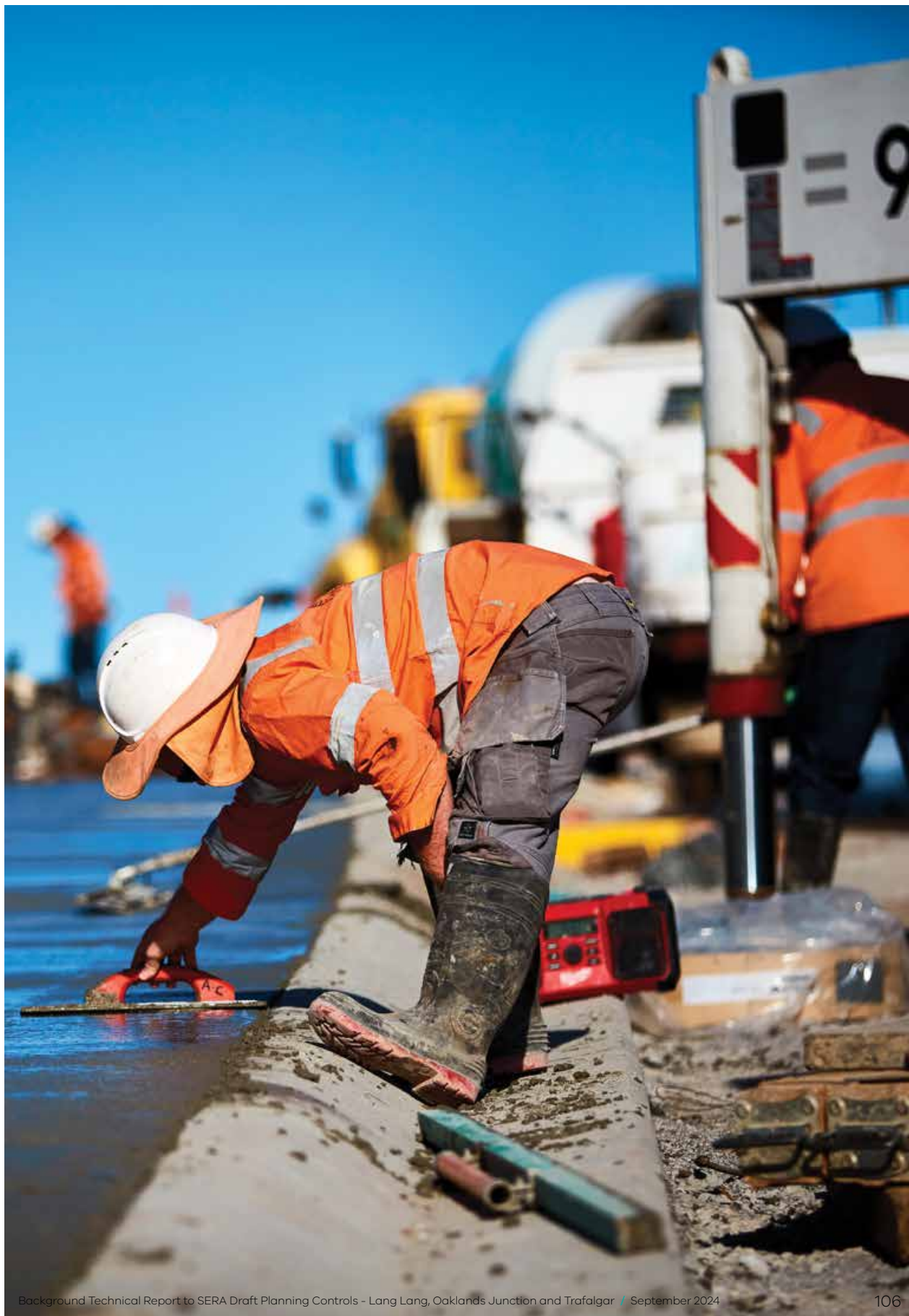


▼ **Figure 27:** Lang Lang average particle size distribution (light teal) within the specification envelope (blue) of the Australian Standard specification for concrete sand.
Note: Sand that is suitable for concrete must fall within the specification envelope (high and low range) as represented on this graph.



▼ **Figure 28:** Lang Lang average particle size distribution (light teal) within the specification envelope (dark green) of the VicRoads specification for concrete sand.
Note: Sand that is suitable for concrete must fall within the specification envelope (high and low range) as represented on this graph.





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Engineering geoscience data for the background investigation area is provided in Table 30. The combination of water absorption values, clay and fine silt values and particle size distribution data indicate that the source rock is suitable for concrete sand and a range of other construction products.

▼ **Table 32:** Average, minimum and maximum values for water absorption, clay and fine silt, and fineness modulus for the Cardinia Bass background investigation area

WATER ABSORPTION %			CLAY AND FINE SILT %			FINENESS MODULUS		
Min	Max	Average	Min	Max	Average	Min	Max	Average
0.2	1.8	0.7	1	46	15.9	0.1	4.7	1.7

Trafalgar extractive resource prospectivity

Regional geology

The Trafalgar background investigation area is located in the Baw Baw LGA. The surface geology of the background investigation area is dominated by the Pliocene to Pleistocene age Haunted Hills Formation (Figure 31). The Haunted Hills Formation is overlain by a major alluvial floodplain system, and minor colluvial deposits, across the area. At the northern extent of the area, early Devonian Norton Gully Sandstone and the Late Oligocene to early Miocene Neerim Volcanic Group basalt have been mapped.

The Haunted Hills Formation is the source rock of interest for extraction and the production of construction materials. The geological characteristics of the Haunted Hills Formation are regionally variable. In the context of construction materials, this allows a variety of sand products to be produced. Invalid source specified.

Background investigation area

The Trafalgar background investigation area aligns with the boundaries of EIIA 884123, which were identified as being prospective for sand extraction. The recent review of the EIIA boundaries has not substantially altered EIIA coverage across the background investigation area. Extractive sand units of interest also exist across the Darnum area to the southwest of Trafalgar, however this area has not been included in the background investigation area (Figure 31).

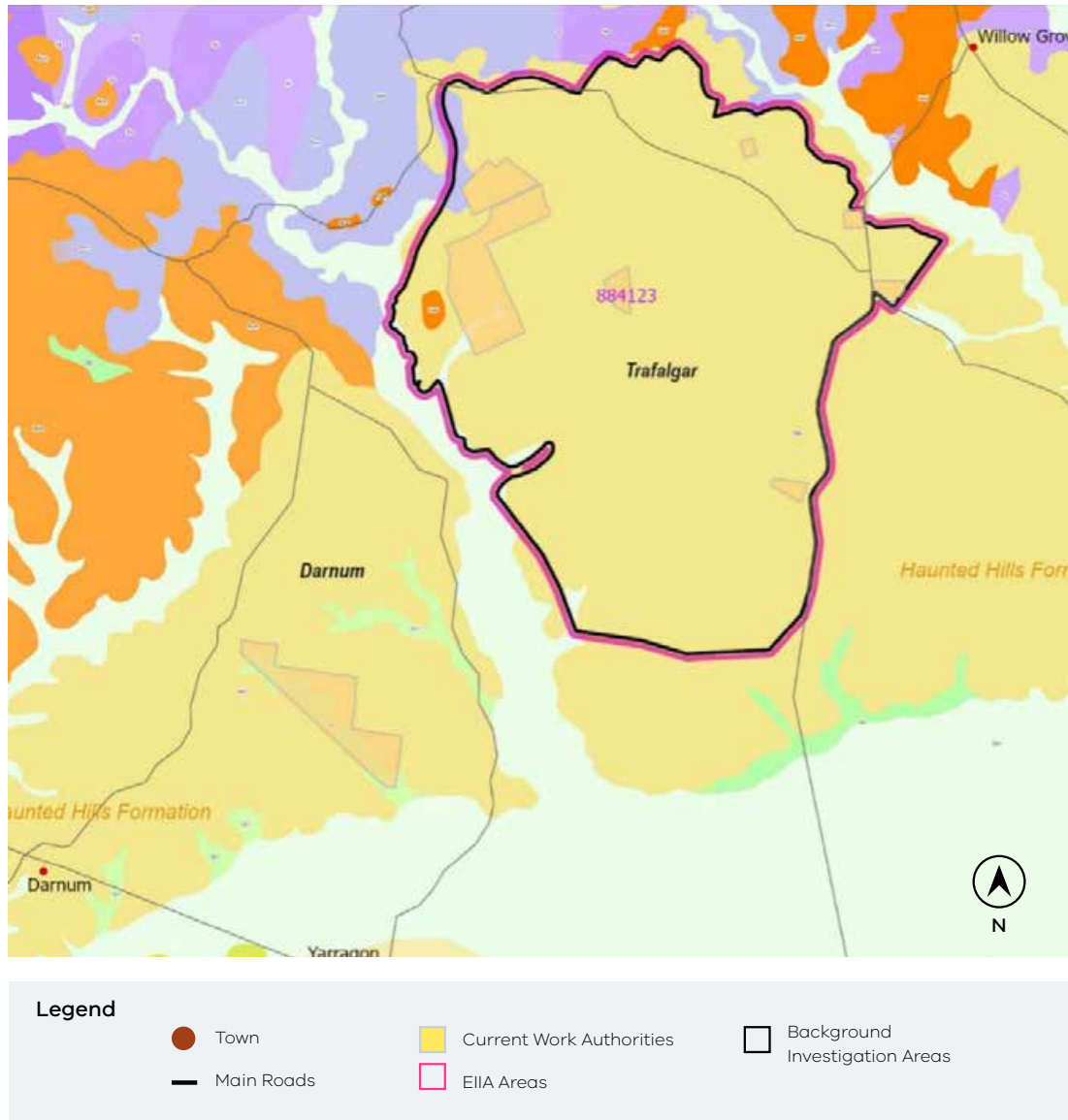
Available geoscience data

Recent investigations by the GSV have made new extractives geoscience data available to the public. This data comprises both new engineering geoscience data obtained during a focussed GSV quarry sampling program, and historic extractives data collected by government and industry.

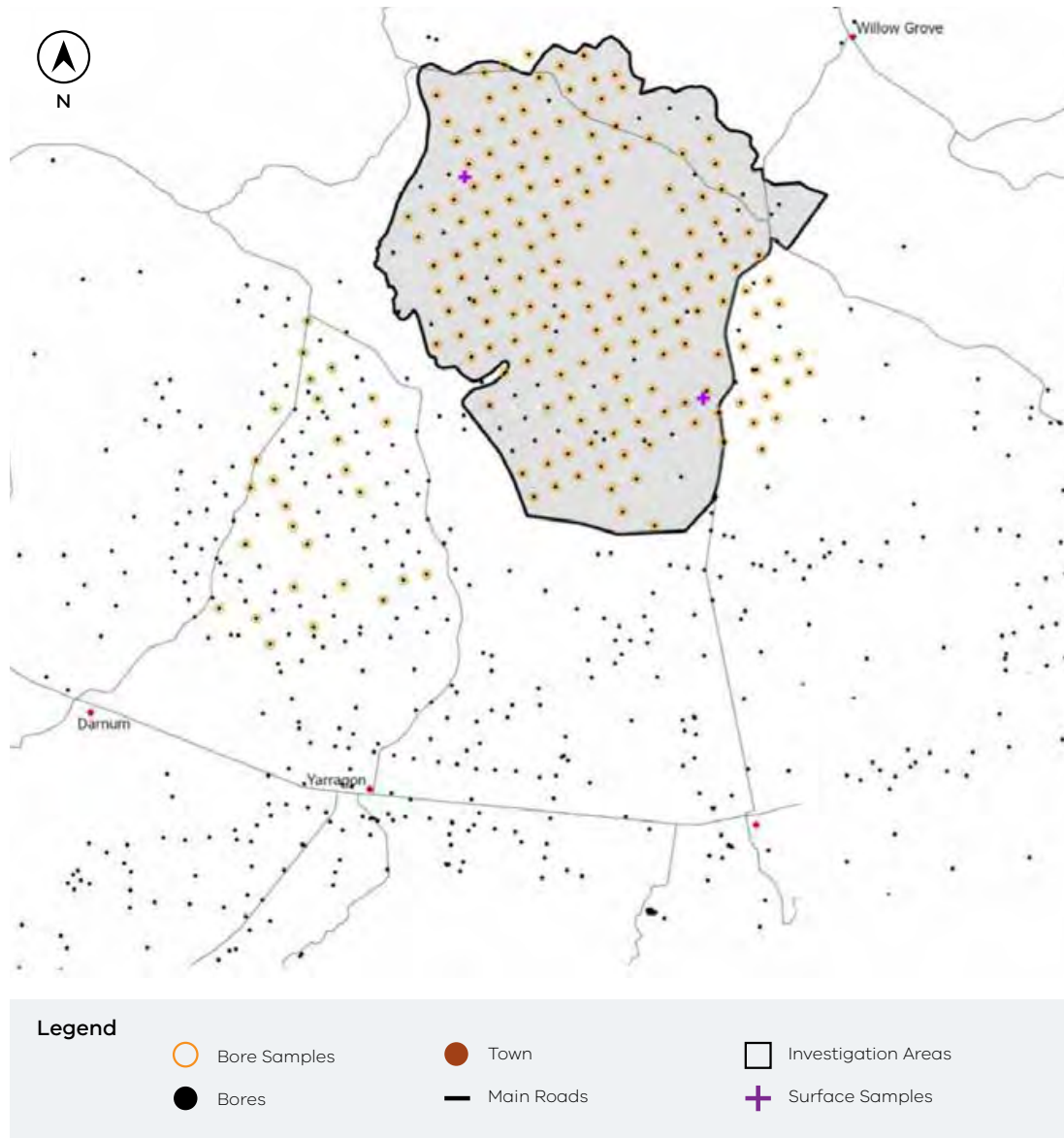
The GSV borehole database shows a total of 181 boreholes across the background investigation area, and of these 180 boreholes have downhole lithology logs. Extractives sampling coverage comprises 451 individual borehole samples and 5 surface samples with extractives related testing data. Figure 32 shows the distribution of borehole and sample datapoints across the Trafalgar background investigation area. Both engineering geoscience data and particle size distribution data is available for the area of interest.

A contemporary resource model of the Trafalgar and Darnum area was recently completed and confirms the extractives prospectivity of the area.

▼ **Figure 31:** Trafalgar Sand background investigation area showing EIA boundaries, current work authorities and the surface expression of the Haunted Hills Formation



▼ Figure 32: Borehole and sample data points across the Trafalgar background investigation area



Suitability of source rock for quarrying products

Sand resources in the Trafalgar background investigation area are suitable for production of construction sands. There are 7 current WAs within the background investigation area, and one of these is currently producing.

An example of a raw and washed sand from a currently producing WA in the Trafalgar area is presented in Figure 33. Modelling of the Trafalgar sand resource, utilising all available borehole data, demonstrated an average sand unit thickness of 11.3m. Assessment of the available lithology data by the GSV, using a subset of the boreholes, gives an average overburden thickness of approximately 3.7m and an overburden to sand ratio of 1:5.6, which indicates suitability for economic extraction.

Particle size distribution data for the Trafalgar background investigation area, along with the Australian Standard AS2758.1-1985 specification and VicRoads Section 610 specification envelopes for concrete sand, is presented in Figure 34 and Figure 35. These curves are the average of all particle size distribution data available to the GSV within the background investigation area. The particle size distribution data falls within the envelope for both specifications, indicating suitability of the sand for high grade construction products, including use in concrete and asphalt.

Engineering geoscience data for the background investigation area can be seen in Table 31. The combination of water absorption values, clay and fine silt values and particle size distribution data indicate suitability of the source rock for concrete sand and a range of other construction products.

▼ **Figure 33:** (A) A sample of the raw feed sand from a work authority prior to being washed and screened; (B) A sample of the concrete sand product the same work authority after being washed and screened.

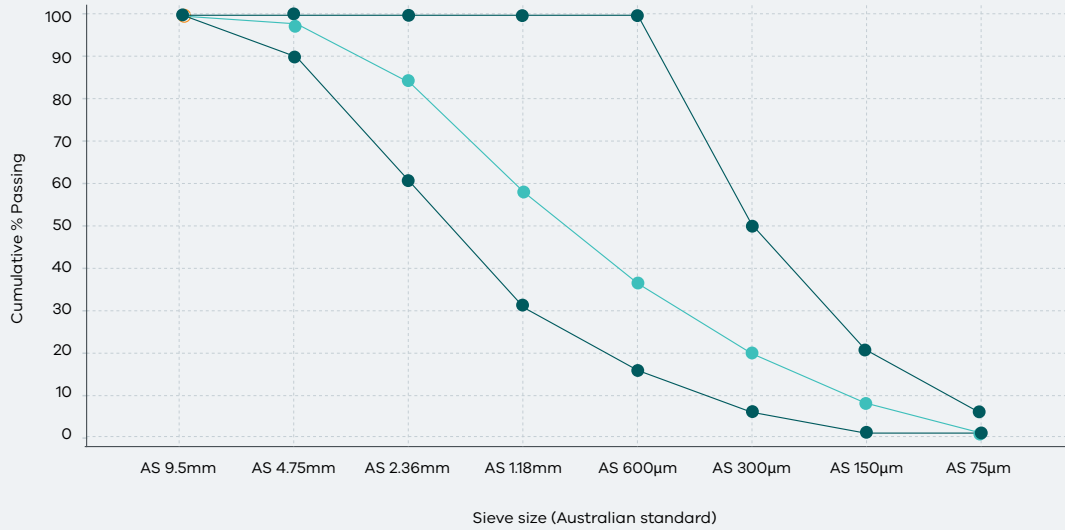


Sample A

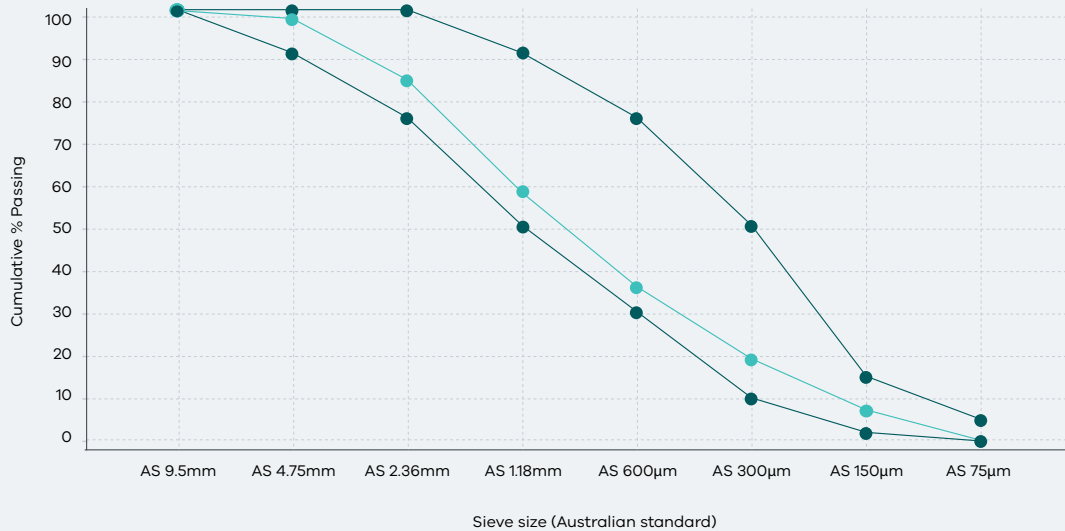


Sample B

▼ **Figure 34:** Trafalgar average particle size distribution (light teal) within the specification envelope (dark green) of the Australian Standard specification for concrete sand.
Note: Sand that is suitable for concrete must fall within the specification envelope (high and low range) as represented on this graph.



▼ **Figure 35:** Trafalgar average particle size distribution (light teal) within the specification envelope (dark green) of the VicRoads specification for concrete sand.
Note: Sand that is suitable for concrete must fall within the specification envelope (high and low range) as represented on this graph.





Trafalgar resource estimate

GSV recently undertook modelling of the Trafalgar area to generate a contemporary resource estimate. This also included the Darnum area to the southwest of the Trafalgar Sand background investigation area (Figure 31). The estimate for Trafalgar and Darnum determined a total of 620 million tonnes of sand (Indicated and Inferred Resources meeting JORC 2012 guidelines) met the conditions of eventual economic extraction. Although the resource estimate encompasses both the Trafalgar and Darnum areas, modelling demonstrated that the majority and highest-grade resources occurred in the Trafalgar area.

▼ **Table 33:** Average, minimum and maximum values for water absorption, clay and fine silt, and fineness modulus for the Trafalgar Background Investigation area

WATER ABSORPTION %			CLAY AND FINE SILT %			FINENESS MODULUS		
Min	Max	Average	Min	Max	Average	Min	Max	Average
0.4	1.1	0.8	6	12	9	0.1	4.2	3



Appendix 3: SERA investigation areas native vegetation assessment

The Strategic Offsets Project is a priority action of the Helping Victoria Grow: Extractive Resources Strategy. The project will develop and implement innovative and meaningful approaches to biodiversity offsets for the extractives sector.

Executive summary

This paper provides an analysis of the location and quality of native vegetation within the Baw Baw, Cardinia and Hume investigation areas for the Tranche 1 SERA projects. An upfront native vegetation assessment has been undertaken to ensure that all biodiversity risks, issues or barriers are known early in the process. This will assist in developing the final boundaries for the SERAs and provide additional certainty to the Department of Energy, Environment and Climate Action (DEECA), operators, credit brokers and other relevant stakeholders.

DEECA has undertaken a desktop assessment using modelled data of the Cardinia investigation area and prepared risk maps to determine the areas of low and high ecological constraint. Comparing these areas to the mapped areas of the SERAs and Extractive Industries Interest Areas (EIIA) may help guide quarry development into lower-risk areas that will provide both cost and efficiency benefits to operators as well as biodiversity benefits.

This analysis has clearly identified the areas of higher-risk vegetation that may prove difficult to secure offsets for and shows locations where development would be subject to lower native vegetation risk. It is expected that this analysis could help shape the final SERA boundaries as well as providing the industry with additional confidence before committing to new developments.

DEECA's desktop assessment of the native vegetation across the Cardinia investigation area concludes that there are numerous areas that could be suitable for extractive operations development that lead to lower native vegetation offset costs and biodiversity impact.

Native vegetation risk assessment methodology

The below native vegetation risk assessment method indicates which areas within the investigation areas could be developed while avoiding and/or minimising the impact to the existing vegetation. Developing land that avoids and minimises native vegetation removal will reduce costs relating to securing offsets and time delays associated with this element of assessment and approvals.

The three investigation areas were assessed using the below method that was utilised for the Wyndham SERA case study. This method is easily replicated and can be applied to any area or specific site requested by DEECA or industry.

Step 1: Undertake a native vegetation removal assessment

Using the internal EnSym system DEECA has undertaken a desktop assessment on each parcel within the Cardinia investigation area to determine the extent of vegetation, native vegetation condition, Ecological Vegetation Class (EVC) and strategic biodiversity value.

Using modelled data, the assessment provided a report for each parcel providing information to support an application to remove, destroy or lop native vegetation in accordance with the *Guidelines for the removal, destruction or lopping of native vegetation*.

Note: An on-ground assessment, rather than modelled data, will be required to make an application.

Step 2: Undertake QGIS mapping exercise to determine higher-risk and lower-risk areas.

Using the information collected in Step 1, undertake a GIS analysis to determine the locations that contain no modelled native vegetation extent and areas containing modelled native vegetation extent. This exercise has clearly shown which areas do not have modelled native vegetation and which areas should be avoided if practical and where development should be encouraged.

Analysing native vegetation assessment maps

Native vegetation extent

The extent of modelled native vegetation is shown in green and red. This shows where modelled native vegetation exists across the landscape. These areas indicate that offsets would need to be secured as per the native vegetation regulations if the vegetation was proposed to be removed. Alternatively, the areas with no green or red areas are likely to have no native vegetation and is considered lower risk from a development perspective.

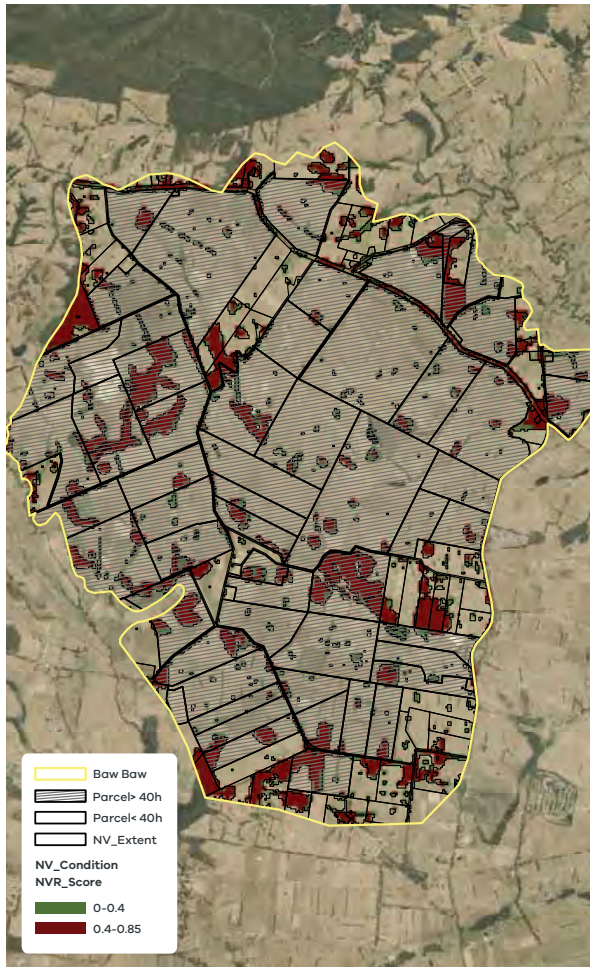
Native vegetation condition

Modelled vegetation is separated into red and green depending on strategic biodiversity value. For context, a strategic biodiversity value score above 0.8 means the site is very important for Victoria's biodiversity from a state-wide perspective. Larger or intact areas of native vegetation have higher strategic scores and a score above 0.6 is very good condition.

- **Green:** 0-0.4 (lower condition)
- **Red:** 0.4-0.85 (higher condition).

Parcel size

A subdivision minimum of at least 40 hectares is considered appropriate for extractive industry, as quarry operations are generally within this size limit. Land fragmentation is particularly an issue on previously identified EIA areas, as it is a deterrent for prospective quarry operators to acquire land and attain approval for operations. The hatched parcels indicate that the parcel is 40 hectares or greater. The unhatched parcels are less than 40 hectares and if no modelled vegetation is present, could provide opportunities for operations that meet the Code of Practice for Small Quarries.



Baw Baw SERA – Trafalgar Sands

Site context

- Significant land clearance and alteration has resulted in fragmented distribution of native vegetation across the area.
- Small and dispersed areas of remnant native vegetation are present across the area and predominantly exist along roads and waterways. There are several larger patches spread across the area.
- The native vegetation condition is high across the area with approximately two thirds of the modelled vegetation being assessed as 0.4-0.84.

Native vegetation risk

- There are several opportunities for the lower risk expansion of existing operations or development of new operations in areas with little modelled vegetation or lower value vegetation.
- Costs relating to securing offsets could be minimised significantly if this areas with no modelled native vegetation were prioritised for operations.

Higher risk areas

- Mapped higher value vegetation in larger patches across the site. Large or intact areas of native vegetation. This vegetation would usually have higher condition and strategic biodiversity value scores.
- Mapped vegetation along roads and waterways.

Cardinia SERA

Site context

- Extent of native vegetation is minor and is predominantly located along roads.
- The native vegetation condition is high across the area with approximately half of the modelled vegetation being rated 0.4-0.84.

Native vegetation risk

- Very small portion of the site contains modelled native vegetation.
- Several opportunities for new operations.
- Costs relating to securing offsets could be minimised significantly if this area was developed for future operations.

Higher-risk locations

- Mapped vegetation within and adjacent to road reserve along Bass Hwy.
- Mapped vegetation along Jetty Lane.
- Mapped vegetation at south-west section of Area 1 close to Lang Lang Caravan Park.

Site context

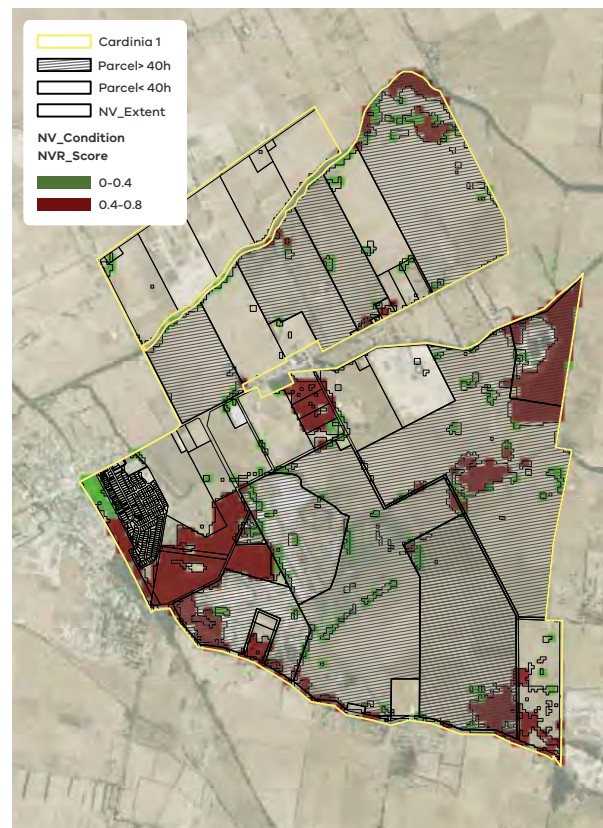
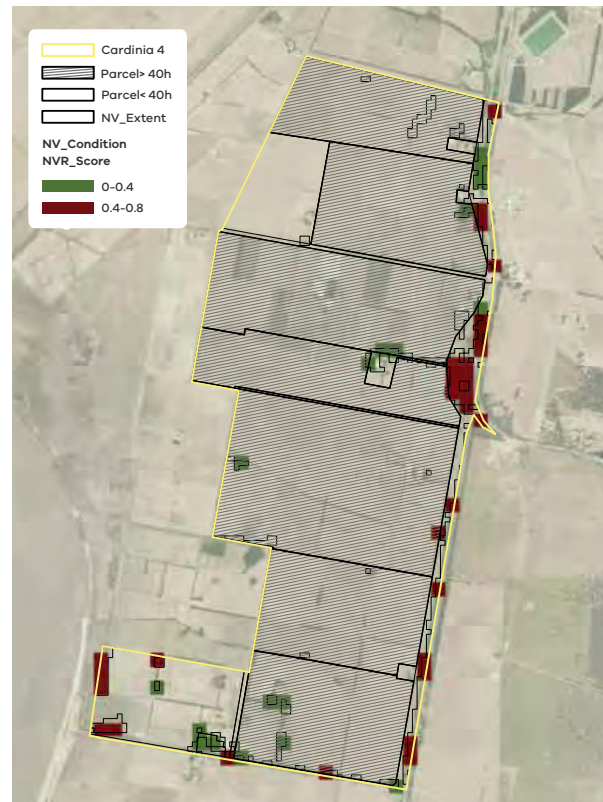
- Extent of modelled native vegetation is moderate.
- Modelled native vegetation condition is high.

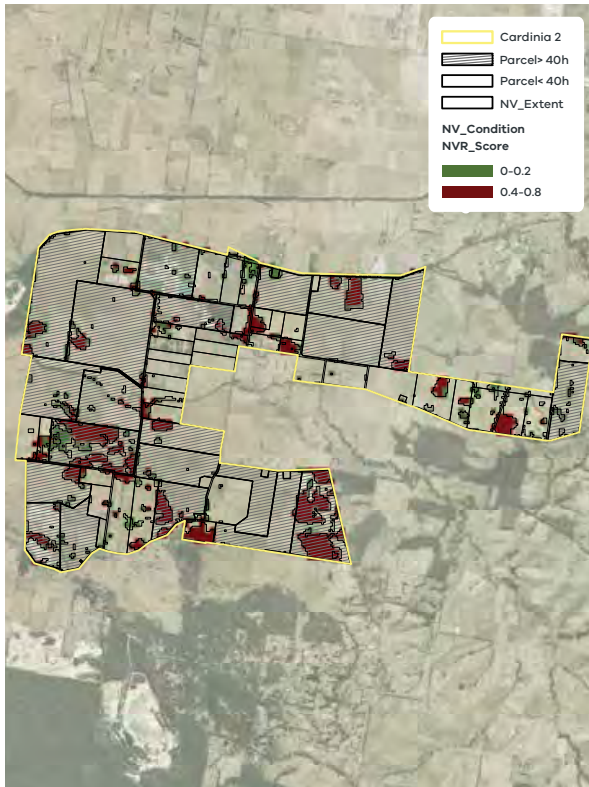
Native vegetation risk

- Small portion of the site contains modelled high value native vegetation.
- Several opportunities for new operations.
- Costs relating to securing offsets could be minimised significantly if already cleared land in this area was developed for future operations.

Higher-risk locations

- Large patches of native vegetation.
- Mapped high value vegetation clustered in the west.





Site context

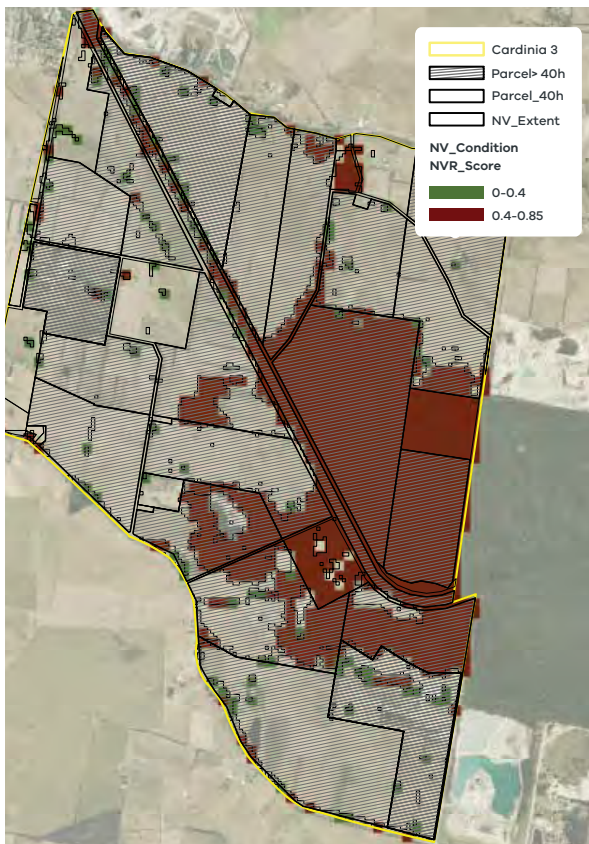
- Extent of modelled native vegetation is moderate.
- Modelled native vegetation condition is high.

Native vegetation risk

- Small portion of the site contains modelled high value native vegetation.
- Several opportunities for new operations.
- Costs relating to securing offsets could be minimised significantly if already cleared land in this area was developed for future operations.

Higher-risk locations

- Mapped vegetation surrounding WA006051.
- Mapped high value vegetation clustered in south-west and south-east of area.
- Mapped vegetation surrounding WA1005.



Site context

- Extent of native vegetation is significant, predominantly adjacent to the Adams Creek Environs nature reserve. A large portion of this area is a nature conservation reserve managed by Parks Victoria.
- Modelled native vegetation condition is high.
- Any proposed native vegetation removal would likely fall within a Detailed Assessment Pathway due to the existence of endangered EVCs and potential impact on habitat for rare or threatened species.

Native vegetation risk

- Significant portion of the site contains modelled high value native vegetation.
- Several opportunities for new operations.
- Costs relating to securing offsets could be minimised significantly if already cleared land in this area was developed for future operations.

Higher-risk locations

- Mapped vegetation within and surrounding Adams Creek Nature Conservation Reserve.

Hume SERA – Oaklands Junction

Site context

- Significant extractive operations have occurred at the site resulting in very little remnant vegetation.
- Modelled vegetation is present mostly along the western boundary and south of the main parcel which acts as a visual barrier to the operations.
- The native vegetation condition is high across the area with approximately two thirds of the modelled vegetation being rated 0.4-0.84.

Native vegetation risk

- A very small portion of the site contains modelled native vegetation.
- There are several opportunities for the lower risk expansion of existing operations or development of new operations in areas with little modelled vegetation or lower value vegetation.

Higher-risk areas

- Mapped higher value vegetation along the western boundary and south of the main parcel.

Securing offsets

The Guidelines for the removal, destruction



or *lopping of native vegetation* (the Guidelines) apply to all proposals to remove native vegetation for extractive operations. The Guidelines set out how to identify, assess and offset native vegetation removal. An offset compensates for the loss in biodiversity value when native vegetation is removed.

There are two types of offsets:

- a species offset is required when the removal of native vegetation has a significant impact on habitat for a rare or threatened species
- a general offset is required when the removal of native vegetation does not have a significant impact on habitat for a rare or threatened species.

DEECA has undertaken an analysis of the

available general offsets on the Native Vegetation Credit Register (NVCR). The offset must be located within the same Catchment Management Authority (CMA) boundary or municipal district as the native vegetation to be removed. This maintains a link between the location of the offset and the site of the native vegetation to be removed. The relevant CMAs to the above investigation areas are Melbourne Water and West Gippsland.

The investigation areas have a high availability of general habitat native vegetation credits. This is likely to be a lower-risk area for development if areas with no modelled vegetation or low-quality vegetation are prioritised for development. Additional work is required by DEECA to understand the risks associated with species specific offset requirements.

▼ **Table 34:** General offsets analysis for Melbourne Water

CMA	MELBOURNE WATER	WEST GIPPSLAND
Landowner agreements / covenants	39	29
General offsets for sale	130.6	230.7
Trades since July 2019	11.1	23.4
General offsets sold per year	3.7	7.8
Predicted number of years supply	35.4	29.5

Native vegetation removal and offset examples

DEECA NVR has undertaken a native vegetation removal report for the below properties to provide an example of how future proposed native vegetation removal and offset requirements may work in practice. In the case of this example, DEECA NVR as assumed that the entire parcel will be removed of modelled native vegetation.



Baw Baw

Site

The site was chosen as it is large enough to allow extractive operations (15.75ha), it has good access to main roads and is predominantly cleared of native vegetation.

Offset requirements

- **General offset amount:** 1258 general habitat units
- **Vicinity:** West Gippsland Catchment Management Authority or Baw Baw Shire Council
- **Minimum strategic biodiversity value score:** 0.303
- **Species specific offset amount:** 7.965 species units of habitat for Flinders Pygmy Perch
- **Large trees:** 0 trees

Offset availability

A search of the Native Vegetation Credit Register (NVCR) to determine whether third party offsets are available to meet the obligations was undertaken:

- **General offset availability:** 258 general habitat units are available for purchase on the NVCR
- **Species specific offset availability:** 7.965 species units of habitat for Flinders Pygmy Perch are not available for purchase on the NVCR.



Cardinia

Site

The site was chosen as it is large enough to allow extractive operations, it has good access to main roads and is predominantly cleared of native vegetation.

Offset requirements

- **General offset amount:** 0.053 general habitat units
- **Vicinity:** Port Phillip and Western Port CMA or Cardinia Council
- **Minimum strategic biodiversity value score:** 0.320
- **Species specific offset amount:** 15.323 species specific units of habitat for Orange-tip Finger-orchid and 12.332 species units of habitat for Strzelecki Gum
- **Large trees:** 0 trees

Offset availability

A search of the Native Vegetation Credit Register (NVCR) to determine whether third party offsets are available to meet the obligations was undertaken:

- **General offset availability:** 0.053 general habitat units are available for purchase on the NVCR
- **Species specific offset availability:** 15.323 species specific units of habitat for Orange-tip Finger-orchid and 12.332 species units of habitat for Strzelecki Gum are available on the NVCR however across a minimum of two sites.



Background Technical Report to SERA Draft Planning Controls - Lang Lang, Oaklands Junction and Traralgon / September 2024

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ACRONYMS

ACRONYM	EXPLANATION
CCAA	Cement Concrete and Aggregates Australia (CCAA) – the peak industry body for heavy construction materials. Its members operate cement manufacturing and distribution facilities, concrete batching plants, hard rock quarries and sand and gravel extraction.
CMPA	Construction Materials Processors Association (CMPA) – Victoria's peer network of independent quarrying companies.
DEECA	Department of Energy, Environment and Climate Action
DELWP	The former Department of Environment, Land, Water and Planning
DESA	Designated Extractive Supply Area
DEDJTR	The former Department of Economic Development Jobs Transport and Resources
DJPR	The former Department of Jobs, Precincts and Regions
DTP	Department of Transport and Planning
ERR	Earth Resources Regulator – the authority responsible for issuing statutory authorisations under the MRSD Act, including endorsing work plans.
EIIA	Extractive Industry Interest Areas – identify areas of prospective sand and stone close to transport links with manageable environmental and planning issues. They are referred to in Clause 52.09 of the VPP.
GSV	Geological Survey of Victoria (GSV) – the State's geoscience agency. It is part of Resources Victoria.
LGA	Local Government Area – defined by municipal boundaries, the area within which each local government has responsibility.
MOU	Memorandum of Understanding
MRSD Act	Mineral Resource (Sustainable Development) Act 1990
PE Act	Planning and Environment Act 1987

ACRONYM	EXPLANATION
PSP	Precinct structure plan – A PSP is a high-level strategic plan that sets out the preferred spatial location of key land uses and infrastructure to guide decisions about staging of development, subdivision permits, building permits and infrastructure delivery. They provide certainty of intended outcomes but allow for some flexibility. Once prepared, PSPs are incorporated documents within the planning scheme.
RAP	Registered Aboriginal Party
SERAs	Strategic Extractive Resource Areas: land identified by the Victorian Government as potentially suitable for the SRO1 to be applied, following a technical assessment and public consultation process.
SRO1/2/3	State Resource Overlay schedule 1, 2 or 3 – a planning tool in the VPPs applied to protect areas of state significance containing minerals, stone and other resources from development that could otherwise prevent their future extraction.
SUZ	Special Use Zone – This zone in the VPPs provides for tailored provisions for a wide range of purposes, such as showgrounds, freight logistics centres and tourism precincts. Many but not all quarry sites are included in a SUZ.
UGB	The Urban Growth Boundary designates the limit of urban development within metropolitan Melbourne. In accordance with sections 46AF and 46AG of the PE Act, its location can only be changed by both Houses of Parliament ratifying an approved planning scheme amendment.
VICPLAN	Victoria's online, statewide land use planning information tool.
VPA	Victorian Planning Authority – a Victorian Government statutory authority that undertakes strategic planning and coordinates infrastructure for the future growth of Victoria's cities and regions.
VPP	The VPP is established under Part 1A of the Act as a statewide reference document or template from which a planning scheme or planning scheme provision must be sourced or constructed. It is not a planning scheme in itself.
WA	Work authority – An extractive industry licence issued under the MRSD Act is required before land can be operated as a quarry. The boundaries of a WA can either align with, be located inside, or straddle more than one title boundary.

GLOSSARY

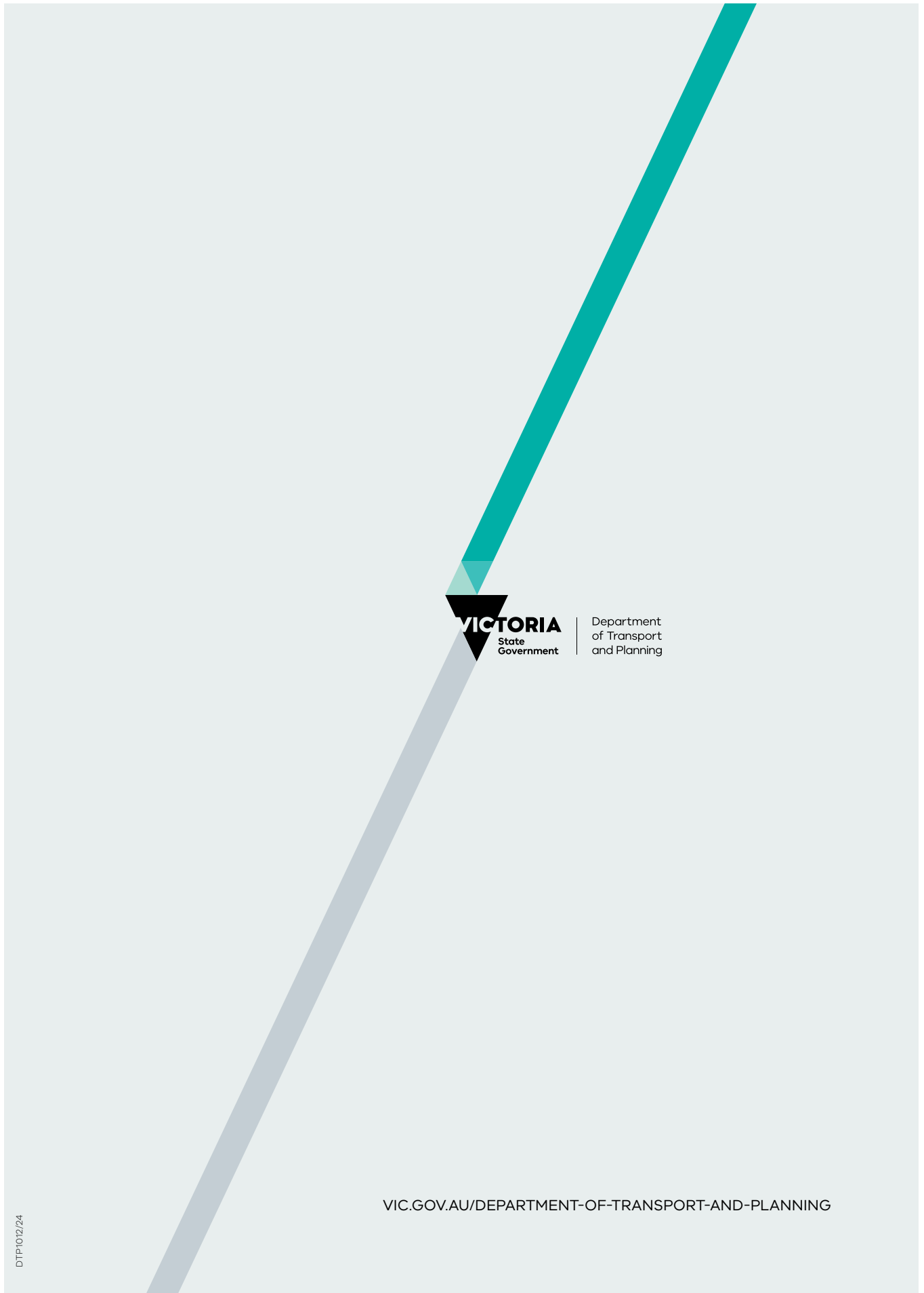
TERM	EXPLANATION
Brownfield SERAs	Strategic Extractive Resource Areas (SERAs) that contain already operating quarries, approved via a work authority (WA).
Construction materials	Quarry products produced by extraction, crushing and/or screening. See also 'Extractive'.
Encroachment	Where an existing or proposed land use or planning control comes close to, or directly affects, an EIIA or SERA such that all or part of the EIIA or SERA is no longer viable for extraction due to the proximity of the land use or planning control.
Extractive	Earth resources, including hard rock, sand, and clay, from which construction materials can be derived by extraction and/or processing. It does not include mineral sands, gold, coal, oil, gas, or precious metals.
Extractive industry	Per Clause 73.03 of the VPPs: Land used for the extraction or removal of stone [including sand and gravel] from land for commercial use, or to use the stone for building, construction, road or manufacturing works. It includes the rehabilitation of the land and the treatment of stone (such as crushing and processing) or the manufacture of bricks, tiles, pottery, or cement or asphalt products on or adjacent to the land from which the stone is extracted or removed.
Gazettal	Where a planning scheme amendment or other planning instrument is introduced to the VPPs and/or planning scheme by being published in the Victorian Government Gazette, affirming the Victorian Government has approved it.
Geoscience	The study of the earth – in an extractive industry context, is the acquisition, analysis and integration of data to understand and define the geology of regions.
GeoVic	Online mapping resource produced by the Geological Survey of Victoria (GSV) that hosts spatial and geoscience data. It includes map layers that show the location of EIAs, WAs and other mining and extractive licences and known extractive resources.
Greenfield SERAs	Strategic Extractive Resource Areas (SERAs) that encompass land with undeveloped extractive resources and/or approved quarries with the potential to expand.
Incompatible land use	A range of land uses that may be incapable of coexisting with extractive industry because of the sensitivity of those uses to noise, dust, emissions, etc. - see also 'Sensitive land uses'.
Overburden	The layer(s) of soil and other materials that firstly need to be removed in order to access extractive resources.
Overlay	A planning control in the VPPs that is complementary to the zoning provisions. Overlays seek to control land use and/or development as either 'as-of-right', planning permit required, or prohibited.
Prospective/ Prospectivity	The potential of a portion of land to provide extractive resources having regard to geoscience data.
Relinquish	The process undertaken by Resources Victoria of identifying EIAs that have become sterilised or made otherwise redundant, removing the EIIA designation from the VPPs and archiving it as a legacy layer in GeoVic.

TERM	EXPLANATION
Resource	Extractive material occurrence that is defined by detailed geological data (drilling), quantified volume and tonnage based on modelling, more likely than not to be suitable for eventual economic extraction.
Source rock	In-situ rock or sand unit from which construction materials can be derived by extraction and processing.
Strategic Extractive Resources Roadmap	A strategy Resources Victoria published in 2021 that sets out the objectives and body of work to deliver the SERA project and other initiatives to ensure the availability of extractive resources in Victoria over the long term.
Sensitive land uses	Land uses sensitive to noise, dust, emissions, and other impacts where nearby incompatible land uses could compromise human health and well-being, local amenity, and aesthetic enjoyment. Sensitive land uses include dwellings, childcare centres, preschools, primary schools, education centres, walking, cycling and jogging tracks, parks, picnic and barbecue areas and playgrounds.
Source rock	In situ rock or sand from which construction materials can be derived by extraction and processing, e.g., basalt, granite, hornfels and sand. See also 'Extractive' and 'Construction materials'.
Stratigraphy	The analysis and mapping, at a regional scale, of geological strata with features that characterise it as distinct from others.
Strategic supply LGAs	<p>In 2016, DJPR commissioned <i>Extractive Resources in Victoria: Demand and Supply Study 2015–2050</i>, which included a list of the top 20 strategic supply LGAs based on prospective resources, location relative to demand, and commodity shortage in local areas.</p> <p>The 2012 <i>Strategic Extractive Resources Roadmap</i> was developed in consultation with councils with EIAs in their LGA. Several strategic supply LGAs were shortlisted for investigation as potential SERAs for inclusion in the roadmap.</p>
Stripping ratio	The volume of overburden to useable source rock.
Work plan	<p>A work plan issued under the MRSD Act comprehensively documents how a quarry site will be operated throughout its working life and how it will be rehabilitated once operations have ceased. It also documents hazard and risk mitigation. Public consultation is required for work plan preparation (see section 77K of the MRSD Act).</p> <p>Once approved, the work plan and other documentation are submitted to the Minister for Energy and Resources for assessment as part of the WA application process. The boundaries delineating where a work plan applies can align with or be located inside the boundaries within which a WA applies.</p>
Zone	Zones are the primary tool for guiding the fair and orderly use and development of land. A zone is applied spatially to land. A zone sets expectations about what land use and development activity is or may be acceptable. Each zone broadly deals with a particular predominant land use theme, such as residential, commercial, industrial or Crown land uses.

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DTP1012/24

Strategic Extractive Resource Areas



/ Draft Planning Controls – Lang Lang



Department
of Transport
and Planning

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Authorisation

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If you would like to receive this publication in an accessible format, please email planning.implementation@transport.vic.gov.au. This document is also available in PDF format at www.engage.vic.gov.au/sera-langlang-oaklandsjunction-trafalgar.

Document information

Date of approval September 2024.

We proudly acknowledge Victoria's First Nations people and their ongoing strength in practising the world's oldest living culture. We acknowledge the Traditional Owners of the lands and waters on which we live and work and pay our respects to their Elders past and present.

Description of artwork

Aaron (Gunaikurnai) *'Movements Between the Five Clans'* 2019, acrylic on canvas.

'The tracks are going between the five clans of the Gunaikurnai and the hands are the symbols of my spirit travelling around the campsites.'

This artwork was created through programs provided by the Torch. The Torch provides art, cultural and arts industry support to Indigenous offenders and ex-offenders in Victoria. The Torch aims to reduce the rate of re-offending by encouraging the exploration of identity and culture through art programs to define new pathways upon release.





Strategic Extractive Resource Areas / Draft Planning Controls – Lang Lang

1. INTRODUCTION

About the draft planning controls

The Victorian Government is consulting on draft planning controls for the Lang Lang Strategic Extractive Resource Area (SERA) in the Shire of Cardina to provide long-term supply of well-located, quality, strategic extractive resources. These resources are needed to build homes and infrastructure for our growing population, projected to almost double from an estimated 6.8 million in 2023 to 10.3 million by 2051.

The Lang Lang SERA contains state-significant sand resources and has long-term production potential for extractive resources. It is close to where the resources are needed and freight transport infrastructure.

The draft planning controls aim to protect current and future quarries from incompatible land uses, development and subdivision that could inhibit long-term supply of extractive resources within the Lang Lang SERA.

Planning schemes contain planning policies and controls for land use and development in Victoria. The proposed changes affect the Cardinia and South Gippsland planning schemes. There is one extractive Work Authority — WA006051 — located at the boundary of the Shire of Cardinia and Shire of South Gippsland.

The draft planning controls were jointly prepared by the Department of Transport and Planning (DTP) and Resources Victoria at the Department of Energy, Environment and Climate Action (DEECA). The Bunurong Land Council Aboriginal Corporation, Cardinia Shire Council and industry representatives have been engaged and consulted during the preparation of the provisions.

Table 1 summarises the proposed changes to the Cardinia and South Gippsland Planning Schemes and Figure 1 shows where the changes will apply.

In summary, the draft planning controls:

- require Resources Victoria and the responsible authority to consider the current and potential future sand resources within the SERA when assessing planning permit applications for sensitive land uses, development and subdivision
- prohibit some land uses incompatible with quarrying
- do not enable new quarries or extensions to existing quarries within the SERA without a planning permit and other approvals.



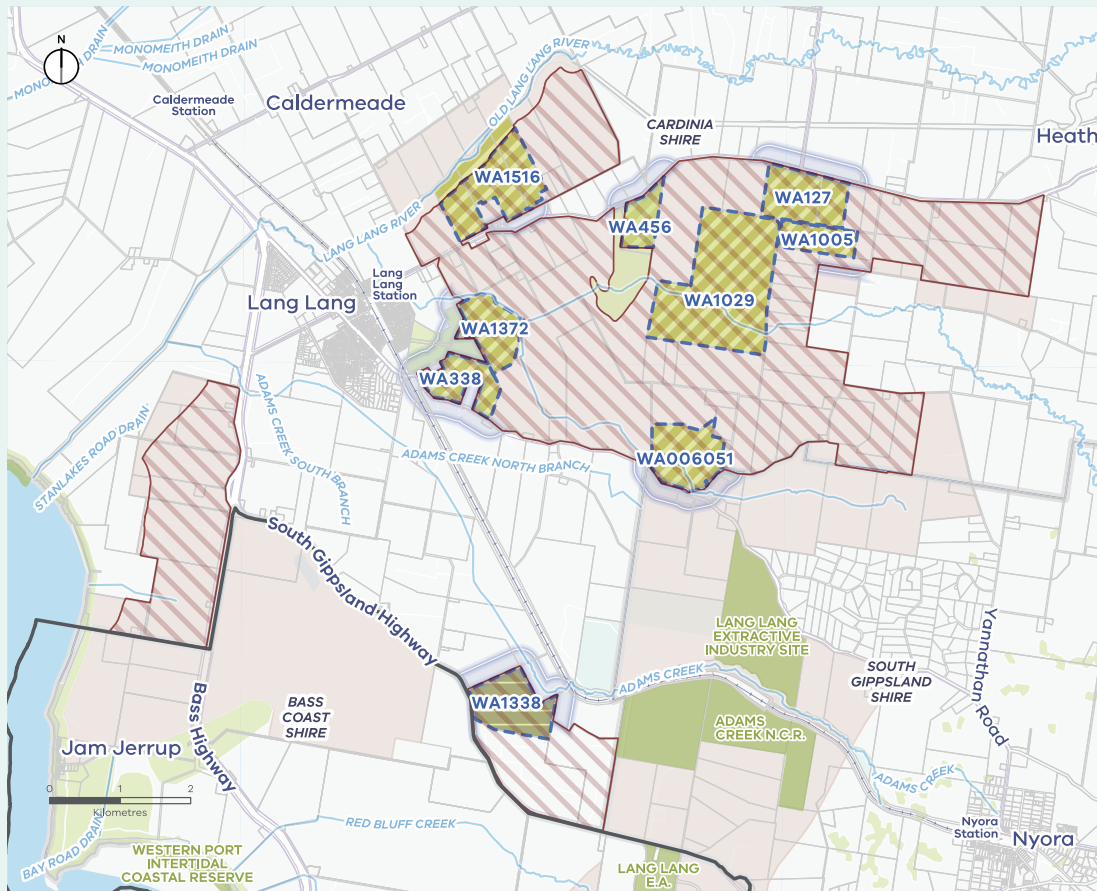
▼ **Table 1:** Draft planning controls - Lang Lang SERA

ZONES	OVERLAYS
Cardinia planning scheme	
<ul style="list-style-type: none"> - introduce a new Special Use Zone, 'Extractive industry' Schedule 8 (SUZ8) - rezone land within the SERA containing the following eight extractive Work Authorities (WAs) from Green Wedge Zone, Schedule 1 (GWZ1) to SUZ8: WA127, 338, 456, 1005, 1029, 1372, 1516 and 006051 - rezone land within the SERA containing WA1338 from Rural Conservation Zone, Schedule 1 (RCZ1) to SUZ8. 	<ul style="list-style-type: none"> - introduce a new State Resource Overlay, 'Strategic Extractive Resource Areas' Schedule 1 (SRO1) - apply SRO1 to all of the land within the boundary of the SERA as identified at Figure 1 - introduce a new State Resource Overlay, 'Protecting Extractive Industries' Schedule 3 (SRO3) - apply SRO3* to land up to 250m outside the SERA that is close to the following WAs within the SERA: WA127, 338, 456, 1005, 1338, 1372, 1516 and 006051.
South Gippsland planning scheme	
No changes	<ul style="list-style-type: none"> - introduce a new State Resource Overlay, 'Protecting Extractive Industries' Schedule 3 (SRO3)* - apply SRO3 to land extending up to 250m out from the boundary of WA0605.

* Note: In 2021, Amendment VC196 introduced *State Resource Overlay, Schedule 1 Strategic Extractive Resources Areas* (SRO1) and *State Resources Overlay, Schedule 2 Protecting Extractive Industries* (SRO2) at clause 44.07 of the Cardinia and South Gippsland Planning Schemes for the Nyora West SERA. Using sequential numbering, the proposed State Resource Overlay, 'Protecting Extractive Industries' for the Lang Lang SERA is therefore SRO Schedule 3 (SRO3).






Map 1 shows the Lang Lang SERA, and the land to which the State Resource Overlay SRO1 would apply. It also shows the nine extractive Work Authorities (WAs) within the SERA that are to be rezoned to SUZ8 at the edge of the SERA. The SRO3 (also known as the SRO 'buffer') is to be applied to land extending out from eight of these WAs, to a maximum distance of 250m. Major transport routes and waterways are also shown for context.

▼ Map 1: Draft Planning Controls: Lang Lang Strategic Extractive Resource Area








Consultation Draft Planning Controls – Lang Lang (Cardinia Shire)

Existing

-  Work Authority (WA) of quarry
-  Extractive Industry Interest Area (EIIA)
-  Environmental Significance Overlay, Schedule 3 (ESO3)
-  Park/Reserve
-  Named Waterways

Proposed

-  State Resource Overlay, Schedule 1 (SRO1)
-  State Resources Overlay, Schedule 3 (SRO3)
-  Rezone Green Wedge Zone (GWZ) to Special Use Zone, Schedule 1 (SUZ1)
-  Rezone Rural Conservation Zone, Schedule 1 (RCZ1) to Special Use Zone, Schedule 8 (SUZ8)
-  Bass Coast Distinctive Area and Landscape boundary

Have your say

Written submissions are now invited on the draft planning controls.

When preparing your submission, please keep in mind:

- it must include your name and address
- the body of the submission should not include personal information (such as your email address or phone number)
- you must lodge your submission before 5 pm Friday 8 November 2024 via www.engage.vic.gov.au/sera-langlang-oaklandsjunction-trafalgar
- your submission will be treated as a public document under our privacy policy unless you advise us otherwise
- if we want to contact you, we will do so through the first person named in the submission
- we will count proforma submissions and petitions as one submission
- we will publish your submission on the Victorian Government's Engage Victoria website.

All submissions will be considered in preparing a planning scheme amendment to finalise the draft planning controls.

More information

For more information, please visit www.engage.vic.gov.au/sera-langlang-oaklandsjunction-trafalgar:

- *Strategic Extractive Resource Areas Background Technical Report to Draft Planning Controls*
- *Strategic Extractive Resource Areas Information Sheet: Lang Lang*
- Frequently Asked Questions.

You can also call the Department of Transport and Planning on **136 186** or email planning.implementation@transport.vic.gov.au



DRAFT PLANNING CONTROLS – CARDINIA PLANNING SCHEME

SCHEDULE 8 TO CLAUSE 37.01 SPECIAL USE ZONE (SUZ8)

Shown on the planning scheme map as **SUZ8**.

Extractive industry

Purpose

- to recognise or provide for the use and development of land for extractive industry
- to prohibit uses that are incompatible with the existing or future use and development of land for extractive industry
- to encourage land management practices and rehabilitation that minimise adverse impact on the use and development of nearby land.

▼ Table of uses

SECTION 1 – PERMIT NOT REQUIRED

USE	CONDITION
Automated collection point	<i>Must meet the requirements of Clause 52.13-3 and 52.13-5 The gross floor area of all buildings must not exceed 50 square metres</i>
Extractive industry	<i>Must meet the requirements of Clause 62.01</i>
Grazing animal production	
Home based business	
Railway	
Tramway	
Any use listed in Clause 62.01	<i>Must meet the requirements of Clause 62.01</i>

SECTION 2 – PERMIT REQUIRED

USE	CONDITION
Agriculture (other than Animal husbandry)	<i>Must meet the requirements of Clause 52.13-3 and 52.13-5 The gross floor area of all buildings must not exceed 50 square metres</i>
Caretaker's house	
Domestic animal husbandry (other than Domestic animal boarding)	<i>Must be no more than five animals</i>
Industry (other than Materials recycling, Refuse disposal, and Transfer station)	<i>Must be used in conjunction with extractive industry</i>
Landscape gardening supplies	
Leisure and recreation	
Manufacturing sales	
Materials recycling	
Refuse disposal	
Transfer station (other than Automated collection point)	
Utility installation (other than Minor utility installation)	
Warehouse	<i>Must not be a purpose listed in the table to Clause 53.10</i>
Any other use not in Section 1 or 3	

SECTION 3 – PROHIBITED

USE	CONDITION
Accommodation (other than Caretaker’s house)	
Animal husbandry (other than Apiculture, Domestic animal husbandry and Grazing animal production)	
Education centre	
Funeral parlour	
Hospital	
Office	
Place of assembly	
Retail premises (other than Landscape gardening supplies and Manufacturing sales)	
Saleyard	
Service station	
Transport terminal	
Veterinary centre	

2. Use of land

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the planning scheme which must be considered, as appropriate, by the responsible authority:

- whether the proposed land use is compatible with current and future extractive industry uses
- whether the proposed land use may adversely impact on the current and future productive extraction of the resource.

3. Subdivision

A permit is required to subdivide land.

Each lot must be at least 40 hectares.

A permit may be granted to create smaller lots if any of the following apply:

- the subdivision is the re-subdivision of existing lots, the number of lots is not increased, and the number of dwellings that the land could be used for does not increase
- the subdivision is by a public authority or utility service provider to create a lot for a utility installation.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- whether the proposed subdivision will lead to land use outcomes that inhibit the current and future use of land for extractive industries.

4. Buildings and works

A permit is required to construct a building or construct or carry out works.

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 37.01, in addition to those specified in Clause 37.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- whether the proposed development is compatible with current and future extractive industry uses in the Strategic Extractive Resource Area
- whether the proposed land use or development may adversely impact on the current and future productive extraction of the resource
- whether the proposed development is designed and sited in a location that minimises amenity impacts from resource extraction operations and transportation.

5. Signs

None specified.



CLAUSE 44.07 STATE RESOURCE OVERLAY

Shown on the planning scheme map as **SRO** with a number.

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To protect areas of mineral, stone and other resources, which have been identified as being of state significance, from use and development that would prejudice the current or future productive use of the resource.

44.07-1 Resource significance and management objectives

A schedule to this overlay must contain:

- a statement of the significance of the resource
- the management objectives to be achieved.

44.07-2 Use of land

Any requirement in a schedule to this overlay must be met.

44.07-3 Subdivision

Any requirement in a schedule to this overlay must be met.

44.07-4 Buildings and works

Any requirement in a schedule to this overlay must be met.

44.07-5 Application requirements

An application under the zone to construct a building or construct or carry out works or subdivide land specified in a schedule to this overlay, or an application under a schedule to this overlay, must be accompanied by the following information:

- a report which explains how the proposed use, building, works or subdivision:
 - is consistent with the management objective specified in the schedule
 - Responds to the decision guidelines
- any information specified in a schedule to this overlay.

44.07-6 Referral of applications

An application of a kind specified in a schedule to this overlay must be referred to the specified referral authority in accordance with Section 55 of the Planning and Environment Act 1987 (the Act).

44.07-7 Exemption from notice and review

A schedule to this overlay may specify that an application under the schedule, or an application under any provision of this planning scheme to use or develop land for extractive industry, is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 64(1), (2), and (3) and the review rights of section 82(1) of the Act.

44.07-8 Decision guidelines

Before deciding on an application of a kind specified in a schedule to this overlay, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- the statement of resource significance and the management objectives specified in a schedule to this overlay
- the significance of the future productive use of the resource to the state
- any transport network implications related to the proposal
- when the resource is likely to be required for extraction
- the desirability of preventing any use, buildings, works, or subdivision which may adversely impact on the future productive use of the resource
- any other matters specified in a schedule to this overlay.





SCHEDULE 1 TO CLAUSE 44.07-1 STATE RESOURCE OVERLAY

Shown on the planning scheme map as **SRO1**.

Strategic Extractive Resource Areas

1. Statement of resource significance

Demand for extractive resources to support Victoria's infrastructure and urban growth is expected to almost double by 2050. Extractive resources need to be protected if they are to provide a source of supply over the long term.

Extractive industries in Cardinia significantly contribute to Victoria's total sand production. They are major suppliers of coarse and fine sand to metropolitan Melbourne as well as regional areas.

Geoscience data indicates that sand and gravel deposits and Murrindindi Supergroup mudstone and sandstone to the south and east of Lang Lang are suitable for concrete production and other construction materials.

The Lang Lang Strategic Extractive Resource Area (SERA) has a favourable overburden-to-sand ratio, indicating that sand and gravel can be extracted economically. It is supported by good transport networks and is close to infrastructure and development where the resources are needed.

If production from the Lang Lang SERA were restricted or stopped, there would be a substantial reduction in the future supply of sand. Reserves of sand elsewhere are being depleted, and key sand-producing areas are facing competing land use challenges.

This schedule protects sand resource extraction operations within the Lang Lang SERA from land uses, development and subdivision outside the SERA that could otherwise inhibit them. It applies a buffer to land up to 250 metres from sand quarries that have been granted a work authority under the *Mineral Resources (Sustainable Development) Act 1990*. This buffer protects quarries within the SERA from incompatible land use, development or subdivision that could otherwise inhibit current and future supply.

2. Management objectives

To ensure that the Strategic Extractive Resource Area is identified and that extractive industries can occur in locations with good access to resources and transport networks and close to markets.

- To ensure that land use and development within the Strategic Extractive Resource Area is compatible with the current and future use of the area for extractive industries
- To ensure that the subdivision and fragmentation of land do not prejudice current and future extractive industries within the Strategic Extractive Resource Area.

3. Use of land

A permit is required to use land for:

- accommodation
- crematorium
- education centre
- funeral parlour
- hospital
- leisure and recreation
- place of assembly
- retail premises
- veterinary centre
- winery.

4. Subdivision

A permit is required to subdivide land. This does not apply if each lot created by the subdivision is at least 40 hectares.

5. Buildings and works

A permit is required to construct a building or to construct or carry out works. This does not apply to:

- an alteration or extension to an existing building provided the gross floor area of the alteration or extension does not exceed 200 square metres
- a non-habitable building with a gross floor area not exceeding 200 square metres
- a building or works associated with the use of land for extractive industry
- works with an area not exceeding 200 square metres
- works associated with the use of land for agriculture
- a rainwater tank.

6. Application requirements

None specified.

7. Referral of applications

Kind of application	Any use listed in section 3.0 of this schedule Buildings and works associated with a use listed in section 3.0 of this schedule To subdivide land
Referral authority	Secretary to the Department administering the <i>Mineral Resources (Sustainable Development) Act 1990</i>
Type of referral authority	Determining referral authority

8. Exemption from notice and review

An application under any provision of this planning scheme to use or develop land for extractive industry is exempt from the notice requirements of section 52(1)(a), (b) and (d), the decision requirements of section 65(1), (2) and (3) and the review rights of section 82(1) of the Act if:

- the land is at least 250 metres from land used for any uses listed in Clause 3.0; and
- the land has access to a road in a Transport Zone 2.

9. Decision guidelines

Before deciding on an application under this overlay, in addition to the decision guidelines in Clause 44.07 and Clause 65, the responsible authority must consider, as appropriate:

- whether the proposed land use or development is compatible with current and future extractive industry uses in the Strategic Extractive Resource Area
- if existing natural features and topography will mitigate the potential impacts of extractive industries on the proposed use.
- whether the proposed land use or development may adversely impact the future productive extraction of the resource
- whether the proposed development is designed and sited in a location that minimises amenity impacts from future resource extraction operations and transportation
- whether the proposed subdivision will lead to land use outcomes that inhibit the current and future use of the land for extractive industries.

Clause 66.06 - Notice of permit applications under local provisions

Clause	35.04-1, Schedule 1
Kind of application	Use of land for extractive industry
Person or body to be notified	The Registered Aboriginal Party of the identified Country as assessed and registered by the Victorian Aboriginal Heritage Council in accordance with the <i>Aboriginal Heritage Act 2006</i>



CARDINIA AND SOUTH GIPPSLAND PLANNING SCHEMES

SCHEDULE 3 TO CLAUSE 44.07 STATE RESOURCE OVERLAY

Shown on the planning scheme map as **SRO3**.

Protecting Extractive Industries

1. Statement of resource significance

Extractive industries in Cardinia significantly contribute to Victoria's total sand production. They are major suppliers of coarse and fine sand to metropolitan Melbourne as well as local and peri-urban areas.

Demand for extractive resources to support Victoria's growth and infrastructure is expected to significantly increase in the coming decades. Extractive industry resources in green wedge and peri-urban locations must be protected to provide a long-term source of supply.

If production from the Lang Lang Strategic Extractive Resource Area (SERA) were restricted or stopped, there would be a substantial reduction in the future supply of sand.

This schedule protects sand resource extraction operations from land uses and development that could otherwise inhibit them. It applies a buffer up to 250 metres outside the SERA extending from quarries that have been granted a work authority under the *Mineral Resources (Sustainable Development) Act 1990* within the SERA. This buffer protects existing quarries at the edge of the SERA from potential sensitive land uses and development outside the SERA that could otherwise inhibit their current or future productivity.

2. Management objectives

- to protect extractive industry operations with a work authority issued under the *Mineral Resource (Sustainable Development) Act 1990* from encroachment by incompatible land uses and development
- to ensure that new use and development within 250 metres of an extractive industry do not adversely impact the continued operation or limit the potential future expansion of that industry
- to ensure that development is appropriately designed and sited to minimise amenity impacts from extractive industry operations, including the transport of materials
- to ensure that the subdivision and fragmentation of land do not prejudice the operation of an extractive industry.

3. Use of land

A permit is required to use land for:

- accommodation
- crematorium
- education centre
- funeral parlour
- hospital
- leisure and recreation
- a place of assembly
- retail premises
- veterinary centre
- winery.

4. Subdivision

A permit is required to subdivide land. This does not apply if each lot created by the subdivision is at least 40 hectares.

5. Buildings and works

A permit is required to construct a building or to construct or carry out works. This does not apply to:

- an alteration or extension to an existing building provided the gross floor area of the alteration or extension does not exceed 200 square metres
- a non-habitable building with a gross floor area not exceeding 200 square metres
- a building or works associated with the use of land for extractive industry
- works with an area not exceeding 200 square metres
- works associated with the use of land for agriculture
- a rainwater tank.

6. Application requirements

None specified.

7. Referral of applications

Kind of application	Any use listed in section 3.0 of this schedule Buildings and works associated with a use listed in section 3.0 of this schedule To subdivide land
Referral authority	Secretary to the Department administering the <i>Mineral Resources (Sustainable Development) Act 1990</i>
Type of referral authority	Determining referral authority

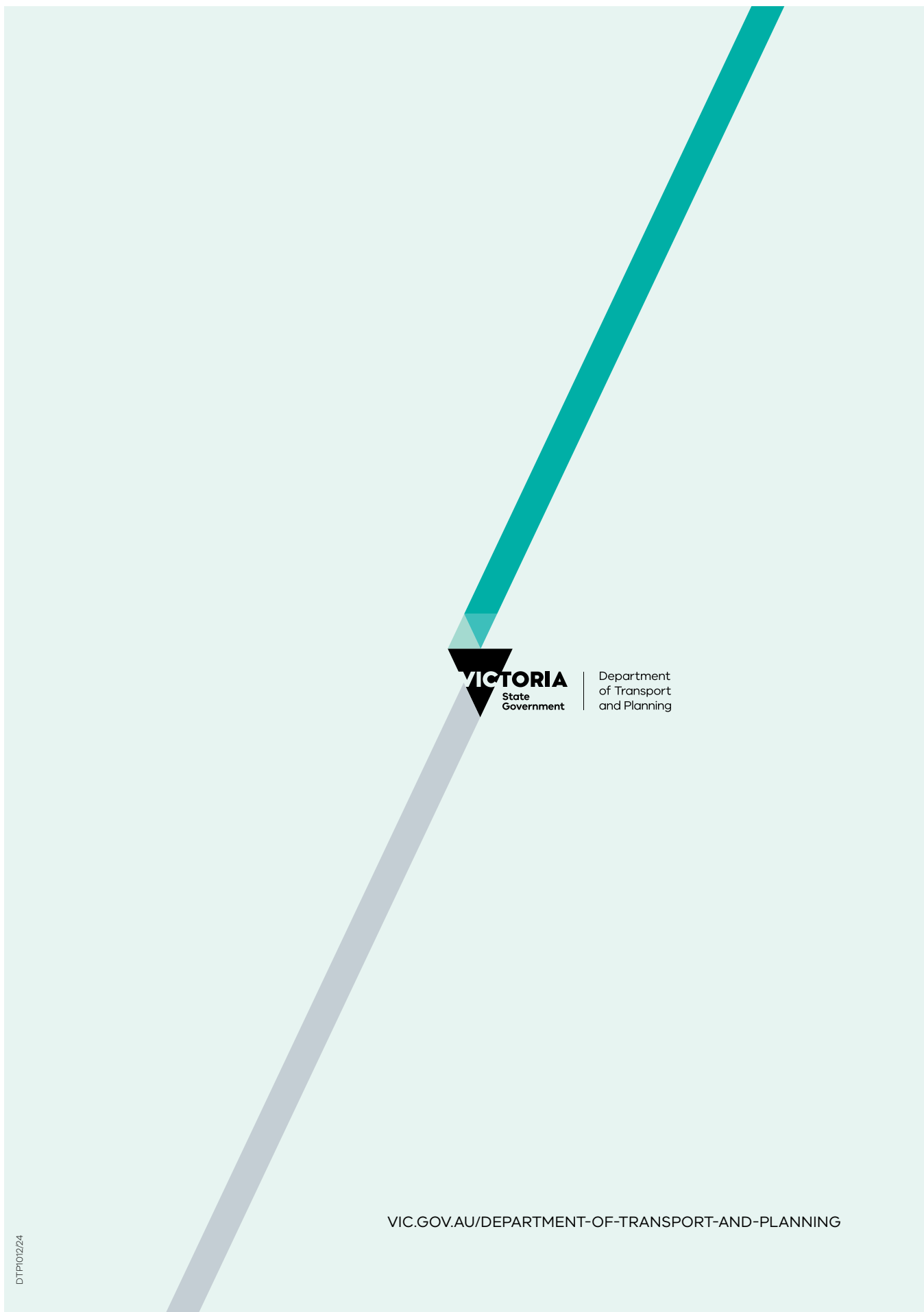
8. Exemption from notice and review

None specified.

9. Decision guidelines

Before deciding on an application under this overlay, in addition to the decision guidelines in Clause 44.07 and Clause 65, the responsible authority must consider, as appropriate:

- whether the proposed land use or development is compatible with the extractive industry operating on nearby land
- the potential for the land use or development to limit the operation and expansion of the extractive industry
- if existing natural features and topography will mitigate potential impacts of existing or future extractive industry use on the proposed land use
- whether the proposed land use or development may adversely impact the future productive extraction of the resource
- whether the proposed development is designed and sited in a location that minimises amenity impacts from resource extraction operations and transportation
- whether the proposed subdivision will lead to land use outcomes that inhibit the use of the land for extractive industries.



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Submission to the Minister for Planning.

**Proposed Cardinia Planning Scheme Amendment -
Strategic Extractive Resources Area (SERA) – Lang Lang.**

16 December 2024

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Prepared by:
Cardinia Shire Council
Planning Strategy and Urban Design Team

Dated: **16 December 2024**
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16 December 2024

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A. Summary of submission requests

The following table provides a summary of Council's submissions contained in this submission.

For context to each request, please see discussion contained in the relevant sections of this submission.

1	<p>Council objection</p> <p>Council objects to the proposed Ministerial Planning Scheme Amendment until all issues raised in this submission are properly addressed, and the proposed planning scheme amendment is re-exhibited in accordance with a full formal statutory procedure to provide the opportunity for detailed scrutiny and natural justice for the community and Council.</p>
2	<p>Explanatory Report / Technical Background Report</p> <p>It is requested that an Explanatory Report or an updated Technical Background Report, that thoroughly identifies, analyses and responds to all relevant State and Local Planning Policy, is provided for examination by all affected landowners, the broader community and Council.</p>
3	<p>Technical Assessments</p> <p>It is requested that technical assessments, that demonstrate the strategic justification for the proposed Planning Scheme changes, are provided for examination by all affected landowners, the broader community and Council.</p>
4	<p>Proposed Planning Scheme Zone and Overlay Maps</p> <p>It is requested that proper proposed Planning Scheme Maps be provided for examination by all affected landowners, the broader community and Council.</p>
5	<p>Safety, amenity and delivery of the Lang Lang Sand Truck Bypass Road</p> <p>It is requested that:</p> <ul style="list-style-type: none"> • A Public Acquisition Overlay (PAO) is applied to the remaining sections of land that need to be acquired for the Lang Lang Sand Truck Bypass Road. • The Lang Lang Sand Truck Bypass Road is constructed before any new or expanded quarry proposals are approved. • The State Government provide funding for the acquisition of land and construction of the Lang Lang Sand Truck Bypass Road. • The Transport Zone 2 (TZ2) is applied to the Lang Lang Sand Truck Bypass Road after construction is completed.
6	<p>Intersection of South Gippsland Highway and Westernport Road</p> <p>It is requested that the capacity of the existing roundabout at the intersection of South Gippsland Highway and Westernport Road is properly investigated, and the intersection is upgraded to accommodate the expected increase in quarry truck traffic before any new or expanded quarry proposals are approved.</p>

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7	<p>Western Port Green Wedge Coastal Precinct & Western Port Ramsar Site</p> <p>It is requested that proposed SRO1 located between South Gippsland Highway and Western Port Bay is not applied. Further detailed investigations need to be conducted and exhibited for public examination with a focus on how the SRO1, which encourages extractive industries, can balance planning objectives to ensure that any activities do not negatively impact the vision for the Western Port Green Wedge Coastal Precinct and the values of the Western Port Ramsar Site.</p>
8	<p>Environment Significant Overlay – Schedule 3 Other Significant Sites (ES03)</p> <p>It is requested that the proposed SRO1 is not applied to any land where Clause 42.01 Environment Significant Overlay – Schedule 3 Other Significant Site (ES03) applies, including within existing Work Authority 456.</p>
9	<p>Impacts on flora and fauna values</p> <p>It is requested that assessments are grounded in actual environmental conditions, leading to more informed and sustainable decision-making, therefore terrestrial and aquatic ecological field assessments are required to be conducted to inform the adoption of final boundaries of proposed SRO1.</p>
10	<p>Biolink/Wildlife Corridor considerations</p> <p>It is requested that an assessment of the Cardinia Shire Council's Biolink Plan 2023-33 is conducted to inform the decision guidelines of the proposed SRO1, existing SRO2 and proposed SRO3.</p>
11	<p>Cardinia Significant Roadsides</p> <p>It is requested that the planning scheme amendment considers Cardinia Significant Roadsides within the SERA proposed areas to ensure that the Council is consulted on any future use or development in these areas.</p>
12	<p>Eucalyptus strzeleckii (Strzeleckii Gum)</p> <p>It is requested that targeted field assessments of Eucalyptus strzeleckii (Strzeleckii Gum) are conducted to inform the adoption of final boundaries of the proposed SRO1.</p>
13	<p>Planning for Sea Level Rise (SLR) & Storm Surge (STM)</p> <p>It is requested that the proposed SRO1 is not applied to any land where Planning for Sea Level Rise (SLR) and Storm Surge (STM), the 2100 (0.82m) poses a hazard, particularly within the western section of the proposed the SRO1.</p>
14	<p>Land Subject to Inundation Overlay (LSIO)</p> <p>It is requested that the proposed SRO1 demonstrates careful consideration of land within a Land Subject to Inundation Overlay (LSIO).</p>
15	<p>Groundwater Resources</p> <p>It is requested that the proposed SRO1 demonstrates careful consideration of land that maybe subject to high water demands and where water resources are required in what is an already constrained land use planning space.</p>

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16	<p>Renewable Energy Zones</p> <p>It is requested that the proposed SRO1 demonstrates careful consideration of other future land uses, such as the proposed State Renewable Energy Zones particularly within the western section of Lang Lang.</p>
17	<p>Resource conservation</p> <p>It is requested that the proposed SRO1 demonstrates careful consideration of resource conservation and include provisions particularly to develop and promote land use in a more environmentally sustainable way including greenhouse gas emission reductions aligned to the State Target of Net Zero by 2045 and reducing water consumption objectives aligned to Integrated management planning.</p>
18	<p>Post-contact Heritage</p> <p>It is requested that the proposed SRO1 demonstrates careful consideration of any properties that have an applied Heritage Overlay.</p>
19	<p>Proposed SUZ8 – Purpose</p> <p>It is requested that the wording of the Purpose of the proposed SUZ8 is amended.</p>
20	<p>Proposed SUZ8 - Subclause 1.0 - Table of Uses</p> <p>It is requested that:</p> <ul style="list-style-type: none"> • Confirmation is provided that the permit conditions contained in existing Planning Permits granted by Council for Extractive Industry as a Section 2 Use, will continue to be enforceable if Extractive Industry becomes a Section 1 Use. Specifically, Council still needs to be able to enforce existing conditions relating to: <ul style="list-style-type: none"> ○ Collection of monetary contributions for the delivery of the Lang Lang Sand Truck Bypass Road. ○ Biodiversity protection, amenity and rehabilitation of the site. • Strategic justification is provided for new Section 1 Uses contained in the proposed SUZ8 that are unrelated to Extractive Industry. • Strategic justification is provided for new Section 2 Uses contained in the proposed SUZ8 that are unrelated to Extractive Industry, including those that are not specifically listed. • Wording changes are made to clarify some Section 1, 2 and 3 Uses (e.g. Domestic animal boarding). • Confirmation is provided that the Lang Lang community and Council can exercise their Notice, Decision and Review rights when expanded quarries are proposed, if Extractive Industry becomes a Section 1 Use.
21	<p>Proposed SUZ8 - Subclause 3.0 – Subdivision</p> <p>It is requested that the permit requirement be amended to include the following wording:</p> <p><i>“A permit must not be granted which would allow a separate lot to be created for land containing an existing small second dwelling.”</i></p>

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22	<p>Proposed SRO1</p> <p>It is requested that:</p> <ul style="list-style-type: none"> • The proposed SRO1 is not applied to: <ul style="list-style-type: none"> ○ Land on the western side of South Gippsland/Bass Highway in the Rural Conservation Zone (RCZ1) due to its conservation values and its proximity to the environmentally important and internationally significant Ramsar wetlands of Westernport Bay. ○ Land within the Environmental Significance Overlay – Schedule 3 (ESO3) due to the identified environmental values.
23	<p>Proposed SRO1 - Subclause 4.0 Subdivision</p> <p>It is requested that the permit requirement be amended to delete the second sentence which states:</p> <p><i>“This does not apply if each lot created by the subdivision is at least 40 hectares.”</i></p>
24	<p>Proposed SRO1 - Subclause 6.0 Application Requirements</p> <p>It is requested that application requirements be included for quarry proposals to demonstrate adequate consideration and response to the various environmental issues that Council has identified</p>
25	<p>Proposed SRO1 - Subclause 8.0 Exemption from notice and review</p> <p>It is requested that the proposed SRO1 is amended to ensure the Notice, Decision and Review rights are not removed from the Lang Lang community or Council when any new or expanded quarries are proposed.</p>
26	<p>Proposed SRO1 – Subclause 9.0 Decision guidelines</p> <p>It is requested that an assessment of the Cardinia Shire Council's Biolink Plan 2023-33 is conducted to inform the decision guidelines of the proposed SRO1, existing SRO2 and proposed SRO3.</p>
27	<p>Proposed SRO3 - Subclause 4.0 Subdivision</p> <p>It is requested that the permit requirement be amended to delete the second sentence which states:</p> <p><i>“This does not apply if each lot created by the subdivision is at least 40 hectares.”</i></p>
28	<p>Proposed SRO3 – Subclause 9.0 Decision guidelines</p> <p>It is requested that an assessment of the Cardinia Shire Council's Biolink Plan 2023-33 is conducted to inform the decision guidelines of the proposed SRO1, existing SRO2 and proposed SRO3.</p>
29	<p>Clause 66.06 – Notice of permit applications under local provisions</p> <p>It is requested that the proposed SUZ8 and SRO1 are amended to ensure the Notice, Decision and Review rights are not removed from the Lang Lang community or Council when any new or expanded quarries are proposed.</p>

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B. Introduction

This is the Cardinia Shire Council's submission to the Minister for Planning in relation to the recent exhibition of proposed Ministerial Planning Scheme Amendment - Strategic Extractive Resources Area (SERA) as it relates to the Lang Lang SERA within Cardinia Shire.

A submission that was prepared by Council officers was submitted to the Minister for Planning on 6 December 2024 to meet the Minister's deadline, but it had not been formally adopted by Council.

This submission was considered and formally adopted by Council at its meeting held on 16 December 2024 and is now submitted to the Minister for Planning.

This submission seeks to be consistent with Council's adopted strategies and policies including the Cardinia Planning Scheme and its associated documents, and Council's previous submissions to State government consultations

C. Council objection

Request1: Council objects to the proposed Ministerial Planning Scheme Amendment until all issues raised in this submission are properly addressed, and the proposed planning scheme amendment is re-exhibited in accordance with a full formal statutory procedure to provide proper opportunity for detailed scrutiny and natural justice for the community and Council.

Council objects to the proposed Ministerial Planning Scheme Amendment for the reasons set out in this submission. The proposed planning scheme amendment should not proceed unless the issues raised in this submission have been properly addressed and is re-exhibited following a formal statutory procedure whereby proper opportunity for detailed scrutiny and natural justice is provided to the community and Council.

D. Timing of Exhibition

It is concerning that DTP, DEECA and the Minister for Planning have chosen to exhibit this proposed Ministerial Amendment to the Cardinia Planning Scheme during Victoria's Council elections' caretaker period with the date for close of submissions set prior to the new Council being sworn in on 15 November 2024 and prior to the new Council's first General Meeting on 16 December 2024. During the caretaker period, the community has no elected local representative to go to with their concerns.

While DTP, DEECA and the Minister for Planning have extended the close of submissions via the Engage Victoria website from 8 November to 18 November 2024, this does not give the community a reasonable amount of time to go to their newly elected local representative. Additionally, while Council was granted an extension of time to lodge a written submission to Friday 6 December 2024, this did not provide the newly appointed Council with an opportunity to consider the exhibited proposal nor adopt a formal submission at a Council meeting.

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As such, the proposal was considered and a submission was written at an officer level only which officers lodged on 6 December 2024 with DTP, DEECA and the Minister for Planning.

This submission was presented to the new Council on 16 December 2025 for their consideration and adoption and is now resubmitted to the Minister for Planning with any changes the Council may adopt.

E. Exhibited Documentation

The proposed planning scheme amendment seeks the following changes to the Cardinia Planning Scheme:

- Proposed Schedule 8 to Clause 37.01 Special Use Zone (SUZ8)
- Proposed Schedule 1 to Clause 44.07 State Resources Overlay (SRO1)
- Proposed Schedule 3 to Clause 44.07 State Resources Overlay (SRO3)
- Amended Clause 66.06 – Notice of permit applications under local provisions

The proposed SRO1 and SUZ8 will remove the current legal rights held by the community and Council to receive notification, make a submission or objection, and appeal a decision, when new or expanded quarries are proposed. These are known as the Notice, Decision and Review Rights under the Planning and Environment Act 1987. It is particularly concerning that the usual detailed standard of planning scheme amendment documentation and strategic justification in the form of detailed technical assessments, that are required when Council is the Planning Authority, have not been imposed on DTP's and DEECA's own work when preparing this planning scheme amendment. An Explanatory Report, detailed technical assessments and proposed Planning Scheme Maps are not provided despite this being requested by Council officers during preliminary consultations.

Explanatory Report

Request 2: It is requested that an Explanatory Report or an updated Technical Background Report, that thoroughly identifies, analyses and responds to all relevant State and Local Planning Policy, is provided for examination by all affected landowners, the broader community and Council.

It appears that a Technical Background Report has been exhibited rather than an Explanatory Report which is usually required to be exhibited by a Planning Authority. The Technical Background Report does not identify and respond to all relevant planning legislation, it provides only high-level descriptions of the following:

- the evolution of Victorian Planning Provisions (VPPs) relative to Extractive Industry.
- consultation with Registered Aboriginal Parties.
- some relevant State planning provisions.
- some relevant Local planning provisions.
- the VPPs proposed to be applied through this proposed planning scheme amendment.
- the quarries approval process.

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While summarised responses to some relevant planning provisions are provided, full responses to all relevant planning provisions should be explained to the community and Council to demonstrate that both the proposed planning provisions and the removal of Notice, Decision and Review Rights are indeed strategically justified.

State Planning Policy

The exhibited Technical Background Report does not adequately describe and respond to the relevant State Planning provisions. A detailed analysis and response to relevant State Planning provisions should include:

- Clause 12.01 Biodiversity
 - Clause 12.01-1S Protection of biodiversity
 - Clause 12.01-2S Native vegetation management
- Clause 13.01-2S Coastal Inundation and erosion
- Clause 13.07-1S Land use compatibility
- Clause 14.03-1S (Resources exploration and extraction)
- Clause 19.03-3S Integrated water management
- Renewable Energy Zones Investigation Areas

Local Planning Policy

The exhibited Technical Background Report does not adequately describe and respond to relevant Local Planning provisions despite this being raised by Council during the preliminary consultation phase. A detailed analysis and response to relevant Local Planning provisions should include:

- Clause 21.02 Environment
 - Cardinia Shire Council Biodiversity Conservation Strategy 2019-29
 - Cardinia Shire Council Biolinks Plan 2023-2033
- Clause 21.02-8 Resource conservation
- Clause 21.04-6 Extractive Industry
- Clause 21.05-2 Freeways, declared arterial roads
- Clause 21.05-3 Local roads
- Clause 21.08-1 Lang Lang
 - Clause 72.04 Incorporated Documents: Lang Lang Township Strategy July 2009
- Clause 22.02 Sand extraction – Lang Lang to Grantville
 - Regional Sand Extraction Strategy, Lang Lang to Grantville 1996
- Clause 22.05 Western Port Green Wedge Policy
 - Cardinia Westernport Green Wedge Management Plan May 2015
- Clause 44.04 Land subject to Inundation Overlay (LSIO)
- Clause 42.01 Environmental Significance Overlay – Schedule 3 (ES03)
- Clause 42.03 Significant Landscape Overlay – Schedule 3 (SLO3)
- Clause 43.01 Heritage Overlay (H050)

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Technical assessments

Request 3: It is requested that technical assessments, that demonstrate the strategic justification for the proposed Planning Scheme changes, are provided for examination by all affected landowners, the broader community and Council.

While the exhibited Technical Background Report appears to provide an overview and conclusions of some technical assessments, the actual assessments have not been exhibited for public examination. Technical assessments would provide transparency and demonstrate to the community and Council the strategic justification for the new zones and overlays to the extents that are proposed and provide a level of analysis that strategically justifies removal of the Notice, Decision and Review Rights that are currently held by the community and Council.

More specific discussions in relation to particular technical assessments are provided below.

Proposed Planning Scheme Zone and Overlay Maps

Request 4: It is requested that proper proposed Planning Scheme Maps be provided for examination by all affected landowners, the broader community and Council.

The exhibited planning scheme amendment documentation does not include the usually required proposed Planning Scheme Maps depicting the exact extent of the proposed new zone and overlays, despite this being requested by Council during the preliminary consultation phase. As such, it is unclear exactly which land parcels (private and public) would be affected by the proposed zones and overlays. Council believes that Council owned land on Range Road is affected by the proposed State Resources Overlay – Schedule 3 (SR03) but cannot be certain of the extent as the depictions included in the exhibited documentation are not of the usual detailed standard required for planning scheme amendment documentation.

Council is concerned about the omission of transparent mapping, and that private landowners cannot decipher the extent of the proposed planning provisions affecting their land.

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F. Safety, amenity and roads

Delivery of the Lang Lang Sand Truck Bypass Road

Request 5: It is requested that:

- A Public Acquisition Overlay (PAO) is applied to the remaining sections of land that need to be acquired for the Lang Lang Sand Truck Bypass Road.
- The Lang Lang Sand Truck Bypass Road is constructed before any new or expanded quarry proposals are approved.
- The State Government provide funding for the acquisition of land and construction of the Lang Lang Sand Truck Bypass Road.
- The Transport Zone 2 (TZ2) is applied to the Lang Lang Sand Truck Bypass Road after construction is completed.

The exhibited Technical Background Report does not adequately identify, discuss and respond to relevant State and Local planning provisions relating to amenity, traffic and infrastructure to strategically justify the application of the proposed SR01.

State planning provisions identify the need to provide transport networks for extractive industry and the need to protect the amenity of the community. Long standing Local planning provisions comprehensively examined the safety and amenity needs of the Lang Lang community and recognised that extractive industry would only expand and increase the detrimental safety and amenity impacts experienced by the Lang Lang community, due to increasing quarry truck traffic. Please see list of relevant State and Local planning provisions at the end of this section.

Need for Lang Lang Sand Truck Bypass Road

As evident by numerous Local planning policies approved by the Minister for Planning, the need to deliver the Lang Lang Sand Truck Bypass Road has been identified for more than 18 years in the Cardinia Planning Scheme to improve community safety and amenity in the township. While the strong economic benefits to quarry operators are clearly evident, this cannot be at the detriment to the community of the Lang Lang township. This has been recognised by Local planning provisions which include a requirement for quarry operators to make monetary contributions to assist in funding the delivery of the Lang Lang Sand Truck Bypass Road.

Quarry trucks use Westernport Road and McDonalds Track to access quarry sites on the eastern side of the township, causing detriment to the safety and amenity of business owners and users of the central business area and residents using and living along these roads. The continual recurring damage to these roads is also a major problem causing damage to private vehicles as well as costly road repairs for Council.

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In recent years, DTP increased the permitted truck size travelling on Westernport Road through the town centre from 26 metre long to 36.5 metre long without consulting the community or Council. This has only increased the serious problems that were already being experienced by the community and Council.

The exhibited planning scheme amendment seeks to facilitate and increase the number and size of quarries in Lang Lang but the Technical Background Report has not analysed and responded to the relevant Local planning provisions that are strongly presented in the Cardinia Planning Scheme and are summarised below.

Land acquisition

Most of the land required for the bypass road has already been acquired from relevant landowners via planning scheme requirements and planning permits. There appears to be three sections of land still needed to be acquired for the proposed road, these have been highlighted red in the depiction of the Lang Lang Framework Plan below. One of these sections will form part of Stage 1 of the sand truck bypass road which is on the eastern side of McDonalds Track and is on private land within a sand quarry. The other two sections will form part of Stage 2 of the Sand Truck Bypass Road which is on the western side of McDonalds Track. These are located within the Green Wedge Zone on private land that cannot be subdivided, and as such there will be no opportunity to acquire these two sections via planning permits granted for subdivisions.

The proposed planning controls will protect sand resources in Lang Lang and will facilitate the establishment of new and expanded quarries. The increased quarry truck traffic through the town centre will be detrimental to the amenity and safety in the township through increased traffic, noise, dust and damage to roads. To ensure the Lang Lang Sand Truck Bypass Road can be delivered, the proposed planning provisions should be expanded to include the application of a Public Acquisition Overlay (PAO) on the remaining sections of land needed for the Sand Truck Bypass Road, and funding should be provided by the State Government to acquire the land.

Functional design

Council infrastructure officers have commenced a feasibility study including a concept functional design that is informed by new traffic data and current design requirements in consultation with DTP (Transport) and Melbourne Water.

Construction

Stage 1

Following the completion of the concept functional design for Stage 1, detailed designs will be required. This will take approximately 12-18 months to complete and will need to include approvals from Melbourne Water, DEECA and DTP. A new Planning Permit for vegetation removal may also be required. The construction of Stage 1 is anticipated to cost more than \$20 million.

Stage 2

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Following the completion of the concept functional design for Stage 2, a detailed design will be required. This will take approximately 12-18 months to complete and will need to include approvals from Melbourne Water, DEECA, and DTP to assist further progression to construction. The construction of Stage 2 is anticipated to cost more than \$20 million.

Funding

Over the last 18 years Council has applied planning permit conditions or entered into Deeds with new quarries to contribute towards the Bypass. The level of contribution imposed on new quarries towards the Bypass is based on sand extraction rates which directly relate to the number of trucks required to travel through the town centre.

Council have been required to aggressively negotiate with each new quarry operator to contribute towards the Bypass. In some cases, it has been difficult to enforce the permit conditions due to an active Shire of Cranbourne planning permit and lack of support for Council's position on the bypass at the Victorian Civil Administrative Tribunal. Council has collected some funds for the construction of Stage 1 of the Bypass and the provision of noise attenuation barriers for Stage 2 of the Bypass.

The proposed planning controls will protect sand resources in Lang Lang and will facilitate the establishment of new and expanded quarries. The increased quarry truck traffic through the town centre will be detrimental to the amenity and safety in the township through increased traffic, noise, dust and damage to roads. To ensure the Lang Lang Sand Truck Bypass Road is delivered before new or expanded quarries are approved, funding should be provided by the State Government to acquire the land and construct the Lang Lang Sand Truck Bypass Road.

Relevant State Planning Policy

Clause 13.07-1S Land use compatibility

The objective is *"to protect community amenity, human health and safety while facilitating appropriate commercial, industrial, infrastructure or other uses with potential off-site impacts."*

Clause 14.03-1S (Resources exploration and extraction)

The objective is *"to encourage exploration and extraction of natural resources in accordance with acceptable environmental standards."*

An important strategy to note is:

- *Recognise the possible need to provide infrastructure, including transport networks, for the exploration and extraction of natural resources.*

Relevant Local Planning Policy

Clause 21.04-6 Extractive Industry

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This clause recognises that Cardinia Shire contains areas known as Extractive Industry Interest Areas (EIAs), including hard rock which is primarily extracted from the hills north of the Princes Highway and sand resources in the Lang Lang area.

The objective is *“to recognise and protect significant sand and stone resources in the municipality and allow the extraction of these resources if it can be demonstrated that the extractive operation will not adversely impact on the environment or community.”*

An important strategy to note is:

- *Designate transport routes between extractive industry sites and the arterial road network, and require contributions towards the upgrading and maintenance of transport routes from extractive industry sites.*

An important strategic implementation to note is:

- *Completing the planning and design of the Lang Lang Bypass for sand truck traffic.*

Clause 21.05-2 Freeways, declared arterial roads

This clause recognises the need to ensure a quality road network and the critical importance that Council's land use and transport planning seeks to maximise the efficiency, safety and visual outlook of these roads.

An important key issue to note is:

- *Providing for the upgrade and construction of future declared arterial roads, including Lang Lang bypass.*

The objective is *“to provide for an efficient, safe and attractive arterial road network and to ensure effective integration of land use, transport and environmental outcomes.”*

An important strategy to note is:

- *Facilitate the development of the Lang Lang bypass.*

Clause 21.05-3 Local roads

This clause recognises the need to provide adequate roads in townships and upgrading of the local road network to support economic development and maintain environmental values.

An important key issue to note is:

- *Completing the Lang Lang bypass to keep the heavy vehicles associated with the sand extraction industry out of the Town Centre.*

Objective 1 is *“to provide an efficient, safe and attractive local road network and minimise potential adverse impacts from traffic on the amenity of adjoining residents.”*

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An important strategy to note is:

- *Facilitate the development of the Lang Lang Bypass.*

Objective 2 is *“to manage the impact of the use, development and subdivision of land on the local road network.”*

An important strategic implementation to note is:

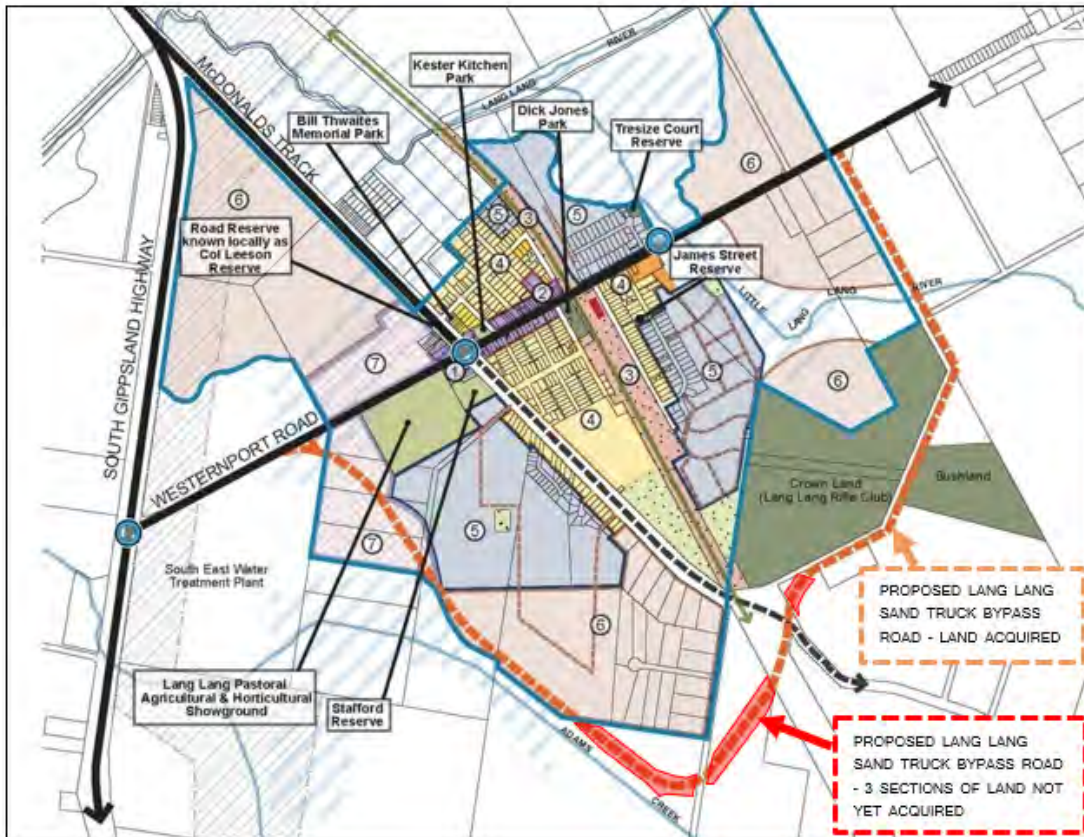
- *Including land required for road improvements such as widening and realignments in a Public Acquisition Overlay.*

Clause 21.08-1 Lang Lang

Requires development to accord with the Lang Lang Framework Plan and the Lang Lang Township Strategy 2009 (Incorporated Document). It seeks the provision of the Lang Lang Sand Truck Bypass Road to keep quarry trucks from passing through the township causing detriment to safety and amenity and damaging local roads, including McDonalds Track which is under Council's management.

To date planning scheme provisions have been successful in acquiring most of the land required for this bypass road from the relevant landowners. There appears to be three sections of land still needed to be acquired for the proposed road, these have been highlighted red in the depiction of the Lang Lang Framework Plan below.

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Lang Lang Framework Plan

Clause 22.02 Sand extraction – Lang Lang to Grantville

This clause recognises that the Lang Lang to Grantville area contains significant sand resources which are expected to become a major source of sand for the Melbourne supply area over the next 10 to 20 years. The extraction of the sand resources will have significant economic, social, and environmental effects on the area.

This clause has an objective “to protect the sand resources in this area for extraction and rehabilitation in a manner that protects the significant environmental, economic, and social values of the area.”

Clause 22.05 Western Port Green Wedge Policy

This policy places Lang Lang township and land to the north, east and south of the township in Precinct 1: Agriculture, Horticulture and soil-based food production.

Land to the west of the township is in Precinct 2: Coastal.

Both precincts make important directions in relation to Extractive Industry:

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- *Support the investigation and operation of potential future extractive industry in the area nominated as an Extractive Industry Interest Area*
- *Ensure that there is a balance between the extraction of natural resources and the intent of the precinct and that any investigation and operation is carefully planned to ensure that it is compatible with local amenity, landscape, flora and fauna.*

The *Cardinia Western Port Green Wedge Management Plan, May 2017*, is the Reference Document that underpins this local planning policy. Section 7.12 of this Council adopted document relates to Extractive industry and stipulates Council's objective, strategies and actions.

The objective is to *"Recognise the importance of extractive industry for both the municipality and metropolitan Melbourne and ensuring that these activities are not detrimental to the environment."*

An important strategy to note is:

- *Protect the sand resources in the Lang Lang area in order to provide for the extraction of these resources and the rehabilitation of sites in a manner that protects the significant environmental, social and economic values of the area.*

Intersection of South Gippsland Highway and Westernport Road

Request 6: It is requested that the capacity of the existing roundabout at the intersection of South Gippsland Highway and Westernport Road is properly investigated, and the intersection is upgraded to accommodate the expected increase in quarry truck traffic before any new or expanded quarry proposals are approved.

There are known peak hour capacity issues with the existing roundabout at the intersection of Westernport Road and South Gippsland Highway. The proposed planning scheme amendment seeks to facilitate and increase the number and size of quarries in Lang Lang and will increase quarry truck traffic due to this expansion. It is anticipated that this roundabout will need to be upgraded or an alternative intersection to be provided. This would apply to both heavy vehicles and vehicles.

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G. Biodiversity

Council broadly recognises the importance of protecting strategic extractive resources which is expressed in both state and local planning policy contained in the Cardinia Planning Scheme.

Clause 22.05 Cardinia Western Port Green Wedge Policy, Clause 21.04-6 Extractive Industry and Clause 22.02 Sand extraction – Lang Lang to Grantville Region policies together provide a comprehensive framework for managing and protecting the non-urban areas within the Cardinia Shire, including land within the Lang Lang Strategic Extractive Resource Area.

The objectives of Clause 22.05, supported by the Cardinia Western Port Green Wedge Management Plan 2017, aims to implement the Council's vision by ensuring that land uses are carefully located and managed to align with this vision. This approach helps maintain the balance between development and the protection of environmental, agricultural, and cultural values.

Similarly, Clause 21.04-6 and Clause 22.02 supports the objectives and strategies outlined in the Municipal Strategic Statement regarding extractive industries. It focuses on protecting sand resources in the Lang Lang area and ensuring their extraction and site rehabilitation are conducted in a way that safeguards the area's significant environmental, social, and economic values.

Council Environment Officers have identified issues and concerns regarding potential impacts or conflicts of the proposed planning scheme amendment relating to:

1. Western Port Green Wedge Coastal Precinct & Western Port Ramsar Site.
2. Environment Significant Overlay- Schedule 3.
3. Impacts on flora and fauna values.
4. Cardinia Biolinks.
5. Cardinia Significant Roadsides.
6. Eucalyptus strzeleckii (Strezleckii Gum).

Western Port Green Wedge Coastal Precinct & Western Port Ramsar Site

Request 7: It is requested that proposed SRO1 located between South Gippsland Highway and Western Port Bay is not applied. Further detailed investigations need to be conducted and exhibited for public examination with a focus on how the SRO1, which encourages extractive industries, can balance planning objectives to ensure that any activities do not negatively impact the vision for the Western Port Green Wedge Coastal Precinct and the values of the Western Port Ramsar Site.

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Council acknowledges the identification of a strategic extractive resource in this location, however strong consideration must be given to whether this area of land can reasonably support extractive industry while protecting the area’s high environmental, landscape and scenic values, including the internationally significant Western Port Ramsar site.

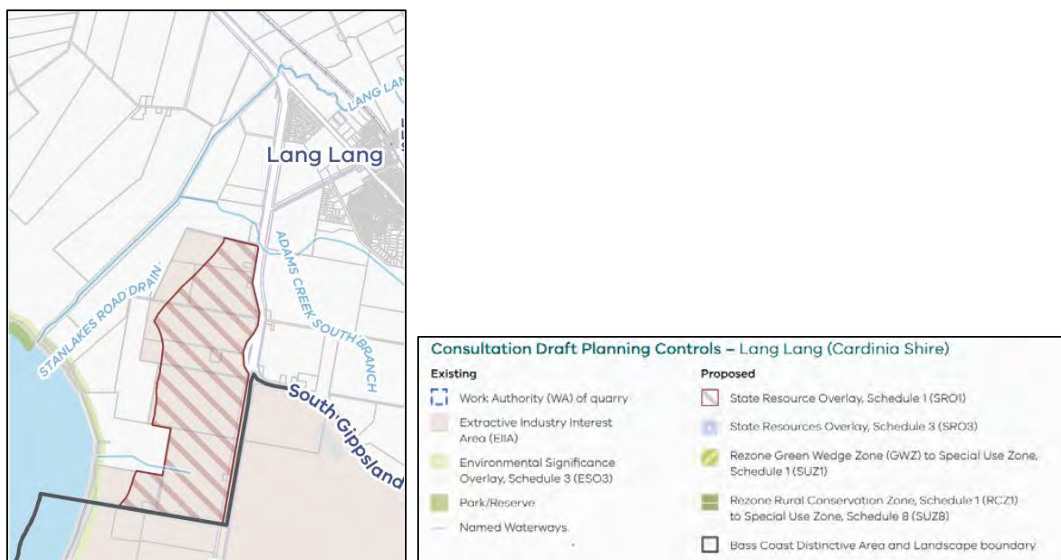
The Cardinia Western Port Green Wedge Coastal Precinct is comprised of coastal land and hinterland with high environmental, ecological and conservation values with the shoreline and surrounding waters designated as part of the Western Port Ramsar Site.

Clause 22.05 Western Port Green Wedge Policy of the Cardinia Planning Scheme and the Western Port Green Wedge Management Plan 2017 contain the following vision for the Coastal Precinct:

Cardinia Western Port Green Wedge Coastal Precinct’s coastal land and hinterland will be maintained and enhanced. The ecological values and environmental sensitivity of this land will be recognised, including the internationally significant Ramsar wetlands that play a vital role for migratory birds.

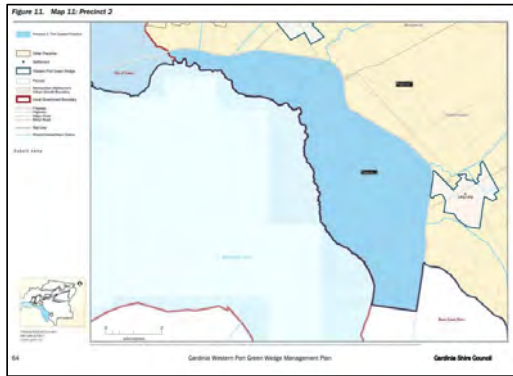
The Ramsar site consists of shallow intertidal mudflats, seagrass and fringing saltmarsh and mangrove habitats which support a large number of migratory shorebirds and other waterbirds, fish and marine invertebrates.

Western Port also provides essential saltmarsh and grassland habitats that support a variety of rare and threatened species including critical parrot feeding habitat for the Blue-winged and Orange-bellied Parrots. Conservation efforts in these areas are vital to protect and enhance the remaining populations of endangered species.



Proposed SR01 within Cardinia Western Port Green Wedge Coastal Precinct:

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Western Port Green Wedge Coastal Precinct:

Environment Significant Overlay – Schedule 3 Other Significant Sites (ES03)

Request 8: It is requested that the proposed SRO1 is not applied to any land where Clause 42.01 Environment Significant Overlay – Schedule 3 Other Significant Site (ES03) applies, including within existing Work Authority 456.

The key issues between ES03 and SRO1 arises from the overlapping application of these overlays on land within existing Work Authority 456 as depicted below.



ES03 aims to protect areas of significant botanical and zoological importance, ensuring that development does not diminish habitat values or negatively impact rare and endangered species. It emphasizes the need for sensitive design and siting of new developments to preserve the environmental characteristics of the area.

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The proposed SRO1, on the other hand, is focused on managing and facilitating extractive industries, including the protection and extraction of the sand resource, within designated areas. It aims to ensure that resource extraction is conducted efficiently while minimizing environmental and social impacts.

The overlap of these overlays could create conflicts, as the objectives of protecting significant environmental values under ES03 may be at odds with the resource extraction activities encouraged by SRO1. Key issues include:

- Environmental Impact: Ensuring that extractive activities do not harm the critical habitats and biodiversity protected under ES03.
- Development Restrictions: Balancing the need for resource extraction with the stringent development controls imposed by ES03 to protect environmental values.
- Rehabilitation and Land Use Compatibility: Ensuring that post-extraction rehabilitation aligns with the environmental objectives of ES03 and is compatible with adjacent land uses.

Background to Work Authority 456

Council understands that the former Shire of Cranbourne issued a planning permit establishing extractive industries in on the land in 1981, in accordance with the approved Extractive Industries Licence and plans issued under the Extractive Industries Act 1966. While the use and development of land for extractive industry is existing within the ES03, the planning permit which continues to have effect was issued prior to the introduction of modern-day environmental planning controls which recognise the environmental importance of the site.

Subsequent amendments to the Extractive Industry Licence in the 2000s established the current Work Authority 456. Although the Work Authority boundary covers a broad area, it understood the permitted resource extraction limit and processing activities are confined to areas that have previously been disturbed or now clear of native vegetation generally depicted in aerial images below.

The limiting of extractive activities to these previously disturbed areas only, supported by progressive rehabilitation of the site should be strongly prioritised to conserve the remaining native vegetation and associated values of ES03.

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Impacts on flora and fauna values

Request 9: It is requested that assessments are grounded in actual environmental conditions, leading to more informed and sustainable decision-making, therefore terrestrial and aquatic ecological field assessments are required to be conducted to inform the adoption of final boundaries of the proposed SRO1.

The exhibited Background Technical Report outlines one of the main factors in determining the SRO1 boundary were environmental factors while maximising the coverage of the Extractive Industry Interest Area to protect the sand resource.

Despite above, in determining the proposed boundaries, Council believes the Background Technical Report fails to adequately detail the methodology or analysis of the environmental factors. Council believes that the determination of the SRO1 boundaries has not been informed by empirical data but rather relies on modelled datasets which may not capture the full complexity of on ground conditions. It is understood the main modelled dataset that may have been utilised includes the DATA VIC - Native Vegetation Regulation Extent 2017 (DEECA), which is based on remotely-sensed spectral data from satellite or airborne sensors.

Council acknowledges broad areas within the Lang Lang SERA have experienced historical land clearing and disturbance. Despite this the area continues to support areas of important ecological values including:

- Areas of intact native vegetation from Ecological Vegetations Class which area endangered or depleted in the Western Port catchment.
- Rich diversity of flora and fauna including matters of state and nationally environmental significance:
 - Listed rare and threatened species
 - Migratory species
- Wetland of International Importance Western Port Ramsar Site
- Identified Biolink/wildlife corridors.

To enhance the accuracy and reliability of the Background Technical Report informing the SRO1 boundaries, it is recommended that detailed field assessments be conducted. By integrating terrestrial and aquatic ecology field assessments, the planning process can be more grounded in actual environmental conditions, leading to more informed and sustainable decision-making.

A thorough understanding and consideration of ecological values can significantly enhance community transparency regarding the potential future impacts of development. This approach not only fosters trust but also ensures that the extractive industry operates with greater confidence and responsibility at both a site and landscape scale.

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Biolink/Wildlife Corridor considerations

Request 10: It is requested that an assessment of the Cardinia Shire Council's Biolink Plan 2023-33 is conducted to inform the decision guidelines of the proposed SRO1, existing SRO2 and proposed SRO3.

The *Cardinia Biolink Plan 2023-33* (Biolink Plan) is an initiative by the Cardinia Shire Council aimed at enhancing biodiversity and supporting wildlife movement across the region. Adopted by Council in December 2021, the plan focuses on creating and maintaining wildlife corridors, known as biolinks, which connect pockets of native vegetation.

The Biolink Plan which outlines guiding principles for creating voluntary environmental corridors. It offers a clear framework to direct conservation investments and helps understand how to facilitate species movement across the landscape. By planning and coordinating efforts the Biolink Plan aims to collectively enhance biodiversity in Cardinia Shire.

The Biolink Plan was developed through a comprehensive process involving advanced technology, community input, and strategic planning. It utilised wildlife species computer modelling and aerial vegetation mapping to identify key wildlife areas and potential Biolinks. Community consultation played a crucial role, with residents providing feedback on the draft plan to ensure it met local needs. Subject matter experts within the environment sector were also consulted.

Together, the planning policy broadly expressed in Clause 12 Environmental and Landscape Values, Clause 12.01 Biodiversity and Clause 21.02 Environment, Clause 22.05 Cardinia Western Port Green Wedge Policy along with action A10 identified in the Cardinia Western Port Green Wedge Management, and the Biolink Plan all aim to develop or maintain strategic biodiversity corridors through the planning process supported by community involvement.

The planning policy provides the overarching goals and strategies for biodiversity protection, while the Biolink Plan aligns with these objectives by creating wildlife corridors to connect fragmented habitats and it involves the community in conservation efforts in a planned, practical and localised approach.

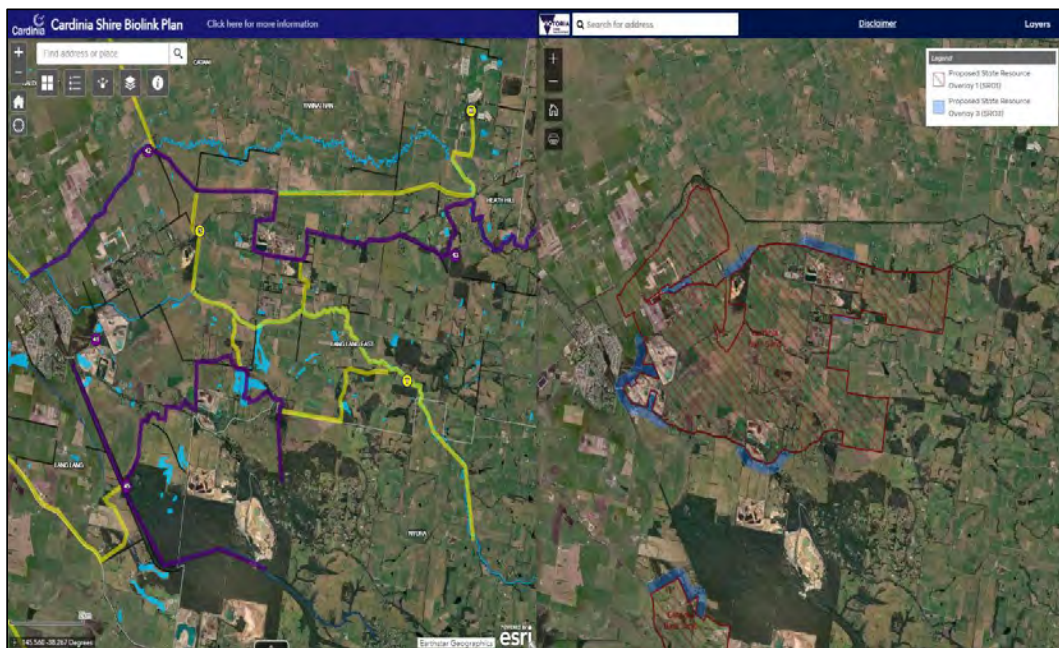
While the Lang Lang SERA focuses on securing quarry resources, the Cardinia Biolink Plan aims to enhance biodiversity through habitat connectivity. Balancing these objectives requires careful planning and collaboration to ensure sustainable development and conservation. Careful consideration of the Biolink Plan, and integration into the proposed decision guidelines, will assist in planning and balancing the environmental impacts of resource extraction and support biodiversity conservation efforts.

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With the introduction of a State Resource Overlay aimed at protecting areas of significant mineral resources from uses and developments that could hinder their current or future productivity, it's also crucial to ensure that these other uses or developments are not inadvertently directed towards areas which may serve as important Bio-links, as a consequence of the introduction of this overlay.






Around Lang Lang, the Biolink Plan aims to protect and improve corridors between Adams Creek Nature Conservation Reserve and core habitat to the north and east, protect and enhance the cover of vegetation along Lang Lang River, and developing new corridors between existing patches along the southern boundary of the shire.

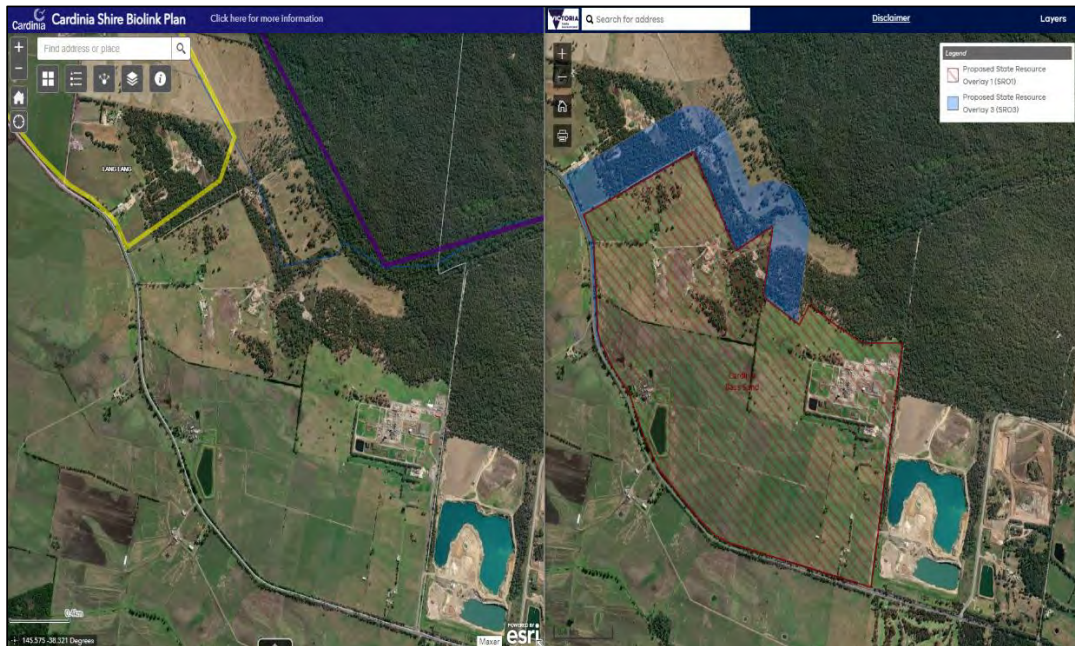
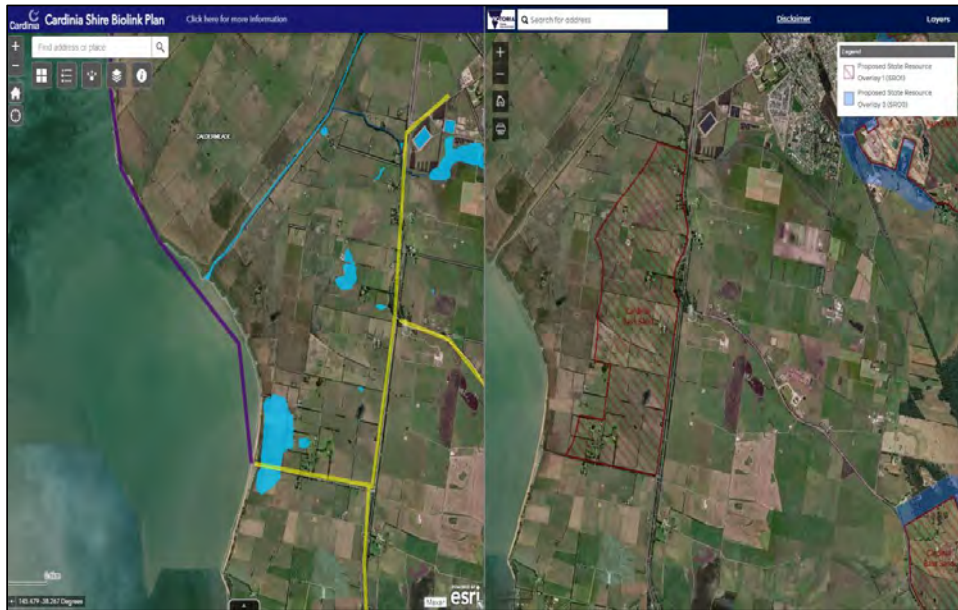
Figures from the Biolink Plan conceptually depicted below identify Biolink corridors and nodes within the SERA and broader region. The plan aims to protect and enhance existing habitat structures and provide vegetation connectivity through the landscape to facilitate species mobility. By analysing existing data and current modelling, a set of corridor area priorities was developed to target investment and planning for the highest biodiversity value return, leading to the creation of biolinks.



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Legend

- 1) Priority biolink nodes 
- 2) Future biolink nodes 
- 3) Priority biolink corridors 
- 4) Future biolink corridors 
- 5) Conservation corridors 



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At a wider regional scale, Biolinks play a critical role in connecting areas of ecological importance, such as the area commonly referred to as the Western Port Woodlands. These connections are essential for maintaining biodiversity and ensuring the health and resilience of ecosystems including areas which extend outside of Cardinia Shire.

The Western Port Woodlands are a significant ecological area located on the eastern shore of Western Port Bay, stretching from Lang Lang to Grantville. This region is one of the largest remnants of intact coastal woodlands in the area.

Conservation efforts are ongoing, with groups advocating for better protection and planning controls to preserve the woodlands' biodiversity and ecological significance.

The planning policies of the Cardinia, Bass Coast, and South Gippsland Planning Schemes emphasise the importance of protecting and enhancing the biodiversity of flora and fauna in the region. Additionally, they mandate that sand resources at Lang Lang be managed in accordance with the Regional Sand Extraction Strategy - Lang Lang to Grantville 1996.

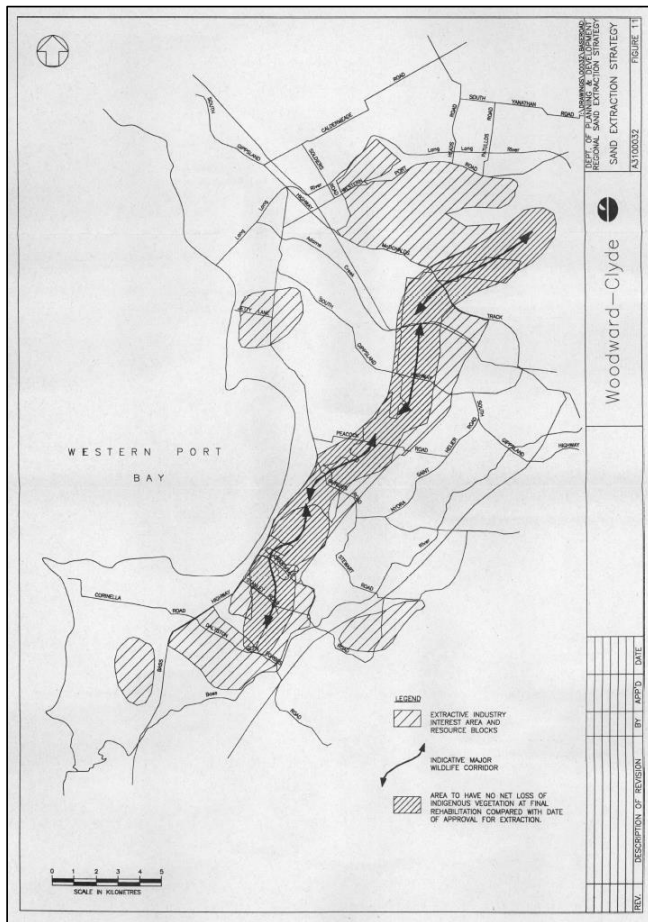
This strategy along with the Biolink Plan emphasise the need to protect wildlife corridors, ensuring that ecological connections are maintained and that the natural habitats of various species are preserved. The policies for conservation of flora and fauna as set out in this strategy broadly require that:

- Extractive industry application must take into account major wildlife corridors
- No net loss (following extraction and rehabilitation) in the area of native vegetation within the indicative regional wildlife corridor, see figure below
- Before approving any sand extraction applications, the proponent must conduct assessments on flora, fauna, and land protection. These strategies outline these assessments must address relevant protection of wildlife corridors as follows:

Maintenance and opportunities for enhancement of connecting corridors between the larger blocks of native vegetation, including the nature conservation reserves, are particularly important for the long term maintenance and enhancement of biodiversity. The maintenance of an effective wildlife corridor centred on the indicative major wildlife corridor shown on Figure 11 should be subject to special attention.

(Note: The wildlife corridor shown on Figure 11 is currently only notional due to insufficient available data. However it represents the most continuous habitat connections between larger refuge areas).

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Cardinia Significant Roadsides

Request 11: It is requested that the planning scheme amendment considers Cardinia Significant Roadsides within the SERA proposed areas to ensure that the Council is consulted on any future use or development in these areas.

The *Cardinia Biodiversity Conservation Strategy 2019-29*, adopted by Council 2019, provides a strategic approach to managing the natural environment in Cardinia Shire. It aims to preserve and enhance biodiversity through community involvement, sustainable management practices, and strategic planning. A key focus of the strategy is the protection of significant roadside vegetation, which often contains remnant native vegetation crucial for various species of flora and fauna, including those that are threatened or endangered.

Located with the SERA are number of significant roadsides which serve as vital ecological corridors, connecting fragmented habitats and allowing wildlife to move freely in search of food, shelter, and mates. This connectivity is essential for maintaining genetic diversity and the overall health of ecosystems.

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The strategy outlines actions to protect and enhance these significant roadside areas, such as controlling invasive species, restoring native vegetation, and engaging local communities in conservation activities. It also highlights the need for a consistent approach to roadside conservation planning and management. To achieve this, a roadside management strategy will be developed by Council, including complementary works to commence.

By involving the Council in all planning and development decisions, including those where the Council may not be the Responsible Authority (such as ministerial permit applications), and integrating considerations for significant roadside areas, we can ensure that Cardinia Shire’s natural environment remains resilient, healthy, and valued by the community. This approach supports both biodiversity and ecological health.

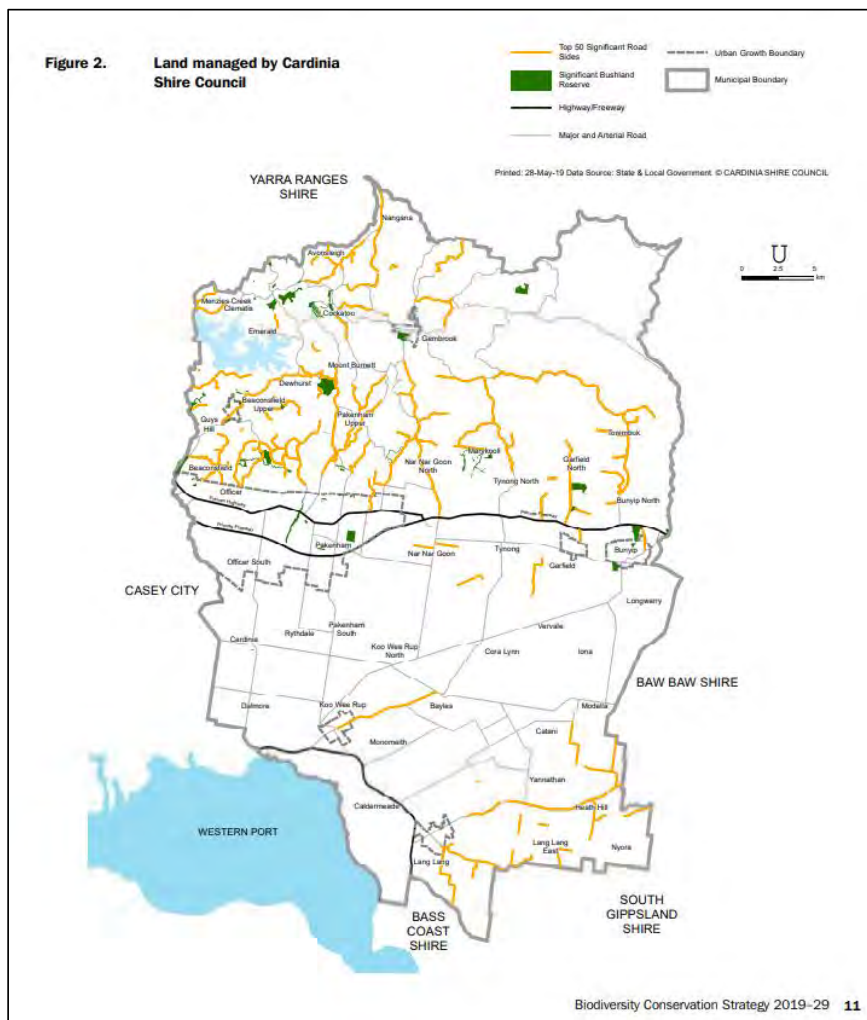


Figure from Cardinia Biodiversity Conservation Strategy 2019-29.

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Photographic Examples of Significant Roadside Vegetation within the SERA:



Photo 1 McDonalds Track Lang Lang containing high quality remnant Grassy Woodland



Photos 2 – Steeles Road Lang Lang containing large hollow bearing tree within moderate quality Swampy Riparian Woodland

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Photos 3 – Steeles Road Lang Lang containing large hollow bearing tree within moderate quality Swampy Riparian Woodland



Photo 4- Hance Lane Lang Lang containing species associated with Plains Grassy Wetland observed. Migratory Species Gallinago hardwickii (Latham Snipe) observed by Council Environment Officers within roadside habitat 2024.

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Eucalyptus strzeleckii (Strzeleckii Gum)

Request 12: It is requested that targeted field assessments of *Eucalyptus strzeleckii* (Strzeleckii Gum) are conducted to inform the adoption of final boundaries of the proposed SRO1.

Council Environment Officers conducted a field evaluation of the Lang Lang SERA to inform Council's submission. During this assessment trees observed within the SERA displayed strong characteristic associated with a species known as *Eucalyptus strzeleckii* (Strzeleckii Gum).

Strzeleckii Gum is largely endemic to the western side of the Strzeleckii Ranges extending towards the east coast of Western Port. This species is classified as "Vulnerable" under the Australian Government *Environment Protection and Biodiversity Conservation Act 1999* and as "Critically Endangered" under the Victorian Government *Flora and Fauna Guarantee Act 1988*.

Trees considered to be Strzeleckii Gum were generally observed within the SERA east of Lang Lang, in the vicinity of Pooles, Martin, Watson and Camms Roads which is at the periphery of the Strzelecki Ranges. With further evaluation its expected trees with similar characteristics may occur incidentally throughout the SERA directly east of Lang Lang, particularly on deep fertile soils containing remnant patches vegetation and scattered trees along Little Lang Lang River, Little Lang Lang River South, and Western Port Road and possibly Steeles Road.

Characteristics of trees observed displayed the following:

- Habit: Medium to tall erect tree, approximately 20-30 meters tall.
- Bark: Smooth, with white to reddish mottling, occasionally with basal stocking that sheds in ribbons.
- New Growth: Red tips, occasionally faintly glaucous, with lanceolate to ovate leaves. Although considered not as distinctly glaucous as Strzeleckii Gum observed in West Gippsland.
- Adult Leaves: Lanceolate to slightly ovate entire with red margins, concolorous.
- Oil Glands: Present in juvenile and adult leaves. Appeared to show variability in how distinct glands were evident.
- Fruit and Buds: variable, consistent with swamp gum group of eucalypts
- Flowers: Observed, incidental, white.

These observations align well with the known characteristics of Strzeleckii gum. However further analysis is needed to confirm the species identification. Given its conservation status, it's crucial to prioritise its protection and consideration to how its presence if confirmed may impact the interests of the SERA.

In addition to the findings, historic records in the Victorian Government's Victorian Biodiversity Atlas show that Strzeleckii Gum is known to occur in close proximity to the Strategic Extractive Resource Area (SERA) at The Gurdies and Nyora. Furthermore, in an article by the Bass Coast Post published 14 October 2024 recently revealed that the largest known stand of Strzeleckii Gum has recently been identified at former Holden Proving

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Ground located nearby in Bass Coast Shire. This underscores both the likelihood of the species occurring in the area and the importance of this area for the conservation of this rare species.

Photographic Examples of trees observed on Pooles and Watsons Road believed to be Strezleckii Gum:



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H. Climate Change

Planning for Sea Level Rise (SLR) & Storm Surge (STM)

Request 13: It is requested that the proposed SRO1 is not applied to any land where Planning for Sea Level Rise (SLR) and Storm Surge (STM), the 2100 (0.82m) poses a hazard, particularly within the western section of the proposed SRO1.

Planning for Sea Level Rise (SLR) and Storm Surge (STM), the 2100 (0.82m) poses a hazard to proposed sand mine quarrying activities, particularly with the western section of the proposed SRO1.

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The proposed planning scheme amendment does not take into consideration the projected impacts of Sea Level Rise (SLR) and Storm Surge (STM). The State Government climate models for 2100 (0.82m) highlight a hazard to proposed changes to land use via sand mine quarrying activities.

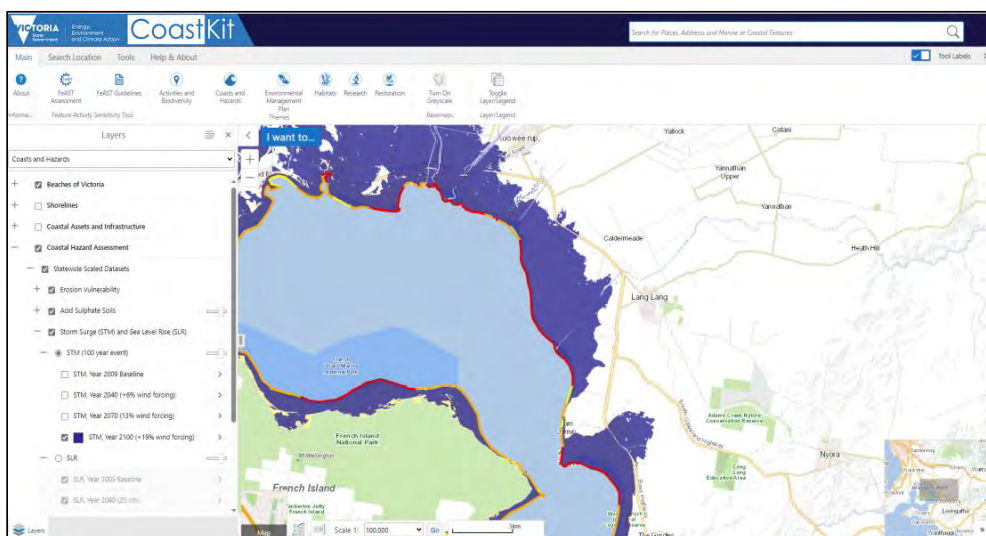
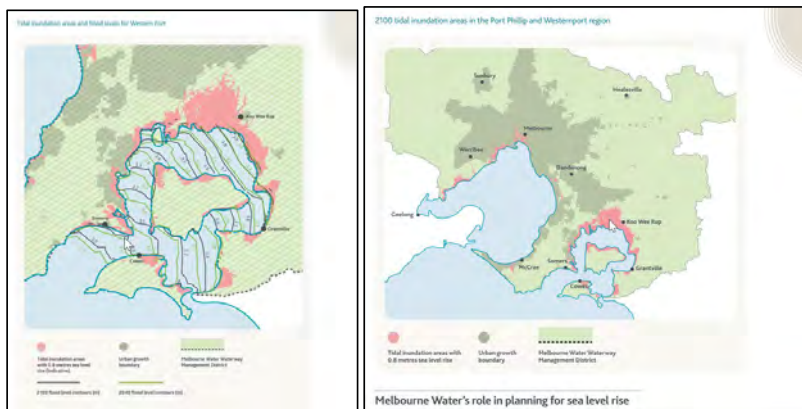
When planning for sea level rise, the 2100 (0.82m) SLR and STM planning horizon is used as the benchmark for the assessment of the impacts of coastal inundation for new development proposals, including subdivisions, in greenfield and urban infill areas.

Clause 13.01-2S Coastal inundation and erosion

The objective is “*To plan for and manage coastal hazard risk and climate change impacts.*”

An important strategy to note is “*Plan for sea level rise of not less than 0.8 metres by 2100 and allow for the combined effects of tides, storm surges, coastal processes and local conditions such as topography and geology when assessing risks and coastal impacts associated with climate change.*”

Planning for Sea Level Rise Guidelines ((Melbourne Water, 2017))



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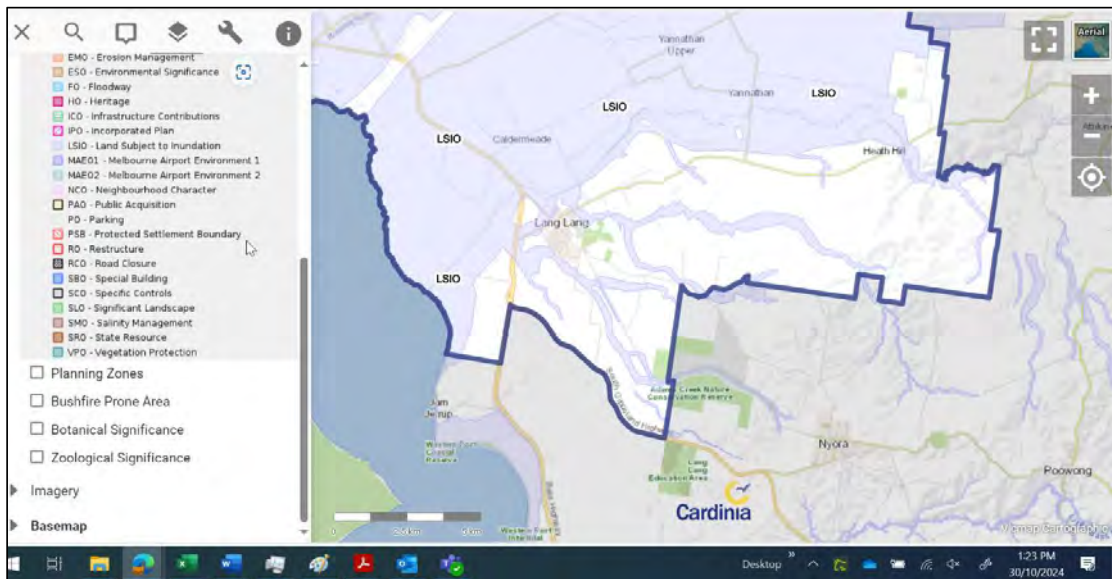
Land Subject to Inundation Overlay (LSIO)

Request 14: It is requested that the proposed SR01 demonstrates careful consideration of land within a Land Subject to Inundation Overlay (LSIO).

The proposed SR01 does not appear to take into consideration the Land Subject to Inundation Overlay (LSIO). The State Government climate models for 2100 (0.82m) highlight a hazard to proposed changes to land use via sand mine quarrying activities.

Clause 44.04 Land Subject to Inundation Overlay (LSIO)

The purpose of this clause is *“To implement the Municipal Planning Strategy and the Planning Policy Framework. To identify flood prone land in a riverine or coastal area affected by the 1 in 100 (1 per cent Annual Exceedance Probability) year flood or any other area determined by the floodplain management authority.”*



Cardinia Cardimap GIS System

Groundwater Resources

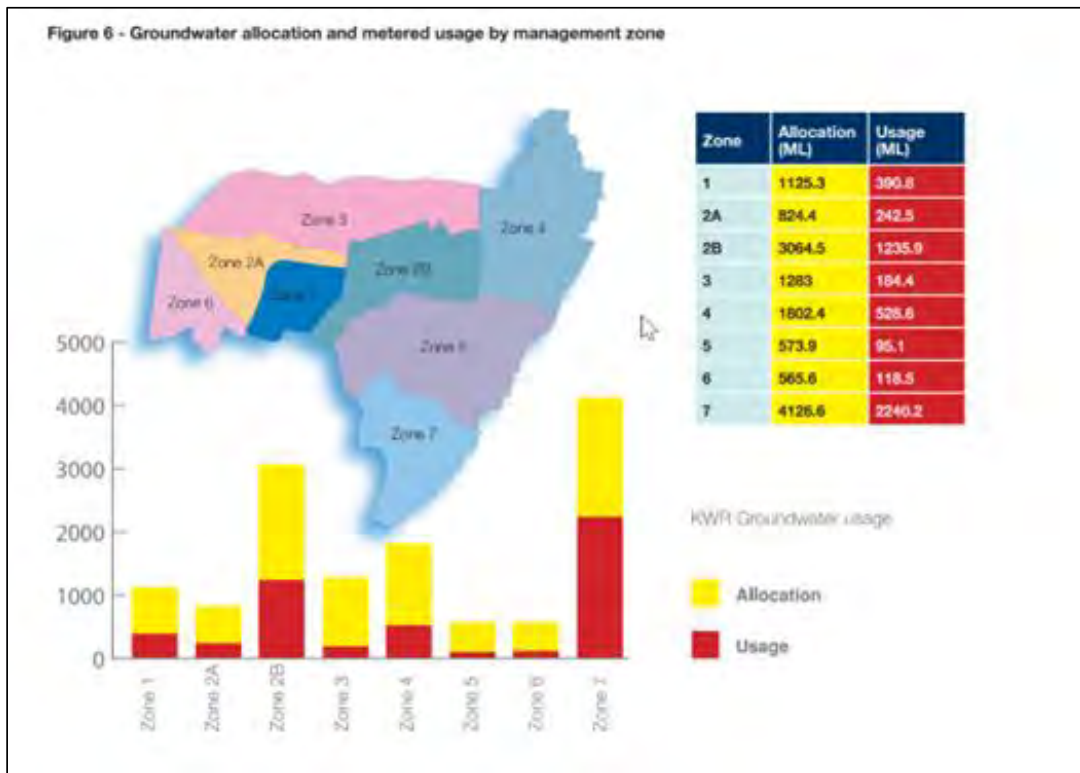
Request 15: It is requested that the proposed SR01 demonstrates careful consideration of land that maybe subject to high water demands and where water resources are required in what is an already constrained land use planning space.

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Part of the proposed SRO1 is in areas where there are maximum ground water allocation licences. Proposed planning scheme amendments need to demonstrate appropriate consideration of integrated water management and water resources.

Clause 19.03-3S Integrated water management

This clause seeks to “Sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach.”



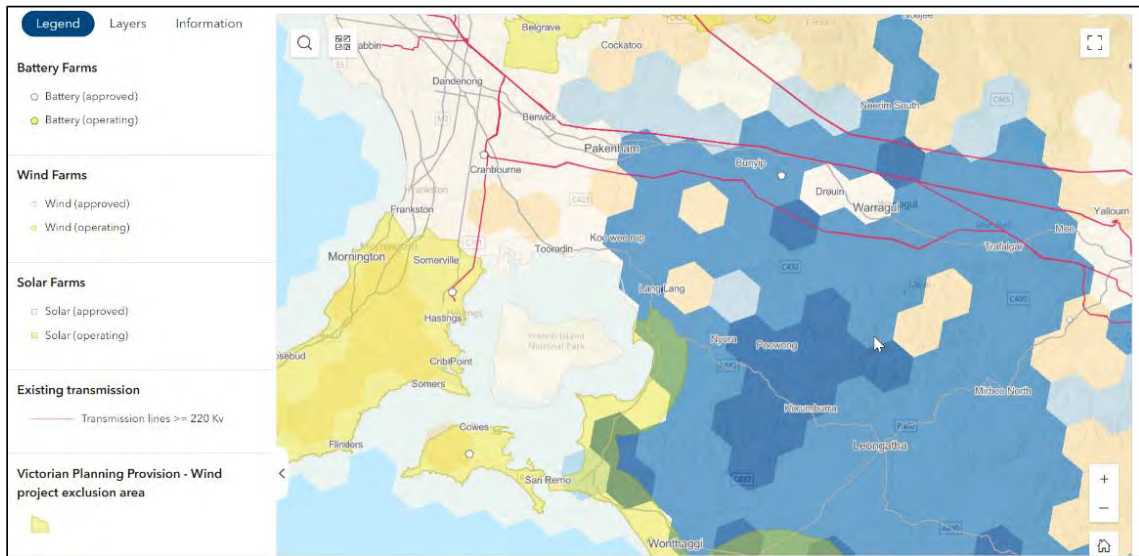
Groundwater Management Plan, Koo Wee Rup Water Supply Protection Area, Southern Rural Water (SRW). [Koo Wee Rup Statutory Groundwater Management Plan.pdf](#)

Renewable Energy Zones

Request 16: It is requested that the proposed SRO1 demonstrates careful consideration of other future land uses, such as the proposed State Renewable Energy Zones particularly within the western section of Lang Lang.

Part of the proposed SRO1 is within the renewable energy zones investigation area. The proposed SRO1 could preclude/override any future renewable energy proposals. Proposed planning scheme amendments need to demonstrate appropriate consideration of the renewable energy zones investigation area, [renewable-energy-zone-study-area-detailed-map-a3_2ffc.pdf](#).

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Map of Draft Victorian Transmission Plan Guidelines Geographical areas for further investigation

Resource conservation

Request 17: It is requested that the proposed SR01 demonstrates careful consideration of resource conservation and include provisions particularly to develop and promote land use in a more environmentally sustainable way including greenhouse gas emission reductions aligned to the State Target of Net Zero by 2045 and reducing water consumption objectives aligned to Integrated management planning.

The proposed Ministerial planning scheme amendment needs to demonstrate appropriate consideration of resource conservation.

Clause 21.02-8 Resource conservation

Recognises that *“Conserving, reducing and effectively managing the resources we use are essential to achieving ecological sustainable development. The use of fossil fuels, particularly in electricity generation and transport has been the major source of greenhouse gas emissions resulting in climate change. The community needs to respond to climate change through strategies to reduce greenhouse gas emissions and the implementation of adaptation strategies to reduce vulnerability to projected future impacts of climate change. Three key areas for reducing the impact on the environment within the municipality are air, water and general waste.”*

Key issues:

- *Minimising greenhouse gas emissions and developing greenhouse adaptation strategies.*
- *Reducing water consumption and improving water quality.*
- *Reducing waste generation and minimising waste going to landfill.*
- *Recognising the need to reduce and divert food waste from landfill and reuse water to grow food.*

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The objective is “*To develop and promote more environmentally sustainable ways of living and working, including greenhouse gas emission reductions.*”

Important strategies to note are:

General:

- *Support the implementation of key regional activities identified through Western Port Greenhouse Alliance to reduce greenhouse gas emissions.*

Reduction of greenhouse gas emissions:

- *Encourage developments that are based around public transport and alternative forms of transport including walking and cycling.*
- *Promote sustainable communities through appropriate urban design that encourages alternate forms of transport to reduce energy consumption.*

Reduction in water consumption:

- *Ensure water sensitive urban design principles for all developments and subdivisions including the use of the third pipe recycled water systems and the use of water tanks where appropriate.*
- *Encourage the use of recycled or alternative water in the construction of roads in all subdivision and in other works and ongoing maintenance activities, where this water is available.*

Design and construction:

- *Encourage the use of environmentally sustainable construction materials and techniques.*
- *Encourage development that incorporates sustainable building design including design that promotes the health and wellbeing of occupants.*
- *Encourage the inclusion of, or provision for, sustainable technology in the design of new buildings.*
- *Provide and preserve landscaping that enhances amenity and maintains ecosystems.*

I. Post-contact Heritage

Request 18: It is requested that the proposed SRO1 demonstrates careful consideration of any properties that have an applied Heritage Overlay.

Part of the proposed SRO1 is within a Heritage Overlay (HO). The heritage property located at 115 Jetty Lane is affected by H050 Bayview Farm including House, Dairy Shed and Well. The proposed planning scheme amendment needs to demonstrate appropriate consideration of post-contact heritage.

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J. Proposed Special Use Zone – Schedule 8 (SUZ8)

Purpose

Request 19: It is requested that the wording of the Purpose of the proposed SUZ8 is amended.

Council officer's previous comments relating to the wording of the purpose of the proposed SUZ8 have not been included. Council requests the following wording changes to be made to the Purpose of the proposed SUZ8.

- to recognise ~~erand~~ provide for the use and development of land for extractive industry
- to prohibit uses that are incompatible with the existing or future use and development of land for extractive industry
- to ~~ensure~~~~ourage~~ land management practices and rehabilitation that minimise adverse impact on the use and development of nearby land.

Subclause 1.0 - Table of Uses

Request 20: It is requested that:

- Confirmation is provided that the permit conditions contained in existing Planning Permits granted by Council for Extractive Industry as a Section 2 Use, will continue to be enforceable if Extractive Industry becomes a Section 1 Use. Specifically, Council still needs to be able to enforce existing conditions relating to:
 - Collection of monetary contributions for the delivery of the Lang Lang Sand Truck Bypass Road.
 - Biodiversity protection, amenity and rehabilitation of the site.
- Strategic justification is provided for new Section 1 Uses contained in the proposed SUZ8 that are unrelated to Extractive Industry.
- Strategic justification is provided for new Section 2 Uses contained in the proposed SUZ8 that are unrelated to Extractive Industry, including those that are not specifically listed.
- Wording changes are made to clarify some Section 1, 2 and 3 Uses (e.g. Domestic animal boarding).
- Confirmation is provided that the Lang Lang community and Council can exercise their Notice, Decision and Review rights when expanded quarries are proposed, if Extractive Industry becomes a Section 1 Use.

The content of the proposed Special Use Zone – Schedule 8 (SUZ8) seeks several new Section 1, 2 and 3 Uses that are not related to Extractive Industry. All uses that are not related to Extractive Industry should continue to accurately align with the current Green Wedge Zone – Schedule 1 (GWZ1) and Rural Conservation Zone – Schedule 1 (RCZ1) unless the change is strategically justified.

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Section 1 – Permit not required

Proposed Uses – SUZ8	Current Green Wedge Zone – Schedule 1 (GWZ1)	Current Rural Conservation Zone – Schedule 1 (RCZ1)	Comments
Automated collection point. <ul style="list-style-type: none"> Must meet the requirements of Clause 52.13-3 and 52.13-5. The gross floor area of all buildings must not exceed 50 square metres. 	Section 1 – permit not required.	Section 3 – prohibited.	GWZ1 – supported. RCZ1 – not supported. What is the strategic justification for introducing this as-of-right use that is not needed for Extractive Industry to land currently in the RCZ1 where it is prohibited?
Extractive Industry. <ul style="list-style-type: none"> Must meet the requirements of Clause 62.01 (Note: Clause 62.01 exempts the use of land for earth and energy resources industry if the conditions of Clause 52.08 are met; Clause 52.08 exempts Extractive Industry if it Complies with Section 77T of the <i>Mineral Resources (Sustainable Development) Act 1990.</i>) 	Section 2 – permit required.	Section 2 – permit required.	Conditional Support– existing planning permits issued by Council must continue to have force and effect. Does this mean quarries can operate without a Planning Permit provided they comply with their Works Approval? Would operating quarries be able to abandon their current planning permits granted as discretionary Section 2 Uses under the current GWZ1 and RCZ1, and choose to operate as As-of-Right Section 1 Uses? If so, how will it be ensured that current Planning Permit conditions will continue to apply to currently operating quarries, and who will have the jurisdiction to enforce these requirements?
Grazing animal production.	Section 1 – permit not required.	Section 2 – permit required.	GWZ1 – supported. RCZ1 – not supported. What is the strategic justification for introducing this as-of-right use that is not needed for Extractive Industry to land currently in the RCZ1 where it requires a permit?
Home based business.	Section 1 – permit not required.	Section 1 – permit not required.	No change – no comment.
Railway	Section 1 – permit not required.	Section 1 – permit not required.	No change – no comment.
Tramway	Section 1 – permit not required.	Section 1 – permit not required.	No change – no comment.

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Any use listed in Clause 62.01. • Must meet the requirements of Clause 62.01.	Section 1 – permit not required.	Section 1 – permit not required.	No change – no comment.
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Section 2 – Permit required

Proposed Use	Current Green Wedge Zone – Schedule 1 (GWZ1)	Current Rural Conservation Zone – Schedule 1 (RCZ1)	Comments
<p>Agriculture (other than Animal husbandry).</p> <ul style="list-style-type: none"> • Must meet the requirements of Clause 52.13-3 and 52.13-5 • The gross floor area of all buildings must not exceed 50 square metres. <p>Notes: Excludes (under Animal husbandry):</p> <ul style="list-style-type: none"> • Animal training (Section 3) • Apiculture (Section 2) • Domestic animal boarding (Section 3) • Domestic animal husbandry <ul style="list-style-type: none"> ○ no more than 5 animals (section 2) ○ more than 5 animals (Section 3) • Grazing animal production (Section 1) • Horse husbandry (Section 3) • Intensive Animal production (Section 3) • Pig farm (Section 3) • Poultry farm (Section 3) • Poultry hatchery (Section 3) • Racing dog husbandry (Section 3) <p>Includes:</p> <ul style="list-style-type: none"> • Aquaculture.(section 2) • Crop raising (section 2) <ul style="list-style-type: none"> ○ Horticulture (section 2) ○ Rice growing (Section 2) ○ Timber production (section 2) 	<p>Agriculture = Section 1 – permit not required, other than:</p> <ul style="list-style-type: none"> • Animal production (section 2) • Apiculture (Section 2) • Domestic animal husbandry <ul style="list-style-type: none"> ○ no more than 5 animals (Section 1) ○ more than 5 animals (Section 2) • Racing dog husbandry <ul style="list-style-type: none"> ○ no more than 5 animals (section 1) ○ more than 5 animals (Section 2 or 3) • Rice growing (section 2) • Timber production (Section 2) <p>Notes: Animal Production:</p> <ul style="list-style-type: none"> • Grazing animal production (Section 1) • Intensive animal production (section 2) • Cattle feedlot (Section 2 or 3) • Pig farm (Section 2) • Poultry farm, <ul style="list-style-type: none"> ○ less than 100/10 birds (Section 1) ○ more than 100/10 birds (Section 2) • Broiler farm (Section 1, 2 or 3) • Poultry hatchery (Section 2) <p>Animal husbandry:</p> <ul style="list-style-type: none"> • Animal training (section 1) • Domestic animal boarding (Section 2) • Dog breeding (Section 1 or 2) • Horse husbandry (section 1) • Racing dog training (section 1 or 2 or 3). <p>Other Agriculture:</p> <ul style="list-style-type: none"> • Aquaculture.(section 1) • Crop raising (section 1) <ul style="list-style-type: none"> ○ Horticulture (section 1) ○ Rice growing (Section 2) ○ Timber production (section 2 or 3) 	<p>Agriculture = Section 2 – permit required, other than:</p> <ul style="list-style-type: none"> • Apiculture (Section 3) • Domestic animal husbandry <ul style="list-style-type: none"> ○ no more than 2 animals (Section 1) ○ more than 2 animals (section 2) • Intensive animal production (Section 3) • Poultry farm <ul style="list-style-type: none"> ○ less than 100/10 birds (Section 1) ○ more than 100/10 birds (Section 2) • Racing dog husbandry, <ul style="list-style-type: none"> ○ no more than 2 animals (section 1) ○ more than 2 animals (Section 2 or 3) • Rice growing (Section 3) • Timber production (Section 2 or 3) <p>Notes: Animal Production:</p> <ul style="list-style-type: none"> • Grazing animal production (Section 2) • Intensive animal production (section 3) • Pig farm (Section 2) • Poultry farm, <ul style="list-style-type: none"> ○ less than 100/10 birds (Section 1) ○ more than 100/10 birds (Section 2) • Broiler farm (Section 1, 2 or 3) • Poultry hatchery (Section 2) <p>Animal husbandry:</p> <ul style="list-style-type: none"> • Animal training (section 2) • Domestic animal boarding (Section 2) • Dog breeding (Section 1 or 2) • Horse husbandry (section 1) • Racing dog training (section 1 or 2 or 3). <p>Other Agriculture:</p> <ul style="list-style-type: none"> • Aquaculture.(section 2) • Crop raising (section 2) <ul style="list-style-type: none"> ○ Horticulture (section 2) ○ Rice growing (Section 3) ○ Timber production (section 2 or 3) 	<p>GWZ1 - Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are not needed for Extractive Industry to land currently in the GWZ1 where these are prohibited? see red text</p> <p>RCZ1 – Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are not needed for Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p>

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Caretaker's house.	Section 2 – permit required	Section 2 – permit required	No change – no comment.
Domestic animal husbandry (other than Domestic animal boarding). <ul style="list-style-type: none"> Must be no more than 5 animals. Notes: <ul style="list-style-type: none"> no more than 5 animals (section 2) more than 5 animals (Section 3) allows breeding but not boarding 	Section 1 – no permit required: <ul style="list-style-type: none"> Must be no more than 5 animals. Notes: <ul style="list-style-type: none"> no more than 5 animals (Section 1) more than 5 animals (Section 2) allows breeding but not boarding 	Section 1 – no permit required: <ul style="list-style-type: none"> Must be no more than 2 animals. Notes: <ul style="list-style-type: none"> no more than 2 animals (Section 1) more than 2 animals (Section 2) allows breeding but not boarding 	Supported.
Industry (other than Materials recycling, Refuse disposal, and Transfer station). <ul style="list-style-type: none"> Must be used in conjunction with extractive industry. Notes: <ul style="list-style-type: none"> Materials recycling, no condition (section 2) Refuse disposal, no condition (section 2) Transfer station, no condition (section 2) <ul style="list-style-type: none"> Automated collection point (section 1 or 2) 	Section 3 - prohibited, other than: <ul style="list-style-type: none"> Materials recycling (section 2 or 3) Refuse disposal (section 2) Transfer station (section 2 or 3) <ul style="list-style-type: none"> Automated collection point (section 1 or 2) Research and development centre (section 2 or 3) Rural industry (section 2) 	Section 3 – prohibited, other than: <ul style="list-style-type: none"> Rural Industry (section 2) Notes: <ul style="list-style-type: none"> Rural Industry (Section 2) <ul style="list-style-type: none"> Abattoir (section 3) Sawmill (section 3) Materials recycling (section 3) Refuse disposal (section 3) Transfer station (section 3) <ul style="list-style-type: none"> Automated collection point (section 3) 	GWZ1 – supported. RCZ1 – conditional support. Abattoir and Sawmill are explicitly listed as prohibited in the RCZ1 and are clearly unrelated to Extractive Industry so these should remain listed separately in Section 3 to make clear they are prohibited on land currently in the RCZ1. see red text
Landscape gardening supplies. Includes: <ul style="list-style-type: none"> Garden supplies Plant nursery 	Section 3 – prohibited, other than plant nursery: <ul style="list-style-type: none"> Garden supplies (section 3) Plant nursery (section 2) 	Section 2 – permit required	GWZ1 – not supported. What is the strategic justification for introducing Section 2 Uses that are unrelated to Extractive Industry to land currently in the GWZ1 where these are prohibited? see red text RCZ1 – supported.
Leisure and recreation. Includes: <ul style="list-style-type: none"> Major sports and recreation facility <ul style="list-style-type: none"> Race course Minor sports and recreation facility <ul style="list-style-type: none"> Indoor recreation facility Informal outdoor recreation Open sports ground Outdoor recreation facility Restricted recreation facility Motor racing track. 	Section 2 - permit required, other than: <ul style="list-style-type: none"> Indoor recreation facility (section 2 or 3) Informal outdoor recreation (section 1) Major sports and recreation facility (section 2 or 3) Motor racing track (section 3) 	Section 3 – prohibited, other than: <ul style="list-style-type: none"> Informal outdoor recreation (section 1) 	GWZ1 – not supported. What is the strategic justification for introducing Section 2 Uses that are unrelated to Extractive Industry to land currently in the GWZ1 where these are prohibited? RCZ1 - Not supported. What is the strategic justification for introducing Section 2 Uses that are not related to Extractive Industry to land currently in the RCZ1 where these are prohibited?

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<p>Manufacturing sales.</p>	<p>Section 2 – permit required OR Section 3 – prohibited, if condition is not met.</p>	<p>Section 3 - prohibited</p>	<p>GWZ1 – not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are unrelated to Extractive Industry to land currently in the GWZ1 where these are prohibited? see red text</p> <p>RCZ1 - Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are not related to Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p>
<p>Materials recycling.</p>	<p>Section 2 - permit required OR Section 3 – prohibited, if condition is not met.</p>	<p>Section 3 - prohibited</p>	<p>GWZ1 - Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are unrelated to Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p> <p>RCZ1 – Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are not related to Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p>
<p>Refuse disposal.</p>	<p>Section 2 – permit required</p>	<p>Section 3 - prohibited</p>	<p>GWZ1 – supported.</p> <p>RCZ1 – Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are not related to Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p>

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<p>Transfer station (other than Automated collection point).</p> <p>Notes:</p> <ul style="list-style-type: none"> • Transfer station (section 2) • Automated collection point (section 1 or 2) 	<p>Section 2 – permit required OR Section 3 – prohibited, if condition is not met</p> <p>Notes:</p> <ul style="list-style-type: none"> o Automated collection point (section 1 or 2) 	<p>Section 3 – prohibited</p> <p>Notes:</p> <ul style="list-style-type: none"> • Transfer station (section 3) • Automated collection point (section 3) 	<p>GWZ1 - Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are unrelated to Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p> <p>RCZ1 – Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are not related to Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p>
<p>Utility installation (other than Minor utility installation).</p>	<p>Section 2 – permit required</p>	<p>Section 2 – permit required</p>	<p>GWZ1 – conditional support.</p> <p>RCZ1 – conditional support.</p> <p>To be consistent with both the GWZ1 and RCZ1 the exclusions should also include 'Telecommunications facility'.</p>
<p>Warehouse</p> <ul style="list-style-type: none"> • Must not be a purpose listed in the table to clause 53.10. 	<p>Section 3 – prohibited, other than:</p> <ul style="list-style-type: none"> • Freezing and cool storage (section 2 or 3) • Milk depot (section 2) • Rural store (section 1 or 2) • Solid fuel depot (section 2) • Vehicle store (section 2) 	<p>Section 3 – prohibited, other than:</p> <ul style="list-style-type: none"> • Freezing and cool storage (section 2) • Rural store (section 2) 	<p>GWZ1 - Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are unrelated to Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p> <p>RCZ1 – Not supported.</p> <p>What is the strategic justification for introducing Section 2 Uses that are not related to Extractive Industry to land currently in the RCZ1 where these are prohibited? see red text</p>
<p>Any other use not in Section 1 or 3.</p>			

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Section 3 – Prohibited

Proposed Use	Current Green Wedge Zone – Schedule 1 (GWZ1)	Current Rural Conservation Zone – Schedule 1 (RCZ1)	Comments
<p>Accommodation (other than caretaker’s house).</p> <p>Notes: prohibited uses include:</p> <ul style="list-style-type: none"> • Camping and caravan park. • Corrective institution. • Dwelling. • Group accommodation. • Host farm. • Residential aged care facility. • Residential building. • Residential village. • Retirement village. • Small second dwelling. 	<p>Section 3 – prohibited, other than:</p> <ul style="list-style-type: none"> • Camping and caravan park (section 2) • Group accommodation (section 2 or 3) • Host farm (section 2) • Residential building (section 2 or 3) • Small second dwelling (section 2 or 3) 	<p>Section 3 – prohibited, other than:</p> <ul style="list-style-type: none"> • Bed and breakfast (section 1 or 2) • Dwelling (section 2 or 3) • Group accommodation (section 2) • Host farm (section 2) • Residential hotel (section 2) • Small second dwelling (section 2 or 3) 	<p>GWZ1 - Supported.</p> <p>RCZ1 – supported.</p>
<p>Animal husbandry other than:</p> <ul style="list-style-type: none"> • Apiculture (Section 2) • Domestic animal husbandry, no more than 5 animals (Section 2), and • Grazing animal production (Section 1) <p>Notes:</p> <ul style="list-style-type: none"> • Animal training (Section 3) • Apiculture (Section 2) • Domestic animal boarding (Section 3) • Domestic animal husbandry <ul style="list-style-type: none"> ○ no more than 5 animals (section 2) ○ more than 5 animals (Section 3) • Grazing animal production (Section 1) • Horse husbandry (Section 3) • Intensive Animal production (Section 3) • Pig farm (Section 3) • Poultry farm (Section 3) • Poultry hatchery (Section 3) • Racing dog husbandry (Section 3) 	<p>Section 1, 2 and 3:</p> <p>Animal husbandry:</p> <ul style="list-style-type: none"> • Animal training (section 1) • Apiculture (section 2) • Domestic animal husbandry <ul style="list-style-type: none"> ○ no more than 5 animals (Section 1) ○ more than 5 animals (Section 2) ○ Dog breeding (Section 1 or 2) • Domestic animal boarding (Section 2) • Horse husbandry (section 1) • Racing dog husbandry <ul style="list-style-type: none"> ○ no more than 5 animals (section 1) ○ more than 5 animals (Section 2 or 3) ○ Racing dog training (section 1 or 2 or 3). • Animal Production: <ul style="list-style-type: none"> ○ Grazing animal production (Section 1) ○ Intensive animal production (section 2) ○ Cattle feedlot (Section 2 or 3) ○ Pig farm (Section 2) ○ Poultry farm, <ul style="list-style-type: none"> ▪ less than 100/10 birds (Section 1) ▪ more than 100/10 birds (Section 2) ○ Broiler farm (Section 1, 2 or 3) ○ Poultry hatchery (Section 2) 	<p>Section 1, 2 and 3:</p> <p>Animal husbandry:</p> <ul style="list-style-type: none"> • Animal training (section 2) • Apiculture (Section 3) • Domestic animal husbandry <ul style="list-style-type: none"> ○ no more than 2 animals (Section 1) ○ more than 2 animals (section 2) ○ Dog breeding (Section 1 or 2) • Domestic animal boarding (Section 2) • Horse husbandry (section 1) • Racing dog husbandry, <ul style="list-style-type: none"> ○ no more than 2 animals (section 1) ○ more than 2 animals (Section 2 or 3) ○ Racing dog training (section 1 or 2 or 3). • Animal Production: <ul style="list-style-type: none"> ○ Grazing animal production (Section 2) ○ Intensive animal production (section 3) ○ Pig farm (Section 2) ○ Poultry farm, <ul style="list-style-type: none"> ▪ less than 100/10 birds (Section 1) ▪ more than 100/10 birds (Section 2) ○ Broiler farm (Section 1, 2 or 3) ○ Poultry hatchery (Section 2) 	<p>GWZ1 – Supported.</p> <p>RCZ1 - Not supported.</p> <p>Apiculture is currently a Section 3 Use in the RCZ1. What is the strategic justification for introducing this Section 1 or Section 2 Use that is not needed for Extractive Industry to land currently in the RCZ1 where Apiculture is prohibited? see red text</p> <p>Domestic animal husbandry includes Domestic animal boarding, however the Section 2 listing excludes Domestic animal boarding, so this should be listed separately in Section 3 to make it clear that Domestic animal boarding is prohibited.</p> <p>Grazing animal production is currently a Section 2 Use in the RCZ1. What is the strategic justification for introducing this as-of-right use that is not needed for Extractive Industry to land currently in the RCZ1 where it requires a permit? see red text</p>

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Education centre.	Section 3 – prohibited, other than: <ul style="list-style-type: none"> • Primary school (section 2) • Secondary school (section 2) 	Section 3 – prohibited, other than: <ul style="list-style-type: none"> • Primary school (section 2) • Secondary school (section 2) 	GWZ1 – supported. RCZ1 – supported.
Funeral parlour.	Section 3 – prohibited.	Section 3 – prohibited.	GWZ1 – supported. RCZ1 – supported.
Hospital.	Section 3 – prohibited.	Section 3 – prohibited.	GWZ1 – supported. RCZ1 – supported.
		Industry (section 3), other than: Rural Industry (Section 2): <ul style="list-style-type: none"> ○ Abattoir (section 3) ○ Sawmill (section 3) 	RCZ1: Abattoir and Sawmill are explicitly listed as prohibited in the RCZ1 and are unrelated to Extractive Industry so these should be listed separately in Section 3 to make clear they are prohibited.
Office.	Section 3 – prohibited.	Section 3 – prohibited.	GWZ1 – supported. RCZ1 – supported.
Place of assembly.	Section 2 & 3 – permit required, other than: <ul style="list-style-type: none"> • Carnival (section 2 or 3) • Cinema (section 3) • Circus (section 2 or 3) • Exhibition centre (section 2) • Function centre (section 2 or 3) • Hall (section 2) • Nightclub (section 3) • Place of worship (section 2) 	Section 3 – prohibited, other than: <ul style="list-style-type: none"> • Carnival • Circus 	GWZ1 – supported. RCZ1 – supported.
Retail premises, other than: <ul style="list-style-type: none"> • Landscape gardening supplies (section 2) <ul style="list-style-type: none"> ○ Garden supplies (section 2) ○ Plant nursery (section 2) • Manufacturing sales (section 2) 	Section 3 – prohibited, other than: <ul style="list-style-type: none"> • Manufacturing sales (section 2 or 3) • Market (section 2) • Plant nursery (section 2) • Primary produce sales (section 1 or 2) • Restaurant (section 2 or 3) Notes: <ul style="list-style-type: none"> • Garden supplies (section 3) 	Section 3 – prohibited, other than: <ul style="list-style-type: none"> • Landscape gardening supplies (section 2) • Market (section 2) • Primary produce sales (section 2) • Restaurant (section 2) 	GWZ1 – not supported. What is the strategic justification for introducing Section 2 Uses that are unrelated to Extractive Industry to land currently in the GWZ1 where these are prohibited? see red text RCZ1 – supported.

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Saleyard.	Section 2 – permit required	Section 2 – permit required	GWZ1 – supported. RCZ1 – supported.
Service station.	Section 3 – permit required	Section 2 – permit required	GWZ1 – supported. RCZ1 – supported.
Transport terminal.	Section 2 – permit required	Section 3 – permit required	GWZ1 – supported. RCZ1 – supported.
Veterinary centre.	Section 2 – permit required	Section 2 – permit required	GWZ1 – supported. RCZ1 – supported.

Subclause 2.0 - Use of Land

Decision guidelines

No comment

Subclause 3.0 – Subdivision

Request 21: It is requested that the permit requirement be amended to include the following wording:

“A permit must not be granted which would allow a separate lot to be created for land containing an existing small second dwelling.”

The current GWZ1 and RCZ1 include a permit requirement for subdivision to ensure that a separate lot is not created for a Small second dwelling. It is acknowledged that a Small second dwelling would be a prohibited use under the proposed SUZ8, however, there is a possibility that a Small second dwelling could already exist on the land.

Decision guidelines

No comment

Subclause 4.0 - Buildings and Works

Decision guidelines

No comment

Subclause 5.0 - Signs

No comment

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K. Clause 44.07 State Resources Overlay

No comments

L. Proposed Schedule 1 to Clause 44.07 State Resources Overlay (SR01)

Request 22: It is requested that:

- The proposed SR01 is not applied to:
 - Land on the western side of South Gippsland/Bass Highway in the Rural Conservation Zone (RCZ1) due to its conservation values and its proximity to the environmentally important and internationally significant Ramsar wetlands of Westernport Bay.
 - Land within the Environmental Significance Overlay – Schedule 3 (ES03) due to the identified environmental values.

Subclause 1.0 Statement of resource significance

No comment

Subclause 2.0 Management objectives

No comment

Subclause 3.0 Use of land

No comment

Subclause 4.0 Subdivision

Request 23: It is requested that the permit requirement be amended to delete the second sentence which states:

“This does not apply if each lot created by the subdivision is at least 40 hectares.”

This sentence contradicts the subdivision requirement of the current GWZ1 and RCZ1 and the proposed SUZ8. This sentence should be deleted as it only creates confusion and adds no value.

Subclause 5.0 Buildings and works

No comment

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Subclause 6.0 Application requirements

Request 24: It is requested that application requirements be included for quarry proposals to demonstrate adequate consideration and response to the various environmental issues that Council has identified.

Council has identified numerous environment issues that require detailed analysis and response before application of the SRO1 can be adequately justified. These investigations are highly likely to reveal environmental issues that need to be addressed by new quarry proposals.

Subclause 7.0 Referral of applications

No comment

Subclause 8.0 Exemption from notice and review

Request 25: It is requested that the proposed SRO1 is amended to ensure the Notice, Decision and Review rights are not removed from the Lang Lang community or Council when any new or expanded quarries are proposed.

The proposed SRO1 seeks to remove the current Notice, Decision and Review Rights held by the community and Council under the Planning and Environment Act 1987. So, it is particularly concerning that detailed documentation and technical assessments have not been exhibited for public examination to demonstrate the necessary strategic justification usually required when Notice, Decision and Review Rights are proposed to be removed.

Subclause 9.0 Decision guidelines

Request 26: It is requested that an assessment of the Cardinia Shire Council's Biolink Plan 2023-33 is conducted to inform the decision guidelines of the proposed SRO1, existing SRO2 and proposed SRO3.

Please see discussion above in 'Section F Biodiversity' under the heading 'Biolink/Wildlife Corridor considerations'.

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M. Proposed Schedule 3 to Clause 44.07 State Resources Overlay (SR03)

Subclause 1.0 Statement of resource significance

No comment

Subclause 2.0 Management objectives

No comment

Subclause 3.0 Use of land

No comment

Subclause 4.0 Subdivision

Request 27: It is requested that the permit requirement be amended to delete the second sentence which states:

"This does not apply if each lot created by the subdivision is at least 40 hectares."

This sentence contradicts the subdivision requirement of the current GWZ1 and RCZ1 and the proposed SUZ8.

This sentence should be deleted as it only creates confusion and adds no value.

Subclause 5.0 Buildings and works

No comment

Subclause 6.0 Application requirements

No comment

Subclause 7.0 Referral of applications

No comment

Subclause 8.0 Exemption from notice and review

No comment

Subclause 9.0 Decision guidelines

Request 28: It is requested that an assessment of the Cardinia Shire Council's Biolink Plan 2023-33 is conducted to inform the decision guidelines of the proposed SR01, existing SR02 and proposed SR03.

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Please see discussion above in 'Section F Biodiversity' under the heading 'Biolink/Wildlife Corridor considerations'.

N. Clause 66.06 – Notice of permit applications under local provisions

Request 29: It is requested that the proposed SUZ8 and SR01 are amended to ensure the Notice, Decision and Review rights are not removed from the Lang Lang community or Council when any new or expanded quarries are proposed.

The proposed planning scheme amendment seeks to remove Notice, Decision and Review rights from the Lang Lang community and all other parties except those listed in Clause 66.06. In this case Clause 66.06 is amended to ensure relevant Aboriginal Groups are given Notice, Decision and Review Rights. As discussed earlier in this submission, the proposed planning scheme amendment has not provided adequate strategic justification to remove notice, decision and Review rights from the Lang Lang community or Council.

END

7.2 General Reports

7.2.1 Proposed Engagement Strategy for the Council Plan and Integrated Planning 2025

Responsible GM: Wayne Mack
Authors: Owen Hardidge, Emma Wilkinson and Porshia Sidhu

Recommendation(s)

That Council:

1. Commences community engagement in accordance with the *Local Government Act 2020* (the Act), to:
 - (a) Facilitate the review of the Community Vision 2040, in accordance with Section 88 of the Act,
 - (b) Support the development of a Council Plan 2025-2029, Financial Plan 2025-2035 and Asset Plan 2025-2035 in accordance with Sections 90 - 92 of the Act, and
 - (c) Support the review of the Liveability Plan 2017-2029 in accordance with Section 26 of the *Public Health and Wellbeing Act 2008*.
2. Endorses the integrated engagement approach outlined in this report.

Executive Summary

Part 4 of the *Local Government Act 2020* sets out the requirement of each Council to prepare a range of strategic plans within 12 months of the general Council election. Council must:

- a) Maintain a Community Vision that “must describe the municipal community’s aspirations for the future of the municipality” with a scope of “at least the next 10 financial years” (Section 88) and either develop or review this plan by 31 October in the year following the election, and
- b) Prepare and adopt a Council Plan, setting out the strategic direction, objectives, strategies, initiatives and priorities for at least the next 4 financial years, adopted by 31 October following an election (section 90), and
- c) Develop, adopt and keep in force a Financial Plan (section 91) and Asset Plan (Section 92) with a scope of at least 10 financial years, which reflect the resources required to give effect to the Council Plan and other strategic documents.

To prepare these documents, Council must undertake deliberative community engagement in accordance with the adopted Engagement Policy.

This report outlines a proposed community engagement process has been developed to ensure that diverse community views are at the forefront as Council sets its strategic direction for the term and the next decade.

The proposed engagement approach outlined in this report has been informed by initial Councillor feedback, and multiple Councillor workshops are scheduled throughout the extended program (see *Timing and key dates – overview* in the attached summary document).

Local Government Act 2020 requirements in preparation of Council Plan, and other Strategic Planning documents

Part 4 of the *Local Government Act 2020* sets out the requirement of each Council to prepare a range of strategic plans within 12 months of the general Council election. Council must:

- a) Maintain a Community Vision that “must describe the municipal community’s aspirations for the future of the municipality” with a scope of “at least the next 10 financial years” (Section 88) and either develop or review this plan by 31 October in the year following the election, and
- b) Prepare and adopt a Council Plan, setting out the strategic direction, objectives, strategies, initiatives and priorities for at least the next 4 financial years, adopted by 31 October following an election (section 90), and
- c) Develop, adopt and keep in force a Financial Plan (section 91) and Asset Plan (section 92) with a scope of at least 10 financial years, which reflect the resources required to give effect to the Council Plan and other strategic documents.

To prepare these documents, Council must undertake deliberative community engagement in accordance with the adopted Engagement Policy.

In a similar vein, Council must prepare a Municipal Public Health and Wellbeing Plan within 12 months of the election of Council, and this must “provide for the involvement of people in the local community in the development, implementation and evaluation” of the plan. This plan must be “consistent with the Council Plan”. (Section 26, *Public Health and Wellbeing Act 2008*)

The *Local Government Act 2020* envisages that these documents will be developed and implemented in an integrated and consistent way, that provides for ongoing monitoring and regular review. The legislated process ensures that the community aspirations are regularly reviewed in the cadence of Council terms, and are a pre-requisite to the development of Councils’ strategic planning.

The approach described in this report was prepared by Insync, as consultants with significant experience in designing and facilitative deliberative engagement on behalf of public authorities. Insync have been guided by a co-ordinated core of senior subject matter leads across Council.

The approach described in this report was designed to meet the following objectives:

- a) To be fully compliant with the requirements and intentions of the Strategic Planning Principles and other requirements of the *Local Government Act 2020*, and
- b) To meaningfully engage a community panel in an effective and co-ordinated program of deliberative engagement that supports the development of all Strategic Plans in an integrated and efficient manner, and
- c) To ensure that the community can provide informed and meaningful information and recommendations to inform Councils’ strategic policy setting.

Overview of engagement approach

This report provides a summary of the methods proposed to support the community to contribute to the development of the priorities in the 2025-2029 Council Plan. To ensure that the Council Plan priorities for the next four years can continue to align with the community's priorities, a program of activities will be utilised to talk with, and hear from, the diverse voices within Cardinia Shire.

The bulk of activities undertaken in this engagement process will be facilitated by engagement practitioners who are independent of Council. This is a deliberate choice, and helps to ensure that the diversity of opinion within the community is garnered and presented without bias. The engagement approach fully satisfies the requirements for deliberative engagement and processes, by use of an informed, representative Community Panel as a key input to the process.

The use of independent expert consultants also ensures that Council's activities benefit from their recent and frequent experience of drawing large numbers of diverse voices into the process. These activities are proposed to run from February to July 2025.

The approach has been designed to include multiple workshops with Councillors, input from Council staff and multiple stages of broad community engagement. The approach has been adapted, following initial feedback from Councillors.

Throughout the different phases of the engagement process, community feedback will be published on Council's community engagement website 'Creating Cardinia'. This will ensure transparency and understanding of how the recommendations and priorities are arrived at, and allow for contributing community members to understand how their feedback influences the outcomes.

A holistic communication strategy will be developed, using consistent "Future Cardinia" branding and design.

Detail of proposed engagement approach

Information on the proposed engagement approach is set in the Attachments to this report.

The following summary is consistent with Council's Community Engagement Policy 2021-2024, as required by the Engagement Principles set out in Section 56 of the *Local Government Act 2020*.

The Community Engagement Principles are addressed through the following:

Engagement Scope

The scope of the engagement is to inform the:

- a) Review of the Community Vision 2020-2040, and
- b) Development and adoption of the Council Plan 2025-2029, and
- c) Review and adoption of the Financial Plan 2025-2035, and
- d) Review and adoption of the Asset Plan 2025-2035, and
- e) Review of the Municipal Public Health and Wellbeing Plan, known as the Liveability Plan 2017-2029

Engagement Goals

The goals that have guided the design of this engagement are:

- a) Minimises the barriers to people participating in the process and,
- b) Allow meaningful participation from a range and volume of individuals and stakeholder groups that represent our diverse community.

Project Objectives

The project objectives for this engagement process include:

- a) for the community to achieve a greater understanding of the financial challenges faced by Council in meeting the diverse needs of its growing community
- b) for Council and community to work together to help set priorities for the next four years to meet the Community Vision
- c) to support a deeper understanding of the services Council supports in the municipality and to enable open feedback on the community priorities for this work.

- d) to achieve a diversity of engagement across Cardinia Shire, seeking and obtaining a wide variety of voices and opinions
- e) ensure that the process is transparent, and community can see how their feedback informs decision making (closing the loop)
- f) assist the community to be more aware of how they can engage with the Council in the future and encourage future participation.

Methodology

The approach to engagement will start with detailed discussions with a 'deliberative' or representative community panel, followed by multiple engagements with broader community through two stages, as key concepts priorities are being developed.

Deliberative Panel – reviewing the long-term community aspirations, and articulating the community's priorities, and to seek specific insight from the community on complex issues that need resolving to progress the Community Vision.

Stage 1 The panel's recommendations to be considered by Councillors to arrive at draft Council Plan priorities, which can then be tested with the broader community through structured, broad engagement tools.

Stage 2 Broad engagement on the advanced draft of the key documents. This will form part of the information used to refine the draft Council Plan, Liveability Plan and its 10-year Asset and Financial Plans.

The engagement activities have been designed with our diverse community in mind, utilising a mixture of online, print and in-person opportunities for community members to participate.

Proposed method and remit of the Deliberative / Representative Panel (February 2025)

The deliberative engagement process allows participants a substantial amount of time to deeply understand, consider and debate issues to produce recommendations on some of the challenges that Council needs to resolve to achieve the Community Vision.

The deliberative panel will consist of 45 members that proportionately reflect the breakdown of gender, age, geography, language and household makeup. Recruitment for the panel will be conducted externally to Council to avoid selection bias.

The deliberative panel will participate in 4 workshop sessions held in February 2025.

The proposed 'remit' of the deliberative panel is set out in Table 1 below. The remit includes a clear 'problem statement' and specified 'outputs'. The remit also includes a commitment to the Panel, as to how their outputs will be used, indicated by use of the IAP2 engagement terminology.

The outputs of the Deliberative Panel have been refined following Councillor feedback. The framing of the output questions is seeking to balance the level of detailed consideration that the panel will be able to effectively give in the time available. Outputs #3 and #4 are designed to probe the community views regarding service and budget priorities, particularly in light of the challenging financial pressures facing Council. Where the outputs are expressed in broad terms, the discussions will be carefully considered, and specific hypothetical scenarios presented to the panel, from which broader conclusions or recommendations can be developed.

To support the deliberative panel, Council has prepared a Service Guide, to help panel members understand the breadth of Council services, the purpose of each service and the investment that Council currently makes in each service.

Table 1: Remit for the deliberative panel

<p>Problem statement</p>	<p>Council is committed to meeting the needs of our diverse and growing community.</p> <p>We're facing financial pressures that require careful investment choices.</p> <p>How should Council deliver for the community while continuing to manage our finances responsibly?</p>	
<p>Output #1 Review Community Vision & inform Council Plan</p>	<p>Confirmed Community Vision</p> <p>The panel will confirm that the vision continues to articulate the long-term aspirations of the community (to 2040), and changes are adopted if needed.</p>	<p>IAP2 level: Empower</p> <p>Council's promise to the panel is that any changes to the Community Vision will be adopted and will not be changed by council</p>
<p>Output #2: Inform the Council Plan and Liveability Plan</p>	<p>Guidance on what Council should focus on over the next four years</p> <p>The panel will provide guidance on what Council should focus on over the next four years to achieve the vision.</p> <p>Through this activity the panel will also be asked to think about how the Council will know if they are doing well.</p>	<p>IAP2 level: Involve</p> <p>Council's promise to the panel is that their guidance will be strongly considered and reflected where possible in the final strategic documents.</p>
<p>Output #3: Inform the Council Plan and Financial Plan</p>	<p>Guidance on continuing to manage Council's finances responsibly</p> <p>The Panel will answer the following questions:</p> <ol style="list-style-type: none"> 1. If you had to choose between Council rate rises above the state legislated rate cap to maintain local services, or cuts in Council services to save money, what would you choose? 2. Should Council ask the users of Council facilities to pay more to cover the cost of those facilities? 3. Should Council pursue revenue through commercial choices and investments? 	<p>IAP2 level: Involve</p> <p>Council's promise to the panel is that their guidance will be strongly considered and reflected where possible in the final strategic documents.</p>
<p>Output #4:</p>	<p>Guidance on how Council makes investments in assets</p>	<p>IAP2 level: Involve</p>

<p>Inform the Asset Plan</p>	<p>The panel will answer the following questions:</p> <ol style="list-style-type: none"> 1. How should Council invest in assets over the next 10-years to achieve the Community Vision? 2. How can we ensure Councils decisions are fair and balanced across different community needs? 3. What should Council’s approach be if there are assets that are underutilised, have excessive ongoing costs, or are over the Agreed Level of Service? 	<p>Council's promise to the panel is that their guidance will be strongly considered and reflected where possible in the final strategic documents.</p>
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Following the panel workshops, the panel’s findings will be presented and considered by Councillors and staff before Council Plan priorities are presented to the broader community and other relevant stakeholders. This will be to ‘test’, by further engagement and input, Council’s draft priorities. These engagement activities will include a marketing campaign to promote the opportunity to participate in a survey, interactive online tools, and pop-up activities in the community.

At the completion of this stage of engagement, a consolidated report will be prepared for the Council to inform the development of the new draft Council Plan and any revisions to its Community Vision. These findings will also assist Council to finalise its Long-Term Financial Plan, Asset Plan and Liveability Plan. The draft Council Plan and other Strategic documents is expected to be released for public exhibition in the second half of 2025, to be considered for adoption at the Ordinary Council meeting in September 2025.

This engagement timeline has also taken into account the statutory budget preparation timelines, and engagement. These activities will also be carefully planned so as to avoid confusion, though it is inevitable that there will be overlap between these processes.

Financial and Resource Implications

In the 2024-25 budget, \$200,000 was allocated for the development of the Integrated Strategic Documents. In-house staff resources will be used to limit expenditure. The majority of the allocated budget will be expended on those parts of the project that most benefit from external resourcing, namely:

- consultancy to design and facilitate deliberative engagement independent of Council
- advertising, graphic design and publication associated with the engagement stages and final production of documents, and
- where the internal teams require additional support, due to workload and staffing pressures.

The project remains on track with respect of budget.

Task	Item budget	Total
Engagement phase: planning and implementation	\$150,000	
Communications and advertising	\$20,000	

Data analysis, report development and finalisation.	\$30,000	
Total budget		\$200,000

Relevance to Council Plan

5.1 We practise responsible leadership

5.1.1 Build trust through meaningful community engagement and transparent decision-making.

Climate Emergency Consideration

No climate emergency considerations are required for this project.

Consultation/Communication

Meaningful community participation plays a vital part in enhancing the development of Council's strategic plans. Council will use its communications and engagement strategies to engage with as many community members as possible during 2025 as the Integrated Strategic Planning documents are developed.

The proposal outlined above complies with the *Local Government Act 2020* and implements the Council's Community Engagement Policy.

The following groups are being asked to assist and actively promote the opportunity to their be involved in these engagement processes:

- Access and Inclusion Advisory Group
- Cardinia Youth Action Group
- Multicultural Advisory Group
- LGBTIQ+ Internal Action Group
- Cardinia Seniors Group
- Response Taskforce and Action team
- Cardinia Interfaith Network
- Cardinia Community Leaders Academy
- Cardinia Women and Girl Sports Participation Network

Conclusion

The *Local Government Act 2020* requires Council to undertake deliberative and broad community engagement when reviewing and adopting its strategic priorities and plans within a 12-month period of a Council election.

The proposal recommended in this report will transparently share Council's challenges for the coming Council term, and actively involve the community in helping to navigate through those challenges.

This report recommends an approach to achieve this, within the required timeframes and existing budget allocation, and fully complying with all *Local Government Act 2020* requirements.

Attachments

1. Council Plan & Integrated Strategic Planning Deliberative Engagement Approach [7.2.1.1 - 14 pages]

2. Draft Council Plan Community Engagement Summary - Council Plan 2025-2029 [7.2.1.2 - 1 page]
3. Cardinia Shire Council - Service Guide 2024-25 [7.2.1.3 - 64 pages]

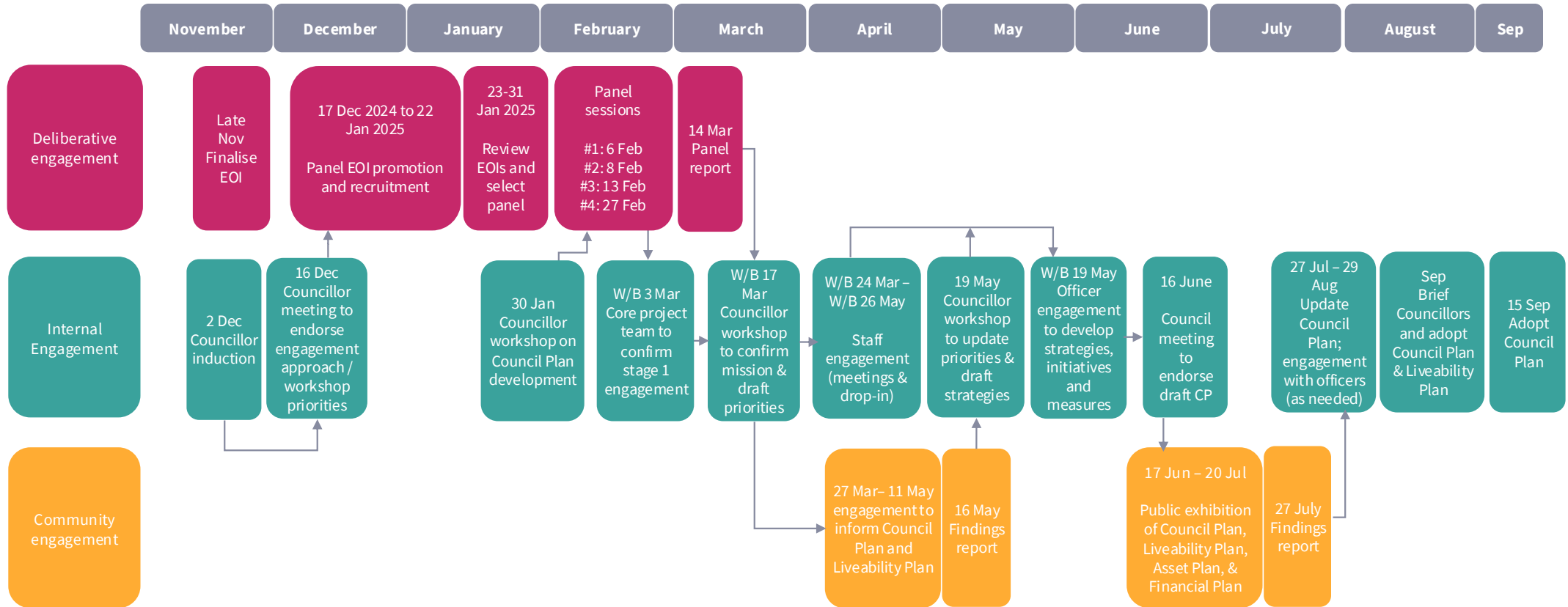
Proposed Approach: Deliberative Engagement

Councillor Induction
Monday 2 December 2024
10.00am – 12.00pm



Success. Mapped.

Timing and key dates – overview



Deliberative engagement



Output #1: Review Community Vision & inform Council Plan

Council is committed to meeting the needs of our diverse and growing community.

We're facing financial pressures that require careful investment choices.

How should Council deliver for the community while continuing to manage our finances responsibly?

Confirmed Community Vision

The panel will confirm that the vision continues to articulate the long-term aspirations of the community (to 2040), and changes are adopted if needed.

IAP2 level: Empower

Council's promise to the panel is that any changes to the Community Vision will be adopted and will not be changed by council

Output #2: Inform the Council Plan and Liveability Plan

Council is committed to meeting the needs of our diverse and growing community.

We're facing financial pressures that require careful investment choices.

How should Council deliver for the community while continuing to manage our finances responsibly?

Guidance on what Council should focus on over the next four years

The panel will provide guidance on what Council should focus on over the next four years to achieve the vision.

Through this activity the panel will also be asked to think about how the Council will know if they are doing well.

IAP2 level: Involve

Council's promise to the panel is that their guidance will be strongly considered and reflected where possible in the final strategic documents.

Output #3: Inform the Council Plan and Financial Plan

Council is committed to meeting the needs of our diverse and growing community.

We're facing financial pressures that require careful investment choices.

How should Council deliver for the community while continuing to manage our finances responsibly?

Guidance on continuing to manage Council's finances responsibly

The Panel will answer the following questions:

1. If you had to choose between Council rate rises above the state legislated rate cap to maintain local services, or cuts in Council services to save money, what would you choose?
2. Should Council ask the users of Council facilities to pay more to cover the cost of those facilities?
3. Should Council pursue revenue through commercial choices and investments?

IAP2 level: Involve

Council's promise to the panel is that their guidance will be strongly considered and reflected where possible in the final strategic documents.

Output #4: Inform the Asset Plan

Council is committed to meeting the needs of our diverse and growing community.

We're facing financial pressures that require careful investment choices.

How should Council deliver for the community while continuing to manage our finances responsibly?

Guidance on how Council makes investments in assets

The panel will answer the following questions:

1. How should Council invest in assets over the next 10-years to achieve the Community Vision?
2. How can we ensure Councils decisions are fair and balanced across different community needs?
3. What should Council's approach be if there are assets that are underutilised, have excessive ongoing costs, or are over the Agreed Level of Service?

IAP2 level: Involve

Council's promise to the panel is that their guidance will be strongly considered and reflected where possible in the final strategic documents.

Proposed panel sessions

The panel will come together in-person or online four times on the following dates:

Session	Date, time and format
Session #1: Welcome session, setting the scene and starting to deliberate	Thursday 6 February 6.00-8.30pm (online)
Session #2: Confirming the community vision themes and initial thinking on Council’s four-year focus	Saturday 8 February 9.30am-4.00pm (in-person)
Session #3: Final guidance on Council’s four-year focus and developing draft guidance for Asset Plan	Thursday 13 February 6.00-9.00pm (online)
Session #4: Final guidance for Asset Plan	Thursday 27 February 6.00-9.00pm (in-person)

The question to provide guidance on continuing to manage Council’s finances responsibly will be asked ahead of and throughout the panel sessions via a survey and group discussion to understand changes following presentations from Council and discussions with panel members.

Each panel member will receive a \$200.00 stipend at the end of the panel process

We are also offering support to help people participate.



Internal engagement



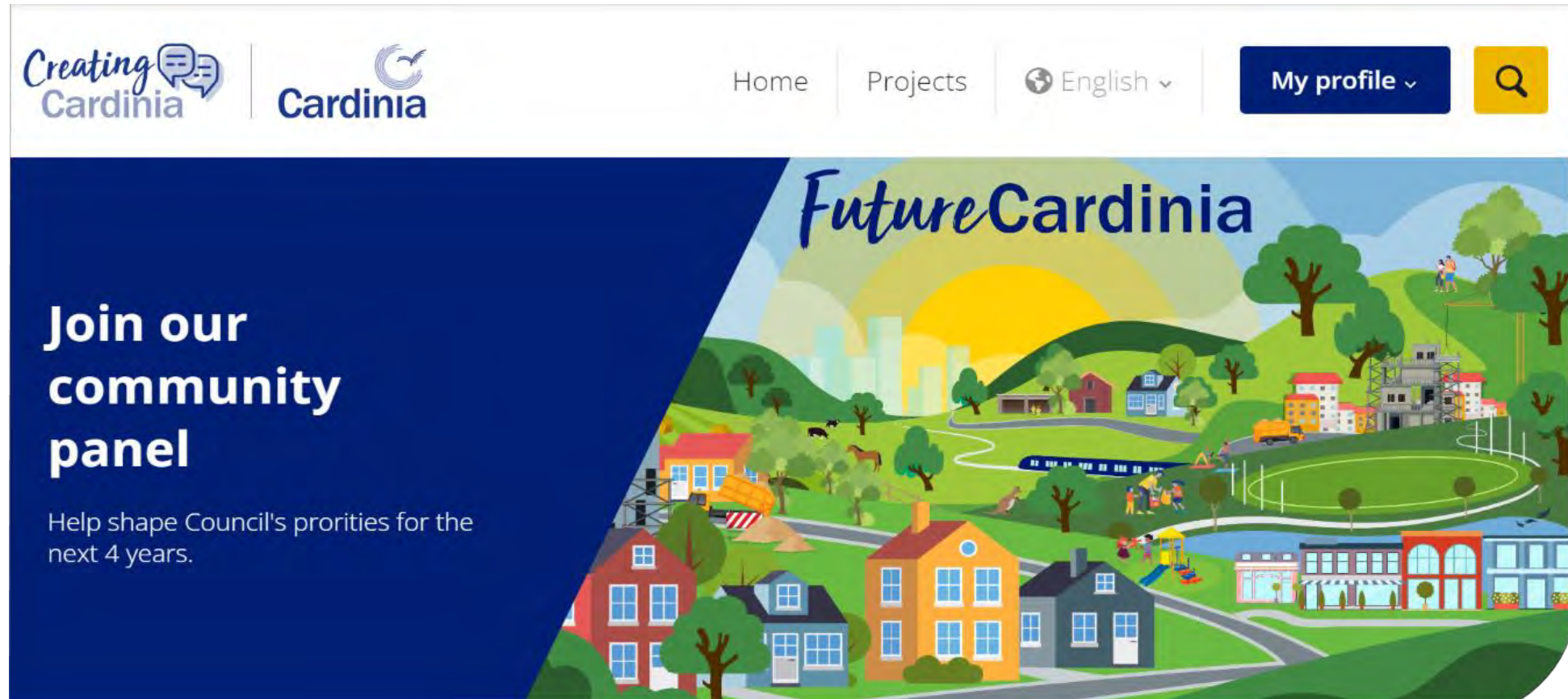
Proposed workshops and activities to develop Council Plan

<p>Workshop #1: Council Plan, aspirations and mission</p>	<p>Workshop #2: Council Plan and Panel considerations, draft priorities</p>	<p>Workshop #3: Council Plan aspirations and priorities</p>	<p>Staff engagement W/B 24 March to W/B 12 May 2025</p>	<p>Workshop #4: Council Plan update priorities and draft strategies</p>	<p>Workshop #5: Draft strategies, initiatives and measures</p>	<p>Staff engagement W/B 26 May to W/B 9 June 2025</p>	<p>Staff engagement 27 Jul to 29 Aug 2025</p>
<p>Attendees: Councillors Date: 16 Dec 2024 Time: ~1hr</p>	<p>Attendees: Councillors Date: 30 Jan 2025 Time: ~2-hours</p>	<p>Attendees: Councillors Date: 17 March 2025 Time: ~2.5-hours</p>	<p>Overview</p> <ul style="list-style-type: none"> • Raise awareness and get early buy-in • Drop-in sessions and 1:1 conversations • Collect information to inform workshop #3 	<p>Attendees: Councillors Date: 19 May 2025 Time: ~3-hours</p>	<p>Attendees: Coords/Mngrs/GMs Date: W/B 19 May 2025 Time: ~4.5-hours</p>	<p>Overview</p> <ul style="list-style-type: none"> • 1:1 conversations • Refine strategies and initiatives ahead of Stage 2 community engagement • Consideration of GIA 	<p>Overview</p> <ul style="list-style-type: none"> • 1:1 conversations • Refine strategies, initiatives and measures following stage 2 engagement • Review of all documents to align with Council Plan
<p>Workshop overview</p> <ul style="list-style-type: none"> • Confirming structure of Council Plan • Discussing Councillor aspirations 	<p>Workshop overview</p> <ul style="list-style-type: none"> • Discussing Councillor aspirations • Drafting Council's mission 	<p>Workshop overview</p> <ul style="list-style-type: none"> • Update on the panel outputs • Confirm Council Plan structure • Re-confirm aspirations for next 4-years • Identify core themes across aspirations to guide the priorities • Understand what to test / seek further input from community via stage 1 engagement 		<p>Workshop overview</p> <ul style="list-style-type: none"> • Update Councillors on stage 1 engagement findings • Finalise priorities for Council Plan • Start to develop initial thinking on strategies under each of the priorities 	<p>Workshop overview</p> <ul style="list-style-type: none"> • Update on Councillor workshop outcomes and Plan structure • Provide an update on the community engagement • Develop strategies under each of the priorities • Develop the initiatives and measures • Consideration of GIA 	<p>Draft Council Plan 19 May to 9 June 2025</p> <ul style="list-style-type: none"> • Insync to develop the draft Council Plan (or elements of) suitable for public exhibition • Council meeting 16 June <p>17 Jun – 20 Jul Public exhibition</p>	<p>Final Council Plan Sep 2025</p> <ul style="list-style-type: none"> • Insync to finalise the Council Plan suitable for Councillors • Council meeting 15 Sep

Community engagement



Illustration and Branding – Creating Cardinia



Wider engagement objectives

Stage 1: Inform Council and Liveability plans

- To **increase community awareness** of the Council Plan, Liveability Plan, and Community Panel process by sharing relevant information broadly across Cardinia.
- To **engage a diverse range of community voices** to gather input and understand reactions to the Community Panel's outputs and Councillor priorities.
- To **involve the community in key decisions** related to the development of the Council Plan and Liveability Plan, ensuring their input is considered.
- To mitigate reputational risk by **transparently sharing Council's challenges** and actively seeking community feedback to shape the Council Plan and Liveability Plan.
- To engage a diverse range of community voices to gather input on the Liveability Plan Framework

Stage 2: Public exhibition of Council and Liveability plans

- To **increase community awareness** of the Council Plan and Liveability Plan, and how community engagement has shaped their development.
- To **engage a diverse range of community voices** to gather input and feedback on the Council Plan and Liveability Plan through a public exhibition process.
- To **involve the community in decision-making** by seeking feedback on the draft Council Plan and Liveability Plan to inform final revisions.
- To mitigate reputational risk by **transparently sharing the process** to develop the Council Plan and Liveability Plan and actively **seeking community feedback to finalise** them.

Two stages of wider community engagement

Stage 1: Engagement to inform Council Plan and Liveability Plan

27 Mar – 11 May 2025

- Creating Cardinia
- Social media
- Emails and EDMs
- Survey
- Pop-ups
- Briefings / meetings
- Interviews

Stage 2: Public exhibition of Council Plan and Liveability Plan

17 June – 20 July 2025

- Creating Cardinia
- Social media
- Emails and EDMs
- Survey
- Briefings / meetings
- Interviews

OFFICIAL - This document is a record of a Council decision or action and MUST be stored to SharePoint or a Corporate system.

Cardinia Shire Council




Council Plan Community Engagement Summary



To inform the 2025-2029 Council Plan, 10 Year Financial Plan, Asset Plan and Liveability Plan







Deliberative Engagement

December – February 2025

-  Recruitment of a representative community panel that develops recommendations for Council on Council's priorities.
-  Four deliberative panel workshops in February 2025
-  Regular updates to community on progress & outcomes of community engagement activities through Creating Cardinia website.

Broad Engagement

April – May 2025

-  Promotion of the Creating Cardinia website that includes engagement opportunities, locations & FAQs on the draft priorities.
-  In person pop-ups at local events and popular locations to enable a wide range of people to contribute their perspectives.
-  Online community survey that will be made available in print to understand community sentiment.
-  Dedicated engagement with community networks, businesses and groups.
-  Promotion through social media, DLs/posters, advertorials, Connect, newsletters, DLs.
-  Engaging with Council's advisory committees and networks.

Draft Plans developed for public exhibition in June/July 2025

Cardinia Shire Council

Service Guide 2024-25

Contact Cardinia Shire Council
1300 787 624 | www.cardinia.vic.gov.au



Acknowledgement of Country



Cardinia Shire Council acknowledges the Bunurong and Wurundjeri people as the traditional custodians of the lands of Cardinia Shire. Council pays its respects to elders past and present, recognising their role in continuing traditions, knowledge, language and culture for over 65,000 years.

Cardinia Shire's name is derived from the Kulin word 'Kar-din-yarr', meaning 'look to the rising sun' or 'sunrise'. Council's logo, which includes a motif of the rising sun, reflects this meaning.

Council continually works to strengthen relationships and progress reconciliation through the delivery of actions developed in partnership with our Traditional Owners and First Nations community.



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Introduction

Located on the fringe of Melbourne and covering an area of 1280km², Cardinia Shire is one of the fastest growing local government areas in Victoria and boasts a dynamic and diverse community. From the foothills of the Dandenong Ranges to our productive agricultural land and vibrant growth areas, Cardinia Shire is a liveable shire that is rich in natural assets.

Demand on our community infrastructure and services continues to grow along with our population, with more than 135,000 people now calling Cardinia Shire home.

Council provides a broad range of services, programs and activities and delivers many infrastructure renewal and development projects for the benefit of our growing community. This includes everything from family and children's services, to maintaining community infrastructure such as parks, reserves, open spaces, community facilities and waste management. Other areas of responsibility include business development, ensuring accountability for Council's Budget and planning for new developments.

We are proud to work with all members of the community – from newborn babies and families to seniors and culturally diverse residents – and across business, industry, and non-profit organisations.

Council is committed to delivering quality services and projects for our community, to ensuring transparency and working within the constraints of limited revenue sources. As part of our annual budget process, we strive to balance our response to financial challenges while prioritising the efficient delivery of existing services and infrastructure as well as delivering a range of new projects to help achieve our community's vision.

This Service Guide provides an overview of the 46

services Council provides, including why we deliver each service and who benefits from them.

In 2025, Council will seek community input to inform the new Council Plan, Liveability Plan (Municipal Public Health and Wellbeing Plan), Asset Plan, Long Term Financial Plan and annual budget to guide Council's priorities and service delivery in coming years.

The operating income and expenditure provided in this document may vary from other budget documents, due to the methodology used to prepare the service profiles in this guide. The services listed may include contributions from other departments where service costs are allocated across multiple departments. Similarly, the services may not include some expenses, such as depreciation, leases and other corporate costs.

As we continue to improve our service planning over the coming years, we will continue to review and update this document.



Overview of services

Community and Planning Services

<p>Active and Connected Communities</p> <ul style="list-style-type: none"> Aquatic and Leisure Social Infrastructure Planning Connected Communities Early Years Library Parks Planning Sports and Active Recreation 	<p>Arts, Advocacy and Economy</p> <ul style="list-style-type: none"> Advocacy Arts and Creative Industries Economic Development 	<p>Community and Family Services</p> <ul style="list-style-type: none"> Community Safety and Inclusion Health and Social Planning Maternal and Child Health Youth Services 	<p>Planning and Design</p> <ul style="list-style-type: none"> Growth Area Planning and Subdivisions Statutory Planning Strategic Planning and Urban Design 	<p>Regulatory Services</p> <ul style="list-style-type: none"> Compliance Services Emergency Management Environmental Health
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Corporate Services

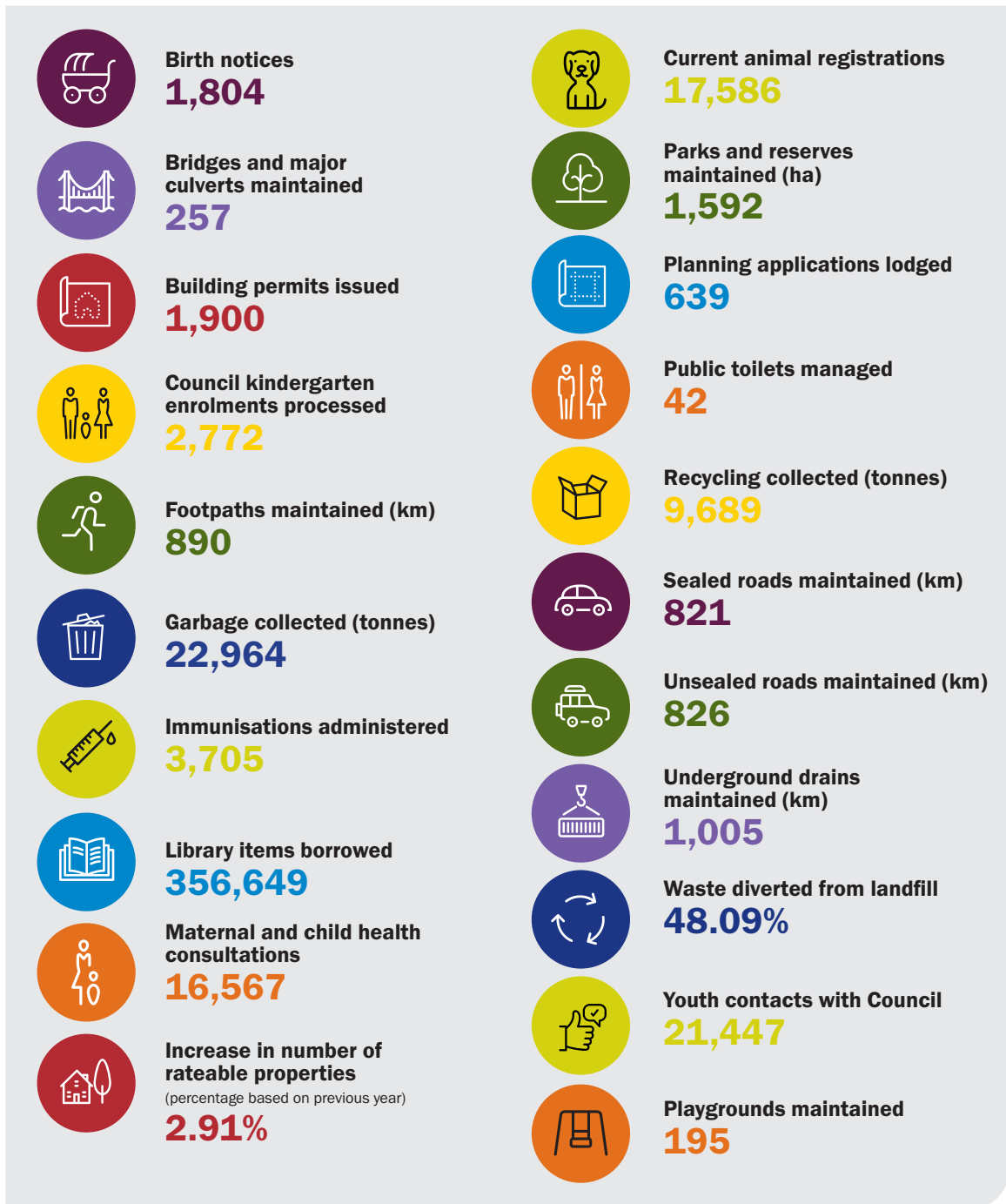
<p>Business Transformation and Customer</p> <ul style="list-style-type: none"> Customer Support Performance and Improvement 	<p>Communications and Engagement</p> <ul style="list-style-type: none"> Communications Engagement 	<p>Finance</p> <ul style="list-style-type: none"> Corporate Financials, Finance Management and Purchasing Rates and Revenue Services 	<p>Governance, Mayor and Councillors</p> <ul style="list-style-type: none"> Mayor and Councillors Property Services Risk, Health and Safety 	<p>Information Technology</p> <ul style="list-style-type: none"> Information Services 	<p>People and Culture</p> <ul style="list-style-type: none"> People and Culture
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Infrastructure and Environment

<p>Buildings and Facilities</p> <ul style="list-style-type: none"> Building Project Delivery Facilities Maintenance and Management 	<p>Community Infrastructure Delivery</p> <ul style="list-style-type: none"> Community Infrastructure (Civil Projects and Open Space) Major Roads Projects Traffic and Transport 	<p>Environment and Heritage</p> <ul style="list-style-type: none"> Biodiversity Climate Change and Heritage Natural Reserves 	<p>Infrastructure Services</p> <ul style="list-style-type: none"> Asset Management Development Precinct Structure Plans Developer and Infrastructure Contribution Plan Management Waste Management 	<p>Major Projects</p> <ul style="list-style-type: none"> Major Projects 	<p>Operations</p> <ul style="list-style-type: none"> Civil Maintenance Open Space Maintenance
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Fast facts

To provide an indication of the range of important and diverse services that Council provides, below is a snapshot of how many services were delivered in 2023–24:



How income is distributed

Council’s revenue is generated from a number of different sources, including rates and charges, grant income and infrastructure and development contributions.

Council collects rates and charges to fund a wide range of services, build and maintain facilities and run programs in the local community. Almost 60% of the money that we need to deliver all of this comes from rates, however, Council is limited in the amount of revenue that can be generated from rates due to the State Government’s rate cap.

Another crucial source of funding is grants from other levels of government. Council can apply and advocate for funding through grant and other funding programs to secure operating grants and capital grants, which can be used to contribute to the cost of delivering specific services and projects.

Development of our growth areas generates demand for costly infrastructure such as new roads, intersections, open space and recreation infrastructure, and community facilities. Council is able to recover a significant portion of these costs through Infrastructure Contribution Plans (ICPs) and Development Contribution Plans (DCPs) with funds from developers contributing towards the cost of roads and traffic infrastructure as well as community infrastructure in new developments. Although the contributions don’t meet the full cost of the growth area infrastructure, the contributions are vital to Council’s financial ability to deliver critical infrastructure to service its new communities as development surges.

Each year, Cardinia Shire Council works hard to develop a budget that meets the needs of our community, while working within the constraints of limited revenue sources and the rate cap.

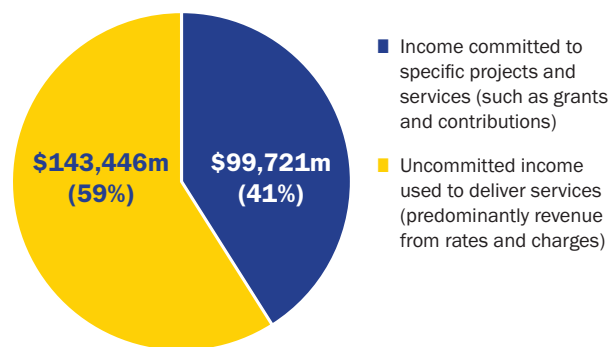
In order to deliver services within a constrained financial environment, Council must consider and prioritise delivery of services and infrastructure and can decide the level or type of service it provides if there are no legislative requirements for provision of the service. The following service profiles detail where there is a requirement or discretion to deliver particular services.

The pie graphs below shows the breakdown of Council’s revenue sources.

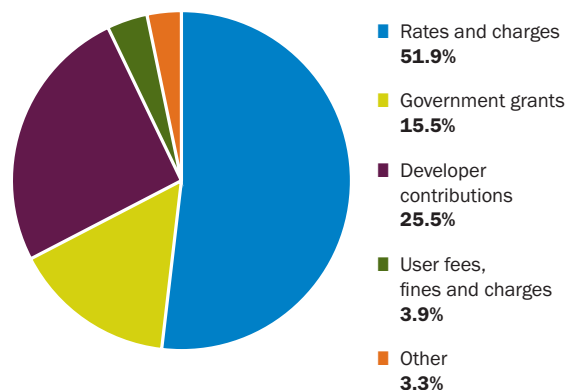
The navy blue section in graph 1 highlights the income that is committed to specific projects and services (such as DCP, ICP and grant income) that cannot be used as part of Council’s operating budget to deliver services. The yellow section shows our revenue that is not tied to specific projects and programs (such as revenue from rates and charges) that can be used to deliver services.

Graph 2 provides a more detailed breakdown of income sources.

Committed and uncommitted income



Sources of income



Aquatic and Leisure Facilities

Group Community and Planning Services
Business unit Active and Connected Communities
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Aquatic and Leisure Facilities service oversees the planning, development and maintenance of quality aquatic and leisure facilities to support and encourage community use and participation in sport and active recreation.

Council works in partnership with service providers, facility managers and sporting associations to ensure the provision and delivery of high quality and well managed facilities, services and recreation programs.

Service outputs

Plan, develop and manage Council's aquatic and leisure facilities including:

- Cardinia Life
- Pakenham Regional Tennis Centre
- Officer Community Hub
- Pakenham Outdoor Pool
- Koo Wee Rup Outdoor Pool
- Garfield Outdoor Pool
- Emerald Lake Park Wading Pool

Why do we deliver this service?

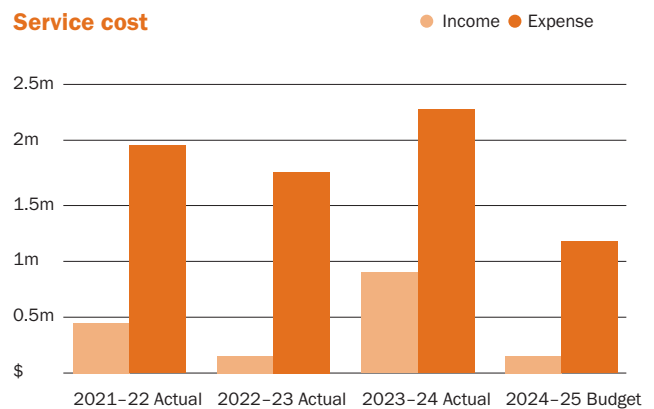
This service is a discretionary service, and Council may decide what level or type of service it provides.

Who benefits from our service?

This service provides aquatic and leisure facilities that benefits everyone who lives, works or visits Cardinia Shire.

Sporting associations and sporting clubs are primary beneficiaries of this service.

Service cost



* Adjustments in the 2024-25 budget to centralise facility maintenance costs reflect the major change in these figures.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

An annual report is presented to Council regarding the performance provided by service providers.

The Local Government Performance Reporting Framework (LGPRF) data records health inspections of aquatic facilities, utilisation of aquatic facilities and cost of aquatic facilities.

The shire wide Community Satisfaction Survey indicates community importance and satisfaction to recreation centres and/or aquatic centres.

Social Infrastructure Planning

Group	Community and Planning Services
Business unit	Active and Connected Communities
Council Plan Priority	Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

The Social Infrastructure Planning service oversees the planning for the existing, new and future community infrastructure that is required for the provision of community services, programs or needs within Cardinia Shire. This includes, but is not limited to, consulting rooms, kindergartens, libraries, halls, community rooms and other community facilities that bring people together to enhance the health, wellbeing or support of the community.

The Social Infrastructure Team oversees the development and implementation of Council’s Community Infrastructure Plan, which outlines the community’s local infrastructure needs and aspirations for the next 10 years. The plan also outlines the work that Council, partners, and community groups undertake to fulfil this vision through the delivery, operation and maintenance of community infrastructure into the future. The plan aims to ensure community expectations are met and facilities and services are delivered in a financially sustainable manner, that is aligned with the Council Plan and comply with relevant legislation and policy framework.

Service outputs

- Oversee the roles of planning, management and delivery of community services and infrastructure, including overseeing the ongoing development and implementation of Council’s adopted 10-year Community Infrastructure Plan (2024).
- Guide the planning and delivery of new and existing community infrastructure within the shire.
- Improve the performance of current infrastructure, while prioritising and directing new investment where required.
- Respond to increasing demand due to changing and/or growing population within the shire.
- Where required, seek and secure external funding, advocacy and/or project partners to meet community infrastructure items and outcomes.

Why do we deliver this service?

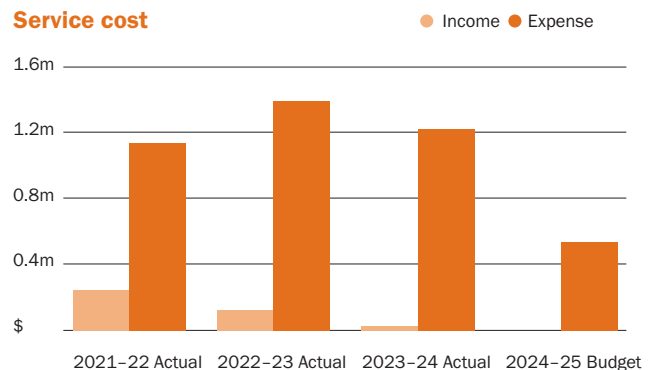
Council is required to provide part of this service, because Council manages public assets on behalf of the community, and plans for future facilities. Council has some discretion about the level of service that is provided in respect of these facilities and services.

This service is influenced by a range of policies including the Municipal Public Health and Wellbeing Plan (Liveability Plan). In some cases, Developer Contribution Plans include funding for community infrastructure, which Council is required to deliver.

Who benefits from our service?

This service plans for the current and future infrastructure needs of the community of Cardinia Shire.

Service cost



*Council receives grant income which may not be recognised in the service costs.

*This service is involved with strategic planning for the delivery of capital infrastructure projects.

*2024-25 budget reflects recent cost allocation to Early Years and Health and Social Planning services.

\$0.39
Cost of delivering this service out of every \$100 of operating budget

2.4
Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

Connected Communities

Group	Community and Planning Services
Business unit	Active and Connected Communities
Council Plan Priority	Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

The Connected Communities service supports the development of strong and resilient communities that have the ability to identify and meet their needs, achieve self-reliance, contribute to solutions and support their own advocacy efforts.

The service manages community halls and hubs, manages bookings and tenancy agreements, and works with the user groups that regularly use the facilities, providing opportunities for residents to meaningfully participate in decision making processes about various community facilities.

The Connected Communities team plans and delivers the Community Leadership Program, awards, including Australia Day Awards, as well as administering the Community Capital Works Grants and Wellbeing Support Grants.

Service outputs

- Management of community halls and hubs, including leasing and licensing.
- Planning and delivery of Council’s Community Leadership Program, community group capacity building initiatives and civic awards.
- Support for volunteer and community groups.
- Coordination of Community Capital Works Grants and Wellbeing Support Grants.

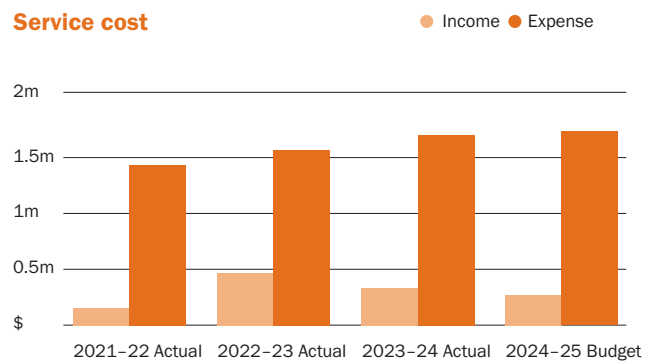
Why do we deliver this service?

This service is a discretionary service, and Council may decide what level or type of service it provides.

Who benefits from our service?

This service supports the use of facilities, and participation in events that can be used by all residents, and the service is mostly used by service providers, community groups, venue hirers and regular users.

Service cost



*Council receives grant income which may not be recognised in the service costs.



\$1.19

Cost of delivering this service out of every \$100 of operating budget



6.73

Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

Success is measured through utilisation of community facilities, participation in community programs and events, capacity built within community members and delivery of the Wellbeing Support and Community Capital Works Grant program.

Early Years

Group	Community and Planning Services
Business unit	Active and Connected Communities
Council Plan Priority	Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

The Early Years service provides families with the opportunity to access quality, inclusive early years services and improve social connectedness with the wider community.

This is achieved through planning for the early years service, governance of service partners, facility management of early years facilities, central coordination of registration and the delivery of the Best Start program.

Service outputs

- Coordinate kindergarten central registration for 3 and 4 year old kindergarten within the shire.
- Support locally based kindergarten service providers.
- Attract service providers and community service organisations to the municipality.
- Provide and manage facilities for use by community groups and the broader community.
- Support access and participation for vulnerable children into early years programs through the Best Start initiative.

Why do we deliver this service?

Council is required to provide part of this service to comply with statutory and social responsibility for planning for its local community. This service supports the learning, health and wellbeing of Victorian children and families through determining policy at a local level under the Early Years Compact 2017–27.

However, Council has some discretion to decide how it will provide the service, or the way in which it provides the service.

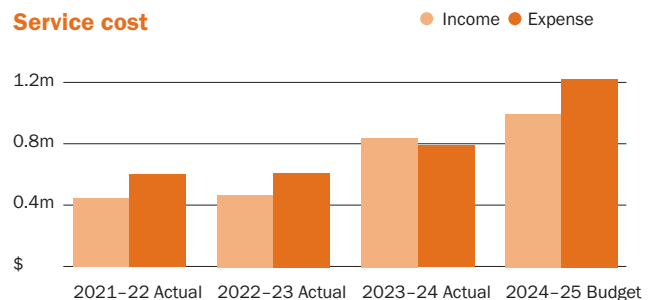
Council receives funding as part of a service agreement from State Government to deliver central registration and the Best Start initiative.

The Child Youth and Family Strategy 2017–21 guides the direction of the Early Years service as do other key strategic Council plans.

Who benefits from our service?

This service ensures that early years services can be used and accessed by all residents, and the service is mostly used by families with young children, kindergarten service providers and Maternal Child and Health services.

Service cost



*Council receives grant income which may not be recognised in the service costs.

*2024-25 budget reflects recent cost allocation changes between Community Services and Infrastructure Planning service.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

We measure success through compliance with legislative policies and standards and placement of more than 2,000 children across two years of kindergarten annually.

Library

Group	Community and Planning Services
Business unit	Active and Connected Communities
Council Plan Priority	Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

Council's Library services include two branches, located in Pakenham and Emerald. These libraries also offer a mobile library service to other townships within the Shire.

Libraries provide several services including lending catalogues for print, digital and audio media. There are also a range of events and activities catering to babies and toddlers, school holiday events, craft groups, tech sessions, and community information sessions.

Myli (My Community Library) operates libraries on behalf of Cardinia Shire Council.

Service outputs

- Operation of Pakenham and Emerald libraries and the Cardinia Mobile library.
- Access to print and digital resources and interactive learning programs to meet lifelong educational and social needs.

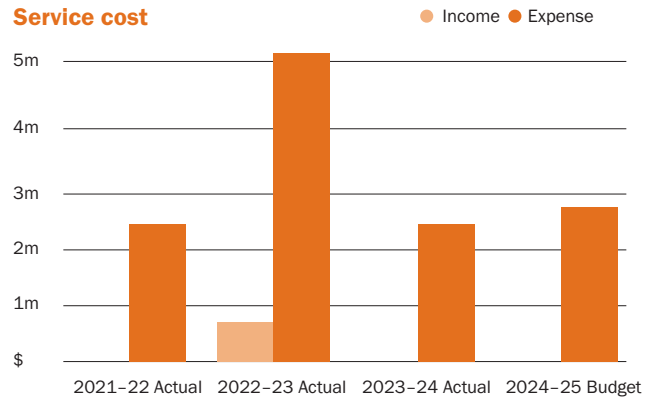
Why do we deliver this service?

This service is a discretionary service, and Council may decide what level or type of service it provides.

Who benefits from our service?

This service provides library services that benefit everyone who lives, works or visits Cardinia Shire.

Service cost



Note: In the 2022-23 financial year, the library service transitioned from the Casey-Cardinia Library Service to Myli.



Cost of delivering this service out of every \$100 of operating budget

Full Time Equivalent staffing

This service is provided by contractors and supported by Council.

Reporting on this service

The Local Government Performance Reporting Framework (LGPRF) records recently purchased library collection, cost of library service per population, loans per head of population, library membership, and library visits per head of population.

The shire wide Community Satisfaction Survey indicates importance of and satisfaction with local library services.

Parks Planning

Group Community and Planning Services
Business unit Active and Connected Communities
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Parks Planning service oversees the planning, design and community engagement of passive open spaces in Cardinia Shire to ensure it is strategically planned, delivered, and activated for the benefit of the community. Access to quality open spaces is vital in supporting the overall health and wellbeing of the community, ensuring the environment they live, work and play in, supports overall health and wellbeing.

Service outputs

Planning, design and community engagement for:

- Passive reserves (parks) through development of masterplans
- Playgrounds
- BMX tracks
- Skate parks

Why do we deliver this service?

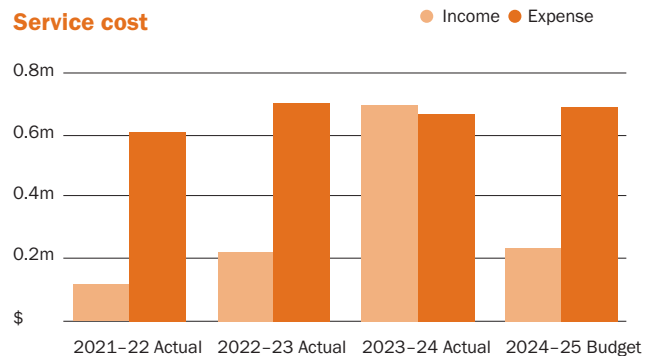
Council is required to provide part of this service, because Council manages public assets on behalf of the community, and plans for future facilities. Council has some discretion about the level of service that is provided in respect of these facilities and services.

This service is influenced by a range of policies including the Municipal Public Health and Wellbeing Plan (Liveability Plan) and the Active Cardinia Strategy. In some cases, Developer Contribution Plans include funding for community infrastructure, which Council is required to deliver.

Who benefits from our service?

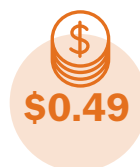
This service plans for the future needs of Cardinia Shire, and will benefit the future community of Cardinia Shire. The service interacts with reserves management committees, and the local residents who will most benefit from these parks and infrastructure.

Service cost



*Council receives grant income which may not be recognised in the service costs.

*This service is involved with the strategic planning for the delivery of capital infrastructure projects.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

Success is measured through surveys for open space, community satisfaction with new policies, strategies and projects, and the design and delivery of open space within 500m walking distance from residential properties.

Sports and Active Recreation

Group Community and Planning Services
Business unit Active and Connected Communities
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Sport and Active Recreation service undertakes the planning and supports the design and delivery of sport and active recreation infrastructure.

Council partners with and supports reserve committees, sporting clubs and associations and other levels of government to manage and deliver sport and active recreational opportunities to the community.

This service supports and advocates for the community to participate in a range of active recreation and sporting activities and engages the community in the planning and delivery of sport and active recreation facilities. Participation in sport and active recreation enables the community to be healthy, active and connected.

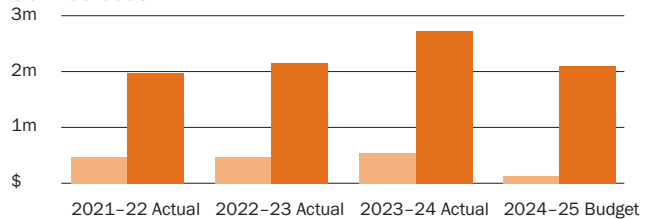
Service outputs

- Coordinates the development and implementation of a range of inclusive sport and active recreation strategies and policies including, but not limited to, Council's Active Cardinia Strategy.
- Actively advocates with other levels of government for funding towards sport and active recreation infrastructure.
- Oversees the planning, design and community engagement for sport and active recreation projects including ovals, sports lighting, nets and courts.
- Supports volunteers including reserve committees and sport clubs to manage facilities and provide sporting opportunities to the community.
- Ensures all members of the community can participate in sport and active recreation, with a focus on initiatives that improve participation by women, girls and vulnerable members of our community.

reserve committees, local volunteers, and the broader community.

This service plans for the current recreational needs of Cardinia Shire and will benefit the future community of Cardinia Shire.

Service cost



*This service is involved with the strategic planning for the delivery of capital infrastructure projects.

Why do we deliver this service?

Council is required to provide part of this service, as Council manages public assets on behalf of the community, and plans for future facilities. Council has some discretion about the level of service that is provided in respect of these facilities and services.

This service is influenced by a range of policies including the Municipal Public Health and Wellbeing Plan (Liveability Plan) and the Active Cardinia Strategy. In some cases, Developer Contribution Plans include funding for community infrastructure, which Council is required to deliver.

Who benefits from our service?

The facilities provided as part of this service are used by state and local sporting clubs and associations,



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF).

The shire wide Community Satisfaction Survey indicates importance of and satisfaction with sports ovals and other local sporting facilities and bikes and shared paths.

We measure success through sport participation numbers, delivery of sport projects each year, club engagement in various development workshops and sessions, and implementation of the Active Cardinia Strategy.

Advocacy

Group Community and Planning Services
Business unit Arts, Advocacy and Economy
Council Plan Priority Responsible Leaders – We practise good governance, meet recognised standards of excellence and ensure future generations benefit from our decisions. We are accountable and make informed and responsive decisions that balance our current and future community’s needs.

What we do

The Advocacy service champions the interests and needs of the Cardinia community and the broader south-east region.

This service is responsible for strategically navigating policy landscapes, engaging with government bodies and external stakeholders, and seeking alternative funding or grant opportunities.

The service advocates for changes to legislation or state planning controls, regional infrastructure and investment, and improved service delivery from the Federal and State governments and other sectors.

Service outputs

- Liaise with elected representatives on State and Federal advocacy campaigns.
- Prioritise and co-ordinate advocacy across Council and the region.
- Prepare Federal budget submissions.
- Manage and co-ordinate grant submissions.
- Make submissions regarding policies that will impact Cardinia Shire.
- Development of advocacy framework and strategy formation.
- Provide political and policy advice.
- Support and advise on community-led advocacy.
- Support regional advocacy partnership efforts.
- Monitor progress and evaluate advocacy efforts.

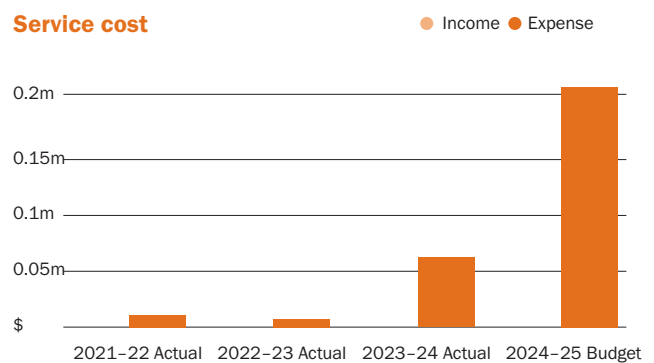
Why do we deliver this service?

This service is a discretionary service, and Council may decide what level or type of service it provides.

Who benefits from our service?

This service plans for the future needs of Cardinia Shire, and will benefit all those who live, work, learn in and visit Cardinia Shire. This service supports the work of Greater South East Melbourne (GSEM) and National Growth Areas Alliance (NGAA).

Service cost



*Prior to the 2024-25 budget, staff costs for this service were combined with the Economic Development service.

\$0.15

Cost of delivering this service out of every \$100 of operating budget

1.0

Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF).

The shire wide *Community Satisfaction Survey* indicates community sentiment on the importance and performance of advocacy.

Arts and Creative Industries

Group Community and Planning Services
Business unit Arts, Advocacy and Economy
Council Plan Priority Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

Centred around the Cardinia Cultural Centre (CCC) and extending to the Hills Hub art space, the Arts and Creative Industries service provides visitors and the community with high quality venues for community, civic, cultural, social, business, and entertainment events.

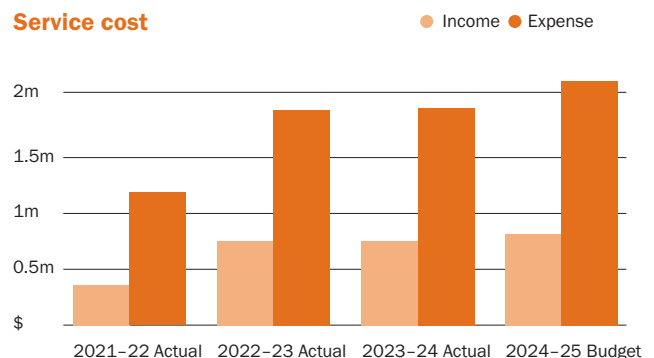
This includes the delivery of cultural initiatives such as curated exhibitions, workshops, performances, and interactive programs. The service also delivers public art installations, both permanent and temporary.

The service supports the creative industries sector through active engagement of local artists and creative professionals, providing support, resources, and platforms to foster growth and innovation.

Service outputs

- Management and operation of the Cardinia Cultural Centre and Hills Hub art space.
- Coordination and promotion of all Cardinia Cultural Centre theatre programming, events, functions and exhibitions.
- Arts workshops and art collective networking.
- Art grants and music residency programs.
- Public art curation and maintenance program.
- Community-led art exhibition support.

Service cost



Why do we deliver this service?

This service is a discretionary service, and Council may decide what level or type of service it provides.

In some cases, Developer Contribution Plans include funding for public art installations, which Council is required to deliver.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Who benefits from our service?

This service provides arts and creative services that can be used by all residents, and the service is mostly used by Cardinia Cultural Centre staff and centre visitors, artists, performers, producers, facility hirers, students and performance schools.

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF). The shire wide Community Satisfaction Survey indicates the importance and satisfaction with provision of public art centres and community and cultural activities.

This service gathers feedback from event participants.

Economic Development

Group	Community and Planning Services
Business unit	Arts, Advocacy and Economy
Council Plan Priority	Prosperous economies – We support our productive land and employment land to grow local industries.

What we do

The Economic Development service is responsible for shaping the economic landscape and tourism potential of Cardinia Shire.

Through strategic partnerships and targeted programs, the service delivers initiatives to attract and nurture businesses, stimulate job creation, facilitate private investment, respond to industry issues, develop the local workforce, and showcase the unique offerings of Cardinia Shire to visitors.

Service outputs

- Business enquiries and support.
- Capacity building workshops, training and coaching.
- Networking functions and events.
- Business group support grants.
- Workforce and skill development.
- Research and analysis of economic and industry trends.
- Strategic planning for economic development.
- Industry development and advocacy.
- Marketing and promotion of business precincts.
- Investment attraction and facilitation.

Why do we deliver this service?

Councils support the economic sustainability in the municipal district. This service is a discretionary service, and Council may decide what level or type of service it provides.

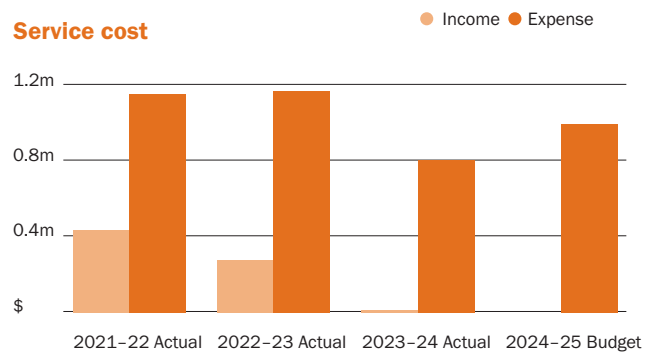
Cardinia Shire Council is a signatory to the Small Business Friendly Charter facilitated by the Victorian Small Business Commission.

Who benefits from our service?

This service is primarily used by businesses, groups and trader associations, investors, commercial/ industrial developers, employment associations and agencies (Workforce Service Providers, SELLEN), industry associations, jobseekers, tertiary education providers, students, residents and tourists.

As part of this service, decisions are made and policies applied that will benefit future residents.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are currently no formal measures in the Local Government Performance Reporting Framework (LGPRF).

The shire wide Community Satisfaction Survey indicates community sentiment on the importance and performance of business and community development.

Community Safety and Inclusion

Group Community and Planning Services
Business unit Community and Family Services
Council Plan Priority Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

The Community Safety and Inclusion service is dedicated to helping Cardinia’s diverse community to feel safe, connected, and empowered while removing barriers to foster a strong, inclusive community for everyone.

The service works towards equality and social justice by offering support to various groups, leading projects and events, and implementing plans to promote safety, connection, inclusion and reconciliation.

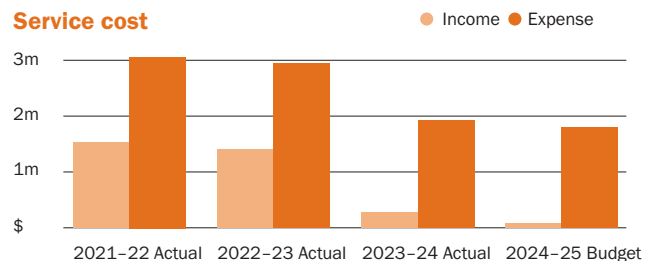
This service provides information sessions, grants and support for seniors, and assistance to external services that address financial hardship, family violence, or homelessness.

Service outputs

- Support and coordinate agencies to achieve positive social outcomes for vulnerable members of the community.
- Projects, events and information sessions for residents to increase knowledge and community connection.
- Facilitate advisory groups and engagement activities to inform Council’s decision-making process.
- Develop and implement plans and strategies, including Reconciliation Action Plan, Community Safety Framework, Family Violence Action Agenda, Cultural Diversity Action Plan, Ageing Well Strategy, and the Access and Inclusion Disability Action Plan.
- Support for seniors, through the Ageing Well Strategy and Action Plan, and support for residents in Council owned tenancies.
- Development and management of relationships with emergency relief providers within Cardinia to support vulnerable residents.

particularly vulnerable and marginalised populations including, but not limited to, Aboriginal and Torres Strait Islander community members, culturally diverse community members, people living with a disability and individuals and families experiencing family violence, homelessness and financial vulnerability.

Service cost



* Council receives grant income which may not be recognised in the service costs.
 * Income was received to respond to major emergency events notable in the 2021-22 and 2022-23 financial years.

\$1.32

Cost of delivering this service out of every \$100 of operating budget

10.0

Full Time Equivalent staffing

Why do we deliver this service?

Council is required to provide part of this service, to comply with the Victorian Disability Act 2006. However, Council has some discretion to decide how it will provide the service, or the way in which it provides the service. This service is influenced by the Municipal Health and Wellbeing (Liveability) plan.

Who benefits from our service?

This service provides a range of community safety and inclusion services that can be used by all residents,

Reporting on this service

Council receives annual reports detailing performance across all social policy and strategy action plans.

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF).

The shire wide Community Satisfaction Survey indicates the community sentiment on safety within the shire.

Health and Social Planning

Group	Community and Planning Services
Business unit	Community and Family Services
Council Plan Priority	Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

The Health and Social Planning service supports the integrated planning, delivery and evaluation of health and social planning initiatives. As part of this, the service also reviews, implements and monitors Council’s Municipal Public Health and Wellbeing Plan, also known as the Liveability Plan.

This service focusses on protecting population health and well-being by working closely with local agencies and residents to ensure that strategic planning and social services are effectively promoting health and reducing inequalities.

By collecting and analysing community surveys and public health data, the team supports the organisation with informed decisions that lead to better health outcomes now and into the future. This includes advocating for increased resources and collaborating with all levels of government to address the needs of our community.

Service outputs

- Leading the partnership approach with service agencies and State Government departments.
- Collating and measuring figures, to ensure data-driven decision making for current and future residents.
- Advocating for improved services and funding.
- Delivering evidence-based initiatives to improve health and wellbeing outcomes for residents.
- Developing and implementing public health policies to reform social, health and economic outcomes, such as reducing gambling related harm.
- Implementation of Council’s Social and Affordable Housing Strategy.

Why do we deliver this service?

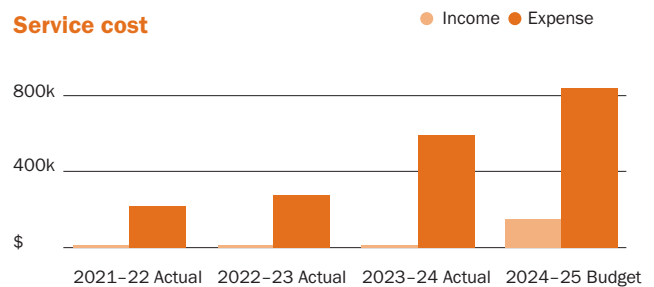
Council is required to provide part of this service to review, implement and monitor Council’s Liveability Plan to comply with the Public Health and Wellbeing Act. Council has discretion to decide the substance and commitments contained in the Liveability Plan 2017–29, how it delivers the Health and Social Planning service and the way the service interacts with other services.

The Liveability Plan is influenced by several other Acts and state policies, including the Gender Equity Act, the Equal Opportunity Act, Climate Change Act, the VicHealth 10 Year Strategy, Gambling and Liquor Reform and Plan Melbourne.

Who benefits from our service?

This service provides health and social planning that benefits everyone who lives, works or visits Cardinia Shire now and in the future. The service works closely with partner agencies who help deliver the Liveability Plan 2017–29.

Service cost



*Council receives grant income which is recognised in the service costs.
 *2024-25 budget reflects recent cost allocation from Community Services and Infrastructure Planning service.

\$0.58
Cost of delivering this service out of every \$100 of operating budget

4.0
Full Time Equivalent staffing

Reporting on this service

Annual progress reports on the Liveability Plan are provided to Council and the Department of Health. The Liveability Plan is evaluated every four years including analysis of changes in population health and liveability indicators over time.

The Liveability Plan has three strategic indicators: progress of the Liveability Plan, the number of health and social services attracted into the shire through the Services for Success framework, and the number of social and affordable housing properties committed to. These indicators are included in the Council Plan 2021–25 and reported quarterly to Council.

Health and Social Planning conduct bi-annual resident household surveys to understand perceptions of public health and wellbeing issues and to collate resident data to inform planning and evaluation.

Maternal and Child Health (MCH)

Group	Community and Planning Services
Business unit	Community and Family Services
Council Plan Priority	Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

The Maternal and Child Health (MCH) service promotes healthy outcomes for children, from birth to school age, and their families. The service provides a comprehensive and focused approach for the prevention and early identification of the physical, emotional and social factors affecting infants, young children and their families.

The MCH service supports child and family health, wellbeing and safety, focusing on maternal health and father-inclusive practice as a key enabler to optimise child learning and development. The service is delivered under the guidance of the Victorian Department of Health. Funding for the service in part is jointly funded by the State Government and Council.

Service outputs

- Ten key age and stage assessments from newborn to 3.5 years of age.
- Client consultations onsite and within clients' homes.
- A range of parenting support group programs including:
 - Dads' groups.
 - Smalltalk supported playgroups.
 - Sleep and settling support.
- Additional in-home client consultations for clients experiencing parenting challenges.

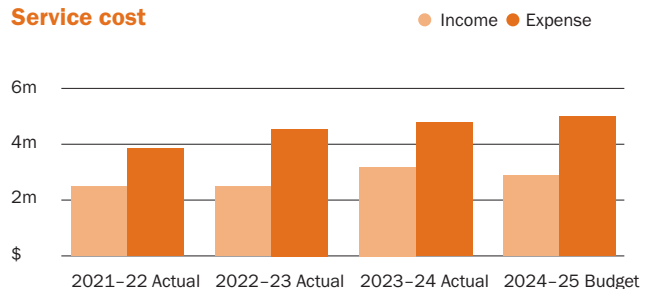
Why do we deliver this service?

Council is required to co-ordinate and plan Maternal and Child Health services by long-standing agreement with the State Government and the Department of Health. Council has some discretion to decide how it will provide this service in response to community need, however the service is subject to significant clinical guidance and regulation through State Government guidelines and Child Safety Standards. The service delivery is influenced by the Child Safe Standards, and Child Wellbeing and Safety Act, Family Violence information sharing protocols and the Municipal Health and Wellbeing Plan.


Who benefits from our service?

This service provides holistic health, growth and development, and wellbeing consultations and support that is open to all Cardinia Shire families with infants and children from birth to 6 years of age.

Service cost




* Council is funded to deliver part of the MCH service through State Government grants. These are received throughout the calendar year and not fully visible as income for 2024-25 budget.



\$3.57

Cost of delivering this service out of every \$100 of operating budget



45.88

Full Time Equivalent staffing

Reporting on this service

The shire wide Community Satisfaction Survey indicates community satisfaction and importance for the services for children from birth to 5 years.

The Local Government Performance Reporting Framework (LGPRF) captures the infant enrolments in the MCH service, participation and the cost of the MCH service, participation by MCH by Aboriginal children and participation in the 4-week key age and stage visit.

The Department of Health collects annual data reports each financial year showing the number of client consultations completed, the number of notices of birth received, and the number of new enrolments.

Youth Services

Group	Community and Planning Services
Business unit	Community and Family Services
Council Plan Priority	Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

Youth Services provides a range of health, wellbeing, social, recreation and life skills programs, services, activities and events catered to young people.

These programs enable young people to build resilience, fulfil their potential and develop themselves as young adults. The service also works with young people to understand the challenges they face and looks at opportunities to address and prevent these where possible.

Cardinia Youth Services play a partnership-building role, bringing together different stakeholders that work with young people to coordinate service delivery, advocate for young people’s needs, and leverage resources to meet local priorities.

Service outputs

- My Place youth centre.
- Activities and events for young people.
- Partnerships with other agencies such as YMCA.
- School holiday programs.
- Advocacy and support to attract complementary services.

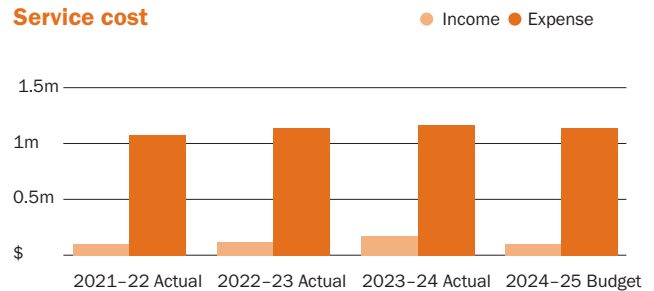
Why do we deliver this service?

This service is a discretionary service, and Council may decide what level or type of service it provides, however the service is mandated to work within the guidelines of the Child Wellbeing and Safety Act and established Child Safe Standards.


Who benefits from our service?

Youth services can be used by all residents aged 12–24 who live in or have strong links to Cardinia Shire. The service also works with youth and community organisations, parents and families and education providers.

Service cost



*Council receives income through government grants which are not represented as income as part of service costs.



\$0.82

Cost of delivering this service out of every \$100 of operating budget



7.4

Full Time Equivalent staffing

Reporting on this service

Quarterly reporting to Council includes metrics on various measures including number of young people offered support, attendance numbers at My Place youth centre, number of in-school programs and workshops and after school and school holiday program numbers.

The annual outcome and impact of these services is also reported to Council.

The shire wide Community Satisfaction Survey indicates community sentiment for youth services.

Growth Area Planning and Subdivisions

Group Community and Planning Services
Business unit Planning and Design
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

Growth area planning focuses on greenfield development (areas that are previously undeveloped and used for farming) as a response to population growth.

The Growth Area Planning and Subdivisions service considers planning and subdivision applications in the growth area precincts to ensure that they comply with the Cardinia Planning Scheme, Precinct Structure Plans, Infrastructure Contribution Plans and other important development controls that apply to large-scale new development. The team does this to facilitate orderly and sustainable development of new communities with supporting infrastructure, open space, transport, community facilities and services.

The service provides advice to applicants and coordination with state agencies. Council staff prepare reports and records of decisions and submissions to VCAT if a decision is reviewed. Council delegates decisions to experienced Council planners and subdivision officers.

Service outputs

- Processing and making decisions on planning permit applications, subdivision certification, amendments and endorsements.
- Advice for consultants, and applicants by telephone or in-person counter enquiries.
- Reports for public meetings and VCAT about specific applications.
- Referring applications to other statutory authorities and co-ordinating their responses.

Why do we deliver this service?

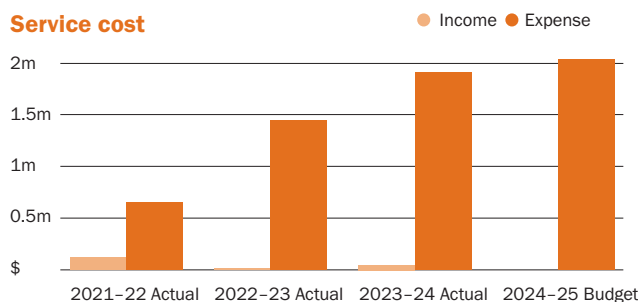
Council must provide this service, in order to comply with the Planning and Environment Act 1987 and Subdivision Act 1988. Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

Cardinia Planning Scheme and Precinct Structure Plans are the primary statutory documents that contain planning policies and decision guidelines.

Who benefits from our service?

This service is primarily used by planning permit applicants, such as land owners, land developers and those looking to commence land uses or industries. As part of this service, decisions are made and policies are applied to benefit future residents.

Service cost





\$1.45

Cost of delivering this service out of every \$100 of operating budget



13.17

Full Time Equivalent staffing

Reporting on this service

The formal measures in the shire wide Community Satisfaction Survey include the importance and satisfaction of planning and housing development. The Local Government Performance Reporting Framework (LGPRF) records performance data, including the cost of the planning service, Council planning decisions upheld in VCAT, the time taken to decide planning applications and the number of applications completed within statutory timeframes. Planning services are extensively reported on through the LGPRF framework, and the Department of Transport and Planning 'Planning Permit Activity Reporting' framework.

Statistics related to this service are also reported in quarterly performance and growth reports to Council and the public.

Statutory Planning

Group Community and Planning Services
Business unit Planning and Design
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Statutory Planning service assesses planning permit applications, consents and endorsements against the Cardinia Planning Scheme, to facilitate orderly and sustainable development and land use in line with both local and state policies.

The Statutory Planning team considers applications in all areas of the municipality outside of the growth area precincts. Council makes some decisions through the Town Planning Committee, and also delegates certain decisions to experienced Council planners.

The service provides advice to applicants and those who wish to learn about or object to applications that impact them. Council staff prepare reports and records of decisions, and submissions to VCAT if a decision is reviewed.

Service outputs

- Processing and making decisions on planning permit applications, amendments and endorsements.
- Advice for consultants, applicants and objectors by telephone or in-person counter enquiries.
- Reports for public meetings and VCAT about specific applications.
- Referring applications to other statutory authorities, and co-ordinating their responses.

Why do we deliver this service?

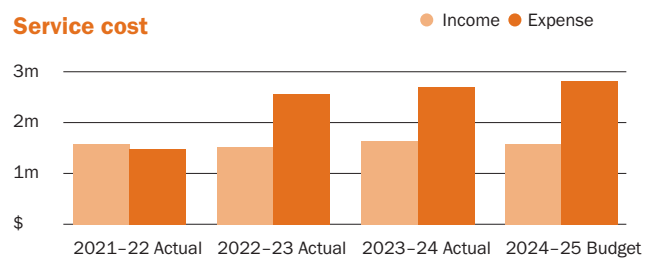
Council must provide this service, in order to comply with the Planning and Environment Act 1987 and Subdivision Act 1988. Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

Cardinia Planning Scheme is the primary statutory document that contains planning policies and decision guidelines.

Who benefits from our service?

This service is primarily used by land owners, businesses and others looking to invest in or develop land in Cardinia Shire (and those who are affected by their proposed applications). As part of this service, decisions are made and policies are applied to benefit future residents.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

The Local Government Performance Reporting Framework (LGPRF) records the time taken to decide planning applications, number of planning applications decided within required timeframes, cost of statutory planning service and Council planning decisions upheld at VCAT. Statistics related to this service, including planning permits lodged, building permits issued, and residential and non-residential building completions, are also reported in quarterly growth reports to the Council and the public.

Planning services are extensively reported on through the LGPRF framework, and the Department of Transport and Planning 'Planning Permit Activity Reporting' framework.

The formal measures in the shire wide Community Satisfaction Survey include the importance and satisfaction of planning and housing development.

Strategic Planning and Urban Design

Group Community and Planning Services
Business unit Planning and Design
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Strategic Planning service reviews and proposes amendments to the Cardinia Planning Scheme, and advocates when other agencies propose changes that will impact Cardinia Shire.

The service develops and maintains planning policy and urban design frameworks to provide for the sustainable development of the natural and built environment in the shire.

Service outputs

- Processing planning scheme amendments.
- Developing strategies, policies and urban design frameworks.
- Reviewing Precinct Structure Plans prepared by the State Government.
- Creating development plans to guide future development.
- Responding to, and advocating for, State Government planning reform.
- Keeping the Cardinia Planning Scheme up to date.
- Reviewing major projects for planning and environmental impacts and changes to regional and state planning policies.
- Preparing submissions to government and public reports for town planning and Council meetings.

Why do we deliver this service?

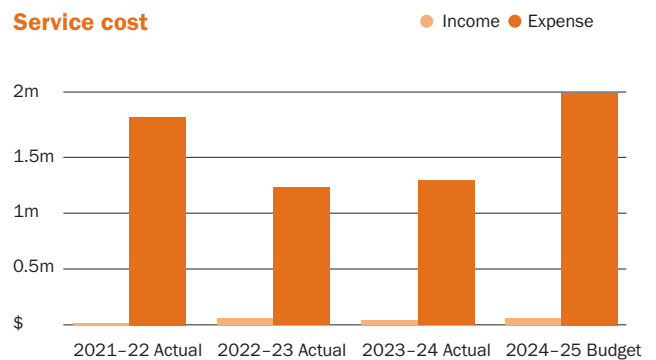
Council must provide this service in order to comply with the Planning and Environment Act. Council has limited discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

Cardinia Planning Scheme is the primary statutory document that contains planning policies and decision guidelines.

Who benefits from our service?

This service plans for future land use and development needs of Cardinia Shire, to ensure orderly and sustainable outcomes to benefit the future community of Cardinia Shire.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

This service is reported on quarterly as a Council Plan Initiative to the Executive Leadership Team and Council. The Town Planning Committee sets policy direction and makes decisions that guide all planning services.

There are no specific measures in the Local Government Performance Reporting Framework (LGPRF) for this service, but related planning services are extensively reported on through the LGPRF framework, and the Department of Transport and Planning 'Planning Permit Activity Reporting' framework.

The formal measures in the shire wide Community Satisfaction Survey include the importance and satisfaction of planning and housing development.

Compliance Services

Group Community and Planning Services
Business unit Regulatory Services
Council Plan Priority Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

Compliance Services perform law enforcement functions, including parking, animal management and safety, Local Laws, building site and planning enforcement.

This service also includes Council’s Building team, who under the Municipal Building Surveyors, oversee building work, development and pool safety in the municipal district. The building team considers and issues consent for exemptions from the Building Act and Regulations and regulate buildings that have been constructed without the appropriate permits.

Compliance Services also includes the management of school crossings in the municipality, and the Prosecutions team which acts on behalf of Council in Magistrates Court proceedings and process requests relating to infringements issued by Council.

Service outputs

- Animal management and animal safety services.
- Parking, amenity and other local law enforcement.
- Investigation of illegal building works.
- Pool safety and essential safety measures compliance.
- School crossing supervisor program.

Why do we deliver this service?

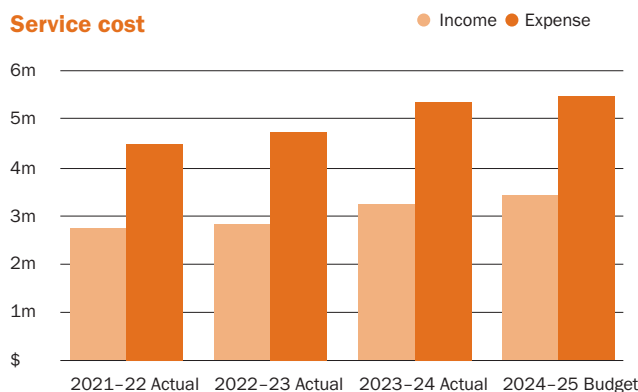
Council is required to provide part of this service, in order to comply with multiple Acts which include the Building Act 1993 (and regulations), Planning and Environment Act 1987, Food Act 1984 and the Cardinia Shire Council Local Law 24. However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Council has a statutory obligation to enforce building, domestic animal, parking, local laws, livestock and planning legislation amongst others.

Who benefits from our service?

This service provides law enforcement regulatory services that benefit everyone who lives, works or visits Cardinia Shire.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

The Local Government Performance Reporting Framework (LGPRF) data records the time taken to action animal management requests, number of animals reclaimed, number of animals rehomed, cost of animal management service per population, and animal management prosecutions.

The shire wide Community Satisfaction Survey indicates the importance and performance of enforcement of local laws, parking and animal management.

Emergency Management

Group Community and Planning Services
Business unit Regulatory Services
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Emergency Management service captures all income and expenditure associated with emergency events such as floods, bushfires, and other natural disasters.

With other response agencies, the Emergency Management team focuses on strategic planning and preparedness for emergency responses, ensuring that municipal emergency management plans are well-developed and implemented, and are consistent with regional and state planning.

Council officers play a role during natural disasters to ensure that Council resources are directed to support the response, relief and recovery phases of emergencies.

The Emergency Management service also manages fuel loads in Council reserves, and fire hazard inspections in the municipality. Additionally, the service delivers related projects and educational programs aimed at enhancing community resilience.

Service outputs

- Municipal Emergency planning, with the Municipal Emergency Management Planning Committee.
- Community sessions and awareness programs.
- Fuel management and fire hazard prevention.
- Leading the Council’s emergency response.
- Opening relief centres during emergencies.

Why do we deliver this service?

Council must provide this service in order to comply with the Emergency Management Act 2013. Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

Council must prepare for emergencies in line with the State Emergency Management Plan.

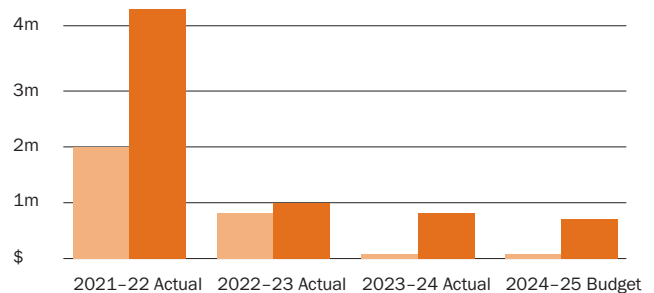
Who benefits from our service?

This service primarily works with the emergency management sector and services. The service benefits future residents of Cardinia, by planning for future emergency events.

Service cost

Income Expense

The income and expenses of this service can vary significantly, depending on what emergencies occur in a financial year.



*The income and expenses of this service can vary significantly, depending on what emergencies occur in a financial year.



\$0.52
Cost of delivering this service out of every \$100 of operating budget



5.0
Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

The Emergency Management team works closely with local emergency services planning committee, who regularly review their processes and preparation.

Environmental Health

Group	Community and Planning Services
Business unit	Regulatory Services
Council Plan Priority	Strong Communities – We empower our communities to be healthy, connected, and resilient.

What we do

The Environmental Health service exists to minimise environmental and public health problems within the community, and as far as practicable.

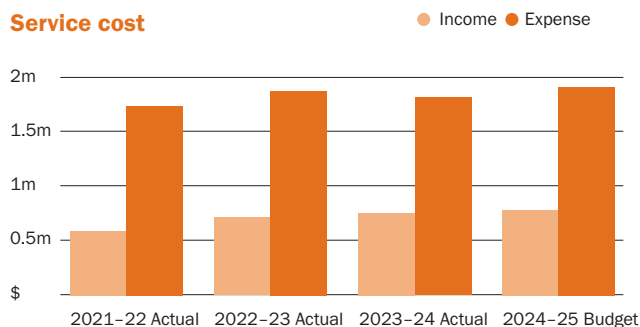
This service operates by monitoring food safety within the community, registering and inspecting businesses with higher risk public health profiles, co-ordinating and providing free immunisations for children and adults, and investigating complaints about health and wellbeing impacts.

This service also includes the assessment and inspection of domestic waste water systems (septic systems), and also regulates some aspects of tobacco sales.

Service outputs

- Food premises registration, inspection and safety.
- Regulating prescribed businesses that pose an elevated health risk.
- Immunisation for adults and children (through school and public sessions).
- Assess and inspect septic systems.
- Infectious disease control investigation, on behalf of the Department of Health.

Service cost



Why do we deliver this service?

Council is required to provide part of this service in order to comply with the Food Act, Public Health and Wellbeing Act, and Environmental Protection Act.

However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Who benefits from our service?

This service provides law enforcement and regulation that can be used by all residents, and the service is mostly used by food and health business proprietors, the Victoria Department of Health and individual complainants.



\$1.37
Cost of delivering this service out of every \$100 of operating budget

Full Time Equivalent staffing

This service is provided by contractors on behalf of Council.

Reporting on this service

This service includes comprehensive annual reporting to the Department of Health and oversight reporting on infringements to the Department of Justice and Community Safety.

The Local Government Performance Reporting Framework (LGPRF) data records the time taken to action food complaints, the number of food safety assessments, the cost of the food safety service, critical and major non-compliance outcome notifications and food safety samples.

There are no formal measures in the shire wide Community Satisfaction Survey.

Customer Support

Group Corporate Services
Business unit Business Transformation and Customer
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Customer Support team provides a professional customer service experience with an inclusive, respectful, and positive attitude.

This service provides a first point of contact for resident enquiries and requests for information about the wide range of Council services and functions.

Customers can access dedicated telephone, email, online and in-person channels, including after-hours. Customer requests will be answered on first contact or will be referred to staff in other Council services to action.

Service outputs

- Customer service counter at Civic Centre, Officer.
- Telephone based customer contact centre.
- Online and email customer requests.

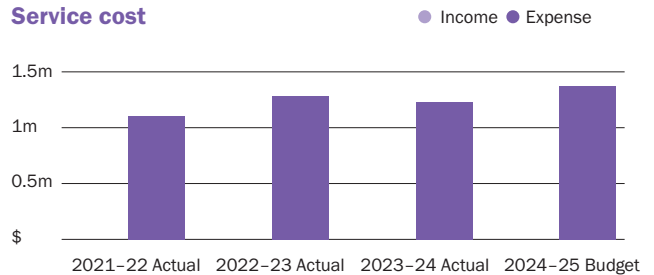
Why do we deliver this service?

This service is an enabling service. This service is necessary so that other Council services are able to operate, and Council may decide how to deliver this service.

Who benefits from our service?

This service provides support to customer enquiries that benefits everyone who lives, works or visits Cardinia Shire.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF). The shire wide Community Satisfaction Survey indicates strong satisfaction for overall customer service experience.

Statistics related to this service, including service level, after-call work time, average wait time, average handling time, abandoned calls, call volumes by enquiry types, digital performance regarding emails and chats, after-hours call performance and after-call survey metrics, are also reported in quarterly performance reports to the Council and the public.

Performance and Improvement

Group Corporate Services
Business unit Business Transformation and Customer
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Performance and Improvement service provides consistent, integrated business planning processes to ensure that Council operations align to the key directions of Council. This allows Councillors and senior leaders to monitor the effectiveness of services and plans through corporate performance and business activity monitoring.

They also build a culture of innovation through a continued focus on analysis, improvement and change implementation.

Service outputs

- Annual performance reporting in the annual Performance Statement, Local Government Performance Reporting Framework, and Annual Report.
- Annual reporting against Strategic Indicators in the Council Plan.
- Public, quarterly service and performance reporting.
- Annual Community Satisfaction Survey.

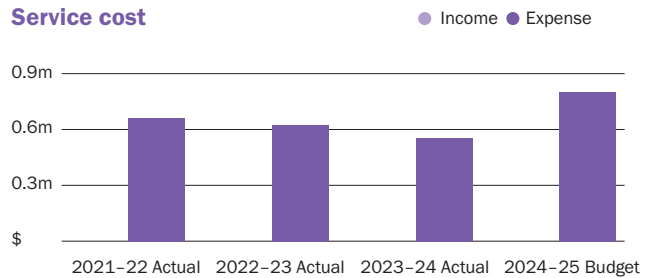
Why do we deliver this service?

Council is required to provide part of this service in order to comply with the Local Government Act 2020. However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Who benefits from our service?

This service primarily supports other Council services. The community benefits when this Council service provides information to help assess the performance of Council across a range of areas.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

A Quarterly Performance and Growth Report is presented to the Executive Leadership Team and Councillors and published on the Cardinia Shire website.

This service also provides annual LGPRF performance data to Local Government Victoria, ensures the Annual Report/Performance Statement data is accurate and timely, manages the Community Satisfaction Survey, oversees the Council Plan and Community Vision development, and integrates the annual business planning process with the budgeting process to support timely budget development.

Communications

Group Corporate Services
Business unit Communications and Engagement
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Communication service provides accurate and timely information, combats disinformation and raises awareness of Council programs, initiatives and decisions through a variety of mediums including media engagement.

This service also responds to issues to deliver timely, transparent and accurate information to protect and enhance the reputation of Council and mitigate potential risks.

Service outputs

- Engage with the community through a range of communications channels including publications, social media, media advertising, collateral, signage, website and radio.
- Ensures all Council communications are transparent, purposeful, timely, accessible and relate to Council's strategic vision and priorities.

Why do we deliver this service?

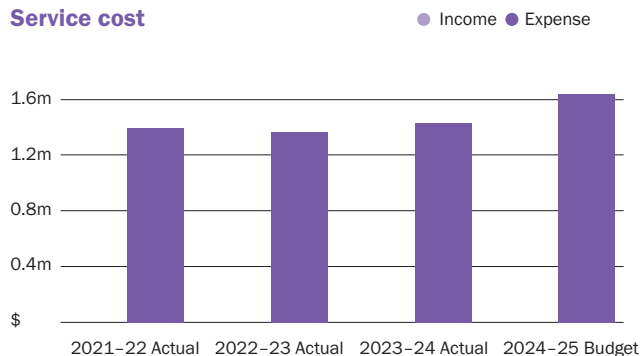
This service is an enabling service. It is necessary to enable other Council services to operate. Council may decide how to deliver this service.

Who benefits from our service?

This service primarily supports other Council services. The community benefits when Council services are effective and efficient.

Council also benefits from the service as it supports risk and issues identification and mitigation.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures of this service in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

Engagement

Group Corporate Services
Business unit Communications and Engagement
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Engagement team supports effective community engagement between Council and the community through the preparation and implementation of engagement plans in accordance with Local Government Act requirements.

Service outputs

- Support the community to influence the decisions made by Council.
- Liaise with the community on engagement opportunities, methods and locations.
- Provide advice to Council services on engagement requirements, activities and planning.
- Support the deliberative engagement process required for key Council strategies.

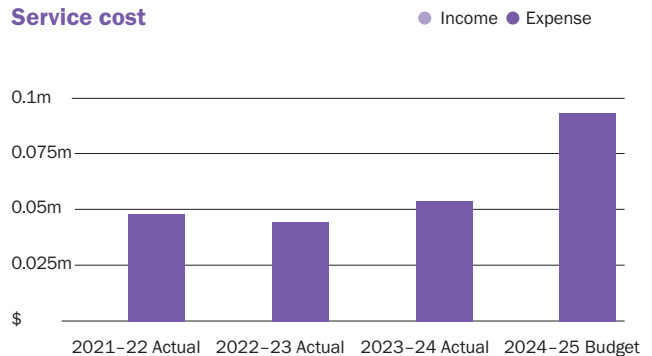
Why do we deliver this service?

Council is required to provide part of this service in order to comply with the Local Government Act 2020. However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Who benefits from our service?

This service primarily supports other Council services. The community benefits when Council undertakes community engagement.

Service cost



* Staff costs and expenses for this service are combined with the Communications service.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

The Local Government Performance Reporting Framework (LGPRF) data records 'Satisfaction with community consultation and engagement'. The shire wide Community Satisfaction Survey indicates community satisfaction with Council's community consultation and engagement.

Corporate Financials, Finance Management and Purchasing

Group Corporate Services
Business unit Finance
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Corporate Financials, Finance Management and Purchasing service manages all financial functions of Council including the planning for balanced budget outcomes and prudent management of debts and assets. This is to ensure Council has a sustainable financial position, recognising inter-generational responsibility.

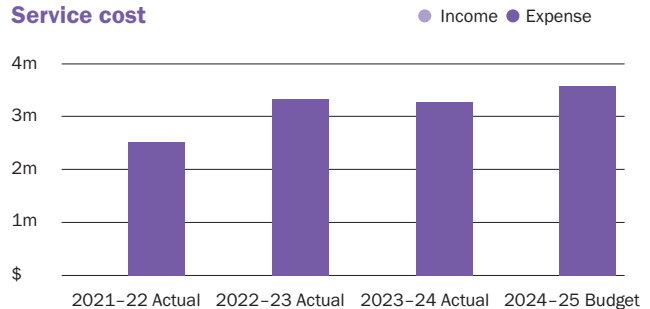
This service considers the procurement of goods and services in a sustainable manner to ensure value for money and the best outcome for Cardinia Shire.

This service also includes the financial aspects of asset sales and the depreciation and value of wear and tear of Council’s non-current assets over their useful life.

Service outputs

- Annual Budgets and regular budget reporting.
- Accounts payable and receivables, and public tenders.
- Long term financial planning and management.
- Annual Report.
- Capture of non-cash accounting entries unable to be attributed to any other service.

Service cost



Why do we deliver this service?

Council must provide this service, in order to comply with the Local Government Act 2020 Act. Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Who benefits from our service?

This service primarily supports other Council services. The community benefits when Council services are effective and efficient.

Additionally, the public has access to financial reports via Council’s website and Council meetings to maintain public transparency and share information.

Council relies on many suppliers and contractors to provide its services and upholds a standard to maintain positive commercial arrangements.

Reporting on this service

The organisation’s annual budget is presented to Council for adoption annually. The annual Local Government Performance Reporting Framework data published by the Victorian Government, records current assets compared to current liabilities, loans and borrowings repayments compared to rates, noncurrent liabilities compared to own source revenue, asset renewal and upgrade compared to depreciation and underlying surplus (or deficit).

The shire wide Community Satisfaction Survey indicates community sentiment on value for money for services and infrastructure.

Rates and Revenue Services

Group Corporate Services
Business unit Finance
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Rates and Revenue service manages the rating of Cardinia Shire’s rateable properties.

Council’s Rates and Revenue team provides a responsive, solution focused service to respond to various ratepayer queries, including information on payment plans, rebates and re-valuations.

This service also provides property-related information to assist those wishing to buy and sell land.

Service outputs

- Rates Notices and collection of the Fire Service Property Levy.
- Financial hardship framework.
- Property and rating record concessions, pension rebate.
- Support purchase and sale of land, through Land Information Certificates and conveyancing notices.
- Supplementary notices and levy assessments for Special Rates Schemes.
- Collection of unpaid rates.

Why do we deliver this service?

Council must provide this service in order to comply with the Local Government Act 2020 and Local Government Act 1989. Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

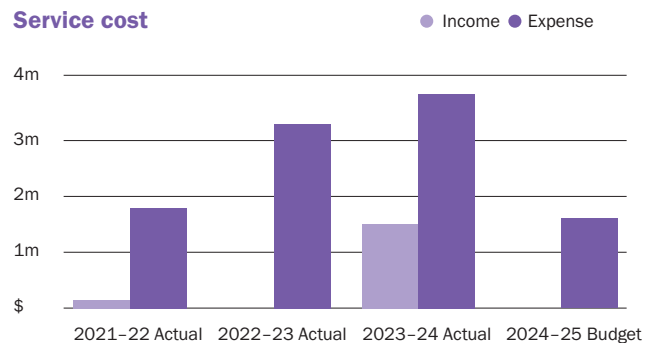
This service must comply with the Victorian Government Essential Services Commission rate cap and reforms, and Cardinia Shire Council policies including the Rates and Charges Financial Hardship Policy and the Revenue and Rating Plan.

Who benefits from our service?

This service provides Revenue and Rating services to all ratepayers in Cardinia Shire.

Additionally, this service also provides information to multiple State Government agencies, including the State Revenue Office, Valuer-General Victoria, the Essential Services Commission and the Victorian Local Government Grants Commission.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

The annual Local Government Performance Reporting Framework data published by the Victorian Government records the average rate expenditure per property and average rate per property assessment, rates compared to adjusted underlying revenue and rates compared to property values.

The shire wide Community Satisfaction Survey indicates community sentiment on value for money, and Council’s rates and revenue services.

Governance, Mayor and Councillors

Group Corporate Services
Business unit Governance, Safety and Property
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Governance team ensures that Council complies with the governance requirements of the Local Government Acts and ensures that Council and Town Planning meetings are transparent and effective, distributing agendas and minutes promptly.

The team provides advice on meeting logistics and governance rules, supports Councillors, and organises civic events such as citizenship ceremonies. They also update public information registers, ensure policy compliance, and liaise with external integrity agencies.

The service maintains a public list of policies and other public documents of Council as well as meeting documents and livestream videos via Council’s website.

Service outputs

- Council and Town Planning meetings.
- Civic ceremonies including Citizenship Ceremonies.
- Councillor requests.
- Published Council policies and information registers.
- Freedom of Information requests.
- Council election process.

Why do we deliver this service?

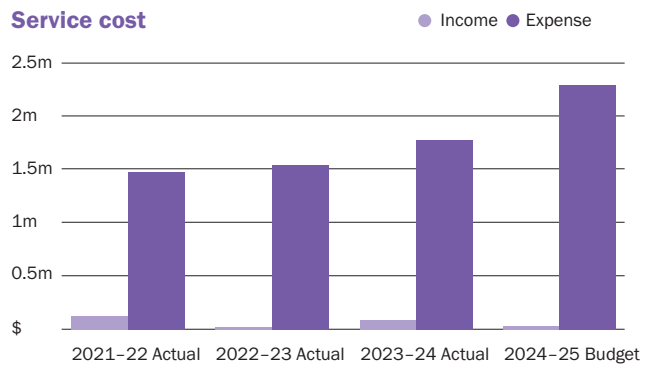
Council must provide this service in order to comply with the Local Government Act 1989 and Local Government Act 2020, as well as other probity and integrity requirements. Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

Who benefits from our service?

This service ensures that Council decision-making is compliant and transparent, and primarily provides support to Councillors, senior staff leaders and other Council services.

The community benefits when Council services are effective, efficient and conducted to high standards of transparency.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

The annual Local Government Performance Reporting Framework data published by the Victorian Government records Councillor attendance at council meetings, cost of elected representation and satisfaction with council decisions.

The Local Government Performance Reporting Framework requires the CEO and Mayor to certify that Governance and Management related policies are in place. This is published in the Annual Report.

The shire wide Community Satisfaction Survey indicates community sentiment on the overall performance of Council, value for money, Council’s direction, lobbying and community decision.

Property Services

Group Corporate Services
Business unit Governance, Safety and Property
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Property Services team manages the legal and technical aspects of Council’s property portfolio. This includes negotiating and administering over 150 leases and licences and facilitating expressions of interest for tenancies in key Council sites.

The team provides support to internal departments in government land matters. They facilitate and oversee any land sales and purchases of Council including by compulsory acquisition.

This service also protects Council’s legal interests in relation to easements and unmade roads, often responding to resident queries and seeking solutions to encroachment situations.

Service outputs

- Expressions of interest for leases.
- Payment of leases/licence, and other management of tenants.
- Negotiation of land acquisitions and sales.
- Dealings with easements and paper roads.

Why do we deliver this service?

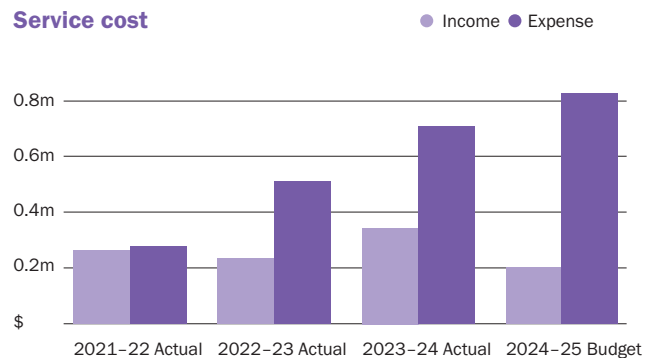
Council must provide this service in order to comply with the Local Government Act 2020 and occupational health and safety legislation. Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

This service is also a required service as Council manages public assets on behalf of the community. Council has some discretion about how this service is performed.

Who benefits from our service?

This service primarily supports other Council services. The community benefits when Council services are effective and efficient.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There is an annual portfolio report presented to the Executive Leadership Team.

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

Risk, Health and Safety

Group Corporate Services
Business unit Governance, Safety and Property
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Risk, Health and Safety team manages Council’s Strategic and Operational Risk Registers which are reported to the Risk Management Committee and the Audit and Risk Committee.

This team also looks after Council’s Business Continuity Plan and Council’s insurance portfolio, including managing all insurance claims, and is responsible for administering the annual funding allocations for community events.

The Safety team is responsible for keeping people safe and the organisation complying with its Occupational Health and Safety responsibilities, including Workcover and return to work programs.

The team focuses on the physical and mental wellbeing of our employees, volunteers and contractors.

Service outputs

- Audit and Risk Committee Reports, Council’s Risk Register.
- Insurance claim forms.
- Occupational Safety Inspections, WorkSafe and WorkSafe notifiable incidents.
- Public event applications and event funding grants.

Why do we deliver this service?

Council must provide this service in order to comply with the Local Government Act 2020 and occupational health and safety legislation.

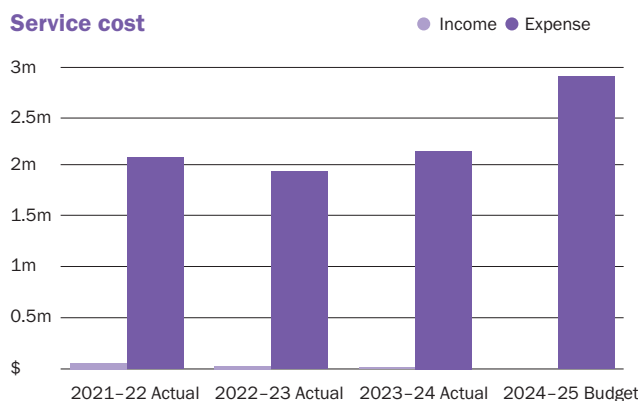
Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

Who benefits from our service?

This service primarily supports other Council services. The community benefits when Council services are effective and efficient.

Event organisers and community groups are the primary beneficiaries of the event grant and supporting programs.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

Regular reports are provided to both the Audit and Risk Committee (ARC) and the Executive Risk Committee.

The Local Government Performance Reporting Framework requires the CEO and Mayor to certify that Governance and Management related policies are in place. This is published in the Annual Report.

There are no formal measures in the shire wide Community Satisfaction Survey.

Information Services

Group Corporate Services
Business unit Information Technology
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The Information Services business unit exists to provide IT and business application support, records management, IT training and geographical services to the wider organisation, enabling efficient service delivery to the community and the achievement of Council's vision and objectives.

Information Services also provides cybersecurity protection of the Council's data.

Service outputs

- IT equipment and support for all Councillors, staff and all operations.
- Providing and maintaining business systems and software to enable Council services.
- Retention and protection of Council data and records.

Why do we deliver this service?

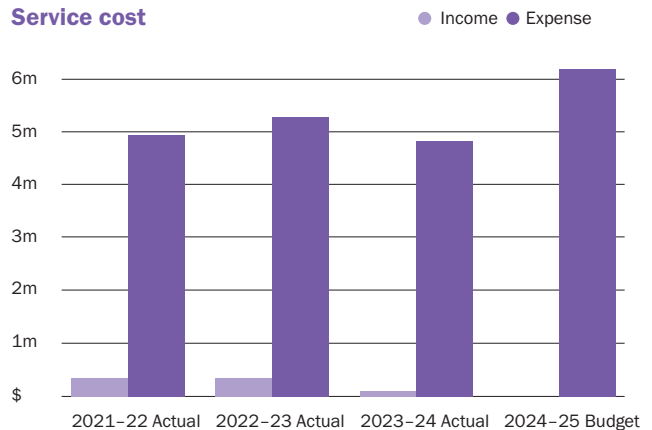
This service is an enabling service. This service is necessary so that other Council services can operate, and Council may decide how to deliver this service.

Council must comply with legislation and industry standards to ensure that personal information is protected, public records are appropriately retained, and Council systems are protected from cybersecurity risks.

Who benefits from our service?

This service primarily supports other Council services. The community benefits when Council services are effective and efficient.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

Information Services regularly assesses its services against industry standards and compliance requirements.

People and Culture

Group Corporate Services
Business unit People and Culture
Council Plan Priority Responsible Leadership – We practise responsible leadership.

What we do

The People and Culture business unit is responsible for a wide range of initiatives aimed at fostering a positive workplace culture.

The organisation’s People and Culture unit supports strategic workforce planning, recruitment and onboarding, reward and recognition, payroll, workplace relations, capability building and culture enhancement, diversity and inclusion, employee engagement and wellbeing initiatives, volunteers and career pathway.

Service outputs

- Strategic workforce planning.
- Recruitment and onboarding for all Council services.
- Workplace relations support and guidance.
- Capability building and employee engagement.
- Payroll.
- Reward and recognition.
- Support for volunteers, work experience and traineeship programs.

Why do we deliver this service?

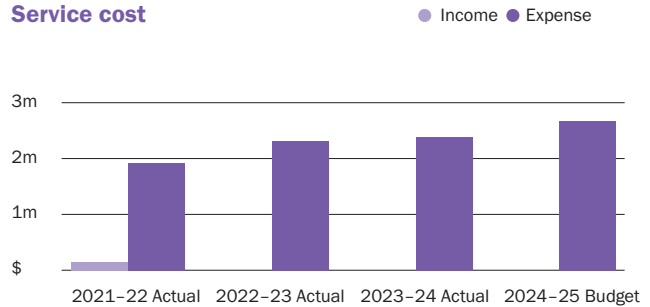
This service is an enabling service. This service is necessary so that other Council services are able to operate, and Council may decide how to deliver this service.

Various elements of this service are required under employment laws, and the Local Government Act and the Gender Equality Act.

Who benefits from our service?

This service primarily supports other Council services. The community benefits when Council services are effective and efficient.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

People and Culture are required to report data on Gender Equality to the Victorian Government annually.

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

The People and Culture team regularly report to the Executive Leadership Team regarding workplace culture and related matters.

Building Project Delivery

Group Infrastructure and Environment
Business unit Buildings and Facilities
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Building Project Delivery service scopes, plans, designs and builds municipal and community facilities including early years facilities, sports pavilions, aquatic and leisure facilities, community centres, libraries and youth hubs.

Service outputs

- Contract management.
- Procurement activities.
- Architectural designs.
- Stakeholder engagement.
- Benefits realisation.

Service cost

*The costs of this service are met from the Council capital project budget, not from the operating budget.

For this reason, we do not have any operating expenses for this service in this service catalogue.

In the 2024–25 financial year, this service will deliver 83 projects with a combined value of \$31.356 million.

Why do we deliver this service?

This service is required in order to deliver projects, such as facilities and other building infrastructure. Council has some discretion about the level and nature of projects that it plans to deliver.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Who benefits from our service?

This service plans for the future needs of Cardinia Shire and benefits a variety of current and future users of Council facilities, including community groups, tenants and recreation clubs.

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

Quarterly capital reporting that includes project status, high level project scope, tender awards, and community consultation for project designs is presented to Council and made available for the public to view.

Facilities Maintenance and Management

Group Infrastructure and Environment
Business unit Buildings and Facilities
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Facilities Maintenance and Management service manages all Council buildings, plant, equipment and lifts to ensure they comply with regulations and Council standards.

The service manages reactive and routine maintenance, repairs, cleaning, access management, facility security, utilities management, and asbestos management for Council facilities.

Additionally, Council aims to fulfill its facility management responsibilities through contracts and schedules that cover various requirements such as cleaning, alarm monitoring and security patrols.

Service outputs

- Repairs and upkeep of Council owned and managed buildings.
- Regular inspections and compliance to standards of essential safety measures like fire safety systems, emergency exits, and smoke alarms.
- Cleaning Council facilities, public conveniences and staff facilities.

Why do we deliver this service?

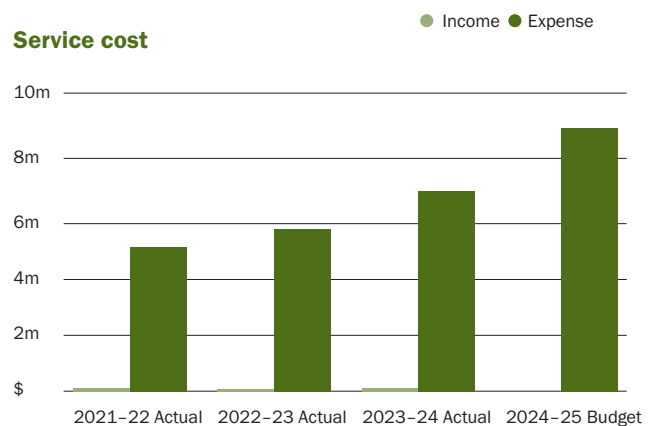
This service is a required service, because Council manages public assets on behalf of the community. Council has some discretion about the level of service that is provided in respect of these assets.

Buildings and facilities that are open to the public must be maintained to legislated standards including essential safety measures.

Who benefits from our service?

This service provides facility maintenance and management that benefits everyone who lives, works or visits Cardinia Shire facilities, including user groups, tenants and Council staff.

Service cost



* Expenditure reflects centralisation of building maintenance and shire utilities costs for all Council-owned and managed properties, including municipal facilities, early years, sports and community centres, public toilets and barbecues.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF).

The shire wide Community Satisfaction Survey indicates community sentiment on the importance of satisfaction with public toilets. Council measure success through feedback from facility users, and compliance with policies and legislative requirements.

Community Infrastructure (Civil Projects and Open Space)

Group Infrastructure and Environment
Business unit Community Infrastructure Delivery
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Community Infrastructure Service is provided by the Civil Projects Team and Open Space Team, who deliver Council’s civil and open space infrastructure, including road pavement renewals, resurfacing, car parks, drains, bridges, footpaths, recreation reserves, playgrounds, sports fields and associated infrastructure.

Service outputs

- Open space infrastructure upgrades including renewal of road rehabilitations, road resealing, new footpaths and shared paths, drains, bridges, lighting, recreation reserves, playgrounds, sports fields.
- Delivering the capital works program, including design, tender, contract award, works supervision/ project management, handover, and ensuring that projects deliver the expected outcomes.

Why do we deliver this service?

This service is required to deliver projects, such as roads, footpaths, car parks, drains, bridges, sports facilities, parks, playgrounds and other infrastructure. Council has some discretion about the level and nature of projects that it plans to deliver.

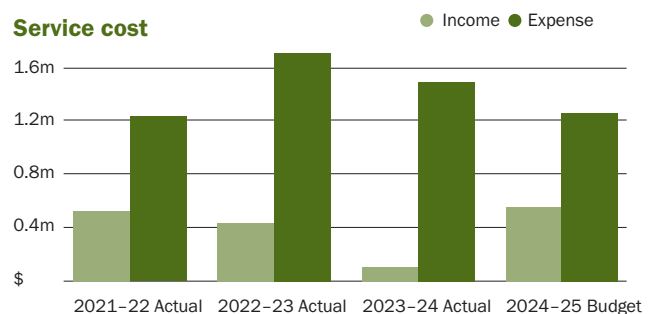
The projects delivered by this service must comply with design, safety and industry standards.

Council is required to provide part of this service to comply with multiple Acts including the Disability Discrimination Act, Road Management Act and Local Government Act. However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Who benefits from our service?

This service plans for the future needs of Cardinia Shire, and will benefit the future community of Cardinia Shire.

Service cost



* In the 2024-25 financial year, this service will deliver 120 projects with a combined value of \$25.632 million.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) for this service.

Civil capital works are planned each year as part of Council’s budget process, and the status of the works are reported regularly to the Executive Leadership Team and Council.

Progress on the delivery of capital works is a significant strategic indicator of the performance of Council.

Infrastructure projects that are funded by external funding agencies (including State and Federal governments and government departments) require progress reports, annual reports and grant acquittals.

The shire wide Community Satisfaction Survey indicates community sentiment on various open space infrastructure including roads, drainage, street lighting, provision of playgrounds and parks.

Major Projects

Group Infrastructure and Environment
Business unit Community Infrastructure Delivery
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

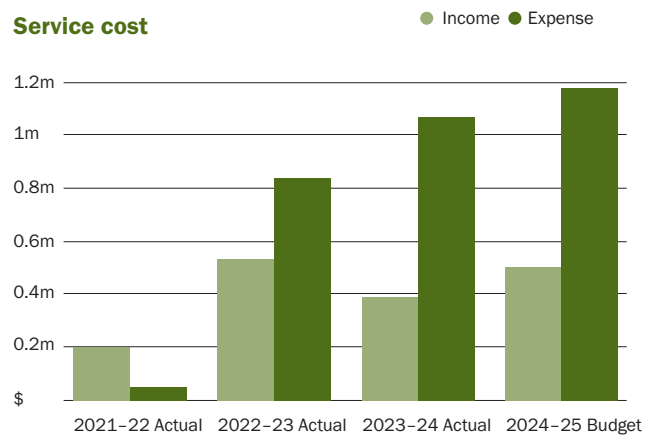
What we do

This service plans, advocates, develops and delivers major projects outlined in the Council Plan and budget with a strong focus on facilitating and bringing to life the Major Activity Centre Structure Plan objectives to create precincts that are well planned, loved and enjoyed by the community. This involves creating opportunities for collaboration with Federal and State infrastructure investment with an aim of achieving sustainable and future proofed community assets that improve precinct liveability.

Service outputs

- We engage with the community on the project vision, where the project will take place, and the outcomes Council is seeking to achieve. We do this in various ways to share how improvements will be made, and benefits to be experienced and enjoyed upon completion.
- Work closely with the Federal and State Government agencies to maximise the project outcomes and community benefit, with consideration for the safety, health and wellbeing of the community during the phases of project delivery.
- Support the implementation of more than \$1b of State Government-led projects in the shire and liaise with the relevant agencies to ensure the best outcomes for the community.

Service cost



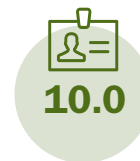
* In the 2024-25 financial year, this service will deliver 5 projects with a combined value of \$3.818 million.

Why do we deliver this service?

This service is required in order to deliver projects, such as facilities, parks, and other infrastructure. Council has some discretion about the level and nature of projects that it plans to deliver.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Who benefits from our service?

The community enjoys the creation and development of liveable spaces and places that are set up to support and strengthen community wellbeing.

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey.

The liveability survey captures key measures of liveability experienced by the communities in Cardinia, this serves as a success measure for creation of liveable spaces and places.

Major Roads Projects

Group Infrastructure and Environment
Business unit Community Infrastructure Delivery
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Major Roads Project team oversees major capital projects, including Sealing the Hills program, Princes Highway intersection upgrades, Strategic Road Sealing Program, and other civil capital works outlined in the capital works budget.

This service also works to advocate for major Federal and State infrastructure project improvements to ensure the best outcome and assets are delivered to the Cardinia community.

Service outputs

- Delivery of Sealing the Hills program, Princes Highway intersection upgrades, Strategic Road Sealing program, including minimising the impact on the natural environment.
- Delivery service of other major local Australian and Victorian Government infrastructure project improvements.
- Continued advocacy for strategically significant major road related projects and improvements.
- Investigate and deliver significant road related projects, where special charge schemes apply.

Why do we deliver this service?

This service is required to deliver projects, such as facilities, parks, and other infrastructure. Council has some discretion about the level and nature of projects that it plans to deliver.

The projects that this team deliver must comply with design, safety and industry standards.

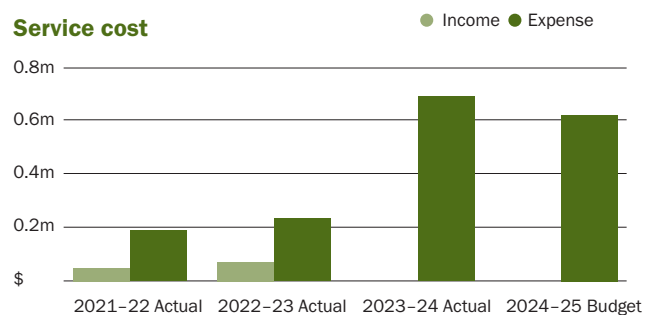
Council is required to provide part of this service, to comply with Disability Discrimination Act 1992 and Road Management Act.

However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Who benefits from our service?

This service plans for the future needs of Cardinia Shire and will benefit the future community of Cardinia Shire.

Service cost



* In the 2024-25 financial year, this service will deliver 40 projects with a combined value of \$23.011 million.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) for this service.

Civil capital works are planned each year as part of Council's budget process, and the status of the works are reported regularly to the Executive Leadership Team and Council.

Progress on the delivery of capital works is a significant strategic indicator of the performance of Council.

Civil infrastructure projects that are funded by external funding agencies (including State and Federal governments and government departments) require progress reports, annual reports and grant acquittals.

There are no formal measures in the shire wide Community Satisfaction Survey.

Traffic and Transport

Group Infrastructure and Environment
Business unit Community Infrastructure Delivery
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Traffic and Transport service is a referral service for both internal departments and external agencies, for planning referrals, traffic management plans, local area traffic management, parking restrictions, Heavy Vehicle approvals and planning for improved footpath network and road safety.

Service outputs

- Advice to the developers/Planning and Development teams for planning applications and development approvals.
- Local area traffic management such as speed humps and roundabouts.
- Customer requests, temporary road closures and changes for events and road works.
- Traffic management approvals – for road works, event traffic management, road closures.
- External referral service for Victorian Government and Victoria Police, including post traffic crash investigations.
- National Heavy Vehicle Regulator approvals (large truck access).
- Road safety assessments and grant applications including Black Spot Program funding.
- Planning to improve the footpath network, including shared use paths and pedestrian crossings.

Why do we deliver this service?

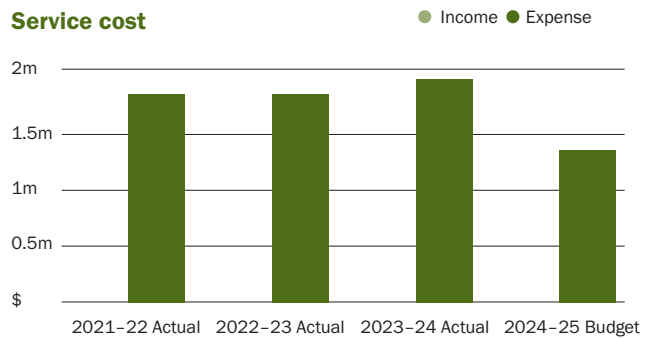
Council is required to provide part of this service to comply with the Road Management Act, Road Safety Regulations and Planning and Environment Act, and our decisions are influenced by the Cardinia Shire Planning Scheme, AustRoads/Department of Transport Guidelines, National Heavy Vehicle regulations and other legislation.

However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Who benefits from our service?

This service provides advice to many internal and external groups. As part of this service, decisions are made and policies applied that will benefit all those who live, work and travel in Cardinia Shire.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF).

The shire wide Community Satisfaction Survey indicates community sentiment on development in the municipality, and this is available in full on Council's website.

Biodiversity

Group	Infrastructure and Environment
Business unit	Environment and Heritage
Council Plan Priority	Thriving environments – We value our natural assets and support our biodiversity to thrive.

What we do

The Biodiversity service works to protect and care for our natural environment for future generations.

This service implements strategies under the Sustainable Environment Policy framework while meeting legislative requirements in partnership with the community to protect and enhance our local biodiversity.

Biodiversity services include providing advice to the organisation and the community on environmental impacts, developing and coordinating catchment scale projects, providing support to volunteer groups and coordinating community engagement including planting days.

The service also offers grants to landowners and community groups to improve the environment. By collaborating with various agencies, the biodiversity service aims to ensure a healthy and vibrant ecosystem that benefits all residents and local organisations.

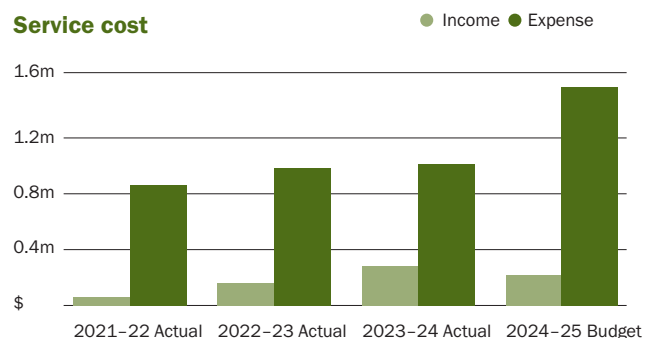
Service outputs

- Coordinate, advocate and implement the Bioink Plan, Biodiversity Conservation Strategy and Weed Management Strategy.
- Provide advice to all Council departments and the community on how to protect and enhanced our local biodiversity.
- Act as liaison with agencies and cross-catchment partnerships with agencies, volunteer groups, private properties.
- Provide grants to community and landowners to help improve our biodiversity.
- Environmental education, including events, planting days, information sessions.
- Consider planning applications that have impact on the environment such as native vegetation removals and impacts to threatened species.

as providing advice and support to other Council departments.

As part of this service, policies are developed and applied that will benefit future residents, and the environment.

Service cost



Why do we deliver this service?

Council is required to provide part of this service to comply with the Planning and Environment Act 1987. However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Council operations must also comply with Environment Protection and Biodiversity Conservation Act, Catchment and Land Protection Act, Planning and Environment Regulations, and this service provides advice to ensure this occurs.

Who benefits from our service?

This service works with Friends and Landcare groups, the Cardinia Environment Coalition and other community groups and industry partners, as well



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

Quarterly environment reports are presented to Council. There are no formal measures in the Local Government Performance Reporting Framework (LGPRF).

The shire wide Community Satisfaction Survey indicates community sentiment on the importance of environmental sustainability and performance.

Climate Change and Heritage

Group Infrastructure and Environment
Business unit Environment and Heritage
Council Plan Priority Thriving environments – We value our natural assets and support our biodiversity to thrive.

What we do

The Climate Change and Heritage service implements strategies under the Sustainable Environment Policy framework to help our organisation and community reduce emissions and transition to renewable energy while adapting to climate change. We also work on preserving our heritage and managing water resources effectively.

Our work includes delivering the Climate Change Adaptation Strategy and Energy Transition Plan, driving integrated water management outcomes and providing planning advice on heritage, and offering grants to protect significant sites. We also provide environmental education services to raise awareness about these important topics.

This service also operates the purpose-built Emerald Museum, located in the state significant Nobelius Heritage Park.

Service outputs

- Coordinate, implement and advocate in line with the Climate Change Adaptation Strategy, Aspirational Energy Transition Plan, Integrated Water Management Plan and support the Community Asset Committee to implement the Emerald Museum Strategic Plan.
- Provide planning advice in relation to applications with heritage impacts.
- Provide advice to all Council departments and the community on how to reduce energy and water use.
- Coordinate the heritage grant program to support the preservation of sites with heritage significance.
- Develop and deliver sustainability education programs and activities that cover the topics of biodiversity, climate change, heritage and water.

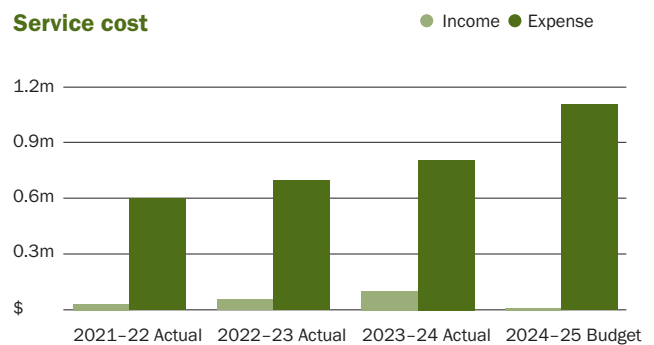
Why do we deliver this service?

Council is required to provide part of this service to comply with the Planning and Environment Act, Water Act and the Heritage Act. However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Who benefits from our service?

This service works with a range of groups, such as the Nobelius Heritage Park and Emerald Museum Community Asset Committee, and the South East Councils Climate Change Alliance. This service also provides advice and support to other Council departments. As part of this service, decisions are made and policies applied that will benefit current and future residents.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

Quarterly environment reports are presented to the Council. There are no formal measures in the Local Government Performance Reporting Framework (LGPRF).

The shire wide Community Satisfaction Survey indicates community sentiment on the importance of environmental sustainability and performance.

Natural Reserves

Group	Infrastructure and Environment
Business unit	Environment and Heritage
Council Plan Priority	Thriving environments – We value our natural assets and support our biodiversity to thrive.

What we do

The Natural Reserves service manage the shire’s natural reserves and vegetated road reserve network, with a long-term aim to reduce weed coverage and improve biodiversity values. This work is consistent with our Biodiversity Conservation Strategy, Weed Management Strategy and Biolink Plan.

We manage more than 80 natural reserves across the shire, with an area greater than 800 hectares, and over 200km of roadside reserves that hold environmental significance.

Service outputs

- Weed removal, new planting and revegetation.
- Exclusion fencing.
- Management of endangered animals and plants.
- Support volunteer friends’ groups who work in select Council reserves.

Why do we deliver this service?

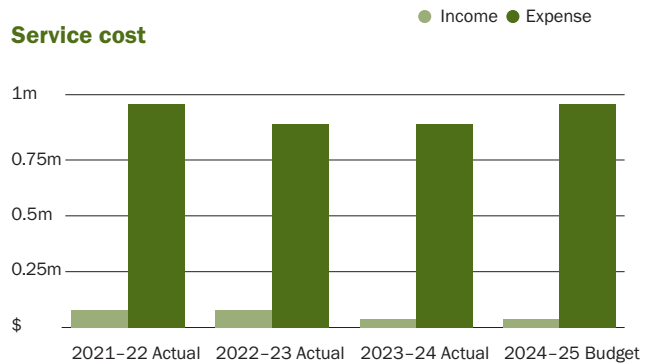
This service is a required service, because Council manages public assets on behalf of the community. Council has some discretion about the level of service that is provided in respect of this asset.

In protecting these assets, Council must comply with several laws that protect natural reserves, such as the Environment Protection and Biodiversity Conservation Act 1999, the Catchment and Land Protection Act 1994, and the Flora and Fauna Guarantee Act 1988.

Who benefits from our service?

This service maintains bushland reserves, which are for everyone who lives, works or visits Cardinia Shire to enjoy. The service works closely with volunteer friends’ groups supporting natural reserves.

Service cost



\$0.68

Cost of delivering this service out of every \$100 of operating budget

5.8

Full Time Equivalent staffing

Reporting on this service

Quarterly environment reports are presented to the Council. There are no formal measures in the Local Government Performance Reporting Framework (LG-PRF). The shire wide Community Satisfaction Survey indicates community sentiment and values parks, gardens, and reserves, trees, greenery, and a range of similar aspects.

Asset Management

Group Infrastructure and Environment
Business unit Infrastructure Services
Council Plan Priority Responsible leaders – We practice responsible leadership.

What we do

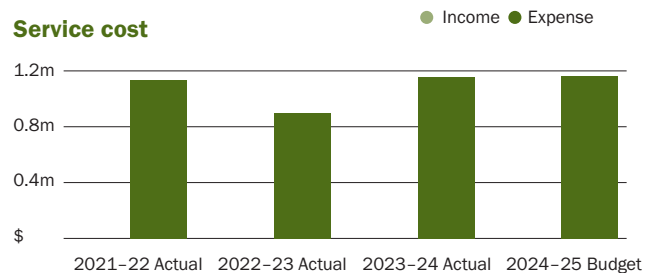
Our Asset Management service ensures that Council responsibly manages its asset portfolio including roads, open space, drainage, bridges and buildings in a planned and sustainable way.

This is done by maintaining the asset register, undertaking condition audits and revaluations, financial and predictive modelling, maintenance and renewal planning, development and implementation of asset management plans, strategies and policies, and reporting on assets. By doing this we maximise value from our assets, balancing the costs, opportunities and risks to deliver the desired and optimal performance, and service objectives.

Service outputs

- Assets are provided and maintained in suitable and safe working condition.
- Budget and financial reporting that includes appropriate investment, renewal and maintenance of existing assets.
- Construction of new assets at a pace and cost within Council’s financial capacity.

Service cost



Why do we deliver this service?

Council must provide this service in order to comply with the asset planning and financial management requirements of the Local Government Act. Council has little discretion in how this service is provided, because we need to comply with State government policies, practice notes and professional standards.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Who benefits from our service?

This service plans for the future needs of Cardinia Shire, and benefits the current and future community of Cardinia Shire.

The service also benefits other public asset managers within state government departments that Council works closely with.

Reporting on this service

The Victorian Government’s annual Local Government Performance Reporting Framework includes success metrics such as asset renewal and upgrade compared to depreciation, current assets compared to current liabilities, requests for sealed local roads, maintenance of local roads to prescribed standards, costs associated with sealed road resealing and satisfaction levels with sealed roads.

The shire-wide Community Satisfaction Survey captures community views on the importance of maintaining Cardinia’s asset portfolio.

The Asset Plan should align with and complement other Council planning and reporting documentation, including the Council Plan, Council Budget, Annual Report, and other longer-term planning documents such as the Community Vision and the Financial Plan. The Local Government Act requires the Council to deliver an Asset Plan every four years.

Development

Group Infrastructure and Environment
Business unit Infrastructure Services
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Development service oversees the design and construction of infrastructure that is constructed and delivered by developers as part of large urban development, such as new estates.

This service assesses, supports and coordinates engineering and landscape development to ensure infrastructure built by developers (and later handed over to Council) meets appropriate design, quality, environmental and amenity standards. This involves reviewing and advising on planning referrals, reviewing and approving engineering and landscape plans, and the ongoing monitoring and approving of constructed infrastructure.

Officers review the road, drainage, open space, landscape, service authority placement and access considerations. The service also reviews and approves development permits such as legal point of discharge, works in road reserve and building over easements.

Service outputs

- Roads, parks and footpaths meet all standards, and are constructed to Council’s satisfaction and according to approved plans.
- Developer assets that are transferred to Council are long lasting and avoid becoming a future financial burden.
- Permits and information are provided to support development.

Why do we deliver this service?

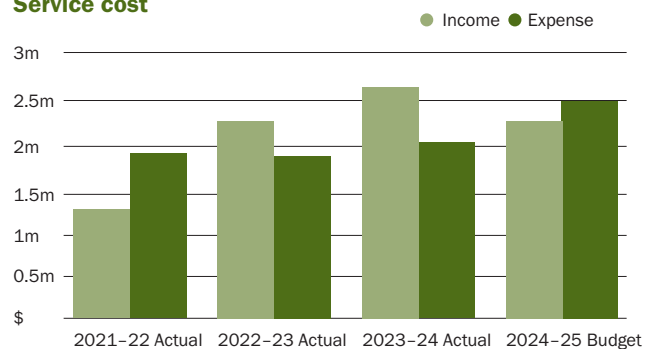
This service is a required service, because Council manages public assets on behalf of the community. Council has some discretion about the level of service that is provided in respect of this service.

This service performs legislated functions under the Planning and Environment Act and the Subdivisions Act.

Who benefits from our service?

This service primarily interacts with developers and their contractors. As part of this service, decisions are made and policies applied that will benefit future residents.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) for this service.

Statistics related to this service, including sealed roads construction and footpath construction, are also reported in quarterly growth reports to the Council and the public.

The shire wide Community Satisfaction Survey indicates community sentiment on the appearance and quality of new developments and maintenance and quality of assets.

Precinct Structure Plans Developer and Infrastructure Contribution Plan Management

Group Infrastructure and Environment
Business unit Infrastructure Services
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

Developer and infrastructure contributions are one of the primary means of ensuring that the cost of public infrastructure is partly funded by large-scale development. Most commonly, this is by collecting contributions or levies when specific developments proceed, and the funds are used for important public infrastructure projects.

This service is responsible for overseeing and managing the collection, accounting and allocation of these contributions and levies, and complying with the extensive governance requirements that apply to each scheme.

Depending on development activity, developer and infrastructure contributions will account for approximately \$20m to \$30m in received income each year. This service will also distribute approximately \$20m to \$30m from reserves of accumulated contributions for delivery of designated infrastructure projects.

Service outputs

- Oversight and reporting on various developer and infrastructure contribution plans that apply to development in the municipality.

Why do we deliver this service?

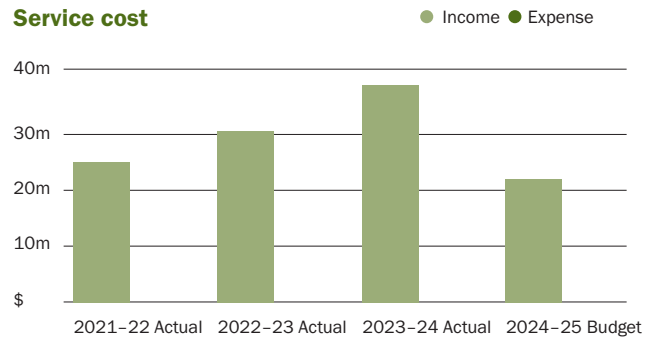
Council must provide this service in order to comply with multiple Acts that provide for developer contributions or levies. Council has little discretion in how this service is provided, because we need to comply with State Government policies, practice notes or professional standards.

Who benefits from our service?

This service primarily interacts with developers and their contractors. Implementation of the plans ensure future infrastructure is delivered within development areas, which benefit future residents.

Council own projects also receive contributions from these schemes.

Service cost



* Staff costs and expenses for this service were combined with the Development service.



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF) and the shire wide Community Satisfaction Survey for this service.

The operation of this service is accountable to the Victorian Planning Authority and relevant Planning Ministers.

Waste Management

Group Infrastructure and Environment
Business unit Infrastructure Services
Council Plan Priority Thriving environments – We value our natural assets and support our biodiversity to thrive.

What we do

The Waste Management service delivers an efficient, safe and cost-effective waste and recycling service to the community. This includes a variety of collection and processing services for garbage, recycling, food and green waste. The service also delivers hard waste collection, litter and dumped rubbish collection, litter prevention services and green waste drop off services.

Waste Management services also educate the community on how to use the service and reduce waste so that different waste streams can be processed effectively.

Service outputs

- Property waste, recycling and food and green waste services, delivered in an efficient, safe, and cost-effective manner.
- Hard waste collection and processing.
- Litter collection and enforcement activities.
- Publicising services and education activities to improve the effectiveness of the waste recovery system.

Why do we deliver this service?

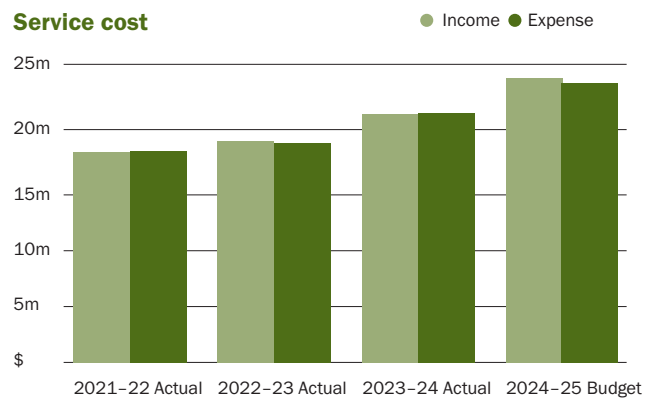
Council must provide this service in order to comply with the Circular Economy (Waste Reduction and Recycling) Act. Council has little discretion in how this service is provided, because we need to comply with State Government requirements.

State Government agencies regulate the operation of this service and prescribe how Council provides this service and how the service performs.

Who benefits from our service?

The Waste Management service benefits everyone who lives, works or visits Cardinia Shire.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

The annual Local Government Performance Reporting Framework (LGPRF) data published by the Victorian Government records the number of kerbside collection bins missed, cost of kerbside garbage bin collection service, cost of kerbside recyclables collection service and kerbside collection waste diverted from landfill.

Statistics related to this service, including waste management service levels, average garbage waste to landfill, recycled waste to recovery, and food and green waste to mulching, are also reported in quarterly performance reports to the Council and the public.

The shire wide Community Satisfaction Survey indicates community sentiment on waste and recycling services as well as value for money on the service.

Civil Maintenance

Group Infrastructure and Environment
Business unit Operations
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

The Civil Maintenance service is designed to ensure the safety and functionality of roads, drains and most assets associated with its function. This includes fixing and maintaining roads and gravel footpaths by smoothing out bumps and filling holes.

This service manages the dust control program, repairs potholes, and refreshes faded road markings. The team keeps stormwater flowing by clearing out drains, pits, and pipes, and replaces broken or missing pit lids. They also clean the surface of roads and bridges, cut grass along road edges, and take care of road signs. Additionally, the team fixes damaged guardrails and removes grass from gravel footpaths.

The service excludes maintenance and repairs of private property access points and drainage connections, and the maintenance of roads managed by other entities, such as VicRoads or Parks Victoria.

Service outputs

- Conduct inspections of roads, drainage infrastructure, footpaths, vehicular bridges, major culverts and other related infrastructure.
- Repair potholes, road scouring, and corrugations.
- Clean sealed road surfaces, and maintain shoulders, signs and line marking.
- Repair, maintain and reinstate handrails and guardrails.
- Clean swales, open drains.

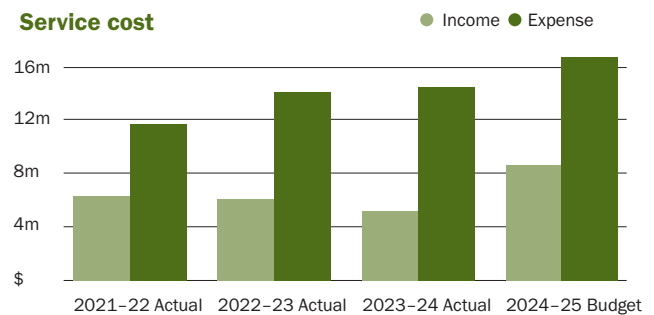
Why do we deliver this service?

Council is required to provide part of this service, in order to comply with the Road Management Act. However, Council has some discretion to decide how it will provide the service, or the way it provides the service.

Who benefits from our service?

This service provides a range of services that benefits everyone who lives, works or visits Cardinia Shire.

Service cost



Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

The Local Government Performance Reporting Framework (LGPRF) captures a range of information regarding civil maintenance, including community satisfaction with sealed local roads, costs of sealed road maintenance, and ratio of service requests to the length of roads in the road network.

Statistics related to this service, including unsealed road service requests, road grading efforts, corrugation or pothole complaints, and the clearing of surface and underground drains, are also reported in quarterly performance reports to the Council and the public.

Community satisfaction with civil maintenance is extensively surveyed in our annual Community Satisfaction Survey, and the results are reported to Council and the public.

Open Space Maintenance

Group Infrastructure and Environment
Business unit Operations
Council Plan Priority Liveable places – We support the creation of liveable spaces and places.

What we do

Open Space Maintenance is delivered by the Open Space Presentation and Tree Care teams, who are responsible for maintaining public spaces by removing graffiti, cutting grass, trimming overgrown branches, and eliminating invasive plants.

The teams repair and replace playground equipment, ensuring safety and adequate mulch coverage. They refurbish park infrastructure and furniture, clean footpaths and hard surfaced areas, and maintain timber bridges, boardwalks, and lookouts. The teams inspect trees, respond to emergencies involving fallen trees and branches, and ensure compliance with legislation by trimming trees near electrical lines. They also provide tree maintenance advice, manage new planting programs, and oversee tree planting projects.

Service outputs

- Cut grass in open spaces, trim shrubs’ overgrown branches, and remove invasive plants in gardens.
- Inspect and maintain trees, respond to emergencies, and manage new planting programs.
- Remove graffiti from Council-owned walls and surfaces.
- Repair and maintain playground equipment, ensuring safety and adequate soft fall.
- Refurbish park infrastructure and clean public footpaths and hard surfaced areas.

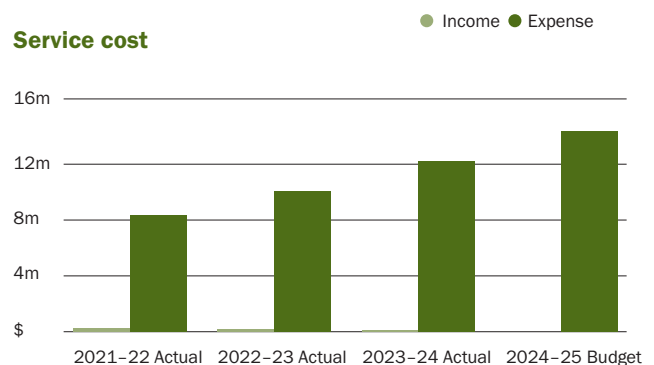
Why do we deliver this service?

Parts of this service are required in order to comply with statutory rules, including the Electricity Safety (Electric Line Clearance) Regulations, and maintenance of playground equipment in line with applicable Australia Standards. Other parts of this service are discretionary, and Council may decide what level or type of service it provides.

Who benefits from our service?

This service provides a range of services that benefit everyone who lives, works or visits Cardinia Shire.

Service cost



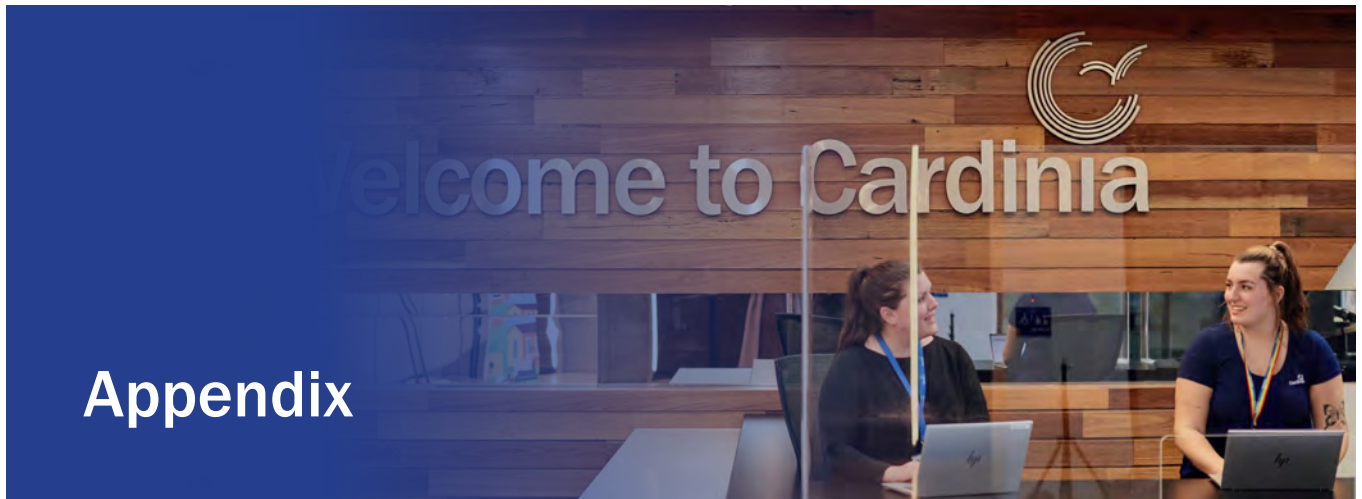
Cost of delivering this service out of every \$100 of operating budget



Full Time Equivalent staffing

Reporting on this service

There are no formal measures in the Local Government Performance Reporting Framework (LGPRF). The Community Satisfaction Survey gauges resident perceptions of open space maintenance, street sweeping, and amenity of strip shopping areas. The shire wide Community Satisfaction Survey is conducted annually, and the outcomes are reported on our website.



Appendix

Performance indicators

Aquatic facilities

Service indicator	2021–22	2022–23	2023–24	Material variation
Service standard <i>Health inspections of aquatic facilities</i> [Number of authorised officer inspections of Council aquatic facilities/Number of Council aquatic facilities]	2.20	2.20	2.40	
Utilisation <i>Utilisation of aquatic facilities</i> [Number of visits to aquatic facilities/Municipal population]	3.29	5.50	5.13	
Service cost <i>Cost of aquatic facilities</i> [Direct cost of aquatic facilities less income received/Number of visits to aquatic facilities]	-\$0.87	\$0.64	\$0.87	Increase in contract costs impacted this measure.

Animal management

Service indicator	2021-22	2022-23	2023-24	Material variation
Timeliness <i>Time taken to action animal management requests</i> [Number of days between receipt and first response for all animal management requests/Number of animal management requests]	4.53	4.90	4.87	
Service standard <i>Animals reclaimed</i> [Number of animals reclaimed/ Number of animals collected] x100	46.63%	38.20%	42.24%	A slight increase due to a reduced reclaim fee for a period during the year due to the pound being at capacity.
Service standard <i>Animals rehomed</i> [Number of unclaimed collected animals rehomed / Number of unclaimed collected animals collected] x100	11.06%	15.57%	33.47%	Cats and dogs are now rehomed from a new pound creating higher adoption rates.
Service cost <i>Cost of animal management service</i> [Direct cost of the animal management service/Municipal population]	\$4.04	\$4.45	\$4.22	
Health and safety <i>Animal management prosecutions</i> [Number of successful animal management prosecutions/ Number of animal management prosecutions] x100	100%	100%	100%	

Food safety

Service indicator	2021–22	2022–23	2023–24	Material variation
Timeliness <i>Time taken to action food complaints</i> [Number of days between receipt and first response for all food complaints/ Number of food complaints]	1.52	1.58	1.46	
Service standard <i>Food safety assessments</i> [Number of registered Class 1 food premises and Class 2 food premises that received an annual food safety assessment in accordance with the <i>Food Act 1984</i> /Number of registered Class 1 food premises and Class 2 food premises that require an annual food safety assessment in accordance with the <i>Food Act 1984</i>] x100	100%	100%	100%	
Service standard <i>Food safety samples</i> [Number of food samples obtained/ Required number of food samples] x100	New	New	106.15%	
Service cost <i>Cost of food safety service</i> [Direct cost of the food safety service/Number of food premises registered or notified in accordance with the <i>Food Act 1984</i>]	\$310.78	\$359.05	\$358.71	
Health and safety <i>Critical and major non-compliance outcome notifications</i> [Number of critical non-compliance outcome notifications and major non-compliance notifications about a food premises followed up/ Number of critical non-compliance outcome notifications and major non-compliance notifications about a food premises] x100	100%	100%	100%	

Governance

Service indicator	2021-22	2022-23	2023-24	Material variation
Transparency <i>Council decisions made at meetings closed to the public</i> [Number of Council resolutions made at ordinary or special meetings of Council, or at meetings of a special committee consisting only of Councillors, closed to the public/ Number of Council resolutions made at ordinary or special meetings of Council or at meetings of a special committee consisting only of Councillors]	3.54%	3.85%	1.40%	Council actively attempts as far as possible to minimise the number of decisions made at closed meetings, only 3 such decisions were made during the year which is less than the previous year.
Consultation and engagement <i>Satisfaction with community consultation and engagement</i> [Community satisfaction rating out of 100 with how Council has performed on community consultation and engagement]	68	67	67	
Attendance <i>Councillor attendance at Council meetings</i> [The sum of the number of Councillors who attended each ordinary and special Council meeting/(Number of ordinary and special Council meetings)x(Number of Councillors elected at the last Council general election)] x100	91.11%	92.86%	92.93%	
Service cost <i>Cost of governance</i> [Direct cost of governance service/ Number of Councillors elected at the last Council general meeting]	\$56,036.33	\$60,879.00	\$61,892.22	
Satisfaction <i>Satisfaction with Council decisions</i> [Community satisfaction rating out of 100 with how Council has performed in making decisions in the interest of the community]	65	64	64	

Libraries

Service indicator	2021-22	2022-23	2023-24	Material variation
Resource standard <i>Recently purchased library collection</i> [Number of library collection items purchased in the last five years/ Number of library collection items] x100	74.93%	86.98%	68.84%	Myli utilises a floating collection system which means that if items from other Myli libraries are requested by Cardinia patrons, those items relocate to Cardinia, inflating the total collection size. The total collection is approximately 17,000 items larger than last year.
Service cost <i>Cost of library service per population</i> [Direct cost of library service/ Municipal population]	\$15.19	\$14.63	\$16.44	Service cost this year reflects expected ongoing costs following change in service provider in 2022-23.
Utilisation <i>Loans per head of population</i> [Number of collection item loans/ Population]	New	New	2.81	
Participation <i>Library membership</i> [The number of registered library members/ Population] x100	New	New	21.53%	
Participation <i>Library visits per head of population</i> [Number of library visits/ Population]	New	New	2.27	

Maternal and Child Health (MCH)

Service standard	101.16%	101.17%	101.24%	
<i>Infant enrolments in the MCH service</i> [Number of infants enrolled in the MCH service (from birth notifications received)/Number of birth notifications received] x100				
Service cost	\$75.07	\$70.34	\$63.13	This has been impacted by an increase in staff resources and extended consultation timeframes required to meet funding obligations.
<i>Cost of MCH service</i> [Direct cost of MCH service/Hours worked by MCH nurses]				
Participation	67.41%	71.97%	72.75%	
<i>Participation in the MCH service</i> [Number of children who attend the MCH service at least once (in the year)/Number of children enrolled in the MCH service] x100				
Participation	67.62%	75.43%	77.63%	
<i>Participation in the MCH service by Aboriginal children</i> [Number of Aboriginal children who attend the MCH service at least once (in the year)/Number of Aboriginal children enrolled in the MCH service] x100				
Satisfaction	96.53%	95.83%	97.08%	
<i>Participation in four-week Key Age and Stage visit</i> [Number four-week Key Age and Stage visits/Number of birth notifications received] x100				

Roads

Service indicator	2021–22	2022–23	2023–24	Material variation
Satisfaction of use <i>Sealed local road requests</i> [Number of sealed local road requests/Kilometres of sealed local roads]	82.05	100.38	72.56	Favourable weather conditions and a focus by maintenance crews to proactively identify and repair defects before they are reported by the public impacted this measure.
Condition <i>Sealed local roads maintained to condition standards</i> [Number of kilometres of sealed local roads below the renewal intervention level set by Council/Kilometres of sealed local roads] x100	98.83%	99.13%	99.39%	
Service cost <i>Cost of sealed local road reconstruction</i> [Direct cost of sealed local road reconstruction/Square metres of sealed local roads reconstructed]	\$33.23	\$32.48	\$41.87	This measure is impacted by increases in construction costs and the complexity of the road reconstruction projects undertaken this year.
Service cost <i>Cost of sealed local road resealing</i> [Direct cost of sealed local road resealing/Square metres of sealed local roads resealed]	\$12.97	\$11.22	\$15.96	This measure is impacted by increases in construction costs and the complexity of the road resealing projects undertaken this year.
Satisfaction <i>Satisfaction with sealed local roads</i> [Community satisfaction rating out of 100 with how Council has performed on the condition of sealed local roads]	64	61	59	

Statutory planning

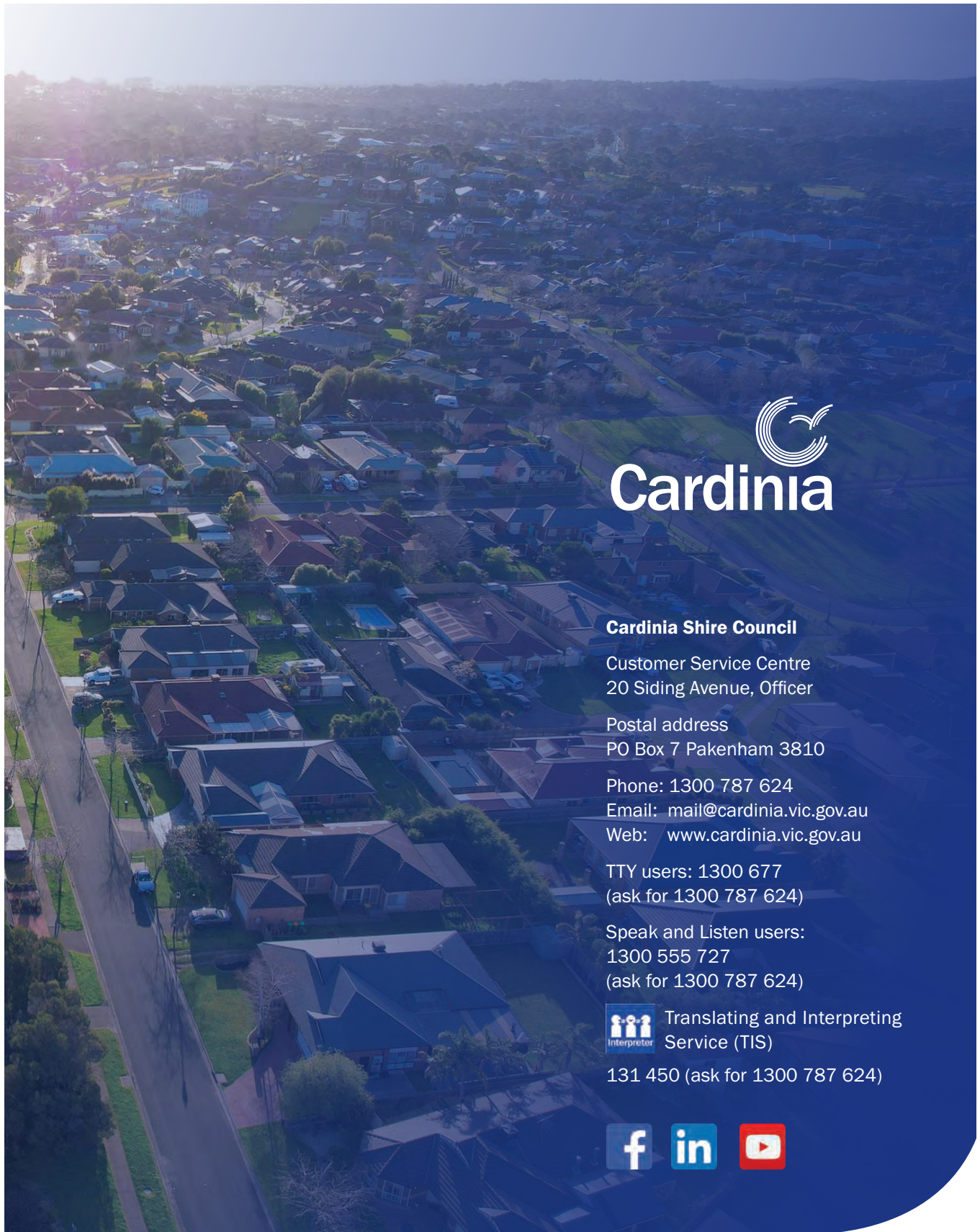
Service indicator	2021–22	2022–23	2023–24	Material variation
Timeliness <i>Time taken to decide planning applications</i> [The median number of days between receipt of the planning application and a decision on the application]	112	169	168	
Service standard <i>Planning applications decided within required time frames</i> [(Number of regular planning application decisions made within 60 days) + (Number of VicSmart planning application decisions made within 10 days) / Number of planning application decisions made] x100	41.62%	31.31%	63.00%	The improvement to this measure follows additional resourcing to improve timeliness and older applications.
Service cost <i>Cost of statutory planning service</i> [Direct cost of statutory planning service/Number of planning applications received]	\$1,559.89	\$3,126.13	\$3,654.79	The higher cost of the planning service reflects the additional resourcing provided to Council's Planning Department and increasing number of applications for review at VCAT.
Decision making <i>Council planning decisions upheld at VCAT</i> [Number of VCAT decisions that did not set aside Council's decision in relation to a planning application/ Number of VCAT decisions in relation to planning applications] x100	57.14%	50%	87.5%	This result is always highly variable given the small number of cases that proceed to VCAT and the specific nature of each case.

Waste management

Service indicator	2021-22	2022-23	2023-24	Material variation
Service standard <i>Kerbside collection bins missed</i> [Number of kerbside garbage and recycling collection bins missed/ Number of scheduled kerbside garbage and recycling collection bin lifts] x10,000	8.06	6.99	3.38	This measure has benefitted from a dedicated focus on improving this aspect of the service in partnership with our contractor.
Service cost <i>Cost of kerbside garbage bin collection service</i> [Direct cost of the kerbside garbage bin collection service/Number of kerbside garbage collection bins]	\$118.67	\$156.47	\$161.72	
Service cost <i>Cost of kerbside recyclables collection service</i> [Direct cost of the kerbside recyclables bin collection service/ Number of kerbside recyclables collection bins]	\$76.53	\$69.58	\$69.68	
Waste diversion <i>Kerbside collection waste diverted from landfill</i> [Weight of recyclables and green organics collected from kerbside bins/Weight of garbage, recyclables and green organics collected from kerbside bins] x100	48.08%	48.22%	48.09%	

Cardinia Shire Council
2024 Annual Community Satisfaction Survey

	Service/facility	2024 Cardinia Shire mean	2023	2024 metro Melbourne average
Higher than average	Regular weekly garbage collection	8.7	8.8	8.2
	Regular fortnightly recycling	8.7	8.6	8.2
	Fortnightly food/green waste collection service	8.5	8.6	8.1
	Local library services	8.5	8.6	8.2
	Community centres / neighbourhood houses	8.3	7.9	7.8
	Bookable hard rubbish service	8.3	7.9	8.0
	Provision of public art centres	8.1	7.8	7.5
Average satisfaction	Sports ovals and other local sporting facilities	7.9	8.2	7.9
	Support services for seniors	7.9	7.3	7.7
	Bike and shared paths	7.7	7.5	7.4
	Recreation centres and/or aquatic centres	7.7	8.0	7.7
	Services for youth	7.6	7.5	7.5
	Provision and maintenance of playgrounds	7.6	7.7	7.8
	Enforcement of local laws	7.4	7.6	7.7
	Planning and housing development	7.4	7.4	7.2
	Customer service	7.3	7.2	7.1
	Animal management	7.3	7.5	7.7
	Street lighting	7.3	7.4	7.5
	Provision/maintenance of parks and gardens	7.3	7.4	7.5
	Parking enforcement	7.2	7.3	7.2
	Support services for people with disability	7.2	7.2	7.4
	Maintenance/cleaning of strip shopping areas	7.2	7.5	7.5
	Council communication activities	7.2	7.4	7.5
	Street sweeping	7.2	7.4	7.6
	Environmental events, programs and activities	7.2	7.3	7.6
	Litter collection in public areas	7.2	7.3	7.5
	Council's activities promoting economic development	7.1	7.4	7.4
Lower than average	Local traffic management	7.0	7.3	7.2
	Footpath maintenance and repairs	7.0	7.0	7.3
	Maintenance and cleaning of public areas	6.9	7.2	7.4
	Provision and maintenance of street trees	6.9	7.1	7.4
	Public toilets	6.8	6.6	6.9
	Illegally dumped rubbish	6.7	6.9	7.5
	Drains maintenance and repairs	6.7	7.0	7.4
	Maintenance and repair of unsealed local roads	6.2	6.2	N/A
	Maintenance and repair of sealed local roads	5.9	6.1	7.0
Governance and leadership	6.4	6.4	6.9	



Cardinia Shire Council

Customer Service Centre
20 Siding Avenue, Officer

Postal address
PO Box 7 Pakenham 3810

Phone: 1300 787 624
Email: mail@cardinia.vic.gov.au
Web: www.cardinia.vic.gov.au

TTY users: 1300 677
(ask for 1300 787 624)

Speak and Listen users:
1300 555 727
(ask for 1300 787 624)



Translating and Interpreting
Service (TIS)

131 450 (ask for 1300 787 624)



7.2.2 Cardinia Life Redevelopment Funding Submission

Responsible GM: Debbie Tyson
Author: Michael Casey

Recommendation(s)

That Council endorses a contribution of \$10,616,000 towards stage 1A works for the Cardinia Life Redevelopment, should Council's submission to the Urban Precincts and Partnerships Program be successful.

Executive Summary

Planning for a redevelopment of Cardinia Life has been underway for over three years. Attention has been focused on a feasibility study (2021), the first round of community engagement (2022) and the development of a department of treasury and finance compliant business case (2023).

Throughout the project, Council has been consistent in messaging that the project cannot proceed without substantial external funding.

Officers recently submitted a funding application to the Federal government's Urban Precincts and Partnerships program, seeking \$45,000,000 toward the cost of works for part of the stage 1 scope. If successful, Council will need to commit \$10,616,000 towards the project.

Background

Cardinia Life is Council's premier and only indoor aquatic and leisure facility. A feasibility study completed in 2013 made recommendations that the facility, constructed in 2006, was no longer able to meet the needs of the community. Efficiencies in programming eased some of the strain on capacity at the facility, however usage continued to increase.

An updated feasibility study completed in 2021 identified that the facility has reached capacity across health and fitness, aquatics and the stadium. The study recommended components including a 50m pool, large indoor warm water pool, indoor aquatic playground, additional gym and fitness options, four additional indoor sports courts, multi-purpose program rooms, a wellness centre, café, dedicated gymnastics centre and two outdoor sports courts. The feasibility study recommended these components following a detailed review of existing facilities, usage, and industry trends, to meet community needs well into the future.

In early 2022 an extensive round of community engagement was undertaken. The community provided feedback through our online engagement platform, emails, via targeted phone calls, through interview sessions and intercept surveys, via briefing sessions, in focus groups and via drop-in sessions.

Community feedback was reviewed with findings from the feasibility study, and in consultation with consultants and the project working and control groups, to develop a project scope and staging priorities. These were presented to Council and endorsed at the September 2022 Council meeting as follows:

Aquatics:

- Existing lap pool to be repurposed to warm water pool
- Indoor 50m pool, with moveable boom, 8 x 2.5m lane widths
- Indoor pool amenities including accessible change with direct hoist access to warm water pool, and specific family change space
- Zero depth entry, soft fall/splash pad with large aquatic playground and interactive play features, all accessible. Adjoining small toddler's pool
- Spa, sauna, steam room
- Multi-purpose room on pool deck, with kitchenette and small storage
- Large pool deck storage
- Pool deck seating serving all pool beds

Health and Fitness:

- 1100m² gym space
- Group fitness room, catering for 50 participants
- Cycle studio, catering for 50 bikes
- Yoga/Pilates studio
- Multi-purpose room, with kitchenette and small storage

Stadium

- 4 indoor stadium courts, with one of these courts being a show court – seating / viewing areas focused on show court
- Multi-purpose room, with kitchenette and small storage
- Stadium amenities
- Large storage
- Unisex accessible referee change rooms and amenity
- Small office
- 1550m² gymnastics facility
- Air-conditioning and heating provided to courts

Centre

- Existing gym space to be repurposed to wellness facility
- Larger café
- Increase car parking, clearly defined, well-lit and sheltered path through parking to entrance. More accessible parking bays, and inclusion of 'long' bays for those unloading wheelchairs
- Comprehensive surveillance system with capacity for external monitoring
- Separate entrance/s, wheelchair access through all entrances / turnstiles
- Air-conditioning and heating throughout building
- Merchandising area with fitting room
- Increase staff administration space
- Two outdoor sports courts, paths of travel to and from parking/entrance, well-lit and sheltered

Other considerations requiring more investigation

- Technology
- Green rating / sustainability
- SALTO

The first stage of works is proposed to be the stadium stage, including construction of four stadium courts, a gymnastics facility, change rooms, office space, storage, and car parking. More recently this has been updated to include a full replacement of the existing stadium roof.

To support Council's funding submission to Urban Precincts and Partnerships program (outlined further below), the scope of stage 1 works has been split, with the funding

submission focusing on construction of four stadium courts, a gymnastics facility, partial car park works, and a full replacement of the existing stadium roof.

Late 2022, Deloitte was engaged to complete a department of treasury and finance compliant business case for the project. The business case developed three options for the redevelopment including:

1. A base case – doing nothing
2. Redevelop and expand in line endorsed scope
3. Redevelop and partially relocate in line with endorsed scope

Through a benefits management plan, investment logic mapping, an options assessment, risk workshop and multiple procurement workshops, option 2 was the clear top option.

Advocacy efforts have been ongoing and have included:

- A site visit and walk through at Cardinia Life with the Shadow Minister for Tourism, Sport and Events, Sam Groth.
- A meeting with the Minister for Housing, Harriet Shing, and Member of Parliament for Pakenham, Emma Vulin.
- A meeting and written correspondence with the Minister for Infrastructure, Catherine King
- Discussions with Senator Jess Walsh, and a likely upcoming site visit.

In October officers submitted a funding application to the Urban Precincts and Partnerships Program, a federal funding stream, seeking \$45,000,000 for the construction of part of stage 1.

The scope of works proposed with the application is provision of 4 indoor sports courts including a showcourt, 1500sqm gymnastic facility, partial car park works and a full stadium roof replacement.

Funding announcements are expected in January or February 2025. This stage of the project will need to be completed by December 2026.

Attached to this report are the feasibility study from 2021, the community consultation report from 2022 and the business case including masterplan and all attachments.

Policy Implications

There are no policy implications as part of this report

Financial and Resource Implications

The capital cost estimates for the project are risk adjusted, complying with department of treasury and finance requirements. The capital cost estimate report refers to the 'P90 (risk adjusted)' cost for stage 1 as \$82,720,356.

The stage 1 scope has been split as follows, to align the funding submission.

Stage 1A

- 4 indoor stadium courts, with one of these courts being a show court
- 1550m² gymnastics facility
- Partial car park and foyer upgrades

Stage 1B

- Refurbished creche

- Stadium seating
- Full car park upgrades

Stage 1A works are the focus of the funding submission, with an estimated cost of \$55,616,000. The funding submission is seeking \$45,000,000 from the federal government towards stage 1A works. If successful with the funding application, Council is required to contribute \$10,616,000.

More accurate project estimations will be determined as the project progresses through the detailed design process.

Relevance to Council Plan

1.1 We empower our communities to be healthy, connected and resilient

1.1.1 Plan for, and support the delivery of, accessible health and social services that address critical gaps in provision.

1.1.2 Enrich local identity and opportunities for the community to connect through art, history and cultural expression.

1.1.5 Work closely with the community to deliver programs that build community resilience, relating to a pandemic or other disasters.

2.1 We support the creation of liveable spaces and places

2.1.1 Advocate, plan for and deliver accessible community infrastructure and services that address community need.

3.1 We value our natural assets and support our biodiversity to thrive

3.1.1 Partner with community, business and industry to take action on, and adapt to, climate change.

3.1.4 Plan and advocate for better water cycle planning and management to reduce environmental impacts.

5.1 We practise responsible leadership

5.1.1 Build trust through meaningful community engagement and transparent decision-making.

5.1.2 Manage our finances responsibly and leave a positive legacy for future generations.

5.1.4 Maximise value for our community through efficient service delivery, innovation, strategic partnerships and advocacy.

Climate Emergency Consideration

The existing infrastructure at Cardinia Life is not environmentally or financially sustainable. Climate change is an ongoing challenge that necessitates a holistic approach to planning and operating pools to minimise ecological footprint.

Consultation/Communication

The engagement report from initial round of community engagement is attached to this report. Further community consultation will occur through the detailed design process.

Conclusion

Planning for the redevelopment of Cardinia Life has included multiple feasibility studies, community engagement and the development of a department and treasury compliant business case.

Council has endorsed a scope for the project and prioritised stage 1 works as construction of four indoor sports courts, including a showcourt, a 1500sqm gymnastics facility, car park works and other internal refurbishments.

Officers have submitted a funding application seeking \$45M towards part of the stage 1 scope, which requires Council to commit \$10.6M towards the project, if the funding application is successful.

Attachments

Nil

7.2.3 Torongo Park Naming

Responsible GM: Debbie Tyson
Author: Belinda Powell

Recommendation(s)

That Council undertakes a new community engagement process to determine the name for Officer District Park.

Executive Summary

Cardinia Shire Council has been made aware of an concerns regarding the chosen name for the Officer District Park, which was endorsed by Council to be Torongo Park.

The Bunurong Land Council Aboriginal Corporation (BLCAC) has advised Council that, upon further review from their new Linguistics team, the provided name of '*Torongo*' is no longer an appropriate name for the landmark park.

BLCAC have recently implemented a much more rigorous and effective standard for researching Boonwurrung language and have now advised that the word for 'heart' in Boonwurrung should properly be spelled *durru*.

As '*Torongo*' is not an accurate word for 'heart' in Boonwurrung language, and '*durru*' was not the name voted on and chosen by the community, it is recommended that Council not proceed with the name '*Torongo*' and instead, commit to finding a more appropriate name moving forward.

Background

At the commencement of preparing the masterplan for this site in 2016 it was determined to refer to the site as Officer District Park. Officer District Park was always intended to be a working title to support the design phase of this project. Geographic Names Victoria and Council's Place Naming Policy strongly encourage the use of indigenous language when considering naming of local roads, features and localities. Accordingly, it was deemed appropriate to pursue a process to identify an indigenous name for this facility

In May 2024, Council invited the community to have their say on a new name for Officer District Park.

In partnership with the BLCAC and local Koori Kids, six indigenous names were provided and put forward as potential new names for the landmark park. The names were voted on by the wider community and '*Torongo*' was chosen as the preferred name for the site.

Council was initially directed by BLCAC that the name *Torongo* was significant, because it was believed to mean "heart" in the Boonwurrung language. The name was then chosen to recognise and reflect the cultural and historical importance of the area, as well as to honour the Bunurong people and their connection to the land.

After extensive community consultation and further review from BLCAC, the name '*Torongo Park*' was formally endorsed by Council at the Council Meeting on 19 August 2024.

Discussion

The BLCAC has recently advised Council that upon further review from their new Linguistics team, that the provided name of 'Torongo' is no longer an appropriate name for the landmark park.

In a statement provided to Council, the BLCAC specified that:

The word for 'heart' in Boonwurrung should properly be spelled durru (pronounced DOO-roo, with the 'r' trilled like in Spanish/Russian/Italian).

The previous word which BLCAC provided was torongo. This word is taken directly from the journals of William Thomas, an English Protector of Aborigines during the colonization of Melbourne. As Thomas was a monolingual English speaker, he was not able to accurately hear or distinguish the sounds of Boonwurrung. For this reason, when reconstructing Boonwurrung language today, we need to compare across multiple sources and what we know about Boonwurrung language to produce an accurate form.

These sources are also still becoming available to us as we continue to research and discover records in disparate locations around the world. As these records come to light it allows us to more accurately rebuild a language devastatingly lost to colonialism.

Based on this more rigorous research, we believe that durru is the actual word for 'heart' in Boonwurrung. This is spelled using a modern, consistent, and standardized orthography (spelling system) that has recently been developed by BLCAC.

We understand that it is inconvenient to have the word changed last minute. We are now proud to say that BLCAC has implemented a much more rigorous and effective standard for researching Boonwurrung language, which will be instrumental in reawakening language in community. Having consistency in the way the language is written is very important for helping Bunurong people reconnect and relearn language.

As 'Torongo' is not an accurate word for 'heart' in Boonwurrung language, and 'durru' was not the name voted on and chosen by the community, it is recommended that Council not proceed with the name 'Torongo' and instead, commit to finding a more appropriate name moving forward.

As an interim step, whilst a new name is determined in consultation with the BLCAC and the wider community, the park will revert to being referred to as Officer District Park.

Implications for dog "off leash park" gazettal

At the Ordinary Council Meeting on August 19, 2024, Council resolved to make an order pursuant to Section 26(2) of the Domestic Animals Act in respect of this park. The Order had the effect of making a section of the park to be a dog off-leash park, to come into effect on the date that it is published in the Government Gazette. It was the stated intention to arrange for the gazettal to occur immediately upon the opening of the park.

We note that the August Council resolution used the name "Torongo Park" and identified the park by its street address. The publication of the order in the Government Gazette is still scheduled to occur on December 19 2024.

It is impractical to change the text of the order at this late stage, and it is equally undesirable that the park not be given legal status as an off-leash park, due to the confusion that this would cause in the interim. As such, the existing order will be gazetted, and an amended

(updated) order will be prepared when the outcome of the naming of the park is decided. The use of part of the park as an 'off-leash' area will not be impacted in the interim.

Policy Implications

Geographic Names Victoria and Council's Place Naming Policy strongly encourage the use of indigenous language when considering naming of local roads, features and localities. Accordingly, it was deemed appropriate to pursue a process to identify an indigenous name for this facility.

Council strives to uphold the vision outlined in the 2023 Reconciliation Action Plan, which focuses on creating '...a community that is welcoming, inclusive and respectful; promoting mutual respect and understanding of First Nations Australians, their history and culture in our community.'

Action 11 in the Reconciliation Action Plan specifically outlines that Council must 'support the protection and recognition of the traditional languages of the local area' and includes guidelines for naming and renaming opportunities for local amenities.

Financial and Resource Implications

The resources required to facilitate the process of determining a more appropriate name for Officer District Park will be accommodated within existing staff resources and operating budgets. BLCAC is committed to supporting Council in this process and working together to reach a positive resolution.

Relevance to Council Plan

1.1 We empower our communities to be healthy, connected and resilient

1.1.2 Enrich local identity and opportunities for the community to connect through art, history and cultural expression.

1.1.3 Lead by example in creating an inclusive and welcoming community for all by facilitating community education, capacity building, connection and celebration of our diversity.

2.1 We support the creation of liveable spaces and places

2.1.2 Plan and maintain safe, inclusive and connected open spaces, places and active travel routes.

5.1 We practise responsible leadership

5.1.1 Build trust through meaningful community engagement and transparent decision-making.

Climate Emergency Consideration

There are no climate emergency considerations as part of this report.

Consultation/Communication

As a culturally significant site, it was deemed appropriate and desirable for the ultimate name to incorporate Bunurong Language. As a first step in the process of developing a list of potential names for the park, Council took up the opportunity to attend the Cardinia Koori kids celebration day in September 2022 to engage with more than 200 Koorie students from 21 different local schools across Cardinia Shire. As part of this day, students were invited to learn more about the cultural significance and history of the proposed Officer District Park site and what the plans were for its future.

The students were given a list of relevant words in Bunurong Language along with the English translation which they could use for inspiration or suggest their own. These were then grouped to create a shortlist.

Council officers then contacted the BLCAC to seek their feedback on the suitability of the shortlisted names, confirm the language and meanings were correct, and to seek their endorsement of the use of the language for this purpose. As well as endorsing the list of names, BLCAC also confirmed that they were happy for the word “Park” or “Reserve” to be added onto the end of the language provided.

In-principle support was then sought from Geographic Names Victoria (GNV) to ensure all names being considered would be appropriate prior to inviting the broader community to vote for their preferred name. The names considered were:

Name	Translation
Kar Din Yarr	Look to the rising sun
Ngerwin	The Sun/sunshine/sunny
Djeembana	A place to meet
Karrbul Mile	High Hill
Karrbul Biik	High land (vantage point)
Torongo	Heart

A 4-week community engagement process was undertaken from 13th May – 10th June 2024 where the broader community was given an update on the progress of the project and asked to vote for their preferred name.

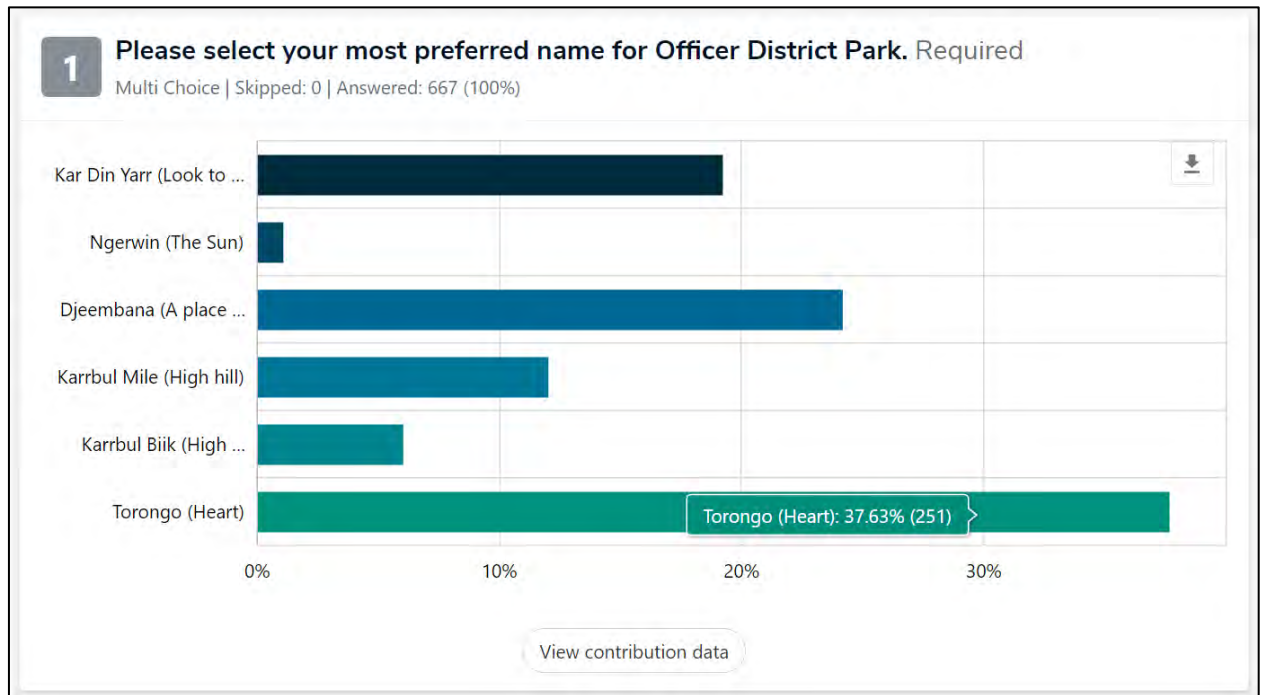
Community members were notified of the opportunity to vote via Council’s Creating Cardinia webpage, mail out (to owners and occupiers within the immediate surrounds of the park) social media posts, media releases, through the newsletters of the local schools, and through letters to local community groups.

Council officers also attended the National Reconciliation Week flag raising ceremony on 27th May, where community members could ask questions and vote in person for their preferred name. The name which received the most votes at this event was Torongo (37 of the 88 votes cast).

At the end of the engagement period there had been 3,864 views of the associated webpage and 667 online votes cast. Torongo received 251 online votes and again was the clear preference, as shown in Table 1 below.

Through the voting system, Council was unable to ascertain whether the community’s preference for ‘Torongo’ is based on the sound of the word or its meaning, which translates to ‘heart’.”

Table 1: Summary of online votes cast



Council values community feedback and relies on community engagement to help shape and inform key decisions and projects whenever possible.

Council started the initial renaming consultation process with the best of intentions to rename Officer District Park with cultural and historical significance and sensitivity in mind.

Officer District Park is a landmark project which has been delivered to benefit the wider community, and it's only appropriate that the community are involved in the decision and process of choosing a final name for this regional park.

Conclusion

The Bunurong Land Council Aboriginal Corporation has advised Council that upon further review from their new Linguistics team, that the provided name of '*Torongo*' is no longer an appropriate name for Council's new regional park.

As '*Torongo*' is not an accurate word for 'heart' in Boonwurrung language, and '*durru*' was not the name voted on and chosen by the community, it is recommended that Council not proceed with the name '*Torongo*' and instead, commit to finding a more appropriate name moving forward.

Whilst a new name is determined in consultation with the BLCAC and the wider community, the park will revert to being referred to as Officer District Park.

Attachments

Nil

7.2.4 Cardinia Life and Officer Hub roof

Responsible GM: Peter Benazic
Author: Leah Humphreys

Recommendation(s)

That Council:

1. Acknowledges the maintenance completed to date on both Cardinia Life and Officer Community Hub.
2. Acknowledges the short to medium term solutions.
3. Acknowledges that a full roof replacement of the facility is not recommended for immediate action.

Executive Summary

Significant rain events in July 2024 led to roof leaks at Cardinia Life and the Officer Community Hub, causing service disruptions for the facility users.

Following community complaints regarding roof leaks at Cardinia Life, Councillor Stephanie Davies requested at the 19 August 2024 Council meeting, through a question to the CEO, for a report to be tabled providing detail on the investigation into the roof leaks at Cardinia Life and Officer Community Hub, including the proposal of medium to long term solutions.

Ongoing leak prevention works have been in progress at Cardinia Life including resealing of joins and penetrations, and replacement of 6,000 screws. Regular inspections and preventative measures will be carried out.

Re-sealing and whirlybird replacement was also undertaken at Officer Community Hub.

Roof replacement of the existing structure will be considered as a part of the proposed redevelopment of the facility.

Background

There were several significant rain events in July 2024 which led to the cancellation of weekend basketball games. The game cancellations on the weekend of 20-21 July 2024 resulted to an online community petition with over 1000 signatures.

The Buildings & Facilities team had been organising leak repairs in the week prior. Upon receiving reports of the leaks on this weekend, the team immediately organised Council Officers, cleaners and a plumbing contractor to address the concerns.

The entire roof of the Cardinia Life facility was inspected over the five following business days with particular focus on the basketball stadium section of the roof. Gutters, silicone joins and screws over this area were re-sealed to mitigate future leaks.

The Officer Community Hub roof was also inspected with spot sealing works completed. There were several roof ventilation units that were replaced as part of these works.

Following the immediate response to the roof leaks at both facilities throughout July 2024, Council Officers sought quotations to complete significant preventative maintenance of the roofs.

The scope of works included renewal of seals on all gutters, expansion joints and penetrations. 6,000 rusted screws were replaced on the stadium roof to prevent future leaks. These works were completed by Tuesday, 29 October 2024.

There were repairs conducted on two roof leaks and further whirlybird replacements completed at Officer Community Hub by 6 November 2024.

Quarterly roof inspections have been scheduled, with the next to be completed in January 2025. A bird deterrent system will be installed to the roof to prevent silicone deterioration caused by birds eating the sealant.

While Officers have undertaken significant maintenance on the roof and will continue quarterly inspections and preventative works, roof leaks will likely still occur under different weather conditions, such as, heavy downpours, and strong winds allowing water egress.

A full re-roof of existing structures is not recommended at this time, The current leaks experienced are caused by general wear and tear and through weather and heat exposure. A full roof replacement of the Cardinia Life Basketball Stadium is estimated to cost \$600,000. A re-roof of existing structures has been included for considered as a part of the scope for the future development of the site.

Policy Implications

The following policies form part of and support the considerations made within this report.

- Building Maintenance Policy
- Sport Facility Standards Policy
- Occupational Health and Safety Policy
- Asset Management Policy

Financial and Resource Implications

There will be ongoing maintenance costs incurred beyond the works completed to date, to facilitate quarterly roof inspections and maintenance as it is required.

A bird deterrent system to reduce silicone deterioration will be installed to reduce medium to long term cost of repairs and disruption to the facility users.

Relevance to Council Plan

2.1 We support the creation of liveable spaces and places

2.1.1 Advocate, plan for and deliver accessible community infrastructure and services that address community need.

4.1 We support our productive land and employment land to grow local industries

4.1.5 Strengthen and promote our shire's unique identity and visitor attractions.

Climate Emergency Consideration

Council remains committed to Climate Change strategies through all contractor engagement, ensuring that environmentally friendly practices are adhered to, to mitigate impacts on the environment, community and Council.

Consultation/Communication

Communication with the facility managers has been regular to ensure Officers are aware of all leaks as they present, as the team remain committed to providing a safe facility for community use.

Conclusion

Suitable maintenance has been completed at Cardinia Life and Officer Community Hub to ensure that Council is able to continue providing safe community sporting facilities. Quarterly inspections of the roof condition will be conducted to ensure that leaks are repaired as they present and is safe to do so in suitable weather conditions.

A bird deterrent system will be installed to reduce on-going maintenance needs and impacts to the facility users.

Council does not recommend roof replacement of the existing structure in the short-term. This will be considered as part of the proposed redevelopment of the facility.

Attachments

Nil

7.2.5 Meeting Dates for 2025

Responsible GM: Wayne Mack
Author: Sharyn Tilley

Recommendation(s)

That the following meeting timetable for 2025 be adopted with all meetings to commence at 7pm and held in the Council Chamber, Civic Centre, Siding Avenue, Officer, unless otherwise notified:

Town Planning Committee Meeting	Council Meeting
February 3	February 17
March 3	March 17
April 7	April 14 <i>(Second Monday due to Easter and Anzac Day)</i>
May 5	May 19
June 2	June 16
July 7	July 21
August 4	August 18
September 1	September 15
October 6	October 20
November <i>(No meeting due to Melbourne Cup)</i>	November 17
December 1	December 15

Executive Summary

This report sets out the schedule of meetings for the 2025 calendar year, and requests Councillors consider and adopt the timetable of dates proposed.

Background

Council is required to schedule Council and Town Planning Committee meetings for each calendar year.

Current practice has been to convene a Town Planning Committee meeting on the first Monday of each month and a Council meeting on the third Monday of each month.

Discussion

It is recommended that the same meeting cycle of convening a Town Planning Committee meeting on the first Monday of each month and a Council meeting on the third Monday of each month remain for 2025. Exceptions have been made where the meeting day falls on or around a public holiday as detailed in the schedule of dates below.

Town Planning Committee Meeting	Council Meeting
February 3	February 17
March 3	March 17
April 7	April 14

	<i>(Second Monday due to Easter and Anzac Day)</i>
May 5	May 19
June 2	June 16
July 7	July 21
August 4	August 18
September 1	September 15
October 6	October 20
November <i>(No meeting due to Melbourne Cup)</i>	November 17
December 1	December 15

Policy Implications

There are no policy implications as part of this report.

Relevance to Council Plan

5.1 We practise responsible leadership

5.1.5 Champion the collective values of the community through the Councillors' governance of the shire.

Climate Emergency Consideration

There are no Climate Emergency considerations as part of this report.

Consultation/Communication

No consultation is required for this statutory process.

Financial and Resource Implications

There are no financial or resource impacts for Council as part of this report.

Conclusion

Council must set a meeting schedule each calendar year for all Council and Town Planning Committee meetings. It is recommended the schedule remain the same as previous years.

Attachments

Nil

7.2.6 Appointment to Committees

Responsible GM: Wayne Mack
Author: Sharyn Tilley

Recommendation(s)

That Council:

1. Appoints Councillor representatives to the following Council committees:

Arts and Culture Reference Group	Two Councillors
Multicultural Advisory Group (MAG)	One Councillor
Cardinia Access & Inclusion Advisory Committee	One councillor
Chief Executive Officer Employment Matters Committee	Mayor Deputy Mayor One Councillor
Emerald Lake Park Advisory Committee	One Councillor
Motorsports Clubs Steering Committee	Two Councillors
Mt Shamrock Quarry Extension Environmental Review Committee	One Councillor
Improve Safety Action Team	One Councillor One Councillor as substitute
Mental Wellbeing Action Team	One Councillor One Councillor as substitute
Reduce Family Violence Action Team	One Councillor One Councillor as substitute
Financial Wellbeing and Resilience Action Team	One Councillor One Councillor as substitute

2. Appoints Councillor representatives to the following external Committees:

The Cardinia Foundation Ltd	One Councillor
Casey Cardinia Local History Reference Group	Two Councillors
Municipal Association of Victoria	Mayor of the day Deputy Mayor as substitute
National Growth Area Alliance	Mayor of the day Deputy Mayor as substitute
Outer Melbourne Councils	Mayor of the day Deputy Mayor as substitute
South East Councils Climate Change Alliance	Mayor One Councillor as substitute
Greater South East Melbourne Group of Councils	Mayor of the day

	Deputy Mayor as substitute
South East Australia Transport Strategy	One Councillor One Councillor as substitute
Victorian Local Governance Association	Mayor of the day Deputy Mayor as substitute
Western Port Biosphere Councillor Liaison Committee	One Councillor

Executive Summary

Council appoints representatives to several Council and external committees to meet its legislative obligations, enhance its involvement in community activities, and advocate on behalf of the community.

This report recommends that Council appoints the Mayor or Councillor representatives to Council committees and external committees.

Background

A number of Council committees and external committees exist where the Mayor or Councillors are invited to participate across a broad interest area. Some of these committees have legislative requirements, but most committees operate in an advisory capacity.

It is important for the Mayor and/or Councillors to be represented on committees and networks for a number of reasons including:

- Some committees are legislated to provide input into strategic plans
- Committees provide opportunities for Councillors and the organisation to stay connected to advocacy groups and understand emerging issues
- Provide advice to Council on a variety of issues
- Help Council achieve its Council Plan objectives

Discussion

Changes have been made to the following committees within the last 12 months since representatives were appointed to them.

CALD Advisory Group

The CALD Advisory Group has been renamed to the Multicultural Advisory Group.

Tourism Advisory Committee

The Tourism Advisory Committee is no longer required. The implementation of the State Government's Visitor Economy Partnership now supersedes this committee and requires the CEO to be a delegate.

Liveability Plan Action Teams

The Liveability Plan will be reviewed within the next 12 months which includes the governance structure of the plan. The Action Team's will remain for the next 12 months however, their future will be informed through the Liveability Plan engagement process.

Audit and Risk Committee and My Community Library (Myli)

Councillor representatives were appointed to the Audit and Risk Committee and My Community Library (Myli) at the Council meeting on 25 November 2024.

Policy Implications

Nil

Financial and Resource Implications

Nil

Relevance to Council Plan

5.1 We practise responsible leadership

5.1.5 Champion the collective values of the community through the Councillors' governance of the shire.

Climate Emergency Consideration

Nil

Consultation/Communication

Officers will inform the Committee organisers who the new representatives are for their respective committees.

Conclusion

A number of Council committees and external committees exist where the Mayor or Councillors are invited to participate across a broad interest area. It is recommended that Council appoints the Mayor or Councillor representatives to the various Council committees and external committees.

Attachments

Nil

7.2.7 Appointment of Community Asset Committees for Recreation Reserves

Responsible GM: Debbie Tyson
Author: Cameron Miller

Recommendation(s)

That Council:

- Appoint the following persons to the respective recreation reserve Community Asset Committees appointed by Cardinia Shire Council in accordance with the *Local Government Act 2020*.

Maryknoll Recreation Reserve

President	James Kay
Secretary	Sally Cunningham
Treasurer	Sharon Sparks
Committee Member	Kelly Shepley
Committee Member	Steve Sparks

Huxtable Road Reserve

President	Pat Langley
Secretary	Leanne McLean
Treasurer	Alison McHenry
Committee Member	Rebecca Reynolds
Committee Member	Sally Moser
Committee Member	Paul McMurray

Josie Bysouth Reserve

President	Lisa Stovold
Secretary	Lisa Alderson
Treasurer	Andrew Jackson
Committee Member	Jody Marotta
Committee Member	Jess Alderson

Garfield Recreation Reserve

President	Lara Canty
Secretary	Mark Watson
Treasurer	Julie Miller
Committee Member	Chelsea Burgmann
Committee Member	Louise White
Committee Member	Judy Bishop
Committee Member	Tate Burgmann
Committee Member	Glen Wouters
Committee Member	Rodger Van Der Pas
Committee Member	Meg Platte
Committee Member	Paul Osbourne
Committee Member	Jen Belsar

Cardinia Recreation Reserve

President	Chris Beard
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Vice President	Bill Orr
Secretary	Liz Bergmeier
Treasurer	John Adlam
Committee Member	David Young
Committee Member	Luke Turner
Committee Member	Ryley Watts

6. Thanks Committee Asset Committee Members for their valuable contribution to the management of community recreation reserves.

Attachments

Nil

Executive Summary

This report advises Council of the memberships elected for five (5) Community Asset Committees and seeks formal Council appointment of these members. Community Asset Committee members make a significant contribution to community liveability and wellbeing through the management of fifteen recreation reserves.

Background

There are fifteen (15) recreation reserves within Cardinia Shire managed by Community Asset Committees:

- Twelve (12) of the reserves managed by Council appointed Community Asset Committees,
- Three (3) reserves are Crown Land overseen by the Department of Energy, Environment and Climate Action (DEECA). Council is the appointed as Committee of Management under the *Crown Land Reserves Act* for these reserves and managed by Council appointed Community Asset Committees.

Members of Reserve Community Asset Committees are elected annually, and upon election require appointment by Council resolution pursuant to *Local Government Act 2020*. Community Asset Committees can only be endorsed by Council.

This report recommends Council appoints new members for the following reserve committees following public meetings that have been conducted by Councillors or Council Officers:

- Maryknoll Recreation Reserve
- Huxtable Road Reserve
- Josie Bysouth Reserve
- Garfield Recreation Reserve
- Cardinia Recreation Reserve

Cardinia Shire Council has a huge network of volunteers who selflessly give their time, expertise, and energy to provide and develop community resources. A large part of this network is involved with managing community recreation reserves across our shire. Council values the important role that Community Asset Committees have in the improvement and ongoing management of Council's reserves and facilities. Council is committed to ensuring that these assets are maintained to a high standard by working in partnership with Community Asset Committees.

Council conducts routine maintenance and provides recreation reserve Community Asset Committees with maintenance allocations, workshops to upskill volunteers, and access to

leadership courses. To further support Committees with their work, Council has launched a Community Asset Committee online portal, as a place for committee members to access important resources, information, and key dates.

Council employs a full-time Sport & Active Recreation Liaison Officer to support the recreation reserve Community Asset Committees including providing training for volunteers and assisting committees in compliance with risk and other legislative requirements.

Policy Implications

The appointments to these five (5) reserves Community Asset Committees are consistent with both Council policy and requirements for Community Asset Committees.

Relevance to Council Plan

1.5 Our People - Variety of recreation and leisure opportunities

1.5.1 Provide active and passive recreation facilities to meet the needs of residents.

1.5.2 Increase opportunities for residents to participate in a range of sport, recreation and leisure activities.

5.2 Our Governance - Open governance

5.2.2 Govern and make decisions in the best interests of the Cardinia Shire community.

Climate Emergency Consideration

There are no climate emergency considerations as part of this report.

Consultation/Communication

Notifications of Annual General Meetings for Community Asset Committees for recreation reserves are advertised through local media and internally to all user groups of that reserve.

Financial and Resource Implications

There are no financial or resource implications as part of this report.

Conclusion

Community Asset Committees voluntarily assist Council in the ongoing management and improvement of Council's recreation reserves and facilities. This enables people to participate in sport and active recreation activities and be socially connected within their local community, leading to overall improvements in physical and mental wellbeing. This report presents the elected committee members for five recreation reserve Community Asset Committees for Council to consider their appointment.

7.2.8 Appointment of Community Asset Committee for Halls

Responsible GM: Debbie Tyson
Author: Hannah Milne

Recommendation(s)

That Council:

1. Makes the following appointments to the Bunyip Hall, Gembrook Community Centre, Nar Nar Goon North Hall and Garfield Community Centre Asset Committees under section 65 of the *Local Government Act 2020*.

Bunyip Hall

- Chris Kelly President
- Lindy Fitzpatrick Vice President
- Heather King Secretary
- Chris Kelly Treasurer
- Sue Anderson General committee
- Colion Tease General committee
- Russ Pendlebury General committee
- Tom Anderson General committee

Gembrook Community Centre

- John Cascone President
- Ian Purdon Secretary
- Julie Gillies Treasurer
- Garry McGough General Committee
- Pam Barton General Committee
- Sharlene McKendry General Committee
- Grame Moore General Committee

Nar Nar Goon North Hall

- Kaye Willis President
- Greg Peck Vice President
- Erica Peck Secretary
- Dorle Harris Assistant Secretary
- Heather Over Treasurer
- Norman Gray General Committee
- Heather Power General Committee

Garfield Community Centre

- Mark Watson President
- Lara Canty Secretary
- Julie Miller Treasurer
- Roger Van Der Pas General Committee
- Judith Bishop General Committee
- Louise White General Committee
- Chelsea Burgman General Committee

- Paul Osbourne General Committee
- Meg Platte General Committee
- Glenn Wouters General Committee
- Jen Belsar General Committee
- Tate Burgmann General Committee

2. Thanks all outgoing members of the committees for their service to the community.

Executive Summary

This report seeks a Council resolution to appoint membership to the Gembrook Community Centre Community Asset Committee following a public meeting conducted by the former Ranges Ward Councillor.

This report seeks a Council resolution to appoint membership to the Bunyip Hall Community Asset Committee, Nar Nar Goon North Committee and Garfield Community Centre Community Asset Committee following a public meeting conducted by Council Officers.

Background

Members of Community Asset Committees require appointment by Council resolution in accordance with section 65 of the *Local Government Act 2020*.

At a public meeting held Wednesday 4 September 2024, the members detailed above were elected to be appointed by Council to the Bunyip Hall Community Asset Committee for the current term as specified in the Instrument of Delegation (2 years).

At a public meeting held Tuesday 10 September 2024, the members detailed above were elected to be appointed by Council to the Gembrook Community Centre Asset Committee for the current term as specified in the Instrument of Delegation (2 years).

At a public meeting held Tuesday 29 October 2024, the members detailed above were elected to be appointed by Council to the Nar Nar Goon North Hall Community Asset Committee for the current term as specified in the Instrument of Delegation (2 years).

At a public meeting held Tuesday 12 November 2024, the members detailed above were elected to be appointed by Council to the Garfield Community Centre Community Asset Committee for the current term as specified in the Instrument of Delegation (2 years).

Council is very grateful to all committee members of halls for the time and energy they dedicate to their important roles.

Discussion

No further discussion is relevant to this report.

Policy Implications

There are no policy implications as part of this report.

Financial and Resource Implications

There are no financial or resource implications as part of this report.

Relevance to Council Plan

1.1 We empower our communities to be healthy, connected and resilient

- 1.1.1 Plan for, and support the delivery of, accessible health and social services that address critical gaps in provision.
- 1.1.2 Enrich local identity and opportunities for the community to connect through art, history and cultural expression.
- 1.1.3 Lead by example in creating an inclusive and welcoming community for all by facilitating community education, capacity building, connection and celebration of our diversity.
- 1.1.4 Facilitate a partnership approach to create safer communities.
- 1.1.5 Work closely with the community to deliver programs that build community resilience, relating to a pandemic or other disasters.

2.1 We support the creation of liveable spaces and places

- 2.1.1 Advocate, plan for and deliver accessible community infrastructure and services that address community need.

5.1 We practise responsible leadership

- 5.1.1 Build trust through meaningful community engagement and transparent decision-making.
- 5.1.4 Maximise value for our community through efficient service delivery, innovation, strategic partnerships and advocacy.

Climate Emergency Consideration

There are no climate emergency considerations as part of this report.

Consultation/Communication

Officers have been in communications with the committees and in attendance at their meetings.

Conclusion

Following a public meeting election process and in accordance with the Local Government Act 2020, it is recommended that Council resolve to appoint the nominated new members to the Bunyip Hall, Gembrook Community Centre, Nar Nar Goon North Hall and Garfield Community Centre Community Asset Committees.

Attachments

Nil

7.2.9 Instrument of Appointment and Authorisation - Planning and Environment Act 1987

Responsible GM: Wayne Mack
Author: Sharyn Tilley

Recommendation(s)

That Council in the exercise of the powers conferred by s 147(4) of the *Planning and Environment Act 1987*, resolves that:

1. The members of Council staff referred to in the attached Instrument be appointed and authorised as set out in the instrument:
 - Ashlea FELDMAN
 - Collette BELMUDA
 - Daniel HUSSEIN
 - Kayla MCDONALD
 - Pete COURTNEY
2. That the instrument comes into force immediately it is signed by Council's Chief Executive Officer and remains in force until Council determines to vary or revoke it.

Executive Summary

That Council resolve to appoint the following staff members as Authorised Officers pursuant to Section 147(4) of the *Planning and Environment Act 1997*:

- Ashlea FELDMAN
- Collette BELMUDA
- Daniel HUSSEIN
- Kayla MCDONALD
- Pete COURTNEY

Background

Council and the CEO under delegated powers, often appoint officers to be authorised officers under the relevant legislation to allow them to perform the duties of their role.

Section 147 (4) of the *Planning and Environment Act 1997* allows Council to appoint officers to be an authorised officer for the purposes of the Planning and Environment Act 1987 and the regulations made under that Act;

Authorised officers exercise these powers in accordance with the Planning Scheme and Cardinia Shire Compliance and Enforcement Policy.

Discussion

The named officers are required to be authorised officers in the performance of their duties.

Authorised Officers under the Planning and Environment Act 1987 can only be appointed by resolution of Council.

Policy Implications

Cardinia Planning Scheme
Compliance and Enforcement Policy

Financial and Resource Implications

Nil

Relevance to Council Plan

5.1 We practise responsible leadership

5.1.5 Champion the collective values of the community through the Councillors' governance of the shire.

Climate Emergency Consideration

Nil

Consultation/Communication

Nil

Conclusion

It is recommended that Council appoint the named officers to be Authorised Officers.

Attachments

1. Instrument of Appointment and Authorisation - Planning and Environment Act - Compliance Services - December 2024 [7.2.9.1 - 2 pages]

S11A Instrument of Appointment and Authorisation (Planning and Environment Act 1987)

Cardinia Shire Council

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**

**Instrument of Appointment and Authorisation
(*Planning and Environment Act 1987*)**

In this instrument "**officer**" means -

- Ashlea FELDMAN
- Collette BELMUDA
- Daniel HUSSEIN
- Kayla MCDONALD
- Pete COURTNEY

By this instrument of appointment and authorisation Cardinia Shire Council -

under s 147(4) of the *Planning and Environment Act 1987* - appoints the officers to be **an** authorised officers for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act;

and

under s 313 of the *Local Government Act 2020* authorises the officers either generally or in a particular case to institute proceedings for offences against the Acts and regulations described in this instrument.

It is declared that this instrument -

comes into force immediately upon its execution;

remains in force until varied or revoked.

This instrument is authorised by a resolution of the Cardinia Shire Council on 16 December 2024.

Carol Jeffs
Chief Executive officer

Date: 16 December 2024

7.3 Policy Reports

7.4 Financial Reports

7.4.1 Quarterly Financial Report 2024-25 - Q1 September 2024

Responsible GM: Wayne Mack
Author: Allison Southwell

Recommendation(s)

That Council:

1. Receives and notes the quarterly financial report for the three months to 30 September 2024, for the purpose of Section 97 of the *Local Government Act 2020*.
2. Approves the project contract variation relating to the Thewlis Road Early Learning and Family Centre.
3. Approves the project contract variation relating to the Koo Wee Rup Bowls Pavilion.
4. Notes that the Chief Executive Officer, as required under Section 97 (3) of the *Local Government Act 2020*, is of the opinion that a revised budget is not required.

Attachments

1. Quarterly Management Report September 2024 [7.4.1.1 - 11 pages]
2. Appendix 1 Capital Projects Summary [7.4.1.2 - 1 page]

Executive Summary

The attached quarterly finance report has been prepared as of 30 September 2024. The report includes financial year-to-date data up to quarter one of the 2024-25 financial year and is compared to the adopted budget for the full year to 30 June 2025.

Included in this report are two project contract variations that require Council approval.

Background

Quarterly Financial Report

The quarterly financial update presents summary financial statements and a series of other progress reports on matters that will inform both Council and the community on the performance of Council for the three months ending 30 September 2024.

Comprehensive result (net surplus/deficit)

A year to date comprehensive result of a \$22.5m surplus was recorded for the quarter, which is \$4.2m favourable to the adopted budget.

Revenue is currently tracking higher than budget, mainly due to:

- Timing of the Victorian Grants Commission payment to Council. The full 2024-25 amount was received in July 2024.

- This is being offset by lower incomes being recognised in monetary and non-monetary contributions and user fees.

Expenses are slightly lower than budget due to:

- Materials and services show a small favourable variance due to the timing of expenditure in various areas.
- Depreciation is lower than budget as a result of recent asset valuations completed for buildings, roads, pathways, and off-street carparks.

The current full year forecast result of \$62.9m is unfavourable to adopted budget by \$12.4m, due to:

- Timing of processing waste charges
- Decreases in capital grants following the quarterly review of the capital works program
- Lower monetary and non-monetary contributions from developers reflecting slower than expected development activity
- Net gain on asset disposal being offset by infrastructure asset write offs

Adjusted underlying result

This is the net result exclusive of grants and contributions. It is an indicator of the sustainable operating result required to enable Council to continue to provide core services and meet its objectives.

The year to date result of \$8.2m surplus is \$10.3m favourable to the adopted budget. This is mostly related to the timing of the Victorian Grants Commission payment.

The full year forecast is currently showing a deficit of \$6.9m, which is unfavourable to the adopted budget deficit of \$4.2m. This is due to the reduced comprehensive result and forecasted increases in employee costs being impacted by changes in the phasing of the capital works program and flow on effect from project management wages capitalisation.

Balance sheet and cashflow statement

Cash and investment holdings are \$147.2m as of 30 September 2024, indicating a positive cash position. The Balance Sheet presents working capital \$117.8m (total current assets of \$261.5m less total current liabilities of \$143.7m). The full year forecast working capital is expected to be positive at \$115.1m as at June 2025, reflecting Council's ability to meet its obligations as and when they fall due.

Capital program

Year to date capital expenditure of \$17.8m is \$2.1m or 10.1% lower than the year to date adopted budget (including carry forward) of \$20.8m. The full year forecast is expected to be \$1.3m higher the full year adopted budget of \$82.3m (including carry forward).

Capital project contract variations

During the election period, a small number of contract variations which exceeded the 10% contract contingency arose, which requires reporting to and the approval of Council. Due to the election period and the project costs forecast to remain within Council's adopted budget, direction was given to the contractors to proceed to ensure no further project delays and no variations for delay costs were claimed.

These are presented to Council for formal approval.

Policy Implications

Nil

Relevance to Council Plan**5.1 We practise responsible leadership**

5.1.2 Manage our finances responsibly and leave a positive legacy for future generations.

Climate Emergency Consideration

Nil

Consultation/Communication

Finance Business Partners work together with Business Units Managers to inform year to date results and full year forecasts for operating and capital works budgets. Outcomes of these discussions provide input to the financial performance and capital works reports for further review with the relevant General Managers and governance working groups. These reports are subsequently presented to the Senior Leadership Team, the Audit and Risk Committee, and Council.

Financial and Resource Implications

The attached report outlines the financial performance and position of Council's activities for the 2024-25 financial year up to 30 September 2024. It includes analysis of the differences between the 2024-25 budget adopted in June 2024, as well as forecast of performance for the full year.

Conclusion

The report provides a summary of the September 2024 financial position for Cardinia Shire Council. Council is currently tracking ahead of the adopted budget after the first three months, with a full financial year forecast anticipated to be \$12.4m lower than adopted budget. These variances are largely due to lower income expectations, as well as slightly increased operating expenses in relation material and services and employee costs, as outlined in the attached report.

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Financial Performance Report

**1 July 2024
to
30 September 2024**

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Results at a glance

Council remains in a stable financial position for the financial year to 30 September 2024. It should be noted that accurate forecasting across the organisation continues to be monitored to ensure the year end result is an accurate representation of the anticipated full year position.

Profit and loss

Note	YTD ACTUAL \$'000	YTD BUDGET \$'000	YTD VARIANCE \$'000	FULL YEAR FORECAST \$'000	FULL YEAR BUDGET \$'000	FULL YEAR VARIANCE \$'000	
Revenue	63,791	59,418	4,373	231,757	243,167	(11,410)	
Expenses	41,223	41,148	(75)	168,828	167,824	(1,004)	
Comprehensive result	1	22,568	18,270	4,298	62,929	75,343	(12,414)
Adjusted underlying result	2	8,285	(2,056)	10,341	(6,967)	(4,256)	(2,711)

Balance sheet

Note	YTD ACTUAL \$'000	YTD BUDGET \$'000	YTD VARIANCE \$'000	FULL YEAR FORECAST \$'000	FULL YEAR BUDGET \$'000	FULL YEAR VARIANCE \$'000
Total assets	3,374,926			2,773,128	2,773,128	0
Total liabilities	159,977			116,504	116,504	0
Net worth	3,214,949			2,656,624	2,656,624	0
Net position	3	144,876		90,282	90,282	0

Cash position

Note	YTD ACTUAL \$'000	YTD BUDGET \$'000	YTD VARIANCE \$'000	FULL YEAR FORECAST \$'000	FULL YEAR BUDGET \$'000	FULL YEAR VARIANCE \$'000	
Receipts	76,529	59,414	17,115	260,533	237,657	22,876	
Payments	66,724	60,452	(6,272)	260,700	241,809	(18,891)	
Net increase/(decrease) in cash held	9,805	(1,038)	10,843	(167)	(4,152)	3,985	
Other financial assets	107,500	107,500	0	116,348	123,018	(6,670)	
Cash at beginning	29,926	27,241	2,685	29,926	27,241	2,685	
Underlying cash balance	147,231	133,703	13,528	146,107	146,107	0	
Restricted cash	102,106	15,774	86,332	64,226	63,097	1,129	
Net cash available	4	45,126	117,929	(72,803)	81,881	83,010	(1,129)

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Capital works

Note	YTD ACTUAL \$'000	YTD BUDGET \$'000	YTD VARIANCE \$'000	FULL YEAR FORECAST \$'000	FULL YEAR BUDGET \$'000	FULL YEAR VARIANCE \$'000	
Capital works delivery	5	17,890	20,039	(2,149)	83,658	82,415	1,243

Notes

1	Comprehensive result	<p>Comprehensive result is the net result of all income and expenses.</p> <p>The comprehensive result as of 30 September 2024 shows a \$22.5m surplus, which is \$4.2m higher than YTD budget. The full year comprehensive result is forecasted to be \$12.4m below the full-year budget of \$75.3m.</p> <p>This unfavourable full year forecast variance is primarily due timing in processing waste charges and a net gain on asset disposal offset by infrastructure asset write-offs. It is anticipated that the delay in waste charges will be made up in the following quarter.</p> <p>Decreases in capital grants due to recent forecasting activities, and lower monetary and non-monetary contributions from developers influenced by reduced development activity are expected to adjust as trends become clearer throughout the year.</p> <p>Please refer to the Variances and Insights section below for further information.</p>
2	Adjusted underlying result	<p>This is the comprehensive result exclusive of capital grants and contributions.</p> <p>The full year operating result shows a \$6.9m deficit, forecasted to be \$2.7m higher than budget by June 2025. This is due to a reduced comprehensive result and employee costs being impacted by changes in the phasing of the capital works program resulting in lower staff capitalisation for the quarter.</p> <p>Please refer to the Variances and Insights section below for further information.</p>
3	Net position	<p>Net position is the sum of interest-bearing liabilities less the sum of selected financial assets (bank balance and term deposits). A positive number indicates a higher cash balance than borrowing commitments.</p> <p>The full year net position is \$90.3m. This figure is expected to fluctuate throughout the year as the forecast is updated and budgeted loans are potentially drawn down to support capital works delivery.</p>
4	Net cash available	<p>Cash receipts for operating activities and sales of non-financial assets.</p> <p>Net cash available at 30 September 2024 was \$45.1m, which is the total of underlying cash (\$147m) less restricted cash (\$102m). Full year forecast is projected to be \$81.8m, which is slightly less than budgeted figures. This is being driven by unanticipated changes in receipts of developer contributions and the advance payment of the Financial Assistance Grants.</p>
5	Capital works delivery	<p>Year to date capital expenditure of \$17.8m is \$2.1m below the year to date adopted budget (including carry forward) of \$20.8m. The full-year forecast is expected to be \$1.3m higher than the full year adopted budget of \$82.3m (including carry forward).</p>

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		Additional plant and equipment of \$580k and higher-than-budgeted land acquisition of \$782k, is contributing to a \$1.3m higher forecast in capital delivery by the end of June 2025.
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Performance indicators

**VAGO Financial Sustainability Indicators
For the Period Ended 30 September 2024**

	Actual			Scale
	YTD 2024-25	Budget 2024-25	Forecast 2024-25	
Net result (%) <i>Measures the size of the operating result</i>	35.38%	30.98%	27.15%	● <-10% -10%-0% >0%
Adjusted underlying result (%) <i>Removes non-recurrent items to measure pure operating result</i>	10.34%	-4.26%	-4.37%	● <0 0%-5% >5%
Liquidity (Working Capital ratio) <i>Measures ability to pay existing liabilities in the next 12mths</i>	1.71	2.05	3.14	● <0.75 0.75-1.0 >1
Internal financing (%) <i>Measures ability to finance capex cash outflow through operating cashflow</i>	269%	89%	59%	● <75% 75%-100% >100%
Indebtedness (%) <i>Measures ability to cover non-current liabilities through own revenue</i>	20.58%	39.80%	44.48%	● >60% 40%-60% <40%
Capital replacement (ratio) <i>Measures if rate of infrastructure investment exceeds dep'n. excl carryovers</i>	3.29	3.81	3.71	● <1 1-1.5 >1.5
Renewal gap (ratio) <i>Measures if Council is maintaining its existing assets, excl carryovers</i>	1.22	2.32	2.00	● <0.5 0.5-1.0 >1.0

Legend - trend

- Improvement
- Deterioration

* Definitions and risk assessment criteria are available from the [VAGO website](#)

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Financial performance for the period ending 30 September 2024

Comprehensive Income Statement

	Year To Date				Full Year			
	Actual	Budget	Variance		Forecast	Budget	Variance	
	\$'000	\$'000	\$'000	%	\$'000	\$'000	\$'000	%
Income								
Rates and charges	30,766	31,528	(762)	(2.4%)	123,638	126,112	(2,474)	(2.0%)
Statutory fees and fines	1,581	1,538	43	2.8%	6,688	6,611	77	1.2%
User fees	428	664	(236)	(35.5%)	3,112	2,779	333	12.0%
Grants - operating	11,364	3,316	8,048	242.7%	20,460	19,939	521	2.6%
Grants - capital	7,009	4,878	2,131	43.7%	13,089	17,809	(4,720)	(26.5%)
Contributions - monetary	3,969	5,663	(1,694)	(29.9%)	20,581	22,650	(2,069)	(9.1%)
Contributions - non-monetary	6,837	9,831	(2,994)	(30.5%)	36,329	39,323	(2,994)	(7.6%)
Net gain on disposal of PIPE	0	125	(125)	(100.0%)	0	500	(500)	(100.0%)
Other income	1,837	1,875	(38)	(2.0%)	7,860	7,444	416	5.6%
Total income	63,791	59,418	4,373	7.4%	231,757	243,167	(11,410)	(4.7%)
Expenses								
Employee costs	13,541	12,735	(806)	(6.3%)	58,357	56,461	(1,896)	(3.4%)
Materials and services	19,090	19,600	510	2.6%	76,737	75,447	(1,290)	(1.7%)
Depreciation	7,092	7,458	366	4.9%	28,276	29,832	1,556	5.2%
Amortisation - intangible assets	42	39	(3)	(7.7%)	158	155	(3)	(1.9%)
Amortisation - right of use assets	110	232	122	52.6%	640	928	288	31.0%
Bad and doubtful debts	60	55	(5)	(9.1%)	229	220	(9)	(4.1%)
Borrowing costs	183	492	309	62.8%	1,414	1,969	555	28.2%
Finance costs - leases	19	50	31	62.0%	141	202	61	30.2%
Other expenses	267	487	220	45.2%	2,503	2,610	107	4.1%
Net loss on disposal of PIPE	819	0	(819)	100.0%	373	0	(373)	100%
Total expenses	41,223	41,148	(75)	(0.2%)	168,828	167,824	(1,004)	(0.6%)
Surplus/(deficit)	22,568	18,270	4,298	23.5%	62,929	75,343	(12,414)	(16.5%)
less: Capital income and other abnormals	(14,283)	(20,326)	6,043	(29.7%)	(69,896)	(78,135)	8,239	10.5%
add back: Recurrent capital grants	0	0	0	100.0%	0	0	0	100.0%
Adjusted underlying surplus/(deficit)	8,285	(2,056)	10,341	(502.9%)	(6,967)	(2,792)	(4,175)	(149.5%)

Variations and insights

Year to date comprehensive result at 30 September 2024 is a surplus of \$22.5m. This surplus is forecasted to be at \$62.9m by June 2025 against the full year budget of \$75.3m, which is \$12.4m unfavourable to the budget.

Due to timing variances, commentary on key movements between budget and actual will be based on full year projections.

Category	Full year forecast vs adopted budget	Explanation
Grants – capital	Unfavourable \$4.7m	Capital grants has been forecasted lower by \$4.7m, due to changes in timing of capital delivery, with several projects already being moved to 2025-26. Work is continuing on improving revenue recognition processes to ensure increased accuracy.
Rates and Charges	Unfavourable \$2.5m	This is due to growth tracking slightly lower than anticipated, combined with delays in processing waste charge adjustments. It is anticipated that these will be caught up in the following quarter.
User Fees	Favourable \$333k	Forecasted to increase by \$333k. Mainly resulting from changes in Statutory Planning (\$212k) and the Early

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Category	Full year forecast vs adopted budget	Explanation
		Years Team (\$110k), identified following a thorough review in September.
Non-monetary contributions	Unfavourable \$3m	Full year forecast is anticipated to be \$3m less than budget, due to slower activity in the first quarter being influenced by external factors such as higher interest rates and delays in the construction industry. This forecast will be monitored and adjusted as activity becomes clearer throughout the year.
Amortisation of Right of Use Assets	Favourable \$288k	Lower forecast by \$288k, due to the discontinuation of the open space maintenance contract, which included assets that were originally budgeted to amortise over a further four years.
Developer Contributions	Unfavourable \$2m	A forecasted decrease of \$2m in developer monetary contributions due to slower activity in the first quarter, being influenced by external factors such as higher interest rates and delays in the construction industry. Finance is closely monitoring this to ensure accurate forecasting.
Net gain / loss on disposal of PIPE	Unfavourable \$127k	Forecast for proceeds from the sale of plant has been offset by anticipated write-off of infrastructure assets (road and drainage) worth \$860k for asset renewal.
Depreciation	Favourable \$1.5m	Lower forecast by \$1.5m, due to a review of useful lives of building assets and carryover of unfinished capital works.
Employee costs	Unfavourable 1.8m	Currently tracking higher than adopted budget due to amended phasing of the capital works program and the associated capitalisation of project management wages. This will continue to be monitored throughout the year.
Materials and services	Unfavourable \$1.2m	Higher than budgeted by \$1.2m, mainly due to: <ul style="list-style-type: none"> - Addition of a new grant module to CiA for better grant contract management and income recognition: \$35k. - Work cover premium for FY2024/25 not treated as prepayment: \$1m.
Borrowing Expenses	Favourable \$555k	Expected to be lower mainly due to the closing of one loan facility and not yet drawing down on the budgeted loan amounts.

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Balance Sheet

	Actual 30 Jun 2024 \$'000	YTD Actual \$'000	YTD Movement \$'000	Full Year Forecast \$'000	Full Year Budget \$'000	Full Year Variance \$'000
Current assets						
Cash and cash equivalents	146,926	147,231	305	146,107	146,107	0
Inventories	0	0	0	11	11	0
Non-current assets held for sale	0	0	0	(8)	(8)	0
Other assets	7,141	100	(7,041)	4,847	4,847	0
Trade and other receivables (current)	29,187	114,239	85,052	17,785	17,785	0
Total Current assets	183,254	261,570	78,316	168,742	168,742	0
Non-current assets						
Intangible assets	1,178	1,136	(42)	1,723	1,723	0
Property, infrastructure, plant & equipment	3,087,667	3,107,978	20,311	2,598,444	2,598,444	0
Right of use assets	2,467	2,357	(110)	2,784	2,784	0
Trade and other receivables (non-current)	2,200	1,885	(315)	1,435	1,435	0
Total Non-current assets	3,093,512	3,113,356	19,844	2,604,386	2,604,386	0
Current liabilities						
Interest-bearing liabilities (current)	2,548	2,355	193	4,988	4,988	0
Lease liabilities (current)	429	324	105	1,100	1,100	0
Provisions (current)	10,525	12,323	(1,798)	12,295	12,295	0
Trade and other payables (current)	14,791	5,918	8,873	11,608	11,608	0
Trust funds and deposits	13,024	17,937	(4,913)	10,398	10,398	0
Unearned income	24,596	113,998	(89,402)	13,266	13,266	0
Total Current liabilities	65,913	152,855	(86,942)	53,655	53,655	0
Non-current liabilities						
Interest-bearing liabilities (non-current)	9,142	0	9,142	50,837	50,837	0
Lease liabilities (non-current)	2,180	2,180	0	2,372	2,372	0
Provisions (non-current)	1,304	1,374	(70)	9,640	9,640	0
Trade and other payables (non-current)	5,842	3,568	2,274	0	0	0
Total Non-current liabilities	18,468	7,122	11,346	62,849	62,849	0
NET ASSETS	3,192,385	3,214,949	22,564	2,656,624	2,656,623	0
Equity						
Accumulated surplus	1,390,596	1,408,123	17,527	1,438,448	1,438,448	0
Reserves	1,801,789	1,806,827	5,038	1,218,175	1,218,175	0
TOTAL EQUITY	3,192,385	3,214,950	22,565	2,656,623	2,656,623	0

There is work underway to improve the forecasting for the balance sheet to assist with better informed decision making which is anticipated to be completed for the Q2 report.

Assets

The year-to-date increase in current assets of \$78.3m is mainly due to raising of rate debtors (\$115.9m) in August 2024 for the 2024-25 financial year. This balance will reduce during the financial year as instalment dates fall due and payments are received.

The year-to-date increase of \$19.8m in non-current assets is due to delivery of capital works on Council owned assets and recognition of developer contributed infrastructure assets to 30 September 2024.

Liabilities

The year-to-date increase of \$86.9m in current liabilities is mainly due to rates and charges raised in August 2024 for the financial year 2024-25 has been recognised as income progressively across each month.

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Cash flow statement

	30-Jun-24	YTD	YTD	YTD	Full Year	Full Year	Full Year
	Actual	Actual	Budget	Variance	Forecast	Budget	Variance
	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000	\$'000
Cash flows from operating activities							
Rates and Charges	114,659	29,947	31,402	(1,455)	131,084	125,607	5,477
Statutory Fees and Fines	7,573	1,626	1,811	(185)	7,397	7,243	154
User Fees	3,107	471	761	(290)	4,957	3,045	1,912
Grants - operating	5,371	15,173	4,965	10,208	19,728	19,859	(131)
Grants - capital	12,643	952	4,435	(3,483)	3,455	17,738	(14,283)
Contributions	31,197	9,016	5,663	3,354	22,461	22,650	(189)
Interest received	7,519	646	0	646	5,127	0	5,127
Trust funds and deposits taken / (repaid)	273	1,276	0	1,276	(2,888)	0	(2,888)
Other Receipts	6,661	3,856	2,580	1,276	2,747	10,321	(7,574)
GST received (net)	13,626	4,008	2,661	1,347	17,620	10,644	6,976
Employee costs	(53,126)	(11,133)	(14,219)	3,086	(56,433)	(56,876)	443
Materials and Services	(71,119)	(24,841)	(21,315)	(3,526)	(93,823)	(85,261)	(8,562)
Short-term, low value and variable lease payments	(415)	(11)	(738)	727	(277)	(2,950)	2,673
Net cash provided by operating activities	77,969	30,986	18,005	12,981	61,155	72,020	(10,865)
Cash flows from investing activities							
Payments for property, plant and equipment	(92,088)	(21,096)	(22,535)	1,439	(104,940)	(90,141)	(14,799)
Proceeds from sales of assets	1,597	58	138	(80)	549	550	(1)
Net Payments (to)/from investments	21,000	9,500	0	9,500	653	0	653
Net cash used in investing activities	(69,491)	(11,538)	(22,398)	10,860	(103,738)	(89,591)	(14,147)
Cash flows from financing activities							
Finance costs	(1,142)	(183)	(492)	309	(1,414)	(1,969)	555
Proceeds from borrowings	0	0	5,000	(5,000)	44,755	20,000	24,755
Repayment of borrowings	(1,998)	(9,432)	(841)	(8,591)	0	(3,363)	3,363
Interest paid - lease liability	(104)	(19)	(51)	32	(141)	(202)	61
Repayment of lease liabilities	(1,090)	(9)	(262)	253	(784)	(1,047)	263
Net cash provided/(used) by financing	(4,334)	(9,643)	3,355	(12,998)	42,416	13,419	28,997
Increase/(reduction) in cash held	4,143	9,805	(1,038)	10,843	(167)	(4,152)	3,985
Cash at beginning	25,784	29,926	27,241	2,685	29,926	27,241	2,685
Cash at end	29,926	39,731	26,204	13,528	29,759	23,089	6,670
Other financial assets	117,000	107,500	107,500	0	116,348	123,018	(6,670)
Cash and other financial assets at year end	146,926	147,231	133,704	13,528	146,107	146,107	0

Cash flow is monitored to enable completion of scheduled works and meet recurrent obligations, as well as ensuring surplus funds are invested to generate maximum interest revenue.

Cash at bank for the period ending 30 September 2024 is \$147.2m with a net inflow of \$305k.

The forecast closing cash balance for the full year is \$146.1m.

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Statement of capital works

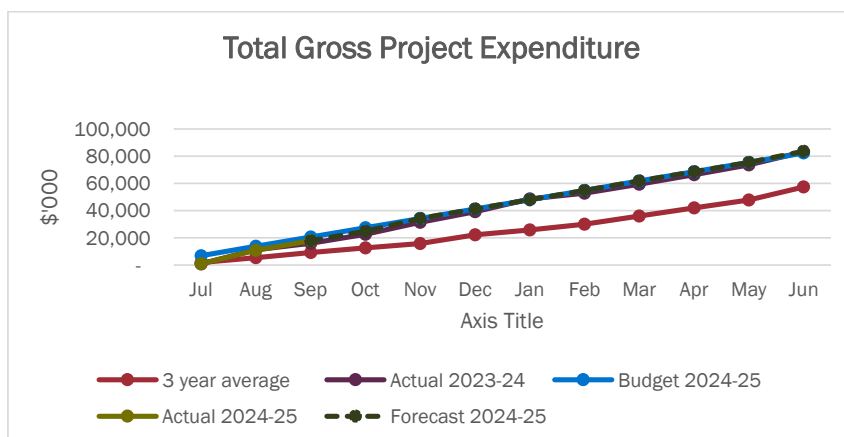
	Year To Date			Full Year		
	Actual \$'000	Budget \$'000	Variance \$'000	Forecast \$'000	Budget \$'000	Variance \$'000
Property						
Buildings	3,816	6,404	2,587	20,466	21,922	1,456
Land	3,918	3,405	(513)	5,081	4,299	(782)
Total Property	7,735	9,808	2,074	25,547	26,221	674
Plant and equipment						
Computers & telecomms	(29)	57	86	709	459	(250)
Fixture, fittings & furniture	1	32	31	83	366	283
Plant & machinery	293	662	369	2,897	2,317	(580)
Total Plant and equipment	265	750	485	3,689	3,142	(547)
Bridges	101	75	(26)	1,605	1,248	(357)
Drainage	20	326	307	824	1,471	647
Footpaths	131	308	177	1,677	1,474	(203)
Off Street Car Parks	134	8	(127)	1,336	659	(677)
Other infrastructure	0	193	193	451	10,774	10,323
Parks and open space	2,517	618	(1,899)	7,689	6,706	(983)
Recreational	181	2,181	2,000	8,281	1,939	(6,342)
Roads	6,783	5,637	(1,146)	32,148	28,703	(3,445)
Total Infrastructure	9,867	9,346	(521)	54,011	52,974	(1,037)
Software	0	115	115	411	0	(411)
Total Intangibles	0	115	115	411	0	(411)
Total Capital Works Expenditure (Excl Op. Init)	17,867	20,019	2,153	83,658	82,337	(1,321)

Capital works delivery to 30 September 2024 is \$17.8m, which is \$2.1m lower than the adopted budget (including carry forward) of \$20.8m.

The full-year forecast is expected to be \$1.3m higher than the full year adopted budget of \$82.3m (including carry forward).

Additional plant and equipment of \$580k and higher-than-budgeted land acquisitions of \$782k, is contributing to a \$1.3m higher forecast in capital delivery by the end of June 2025.

The below graph shows the year-to-date and forecast Capital Works expenditure for 2024/25 in comparison to last year and a 3-year average.



Further details on specific projects are included in the attached appendix.

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Capital project variations

The following project variations exceeded the 10% contract contingency, which requires reporting to and approval of Council. Due to the election period and the project costs forecast to remain within Council's adopted budget, direction was given to the contractors to proceed to ensure no further project delays and no variations for delay costs were claimed.

These will be presented to Council for formal approval at the next Council meeting.

Thewlis Road Early Learning and Family Centre

This project is currently under construction and has experienced inclement weather delays and several variations, with the builder's contract term requiring an extension to complete the project. Project variations include design omissions, client changes, authority fees and most significantly the compliance for licensing with additional shade structures.

One variation request was sought to obtain permission to adjust the contract threshold set in the builders' contract for the final stages of construction, with a requested contingency increase of \$300k. An additional variation request was sought to obtain permission to also adjust the design contract, with a requested contingency increase of \$30k.

These variation requests were approved by the CEO, noting that despite the construction and architectural variations, the project remains within overall budget.

Koo Wee Rup Bowls Pavilion

Through the course of construction, some items required additional work to be undertaken by the head contractor on this project. Additionally, due to authority delays, the design & construction contract term needed to be extended to complete the construction.

The variation request sought approval to exceed the 10% variance threshold and increase the contract contingency by \$100k to provide coverage should further variations arise. This variation request was approved by the CEO, noting that despite the variation, the project remains within overall budget.

Row Labels	Project Description	2025/26				
		23/24 Approved Carry forward	2024-25 Total Funds Available	2024-25 Current Forecast	Proposed Carry Forward	2024-25 Savings / (Overspend)
2223-000108	McGregor-Henty-Rogers Intersection Upgra	82,000	272,000	283,434	0	(11,434)
2223-000109	Pioneer Way/Brunt Rd Officer	0	0	2,520	0	(2,520)
2223-000129	Brunt/Rix Rd DCP Road Works (Parent)	0	226,000	235,558	0	(9,558)
2223-000134	IYU Recreation Reserve (Parent)	477,800	544,139	543,895	0	244
2223-000136	Cardinia Youth Hub (Parent)	0	5,000,000	989,914	3,955,410	54,676
2223-000137	Officer District Park (Parent)	2,959,400	4,583,519	3,801,581	0	781,938
2223-000138	Upper Beaconsfield Recreation Reserve MP	0	3,359,000	4,587,492	0	(1,228,492)
2223-000228	Brunt Rd Integrated Children's Centre	250,000	250,000	246,318	0	3,682
2223-000234	Cora Lynn Reserve Pavilion	400,000	4,019,000	3,979,346	0	39,654
2223-000236	Garfield Netball Pavilion - Upgrade	0	0	154,741	0	(154,741)
2223-000237	Garfield Nth Cannibal Creek Comm Hub	2,027,992	2,027,992	1,335,855	692,137	(0)
2223-000240	Koo Wee Rup Bowling Club Pavilion	3,029,475	3,029,475	3,029,475	0	(0)
2223-000251	Thewlis Rd Integrated Children's Centre	0	8,191,000	7,206,419	0	984,581
2223-000252	Timbertop Integrated Children's Centre	0	0	1,180	0	(1,180)
2223-000304	Beaconsfield Streetscape	66,000	66,000	55,291	0	10,709
2223-000330	Open Space PRG (furniture & Misc) 2324FY	0	0	-3,800	0	3,800
2223-000339	Public Art Program	90,000	140,000	140,000	0	0
2223-000387	Worrell Reserve skate park	1,178,046	1,178,046	1,214,902	0	(36,856)
2223-000390	Lang Lang Bypass	0	0	7,093	0	(7,093)
2223-000410	Business improvement Program	680,626	680,626	282,648	0	397,978
2223-000411	CCC minor equipment 2324FY	0	0	-11,520	0	11,520
2223-000412	New Plant Program (fleet vehicles)	0	0	28,600	0	(28,600)
2223-000413	Plant replacement program 2324FY	0	0	-44,125	0	44,125
2223-000416	Tree planting program	0	55,000	55,000	0	0
2324-000513	Construction of Oxford St Lang Lang	493,471	553,880	520,623	0	33,257
2324-000517	Puffing Billy Place Reserve Masterplan	0	50,683	50,608	0	75
2324-000864	Pink Hill Blvd - Whiteside to O'Neil	230,090	230,090	230,090	0	0
2425-000876	Building Minor Renewal Program Reactive	0	1,497,000	1,433,907	0	63,093
2425-000877	CCC Minor Building Works Program	0	157,100	114,380	0	42,720
2425-000879	Guard Rail & Safety Fence Renewal Prog	0	161,000	161,000	0	0
2425-001073	Drainage Renewal and Upgrade Program	0	643,000	360,909	0	282,091
2425-001130	WSUD Assets Renewal Program	0	577,000	577,000	0	(0)
2425-001176	EAC & MK System Upgrade Program	0	228,000	206,083	0	21,917
2425-001272	Furniture and Equipment Renewal Program	0	211,000	190,237	0	20,763
2425-001274	Building Minor Renewal Program Strategic	0	2,025,137	2,102,849	0	(77,712)
2425-001275	IT Strategy	0	459,000	252,615	0	206,385
2425-001276	Plant Replacement Program	961,863	2,546,863	2,543,889	0	2,974
2425-001277	CCC Minor Equipment	0	101,000	111,557	0	(10,557)
2425-001278	Emerald Lake Park	439,000	439,000	437,830	0	1,170
2425-001279	Playspace and supporting infra renewal	288,510	820,510	724,380	0	96,130
2425-001280	Basketball court renewal	0	12,000	12,894	0	(894)
2425-001281	BMX Facility Asset renewal	0	49,000	49,000	0	0
2425-001282	Cricket Practice Net Renewal Program	0	238,000	248,709	0	(10,709)
2425-001283	Netball/Tennis Court Resurfacing Program	0	72,000	72,786	0	(786)
2425-001284	Rec Reserve lighting and power upgrade	1,277,797	1,665,929	1,625,437	1	40,491
2425-001285	Rec reserve turf resurfacing program	33,185	154,185	158,585	0	(4,400)
2425-001287	Swimming Facilities Renewal Program	0	544,001	543,695	0	306
2425-001288	Universal Design (Incl Rec Pav Renewal)	0	157,000	157,717	0	(717)
2425-001289	Equestrian Trails Maintenance Program	0	63,000	14,200	0	48,800
2425-001290	Bridge Renewal Program	0	1,270,981	1,311,078	0	(40,097)
2425-001291	Road Pavement Renewal Program	0	2,743,000	2,398,946	0	344,054
2425-001292	Sealed Road Resurfacing Program	0	3,918,000	3,983,256	0	(65,257)
2425-001293	Sealed Road Resurfacing Prep program	0	1,176,000	1,049,577	0	126,423
2425-001294	Unsealed Road Resheeting Program	0	2,069,000	1,981,284	0	87,716
2425-001295	Sealed Pathway Renewal Program	0	1,016,000	961,860	0	54,140
2425-001297	Gravel pathway resheeting Program	0	95,000	95,000	0	0
2425-001298	Carpark resurfacing Program	0	152,000	153,204	0	(1,204)
2425-001317	Energy & Water Strategies Program	0	135,908	136,601	0	(693)
2425-001318	Depot Upgrades	350,000	350,000	316,658	0	33,342
2425-001319	Disability Access Upgrade Program	0	240,000	240,000	0	(0)
2425-001320	Land Acquisition	0	4,299,000	4,505,919	282,000	(488,919)
2425-001321	Public Lighting Program	0	137,000	182,408	0	(45,408)
2425-001322	Better Local Roads - Connect Cardinia	4,416,375	6,270,462	5,767,301	0	503,161
2425-001323	Sealing of the Hills Program	472,500	9,858,500	8,320,751	0	1,537,749
2425-001324	Footpath Network Expansion Program	0	300,000	323,934	0	(23,934)
2425-001327	Pakenham Revitalisation	1,467,991	2,354,991	2,158,201	0	196,790
2425-001328	Local Area Traffic Improvements Program	0	277,000	168,000	0	109,000
2425-001329	Landscape renewal program	0	210,000	83,172	0	126,828
2425-001331	Shade tree program	0	71,000	71,000	0	0
2425-001332	Significant Reserve Program	0	78,000	78,001	0	(1)
2425-001334	PB Ronald Reserve	97,000	97,000	99,704	0	(2,704)
2425-001335	Blackspot Road/Intersection Program	0	1,704,584	1,704,584	0	0
2425-001336	Princes Hwy Intersection Upgrade Program	4,766,364	5,166,364	5,156,235	0	10,129
2425-001337	Alma Treloar Master Plan	204,417	830,452	791,851	0	38,601
2425-001339	Traffic management devices program	0	317,000	313,668	0	3,332
2425-001376	Remediation works - 24/25	0	311,000	311,000	0	0
2425-001394	Living Learning Refresh	0	182,000	0	0	182,000
2425-001395	Capital Advancement Fund	0	460,000	0	0	460,000
2425-001542	New Plant Program	215,814	215,814	392,282	0	(176,468)
2425-001543	Community Capital Works Grants Program	0	340,166	310,776	35,000	(5,610)
2425-001566	LXRP Officer & Beaconsfield Fund Partner	0	1,583,000	1,363,465	172,000	47,535
2425-001570	O'Neil Rd Reserve	30,000	358,000	358,000	0	(0)
Grand Total		26,985,716	95,864,396	86,110,515	5,136,548	4,617,333

7.5 Activity Reports

7.5.1 Community Engagement Update

Responsible GM: Wayne Mack
Author: Emma Wilkinson

Recommendation(s)

That Council notes the community engagement activities being undertaken in December 2024.

Attachments

1. Community Engagement Activity – December 2024 [7.5.1.1 - 1 page]

Executive Summary

This report provides a monthly update on Council's community engagement opportunities commencing or continuing, refer to Attachment. Providing monthly updates to Council is an action in the Engagement Strategy 2022-2026 which operationalises Council's Community Engagement Policy.

Background

Community engagement is a process whereby Council uses a variety of methods to proactively seek out information and feedback from the community, including their values, concerns, ideas and aspirations. Where possible and when required by legislation, Council will include the community in the development and delivery of identified initiatives and projects. This practice establishes an ongoing partnership, ensuring that community members continue to shape Council's decision making and implementation process.

Council's Community Engagement Policy (the Policy) sets out Council's accountability for community engagement practices. The Policy meets the requirements of the *Local Government Act 2020* and Council's commitment to undertaking best practice, high quality community engagement activities to receive input, feedback and ideas from the community on Council projects, services, plans, policies, strategies and other Council decisions.

Council uses the IAP2 Spectrum of Public Participation (see below) as the model for its community engagement activities depending on the nature of the project, legislative requirements affecting the project and level of influence the community can have on the project, the risk and level of complexity of the project and available resources. In response to a Notice of Motion on 15 July 2024, 'inform' level engagements are included in these monthly reports. Inform level engagements are those which share information with the community but in which it has no ability to influence the decision or outcome. The Association is reviewing the IAP2 Spectrum and the outcome will be reported to Council as soon as information becomes available.

	INFORM	CONSULT	INVOLVE	COLLABORATE	EMPOWER
PUBLIC PARTICIPATION GOAL	To provide the public with balanced and objective information to assist them in understanding the problems, alternatives and/or solutions.	To obtain public feedback on analysis, alternatives and/or decision.	To work directly with the public throughout the process to ensure that public issues and concerns are consistently understood and considered.	To partner with the public in each aspect of the decision including the development of alternatives and the identification of the preferred solution.	To place final decision-making in the hands of the public.
PROMISE TO THE PUBLIC	We will keep you informed.	We will keep you informed, listen to and acknowledge concerns and provide feedback on how public input influenced the decision.	We will work with you to ensure that your concerns and issues are directly reflected in the alternatives developed and provide feedback on how public input influenced the decision.	We will look to you for direct advice and innovation in formulating solutions and incorporate your advice and recommendations into the decisions to the maximum extent possible.	We will implement what you decide.
EXAMPLE TOOLS	<ul style="list-style-type: none"> • Fact sheets • Websites • Open houses 	<ul style="list-style-type: none"> • Public comment • Focus groups • Surveys • Public meetings 	<ul style="list-style-type: none"> • Workshops • Deliberate polling 	<ul style="list-style-type: none"> • Citizen Advisory committees • Consensus building • Participatory • Decision-making 	<ul style="list-style-type: none"> • Citizen juries • Ballots • Delegated • Decisions

Table 1: IAP2 Spectrum of Public Participation

Policy Implications

Community engagement is undertaken in line with Council’s *Community Engagement Policy*.

Relevance to Council Plan

5.1 We practise responsible leadership

5.1.1 Build trust through meaningful community engagement and transparent decision-making.

Climate Emergency Consideration

There are no climate emergency considerations as part of this report.

Consultation/Communication

This month, the following Engagement Plans are being implemented.

Some projects will involve more than one stage of engagement. The relevant Engagement Plans for each project will document the stages and purpose of engagement.

Financial and Resource Implications

The activities undertaken fall within Councils existing budget and resourcing.

Conclusion

The tables above and in the Attachment outlines projects for engagement that can be promoted to the community this month to support its awareness and involvement and will assist Council in the delivery of the Council Plan action.

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Community engagement activity – December 2024			
Project	Project description	Date/s and details engagement	Business Unit
Applications open for expressions of interest to join a deliberative engagement community panel to review the Council’s future priorities and Vision.	Recruitment of a representative community panel that develops recommendations for Council on Council’s priorities.	EOIs open from 17 December 2024 to 22 January 2025. Promotion will include: <ul style="list-style-type: none"> • Mail outs targeting 5000 households • Posters, QR/DLs in prominent locations across the Shire linked to the Creating Cardinia platform • Media campaign including paid adverts, social media, messages on hold. 	Business Transformation and Customer.
Cardina Youth Survey.	Requesting survey feedback from young people to inform future Youth services and advocacy.	Period of engagement: Nov– 23 December. Promotion and engagement includes: <ul style="list-style-type: none"> • The Youth Action Group conducting face to face interviews until 23 December • Promotion in school newsletters, youth groups ie scouts, guides, homework clubs and sports clubs. • Posters, DLs displayed at prominent locations with a QR code linked to the survey on the Creating Cardinia platform • Media campaign media releases Instagram, Facebook, messages on hold. • Survey shared with local youth service networks. 	Children and Family Services.

7.5.2 State Projects Yearly Update Report

Responsible GM: Peter Benazic
Author: Narelle Bulleid

Recommendation(s)

That Council notes the progress, completed actions and future milestones for the State projects detailed in this report.

Executive Summary

Council's Major Projects Business Unit is responsible for the project management of key projects run by the Victorian Infrastructure Delivery Agency (VIDA) including projects being delivered by:

- Level Crossing Removal Project (LXRP)
- Regional Rail Revival (previously Rail Projects Victoria (RPV))
- Victorian Health Building Authority (VHBA)
- Major Road Projects Victoria (MRPV)

This report provides a summary of the Victorian State Government project progress during 2024 calendar year and a look ahead at activities planned for 2025.

The Council's Major Projects Business Unit has played a pivotal role in managing significant projects in collaboration with various State Government agencies. Persistent advocacy for state and federal investment in essential transport and health infrastructure has been a hallmark of the Council's efforts within Cardinia. From the outset, the Council encouraged its officers to work in partnership with the State Government. This collaboration aimed to strongly advocate for and influence the outcomes of these projects, ensuring the best possible results for the community.

Through this partnership and facilitation approach, Cardinia Shire is being seen by many of these partners as a Council where it is productive and made easy to undertake project delivery, and their projects are supported and facilitated. There is mutual benefit to our partners, Council and community to maximise these relationships, achieving enhanced deliverables, good project outcomes, effective use of resources on both sides and attracting more projects and grant funding.

This strategic approach has been instrumental in aligning the projects with the broader aspirations of the local area, extending beyond the immediate project scope for each individual project. This alignment has fostered a robust and cohesive development strategy, ensuring that the infrastructure not only meets current needs but also supports the future growth and prosperity of the community.

Background

Council's Major Projects Business Unit is responsible for liaising with the State Government agencies responsible for the following projects:

- Level Crossing Removal Projects (LXRP):
 - Pakenham – Three rail over road bridges and two stations
 - Brunt Road Officer – Road over rail bridge

- Station Street Officer – Road closure
- Station Street Beaconsfield – Road over rail bridge
- Nar Nar Goon - Station Carpark Upgrade

- Regional Rail Revival (RRR) previously Rail Projects Victoria (RPV):
 - Gippsland Line Upgrade including Bunyip Station upgrade

- Victorian Health Building Authority:
 - Pakenham Community Hospital

- Major Roads Projects Victoria:
 - Healesville – Koo Wee Rup Road Upgrade from Livestock Way to Manks Road
 - Pakenham Roads Upgrade including:
 - Healesville - Koo Wee Rup Road freeway interchange and road upgrade
 - McGregor Road freeway interchange and road upgrade
 - Racecourse Road upgrade

The establishment of the Major Projects Business Unit was a strategic move by the Cardinia Shire Council to influence and foster collaboration on significant infrastructure projects. This initiative ensures these projects integrate with the local area and act as catalysts for further investment in the region. This approach was key to Council's recent success in obtaining grant funding for the John Street, Drake Place and McGregor Road projects. These Council projects are designed to leverage and further enhance the benefits of state and federal infrastructure upgrades.

Discussion

Attachment 1 provides a summary of State Government project progress during 2024 and a look ahead at activities planned for 2025. Each project is also briefly discussed below.

Pakenham Level Crossing Removal Project

This project included the removal of three level crossings at McGregor Road, Main Street and Racecourse Road Pakenham, with a rail over road solution. A significant amount of new public open space has been created within the rail corridor under the elevated rail viaduct. The project also included the redevelopment of the Pakenham Station, the extension of the metropolitan train line to Pakenham East, and the construction of the new East Pakenham Station.

The following are notable milestones and upcoming activities:

- Construction of Ryan Road from Pinehill Drive to East Pakenham Station completed in May 2024.

- 2.5km elevated rail viaduct completed and commissioned in June 2024.

- East Pakenham Station and new platforms at Pakenham Station opened in June 2024.

- Level crossings at McGregor Road, Main Street and Racecourse Road removed between July and August 2024.

- Pakenham Station precinct final works including 450 additional car parking spaces completed in November 2024.

- Open space corridor between McGregor Road and Main Street completed and opened in November 2024 with community celebration event.

- Expected completion of the Changing Places Facility in the open space corridor and the bus interchange at Pakenham Station by the end of 2024.
- Project in defects correction period through to end of 2026.

Brunt Road Level Crossing Removal Project

This project included the removal of the Brunt Road level crossing by the construction of a new road bridge over the existing rail tracks. The new bridge was constructed between early 2023 and completed and open to vehicles, cyclists and pedestrians in April 2024

The project achieved the following notable milestones and benefits:

- Completion of all major works was achieved by August 2024
- The new Brunt Road bridge features new walking and cycling connections, improved lighting and native planting
- Approximately 100 trees and 50,000 plants, shrubs and grasses were planted as part of the project.
- New footpath and shared use path across the new road bridge, providing a direct link to local schools, shops, and services on either side of the rail line.
- Community thank you events were held throughout the project including free coffee days at the local café and several kids' fun days in the local reserves.
- Council will retain some new drainage pipe assets and some of the LXP site compound hardstand areas to use for future projects on the Gin Gin Bin Reserve.
- Traffic volume reviews since the bridge is open has shown an increase of around 7% that is likely to be attributed to the Station St level crossing closure in May 2024 and that the road has less delays.
- Project in defects correction period through to end of 2026.

Station Street Officer Level Crossing Removal Project

This project involves the removal of the Station Street Officer level crossing through the closure of Station Street on either side of the rail tracks which occurred in mid-2024.

The following are notable milestones and upcoming activities:

- As part of the project, new plants, trees, shrubs and grasses will be planted in early 2025.
- Locals will benefit from improved connections along Station Street and Officer South Road. As part of the project, we're providing the missing link between Gilbert Reserve and Officer Station on the north of the rail and Hickson Road and Officer Station on the south, all completed by mid 2025.
- Lighting will be installed along sections of the new DDA compliant footpath, improving safety for pedestrians travelling to Officer Station.
- Council continues to advocate to Department of Transport and Planning (DTP) for an alternative North-South arterial road to be constructed from Officer South Road through to Princes Highway which is a critical link in the Officer Precinct Structure Plan.

Station Street Beaconsfield Level Crossing Removal Project

This project involves the removal of the Station Street, Beaconsfield level crossing through the construction of a new road bridge over the existing tracks. The project area includes a locally significant heritage building at 20 Beaconsfield Avenue and the regionally significant Cardinia Creek parklands which are key concerns for Council among other matters.

The following are notable milestones and upcoming activities:

- The new road bridge at Station Street, Beaconsfield features a pedestrian path over the bridge, providing better connections to Beaconsfield Stations precinct and over the rail line.
- Planting will commence in 2025 and will include Australian native and indigenous trees, and 75,000 plants and shrubs will be planted in the area as part of the project.
- LXRPA has held several online meetings with the Beaconsfield Progress Association and separately with the wider community during the project to update on all works and discuss any concerns residents may have.
- LXRPA is provided funding for an additional school crossing supervisor until 2025 which has improved students' safety during the project delivery works
- The new bridge is targeted to open 2025.

Nar Nar Goon Station Car Park Upgrade

The Nar Nar Goon car park upgrade was part of the larger program known as Car Parks for Commuters and was delivered by the Level Crossing Removal Project (LXRPA) agency in 2022. The project has delivered an upgrade of the car parking area on the north side of the station which includes 50 parking spaces with accessible parking spaces, pedestrian paths, bicycle hoops, lighting and new CCTV cameras.

Asset allocation will be completed with LXRPA and Vline in 2024 and Council will commence maintaining swale drainage around the Station precinct in 2025.

Gippsland Line Upgrade – Regional Rail Revival (previously Rail Projects Victoria)

The Gippsland Line Upgrade is a project that extends along the rail line from Bairnsdale through to Southern Cross Station. Key works within Cardinia Shire included the Bunyip Station upgrade, track duplication between Bunyip and Longwarry, level crossing upgrade at Tynong, along with signalling and drainage upgrades between Nar Nar Goon and Bunyip.

Completion of the new south platform, bus interchange and kiss and ride commuter drop off zones were completed later in 2024. Council officers will continue to work with the project in terms of defects with officers actively assisting with areas south of the station.

Pakenham Community Hospital – Victorian Health Building Authority

The Pakenham Community Hospital is being delivered by the Victorian Health Building Authority. The project includes the establishment of a community hospital in Pakenham that will provide a range of integrated health and specialist services.

Works to establish the site, demolish the existing building and relocate existing services commenced in October 2024.

The main phase of construction works is expected to commence in early 2025 and continue through to the end of 2026.

Healesville-Koo Wee Rup Road Upgrade – Major Road Projects Victoria

This project included the duplication of Healesville-Koo Wee Rup Road between Southeast Boulevard and Manks Road including upgraded signalised intersections at Livestock Way and Greenhills Road and new roundabouts south of Deep Creek and at Hall Road and Ballarto Road.

The project has also delivered over 9km of shared walking and cycling paths along with rest areas at Deep Creek and Ballarto Road. The Deep Creek rest area features signage with information on the Growling Grass Frog and Southern Brown Bandicoot. The Ballarto Road rest area includes a sign developed with the Bunurong Land Council that provides information about the Indigenous heritage of the land.

Construction of the main works were completed in June and July 2024 for the two project areas. The shared walking and cycling paths opened for use at this time. Final asphalt works for the southern area were completed in November 2024.

The project is now in its defects correction period through to mid-2026.

Pakenham Roads Upgrade – Major Road Projects Victoria

This project includes three stages of works to upgrade the Princes Freeway and sections of McGregor Road, Healesville – Koo Wee Rup Road and Racecourse Road. The project is being delivered by Major Roads Project Victoria with funding from the Australian Government.

Construction of stage 1 (Princes Freeway and Healesville – Koo Wee Rup Road) is expected to be practically complete by the end of 2024.

Construction of stage 2 (McGregor Road) is expected to be practically complete by the end of 2024 with final works focusing on the upgrade of the Princes Freeway on-ramp.

The design phase for stage 3 (Racecourse Road) was completed through 2024 with early works occurring to establish the construction zone and relocate services. The main phase of construction will commence in January 2025.

Policy Implications

These projects are generally consistent with several Council policies and documents including the Pakenham Major Activity Structure Plan 2021, Pakenham Major Activity Centre Urban Design Framework 2021 and Officer Precinct Structure Plan.

Financial and Resource Implications

Council has worked closely with the Level Crossing Removal Project regarding financial and resource implications and support has been provided.

The support and facilitation outlined within this report by the Major Projects team is achieved with 6 EFT. These roles are funded by a combination of Council and grant funding.

Relevance to Council Plan

2.1 We support the creation of liveable spaces and places

2.1.1 Advocate, plan for and deliver accessible community infrastructure and services that address community need.

2.1.2 Plan and maintain safe, inclusive and connected open spaces, places and active travel routes.

2.1.4 Advocate for increased and more-connected public transport options.

2.1.5 Upgrade Council's road network to improve safety and connectivity while considering traffic demand and freight transport needs.

Climate Emergency Consideration

The proposed infrastructure upgrades will improve public transport provision and active transport infrastructure in the project areas. This will help encourage a transport mode shift away from cars and reduce transport related carbon emissions. Further the new infrastructure will be designed and maintained in line with climate change predictions and assumptions, such as flooding and extreme heat.

Consultation/Communication

Each of the individual projects include community consultation activities, refer to attachment 1. Further community consultation will occur with each of these projects as necessary. Regular updates will continue to be provided.

Council's project team has regular meetings with their State Government peers at LXRP, RRR, VHBA and MRPV to review plans and provide input into the design of the projects and advocate for the best outcomes for the community.

Additionally, Council's Chief Executive Officer and General Manager Infrastructure and Environment regularly meet with the CEO and senior staff from agencies associated with VIDA to resolve any strategic issues and to advocate for additional resources to complete these projects.

Conclusion

Significant milestones have been achieved this year for the major projects currently underway throughout Cardinia but in particular projects within Pakenham. Aligning with Council's vision and liveability plans to deliver healthy, active and connected communities, these projects are improving movement and place outcomes.

The completion of the Pakenham Level Crossing Removal project has resulted in extensive open space areas being opened to the community enabling them to enjoy improved access from Henty Street for the first time, alongside upgrades to public transport and bicycle infrastructure providing safe and connected pedestrian infrastructure to ensure improved access for all. Moving into 2025, the transformative infrastructure construction program will continue with the development of the Pakenham Community Hospital and delivery of Stage 3 of Pakenham Roads Upgrade.

Simultaneously, Council will commence the delivery of the first 3 stages of the Pakenham Revitalisation Project focusing on John Street, Drake Place and Main Street which will allow motorists and pedestrians alike to move around the town centre seamlessly and safely.

Council's Major Projects team will continue to strengthen our strong working partnership with the State Government agencies and advocate for the best outcomes for our community.

Attachments

1. Major Projects Yearly Update 2024 [7.5.2.1 - 9 pages]

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Level Crossing Removal Project (LXRP) – Pakenham (Three rail over road bridges and two stations)	
Progress 2024	Upcoming Activities 2025
<p>LXRP Preliminary Works</p> <ul style="list-style-type: none"> • Stage completed in 2021 	<p>LXRP Preliminary Works</p> <ul style="list-style-type: none"> • Stage completed in 2021
<p>LXRP Design</p> <ul style="list-style-type: none"> • Stage completed in 2023 	<p>LXRP Design</p> <ul style="list-style-type: none"> • Stage completed in 2023
<p>LXRP Consultation</p> <ul style="list-style-type: none"> • Community updates provided through 2024 – distributed to approximately 27,000 households and available online • Local trader consultation throughout 2024 • Regular works notices and SMS updates for road and rail disruptions throughout 2024 	<p>LXRP Consultation</p> <ul style="list-style-type: none"> • Stage completed in 2024
<p>LXRP Construction Works and Disruptions</p> <ul style="list-style-type: none"> • Construction of Ryan Road from Pinehill Drive to East Pakenham Station completed in May 2024 • Elevated rail viaduct between McGregor Road and Racecourse Road completed and commissioned in June 2024 • East Pakenham Station and new elevated platforms at Pakenham Station opened in June 2024 • Completion of Pakenham Station precinct including 450 additional car parking spaces in November 2024 • Open space corridor between McGregor Road and Main Street completed and opened in November 2024 	<p>LXRP Construction Works and Disruptions</p> <ul style="list-style-type: none"> • Stage completed in 2024 • Minor disruptions possible for works during Defect Corrections Period
<p>Council Advocacy</p> <ul style="list-style-type: none"> • Council Officer meetings with project team throughout 2024 • Executive meetings between LXRP and Council throughout 2024 • Ongoing advocacy on design and construction issues and integrated development opportunities in Pakenham • Ongoing advocacy on sequencing of works and management of traffic disruptions between LXRP, MRPV and VHBA projects in Pakenham 	<p>Council Advocacy</p> <ul style="list-style-type: none"> • Monitoring of asset performance and close out of issues during Defects Correction Period

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Level Crossing Removal Project – Brunt Road, Officer (Road over rail bridge)	
Progress 2024	Upcoming Activities 2025
<p>LXRP Preliminary Works</p> <ul style="list-style-type: none"> • Stage completed in 2022 	<p>LXRP Preliminary Works</p> <ul style="list-style-type: none"> • Stage completed in 2022
<p>LXRP Design</p> <ul style="list-style-type: none"> • Completion of most design packages for construction during 2023 	<p>LXRP Design</p> <ul style="list-style-type: none"> • Completion of remaining design packages for construction achieved in early 2024
<p>LXRP Consultation</p> <ul style="list-style-type: none"> • Community updates provided through 2024 – distributed to approximately 6,500 households and available online • Regular works notices and SMS updates for road and rail disruptions throughout 2024 • Community events held in local Cafes and Dodson Reserve during the year with a project completion event in September with free coffee and interactive children’s activities and giveaways 	<p>LXRP Consultation</p> <ul style="list-style-type: none"> • Stage completed in 2024
<p>LXRP Construction and Disruptions</p> <ul style="list-style-type: none"> • Construction of new road over rail bridge completed in April 2024 • Reduction of congestion for the 8400 vehicles that pass through the level crossing each day • New walking and cycling paths along the road bridge and surrounding areas • Planting approximately 100 trees and 50,000 plants, shrubs and grasses 	<p>LXRP Construction and Disruption</p> <ul style="list-style-type: none"> • Stage completed in 2024 • Minor disruptions possible for works during Defect Corrections Period
<p>Council Advocacy</p> <ul style="list-style-type: none"> • Advocacy on project specific Urban Design Guidelines including submission of issues relating to pedestrian connectivity, interfaces with the future open space reserve and future proofing the road design in accordance with the Officer Precinct Structure Plan • Ongoing advocacy on sequencing of works and management of traffic disruptions between LXRP and Council local road projects during 2024 • Council Officer meetings with project team throughout 2024 • Executive meetings between LXRP and Council throughout 2024 	<p>Council Advocacy</p> <ul style="list-style-type: none"> • Monitoring of asset performance and close out of issues during Defects Correction Period

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Level Crossing Removal Project – Station Street, Beaconsfield (Road bridge over rail)	
Progress 2024	Upcoming Activities 2025 (Subject to change)
<p>LXRP Preliminary Works</p> <ul style="list-style-type: none"> Stage completed in 2022 	<p>LXRP Preliminary Works</p> <ul style="list-style-type: none"> Stage completed in 2023
<p>LXRP Design</p> <ul style="list-style-type: none"> Completion of most design packages for construction during 2023 	<p>LXRP Design</p> <ul style="list-style-type: none"> Completion of remaining design packages for construction achieved in early 2024
<p>LXRP Consultation</p> <ul style="list-style-type: none"> Community updates provided through 2024 – distributed to approximately 13,000 households and businesses and available online LXRP held several online meetings with the Beaconsfield Progress Association during 2024 Regular works notices and SMS updates for road and rail disruptions throughout 2024 Community Engagement through Engage Vic for naming of the road 	<p>LXRP Consultation</p> <ul style="list-style-type: none"> Community updates expected until mid-2025 depending on project milestones – distributed to approximately 13,000 households and businesses and available online Completion of Community Engagement for naming of the road Regular works notices and SMS updates for road and rail disruptions until mid-2025 Additional community events planned during 2025
<p>LXRP Construction and Disruptions</p> <ul style="list-style-type: none"> Construction of new road over rail bridge commenced early 2024 Heritage property renovations completed in late 2024 LXRP provided funding for an additional school crossing supervisor until project completion in 2025. Kenilworth Avenue full closure in November/December to support safe working and the connection of the Southern roundabout works 	<p>LXRP Construction and Disruptions</p> <ul style="list-style-type: none"> Community Updates expected throughout 2025 subject to project milestones Works on bridge structures continuing with Station Carpark asphaltting works completed early 2025 Some rail disruptions early 2025
<p>Council Advocacy</p> <ul style="list-style-type: none"> Ongoing Council Officer meetings with project team throughout 2024 Ongoing Executive meetings between LXRP and Council throughout 2024 Advocacy on minimising disruptions for residents and commuters during construction. Advocacy to LXRP for residents affected by flooding at Easter due to project drainage issues. 	<p>Council Advocacy</p> <ul style="list-style-type: none"> Ongoing Council Officer meetings with project team until completion Ongoing Executive meetings between LXRP and Council until completion Advocacy and consultation to continue about the future uses of the Station Masters Heritage house and protection of the Bunya Bunya Pine Ongoing consultation to LXRP to minimise traffic disruptions and maintain safety for pedestrians, especially school children until completion.

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Level Crossing Removal Project – Station Street, Officer (Road Closure)	
Progress 2024	Upcoming Activities 2025 (Subject to change)
<p>LXRP Preliminary Works</p> <ul style="list-style-type: none"> Stage completed 2022 	<p>LXRP Preliminary Works</p> <ul style="list-style-type: none"> Stage completed in 2023
<p>LXRP Design</p> <ul style="list-style-type: none"> Stage completed in 2024 	<p>LXRP Design</p> <ul style="list-style-type: none"> Stage completed in 2024
<p>LXRP Consultation, Construction and Disruptions</p> <ul style="list-style-type: none"> Consultation by LXRP with local businesses to inform on the road closure Level crossing closed in May 2024 LXRP and Council negotiations resulted in Council planning to deliver a full shared use path from Hickson Road to Officer Station in 2025. 	<p>LXRP Consultation, Construction and Disruptions</p> <ul style="list-style-type: none"> Community Updates expected until project completion in early 2025 Works north of the rail including Gilbert Reserve connection with pathways, lighting and landscaping to be completed by late March. Council design will be finalised and construction of new shared use path on Officer South Rd will be completed in early 2025.
<p>Council Advocacy</p> <ul style="list-style-type: none"> Ongoing Council Officer meetings with project team throughout 2024 Ongoing Executive meetings between LXRP and Council throughout 2024 Advocacy for design to meet the Officer Precinct Structure Plan with improved connectivity for pedestrians and cyclists throughout 2024 Advocacy and consultation with Melbourne Water on design for DSS works to open drainage Council negotiations to improve bicycle connection along Officer South Road resulted in footpath being upgraded to a shared use path to be constructed early 2025 	<p>Council Advocacy</p> <ul style="list-style-type: none"> Ongoing Council Officer meetings with project team until completion Ongoing Executive meetings between LXRP and Council until completion Council will continue to advocate to the Department of Transport on the need for the Nth/Sth Arterial Rd for this important road connection to be funded and delivered Advocacy with Melbourne Water to carry out DSS works to open drainage to link to the ultimate PSP road construction

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Level Crossing Removal Project – Nar Nar Goon Station Carpark Upgrade	
Progress 2024	Upcoming Activities 2025 (Subject to change)
LXRP Preliminary Works <ul style="list-style-type: none"> Stage completed in 2021 	LXRP Preliminary Works <ul style="list-style-type: none"> Stage completed in 2021
LXRP Design <ul style="list-style-type: none"> Stage completed in 2022 	LXRP Design <ul style="list-style-type: none"> Stage completed in 2022
LXRP Consultation, Construction and Disruptions <ul style="list-style-type: none"> Project defects completed in 2024 V/Line drainage works undertaken to construct retarding basin adjacent to carpark 	LXRP Consultation, Construction and Disruptions <ul style="list-style-type: none"> Stage completed in 2022
Council Advocacy <ul style="list-style-type: none"> Council Officer meetings with project team throughout 2024 	Council Advocacy <ul style="list-style-type: none"> Council Officer meetings with Vline to improve drainage for local residents around the Station precinct Asset handover early 2025

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Regional Rail Revival (RRR) – Gippsland Line Upgrade (Rail upgrades across municipality including Bunyip Station upgrade)	
Progress 2024	Upcoming Activities 2025 (Subject to change)
<p>RPV Design & Project Actions</p> <ul style="list-style-type: none"> Stage completed in 2024 	<p>RPV Design & Project Actions</p> <ul style="list-style-type: none"> Stage completed in 2024
<p>RPV Consultation</p> <ul style="list-style-type: none"> Regular works notices and SMS updates for road and rail disruptions throughout 2024 Consultation with residents of Nar Nar Goon – Longwarry Road in response to drainage concerns throughout all 2024 	<p>RPV Consultation</p> <ul style="list-style-type: none"> Stage completed in 2024
<p>RPV Construction and Disruptions</p> <ul style="list-style-type: none"> Completion of Bunyip Station platform works, bus interchange and carparks Road and rail disruptions including closure of Bunyip Station and Hope St crossing in July and August 2024 for rail duplication and various works Primary school shuttle bus provided by RPV during all disruptions Upgrade to residents’ driveways on Nar Nar Goon – Longwarry Rd causing disruption to resident access 	<p>RPV Construction and Disruptions</p> <ul style="list-style-type: none"> Minor disruptions possible for works during Defect Corrections Period
<p>Council Advocacy</p> <ul style="list-style-type: none"> Ongoing Council Officer meetings with project team throughout 2024 Ongoing advocacy to project team to amend drainage design and future-proof for footpath along Nar Nar Goon – Longwarry Road Consultation with residents about concerns on lighting levels created by the new station Ongoing advocacy to Department of Transport to improve condition of existing drainage along Nar Nar Goon – Longwarry Road to reduce flooding from road pavement that affects residents Ongoing advocacy with RPV for Southern Brown Bandicoot predator program and protection measures to remain until 2026. 	<p>Council Advocacy</p> <ul style="list-style-type: none"> Ongoing Council Officer consultation with project team during defects period in 2025 Ongoing advocacy with RPV for Southern Brown Bandicoot predator program and protection measures to remain during 2025

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Victorian Health Building Authority (VHBA) – Pakenham Community Hospital	
Progress 2024	Upcoming Activities 2025 (Subject to change)
<p>VHBA Preliminary Works</p> <ul style="list-style-type: none"> Site establishment commenced in October 2024 	<p>VHBA Preliminary Works</p> <ul style="list-style-type: none"> Stage expected to be completed early 2025
<p>VHBA Design</p> <ul style="list-style-type: none"> Design progressed during 2024 with Council officers continuing to provide input to key interfaces with Drake Place, John Street and LXR open space corridor 	<p>VHBA Design</p> <ul style="list-style-type: none"> Design phased expected to be completed and released to public early 2025
<p>VHBA Consultation, Construction and Disruptions</p> <ul style="list-style-type: none"> Ongoing Council input to planning of construction phase with focus on minimising disruptions to traders and residents in Pakenham 	<p>VHBA Consultation, Construction and Disruptions</p> <ul style="list-style-type: none"> Main construction phase expected to commence in early 2025 Disruptions to be planned around MRPV and Council major projects in Pakenham
<p>Council Advocacy</p> <ul style="list-style-type: none"> Regular Council officer meetings with VHBA throughout 2024 Cross agency meetings regarding integration between the Hospital and the Pakenham Level Crossing Removal project including the open space areas created at the interface Sequencing of works with other projects in Pakenham Continued Council advocacy for VHBA to provide community with updates on project progress 	<p>Council Advocacy</p> <ul style="list-style-type: none"> Ongoing Council officer meetings with VHBA throughout 2025 Continued advocacy for improvements to key interfaces at Drake Place, John Street and LXR open space corridor and coordinating construction activities with Council's works around the site Continued advocacy for VHBA to provide community with updates on project progress as main construction occurs through 2025

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Major Road Projects Victoria (MRPV) – Healesville-Koo Wee Rup Road Upgrade	
Progress 2024	Upcoming Activities 2025 (Subject to change)
MRPV Preliminary Works <ul style="list-style-type: none"> Stage completed in 2022 	MRPV Preliminary Works <ul style="list-style-type: none"> Stage completed in 2022
MRPV Design <ul style="list-style-type: none"> Stage completed in 2022 	MRPV Design <ul style="list-style-type: none"> Stage completed in 2022
MRPV Consultation, Construction and Disruptions <ul style="list-style-type: none"> Main construction for north and south project areas completed between June and July 2024 Final asphalt wearing course in south project area completed in November 2024 	MRPV Consultation, Construction and Disruptions <ul style="list-style-type: none"> Stage completed in 2024 Minor disruptions possible for works during Defect Corrections Period
Council Advocacy <ul style="list-style-type: none"> Ongoing Council officer meetings with project team throughout 2024 with input to design and construction issues across the project 	Council Advocacy <ul style="list-style-type: none"> Monitoring of asset performance and close out of issues during Defects Correction Period

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Major Projects Progress Update 2024 and Upcoming Activities 2025

Major Road Projects Victoria (MRPV) – Pakenham Roads Upgrade (HKWR Road, McGregor Road and Racecourse Road upgrades)	
Progress 2024	Upcoming Activities 2025 (Subject to change)
<p>MRPV Preliminary Works</p> <ul style="list-style-type: none"> • Stage 3 preliminary investigations completed in 2024 	<p>MRPV Preliminary Works</p> <ul style="list-style-type: none"> • Stage completed in 2024
<p>MRPV Design</p> <ul style="list-style-type: none"> • Stage 3 design phase completed in 2024 	<p>MRPV Design</p> <ul style="list-style-type: none"> • Stage completed in 2024
<p>MRPV Consultation, Construction and Disruptions</p> <ul style="list-style-type: none"> • Community and business consultation and ongoing liaison by project teams for all stages during 2024 • Construction on stage 1 continued through 2024 with Practical Completion expected by end of 2024 • Construction on stage 2 commenced January 2024 with Practical Completion expected by end of 2024 • Early works on stage 3 commenced late 2024 	<p>MRPV Consultation, Construction and Disruptions</p> <ul style="list-style-type: none"> • Stages 1 and 2 main construction works expected to be complete • Minor disruptions possible for works during Defect Corrections Period • Stage 3 main construction expected to commence in January 2025 with some significant disruptions throughout 2025
<p>Council Advocacy</p> <ul style="list-style-type: none"> • Ongoing Council officer meetings with project team throughout 2024 with input to design and construction issues across the projects 	<p>Council Advocacy</p> <ul style="list-style-type: none"> • Ongoing Council officer meetings with project team throughout 2025 • Monitoring of asset performance and close out of issues during Defects Correction Period

7.5.3 Performance and Growth Reports - Q1 2024/2025

Responsible GM: Wayne Mack
Author: Owen Hardidge

Recommendation(s)

That Council receives and notes the Performance and Growth Reports for Quarter 1 2024-25.

Executive Summary

The Performance and Growth Reports for Quarter 1 2024-25 show various results in performance across the organisation, and growth across the Shire.

The organisation will continue to aim targeted improvement initiatives at areas and services that are not achieving desired targets.

Background

Introduction to the Quarterly Performance and Growth Reports

This report and the attachments are a collection of reports and information prepared for Councillors and the community every quarter. They are consistent in appearance and their data sources, to allow for accurate comparison over time. While they represent a small proportion of the activity of Council, the reports try to address areas of common Councillor and community interest.

The Ministerial Better Practice Guide that addressed Council performance and financial reporting indicates that Councils should present quarterly or biannual reports on the operation of Council to Councillors, the Audit Committee and Senior Managers.

During the first 12 months of the new Council term, Council must prepare and adopt a range of strategic planning documents, which must include the articulation of Strategic Indicators that will track the progress of Council plan initiatives and priorities. Performance reporting is inherently connected to the higher level strategic objectives, and hence officers expect that these quarterly performance reports may be adapted and adjusted as the new Council priorities take shape.

Council officers are currently working on potential strategic indicators for Council to consider, which will be an important component for Council consideration as the Council Plan and associated documents are prepared.

Attachment 1 – Performance Report 2024-2025 Q 1

This report collates a series of 'dashboards' that draw data from various Council systems and presents them in a graphical way. The dashboards presented in this report are available on the Council website (cardinia.vic.gov.au/dashboards), and are updated each quarter after they are reported in Council meetings.

Council Plan Performance refers to the Initiatives identified in the Council Plan 2021-2025 and tracks the current status of the Year 4 initiatives. More detailed progress comments can be found in Attachment 2 – Council Plan Initiatives – Progress Report 2024-25 Q 1.

Service request performance

In this report, “Requests” refers to customer enquiries recorded in Council’s Customer Relationship Management System (CRMS). This may be when a call is taken through the Customer Support call centre, or an email or other electronic request via mail@cardinia.vic.gov.au

All categories of CRMS have assigned ‘target’ completion time (expressed as days - ranging from 1 to 180 days, depending on the immediacy of the request, and the nature of the enquiry). The ‘Service Level’ is the percentage of CRMS that are completed (closed) within the ‘target’ time.

Unsealed Roads Performance

Drainage Performance

Waste Management Performance, Disposal and Recovery

Customer Service Performance and After Call Survey

Youth Engagement statistics

These dashboards summarise workloads, service completion data and proactive work volumes across key Council services. Each quarter, the relevant service managers may provide commentary on trends or particular results. These graphs will often show variation when demand surges occur, such as weather events, spikes in calls because of issues in the community.

The **after-call survey** is conducted quarterly and prompts a random selection of customers to rate the performance of Council after their CRMS request is closed. After call surveys typically have a relatively low participation rate (this quarter it is 11%) but is nevertheless a useful indicator. Survey-takers are invited to rate the knowledge, professionalism and wait time in respect of their contact, providing a rating out of 5.

Escalated complaints

The escalated Customer complaints report refers to Customer complaints, within the meaning of the *Local Government Act 2020*, and should be understood in conjunction with the Cardinia Shire Council Customer Complaints Policy.

The *Local Government Act 2020* defines a complaint as, “a written or oral expression of dissatisfaction” with the:

- Quality of an action taken, decision made, or service provided by a member of Council staff or contractor engaged by the Council; or
- Delay by a member of Council staff or contractor engaged by the Council in taking an action, making a decision, or providing a service; or
- Policy or decision made by a Council, member of Council staff or a contractor.

and is therefore quite broad in its scope.

Due to current system limitations, this report records the number of complaints received and the closure time. This does not indicate information whether investigated complaints were substantiated (in whole or in part).

[Customer Service Charter and Complaints Policy - Cardinia Shire Council | Cardinia Shire Council](#)

LGPRF Service Measures

The Local Government Performance Reporting Framework is a key State Government initiative to collect rigorous and comparable data from all Victoria Councils across a range of key service areas. This data is reported annually, and is comparable across Councils, to support transparency across the sector.

As well as reporting the data, Councils are obliged to set targets for some designated indicators. The targets adopted by Cardinia are indicated on the graphs by yellow dotted lines. Targets have only been required since 2023/24.

Local Government Victoria provides a website and tools to easily compare the data across Councils. [Know Your Council | vic.gov.au](#)

Attachment 2 – Cardinia Initiatives Progress Report 2024-2025 Q 1

This report collates progress comments across all initiatives identified in the Council Plan. The Council Plan 2021-2025 sets out initiatives across each of the 4 years of the plan, and this report relates to the initiatives that are ongoing in the current year.

Attachment 3 – Growth Report 2024-2025 Q 1

This report combines a number of data sources that collectively indicate population and growth trends in the municipality, including in significant development precincts.

Attachment 4 – Gender Equity Action Plan Report 2024-25 Q 1

Under the Gender Equality Act 2020, all local Councils are required to have a Gender Equity Action plan, and to report progress against the plan.

This report outlines progress against the actions outlined in the key focus areas of the Cardinia Shire Gender Equality Action Plan (GEAP) 2021 – 2025.

Future Improvements and changes to Performance and Growth Reports

Over the next 6-9 months, as the new Council Plan is developed, Council will develop new strategic indicators which will be the primary performance indicators for the Council term. It is expected that this will, in turn, drive improvements to the Quarterly Performance and Growth Reports, in order to provide Councillors and the community for more informative performance reports.

Summary of results for Quarter 1 24-25




Council Plan initiatives





The Council Plan 2021-25 was adopted on Monday 21 June 2021. This is the last reporting year for the new Council Plan.

The Council Plan is structured around five strategic objectives that underpin the overarching strategic direction for the term of the Plan. Under each strategic objective is a series of strategies, initiatives, and indicators. Council initially adopted 28 Council Plan initiatives for 2024-25. After reviewing the “Implement the Business Innovation Strategy” initiative with Councillors, it was decided to integrate this priority into the Economic Development Strategy. Consequently, this initiative is not included in the current Financial Year reporting. We are committed to 27 Council Plan initiatives for 2024-25, all of which are on track for timely completion.

Key results to note this quarter

The following table identifies some of the key changes or trends that are reflected in the attached reports:

<p>LGPRF indicators showing improvement</p>	<ul style="list-style-type: none"> • Time taken to action food complaints • Time taken to action animal requests • Planning decisions upheld at VCAT • Missed Bins (per 10,000 collections)
<p>LGPRF indicators that were stable and remain high</p>	<ul style="list-style-type: none"> • Sealed roads maintained to standards • MCH 4 weeks KAS participation • MCH Infant enrolment
<p>LGPRF indicators that showed a decline</p>	<ul style="list-style-type: none"> • The percentage of planning application decisions made within the 60-day timeframe has dropped from 63% to 46.8%. • Animals reclaimed • Council decisions closed to public • Councillor attendance rate at Council meetings • Waste diverted from landfill
	<p>Customer Support after call survey</p> <p>Post call survey results continue to show stable satisfaction with professionalism, wait time & knowledge of Customer Support call takers.</p>
	<p>Waste Management service performance</p> <p>Waste management performance results continue to meet the organisation’s target, achieving a 96% service level for the quarter, the highest in the past four years.</p> <p>The ‘Missed Bins’ metric displayed continuous improvement. Our waste team has worked with our kerbside collections contractor to put a significant focus on missed bins management across our three kerbside collection streams. Our contractor has put several new processes in place to reduce the previously high ‘miss bins’ reporting number. Some of the changes include more frequent reporting to Council on this measure, better driver resourcing, education for drivers on the impact of missed services, direct driver engagement to support potential misses and positive incentives for drivers who have zero missed bins on their runs.</p>
	<p>Service request performance</p> <p>The share of incoming service requests, across the organisation, which were actioned and closed within service standard, sat at 80% for the quarter, lower than our target of 90%. The total number of incoming service requests increased by 18%, compared to the same time last year.</p> <p>A significant backlog of outstanding storm-related customer requests (Trees and Vegetation on Council or Public land) continues to impact the overall organisational request levels.</p>

	<p>Customers experience survey</p>	<p>The overall customer satisfaction score is derived from asking customers, who have had a service request closed, to rate their overall experience with council, on a scale of 1 to 5, with 1 being very poor, and 5 being very good.</p> <p>We achieved a satisfaction score of 3.42 in quarter 1. The score is based on 153 responses received from 1,127 surveys sent.</p>
	<p>Unsealed Roads performance</p>	<p>The service level for unsealed road related requests this quarter was 96%, higher than the 90% target. There has been an increase in the number of unsealed road service requests received this year, compared to the same time last year.</p> <p>It should be noted that the service level calculation is based upon the number of unsealed road requests closed in time, upon completion of inspection and scheduling of work (if work is required).</p> <p>A total of 498 corrugation or pothole complaints requests were received in this quarter, and this is a 49% increase compared to the same time last year.</p>
	<p>Drainage service performance</p>	<p>The service levels achieved for drainage related requests this quarter was 79%. The decrease in drains cleared this month is due to training sessions for new and upskilling staff, and a reduced need for contractors in July and August. However, re-engaging contractors in September led to an increase in output.</p> <p>It should be noted that the service level calculation for the drains cleared is based upon the number of drainage requests closed in time upon completion of inspection and scheduling of work (if work is required).</p>
	<p>Customer Support performance</p>	<p>Customer Support performance improved this quarter. We met our revised target of answering 80% of calls within 90 seconds, achieving a service level of 81%. Additionally, under our previous target of answering 80% of calls within 300 seconds, we reached 95%.</p>

Growth and Residential development trends

The household growth rate in the Shire has rebounded to four households per calendar day for the current financial year. This quarter, the number of residential subdivision lot applications lodged was 3% higher compared to the same time last year. Conversely, the issuance of statements of compliance for residential lots has witnessed a decrease of 39% in comparison to same period last year. The number of building permits issued was 4% lower than the same time last year. Residential building completions was 10% higher than same time last year, with 337 residential building completions processed this quarter. The number of non-residential building completions processed is 25% lower than the same time last year. Higher interest rates can have a significant impact and may create uncertainty in consumer confidence to obtain building permits for development. A similar trend is expected to continue in the next quarter as well.

Government Interaction

Government Advocacy

Council works with all levels of Government to lobby for action on important local issues and works hard to influence government priorities that will benefit our local communities. Council also works with other groups of Councils, such as the Municipal Association of Victoria, Greater Southeast Melbourne, Interface Councils Groups and National Growth Areas Authority to facilitate investment into the broader region.

The advocacy package prepared detailing Council's priorities for the municipality is used to lobby local members of parliament and bureaucrats to promote Council's priorities for consideration in the development of the State and Federal budgets.

Grant applications

Council continues to rely heavily on rate revenue to fund the provision of infrastructure and services. Due to the Victorian Government's rate cap, Council is limited in the amount of revenue it can achieve through rates and is required to have a strong focus on seeking grants.

During Q1 of 24/25 financial year 5 applications were lodged under various programs seeking a total of \$59,621,121. Of these applications none have so far been assessed and remain pending. There have been 1 unsuccessful and 3 successful applications from the 23/24 financial year totalling \$357,000 assessed in Q1.

Legislative Program

Council continues to monitor proposed legislation as Bills are introduced into parliament. The Local Government Amendment (Governance and Integrity) Act 2024 passed both houses of Parliament on 19 June receiving Royal Assent on 25 June. The legislation introduces a model Councillor Code of Conduct, mandatory annual professional development training for elected representatives, Mayor and Deputy Mayor training and strengthens powers for the Minister to address councillor conduct. A model code of conduct for councillors with tougher sanctions for misconduct will provide a uniform set of standards and reduce the regulatory burden on councils which will no longer need to establish their own codes.

The Victorian Independent Remuneration Tribunal made a Determination on 3 July providing for an annual adjustment of 3.5% to the values of allowances payable to Mayors, Deputy Mayors and Councillors.

Council lobbies the State Government when and as required when Bills are introduced that would either shift costs onto the Council or increase the Council's responsibilities without appropriate recognition being detailed in the legislation. Cost shifting by the State onto Local Government continues to be a matter of concern.

Cardinia Shire Gender Equality Action Plan (GEAP) 2021 – 2025

The GEAP outlines Council's vision that everyone who lives, works, and spends time in Cardinia Shire – regardless of their gender identity – be treated with respect and fairness, feel and be safe, and have equal access to opportunities to reach their potential and pursue their dreams. The progress against the actions outlined in the key focus areas of the Cardinia Shire Gender Equality Action Plan (GEAP) 2021 – 2025 is detailed in Attachment 6.

Cardinia Shire Council's Progress report was submitted to the Commission for Gender Equality in the Public Sector (CGEPs) in February 2024. Council has been deemed compliant for its workplace gender audit.

Policy Implications

Nil

Relevance to Council Plan

5.1 We practise responsible leadership

5.1.1 Build trust through meaningful community engagement and transparent decision-making.

5.1.4 Maximise value for our community through efficient service delivery, innovation, strategic partnerships and advocacy.

Climate Emergency Consideration

Not Applicable

Consultation/Communication

Relevant managers and officers, from all divisions across the organisation, provide updates and comments that feed into the Performance and Growth reports.

Risk Assessment

Not Applicable

Financial and Resource Implications

Nil

Conclusion

The Performance and Growth Reports for Quarter 1 2024-25 show various results in performance across the organisation, and growth across the Shire. The organisation will continue to aim targeted improvement initiatives at areas and services that are not achieving desired targets.



PERFORMANCE REPORT

Q1 JUL – SEP 2024



Council Plan Performance

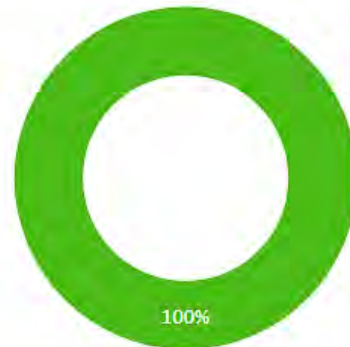
Q1 JUL – SEP 2024

COUNCIL PLAN



COUNCIL PLAN INITIATIVE PERFORMANCE

The Council Plan sets out a medium to long-term vision for how Council respond to community needs and the opportunities and challenges facing Cardinia Shire. The performance of the Council Plan is illustrated below.



● Off track ● On track ● Completed

KPA PERFORMANCE

Council delivers the plan through a 4 year action plan which covers 5 Key Priority Areas (KPA's). The performance of the 5 KPA's is illustrated below.



● Completed ● Off track ● On track



Service Request Performance – Whole Organisation

Q1 JUL – SEP 2024

PERFORMANCE METRICS



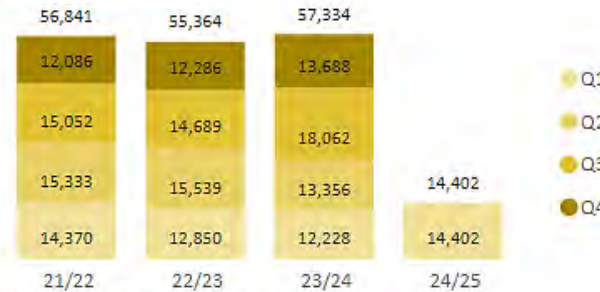
WHAT DOES SERVICE LEVEL MEAN?

A service request is recorded in Council's Customer Relationship Management System (CRMS) when a call is taken through the call centre or sent via web mail.

Service Level is the in-time completion rate for requests. Each request is assigned a service standard which is a target for completion within a certain timeframe. Council's target to finalise services request on time is 90%.

REQUEST STATISTICS

Request received volume



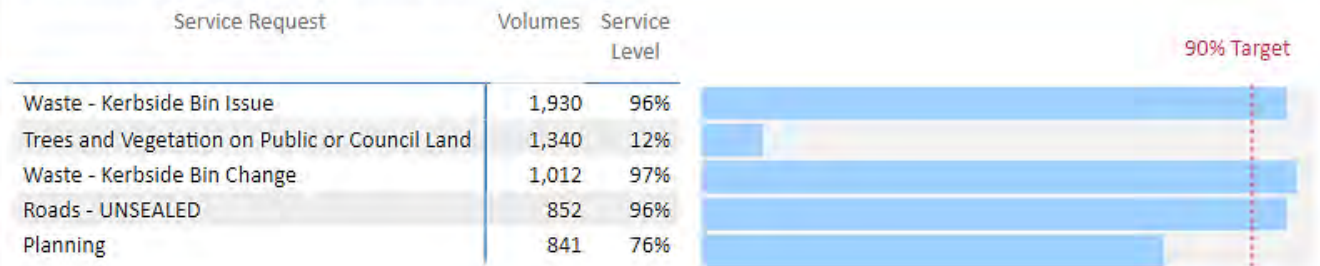
Service quality

Overall CSAT Score

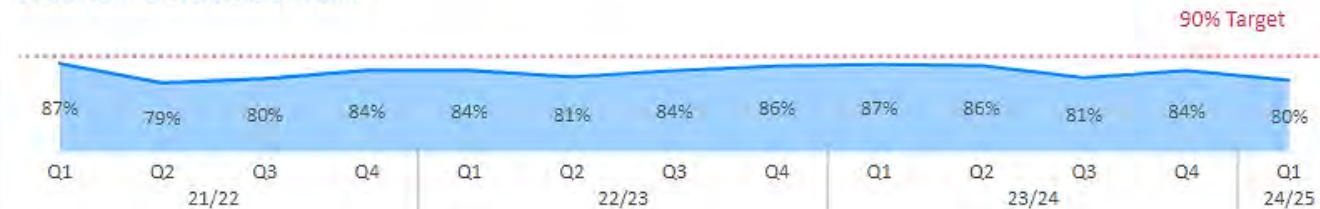


REQUEST PERFORMANCE

Top 5 service request categories by volume and their service levels



Overall service level trend over time



* Percentage of service requests completed within the time standards defined in the CRMS (against 'original' target date)



Unsealed Roads Performance

Q1 JUL – SEP 2024

PERFORMANCE METRICS

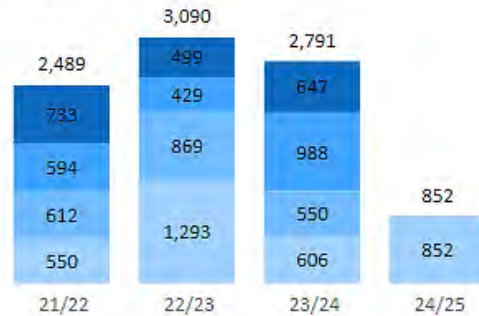


WHAT IS ROAD GRADING EFFORT?

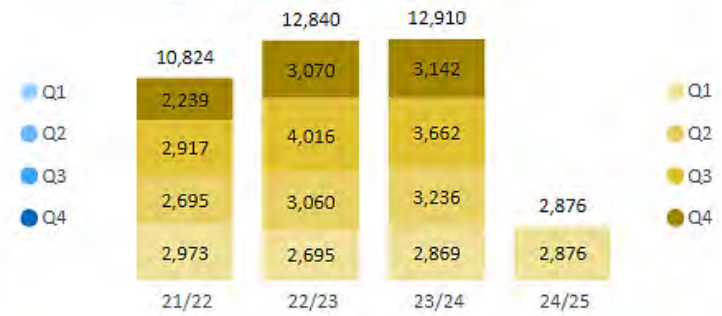
Road grading effort is the total hours spent on the roads doing maintenance work with our graders and heavy rollers. This includes both in house resources and additional resources from our contract partners.

UNSEALED ROAD STATISTICS

Service request due



Road grading effort (hours)

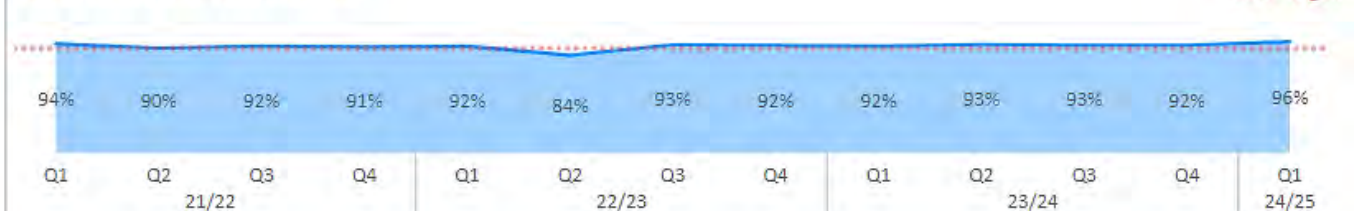


UNSEALED ROAD PERFORMANCE

Service request types by volume, standard and service level

Service request	Volumes	Standard (Days)	Service Level	Target
Corrugation or Pothole Complaint	498	8	97%	90% Target
Other Complaint (Request to grade)	331	8	94%	90% Target
Slippery Surface Complaint	23	8	83%	90% Target

Overall service level trend over time



* Percentage of service requests completed within the time standards defined in the CRMS.

- Note that, each unsealed road request is closed upon completion of inspection and scheduling of work (if work is required).

Unsealed Roads Performance

Q1 JUL – SEP 2024

PERFORMANCE METRICS



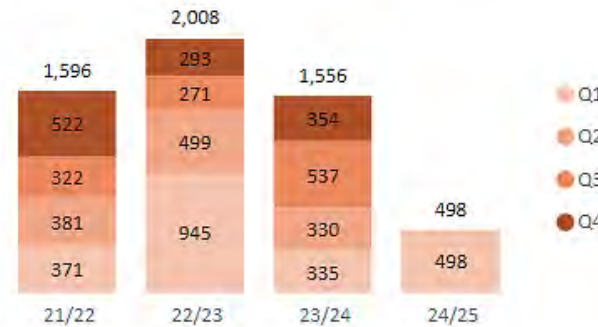
We have about 862 kilometres of unsealed roads, which are maintained via our Grading and Maintenance, Re-sheeting and Drainage Works programs.

Maintaining roadside drains is a core part of our unsealed road maintenance works, as drains have a big impact on the performance of our roads.

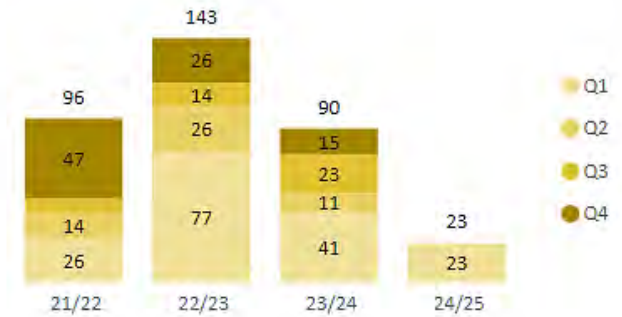
We schedule works into a road maintenance schedule based on inspections and requests made by residents.

UNSEALED ROAD SERVICE REQUEST STATISTICS

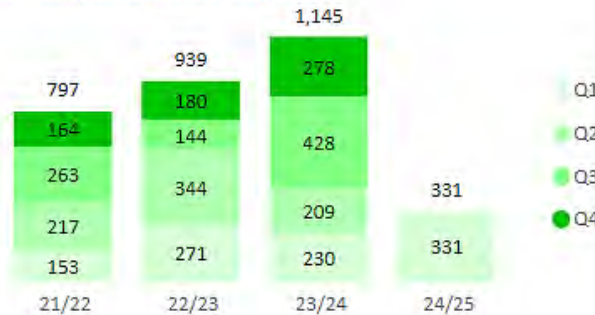
Corrugation or pothole complaints



Slippery surface complaints



Other complaints (request to grade)



Service request trend over time





Drainage Performance

Q1 JUL – SEP 2024

PERFORMANCE METRICS

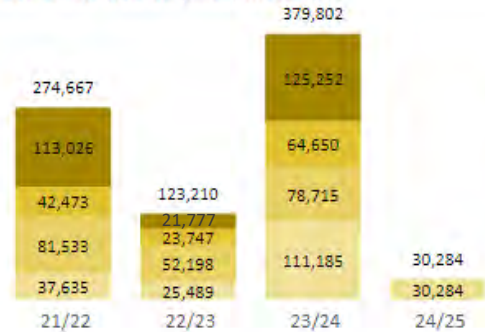


WHAT ARE DRAINS MAINTAINED?

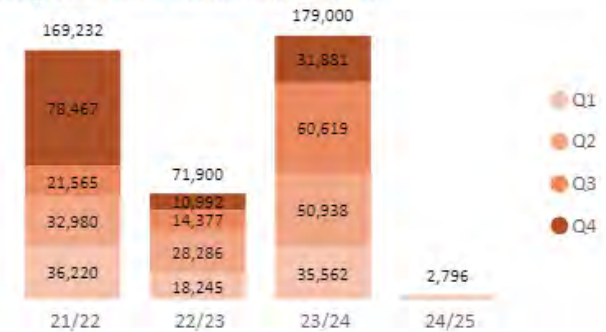
Surface drains are cleaned out using a maintenance system that is driven by proactive inspections and reactive works, and supplemented by responding to flooding issues following storms. Works are prioritised based on risk to property or person.

DRAIN STATISTICS

Surface drains cleared (linear metres)



Underground drains cleared (linear metres)

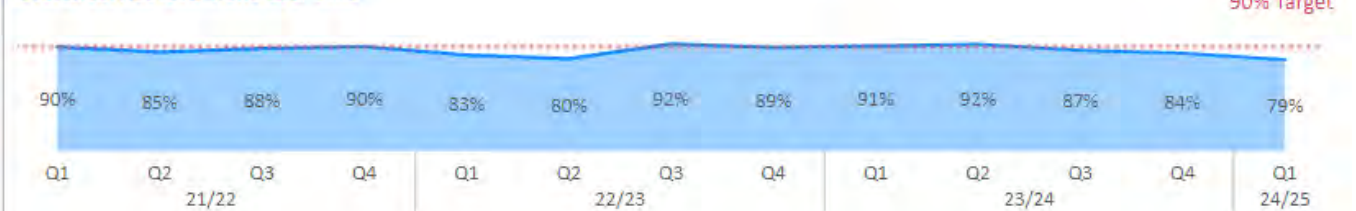


DRAINS PERFORMANCE

Service request types by volume, standard and service level

Service request	Volumes	Standard (Days)	Service Level	90% Target
Surface Drain (Drainage)	275	15	77%	
Pits (Drainage)	70	15	83%	
Underground Drain (Drainage)	53	15	83%	

Overall service level trend over time



* Percentage of service requests completed within the time standards defined in the CRMS

- Note that, each drainage request is closed upon completion of inspection and scheduling of work (if work is required).



Waste Management Performance

Q1 JUL – SEP 2024

PERFORMANCE METRICS

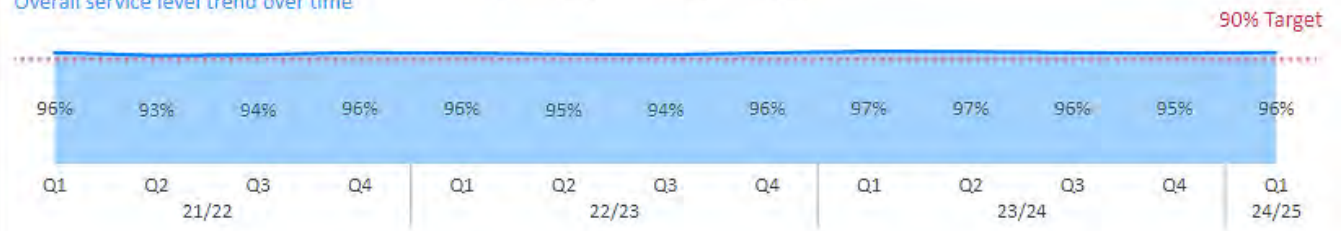


WASTE MANAGEMENT PERFORMANCE

Top 15 Service request types by volume, standard and service level

Service request	Volumes	Standard (Days)	Service Level
Additional Rubbish 120L	97	5	98%
Cancel Rubbish 120L (Additional Bin Only)	60	15	100%
Damaged Garden 240L	87	15	100%
Damaged Recycling 240L	272	15	100%
Damaged Rubbish 120L	674	15	100%
Driver issues, Speeding, Damage Claims	60	13	57%
Missing Garden 240L	73	15	100%
Missing Recycling 240L	106	15	100%
Missing Rubbish 120L	170	15	100%
New Garden 120L	112	30	100%
New Garden 240L	201	5	95%
New Rubbish 120L & New Recycling 240L	303	5	98%
Not Emptied Garden Bin	61	3	79%
Not Emptied Recycling Bin	115	3	83%
Not Emptied Rubbish Bin	197	3	87%
Service Information Enquiry	119	22	94%

Overall service level trend over time



* Percentage of service requests completed within the time standards defined in the CRMS



Waste Disposal and Recovery Performance

Q1 JUL – SEP 2024

PERFORMANCE METRICS

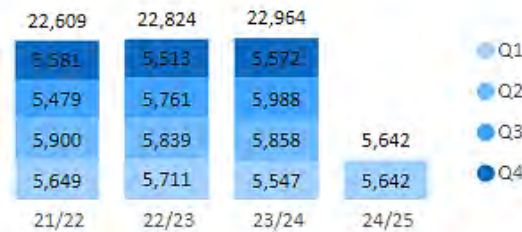


DISPOSAL STATISTICS

Average household garbage waste (kgs)

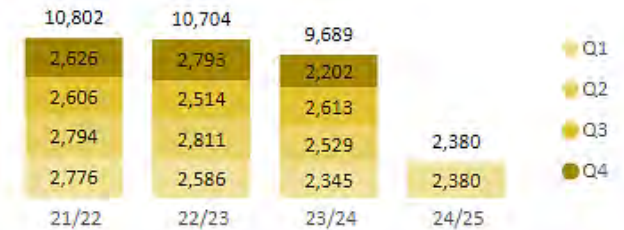


Garbage waste to landfill (tonnes)

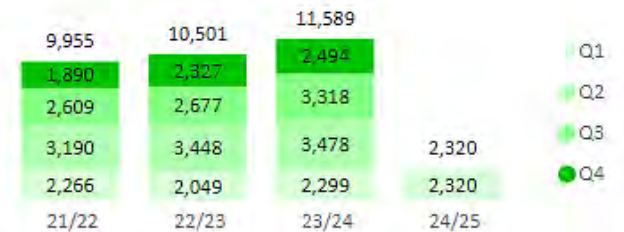


RECOVERY STATISTICS

Recycle waste to recovery (tonnes)



Food and green waste to mulching (tonnes)



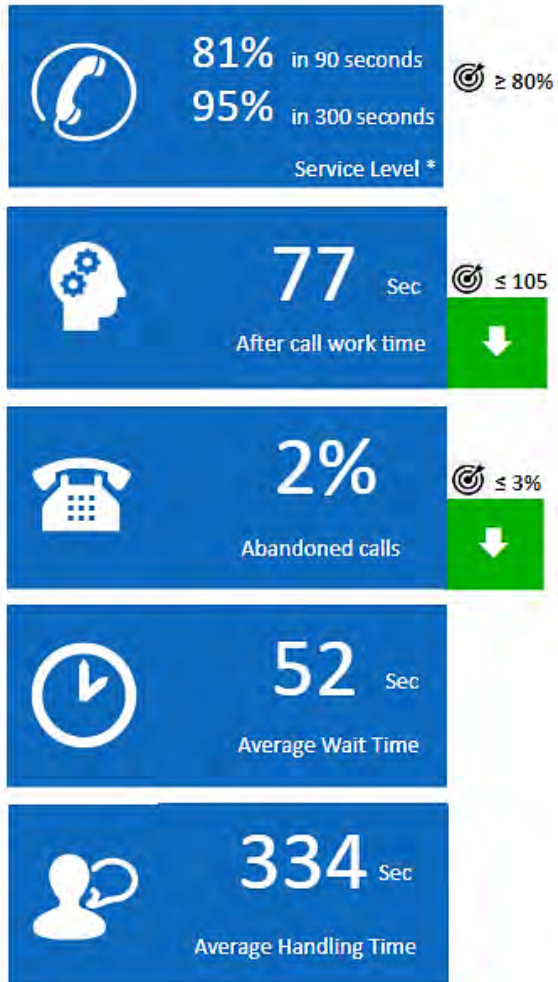
As the Shire's population continues to grow, the amount of waste generated is also growing. Cardinia Shire Council will continue to take advantage of recent advancements such as newer technologies and improved markets for products, resulting in improved financial outcomes for resource recovery. The impact of drought can also vary the tonnage of green waste recycling due to moisture content from wet or dry years.



Customer Support Call Performance

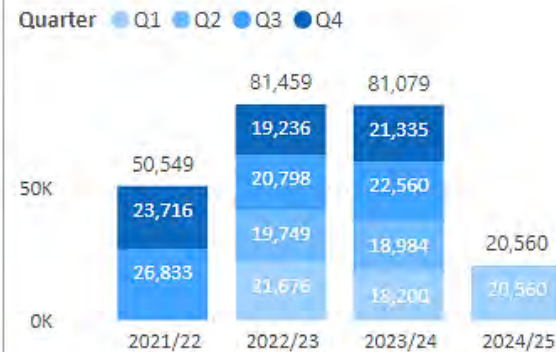
Q1 JUL – SEP 2024

PERFORMANCE METRICS

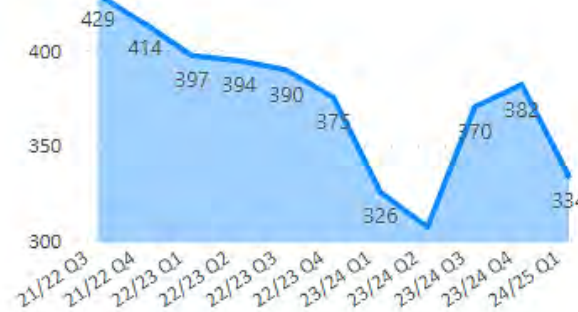


CALL STATISTICS

Call volumes (Answered and Abandoned)

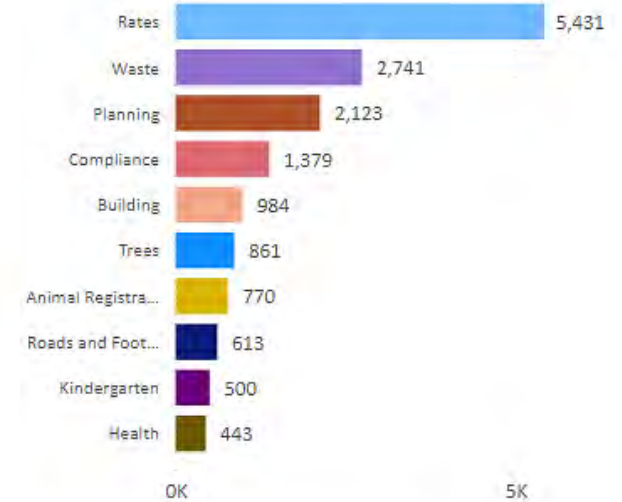


Average Handling Time (Seconds)



ENQUIRY TYPE

Enquiry type volumes



WHAT DOES SERVICE LEVEL MEAN?

Service Level, or Grade of Service (GOS), is a measure which displays the percentage of calls answered within a designated time period.

The Service Level displayed on this report is measuring the percentage of calls that were answered within 90 seconds.

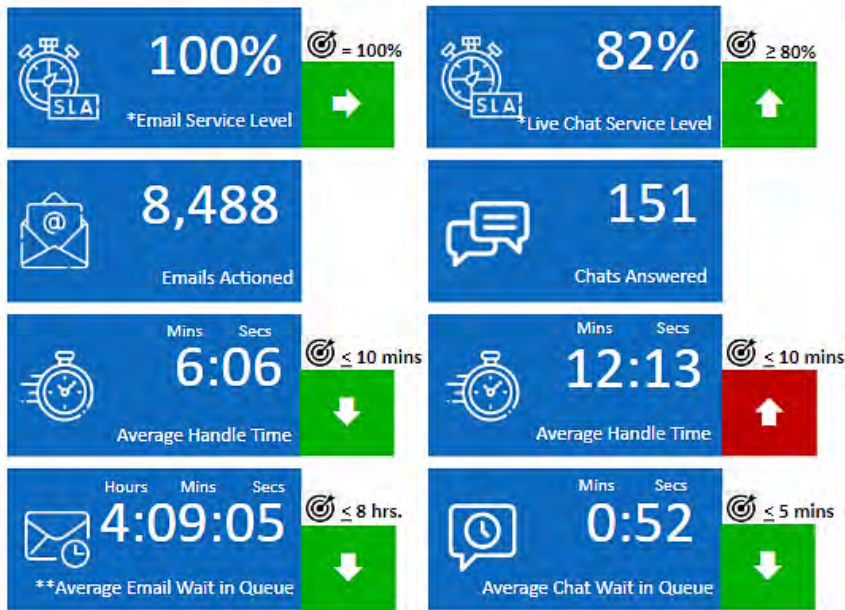
* Percentage of calls answered within 90 and 300 Seconds



Customer Support Digital Performance

Q1 JUL – SEP 2024

PERFORMANCE METRICS



WHAT DOES THE SERVICE LEVEL MEAN?

Service Level, or Grade of Service (GOS), is a measure which displays the percentage of emails and chats answered within a designated time period.

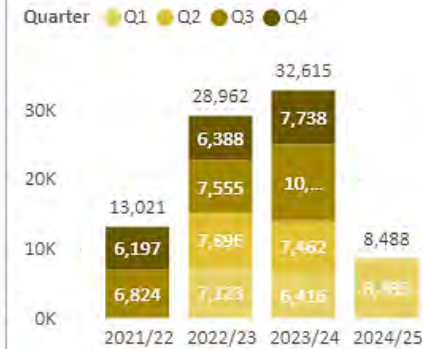
The Service Level displayed on this report measures the percentage of emails that were answered within one (1) business day and for chats within ninety (90) seconds.

*Percent of emails actioned within one (1) business day, and percent of chats answered within ninety (90) seconds.

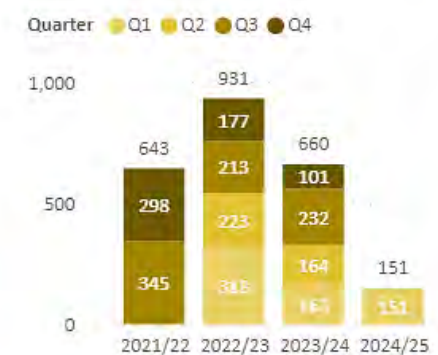
**Average time to respond to emails with target set within eight (8) business hours.

EMAIL & CHAT STATISTICS

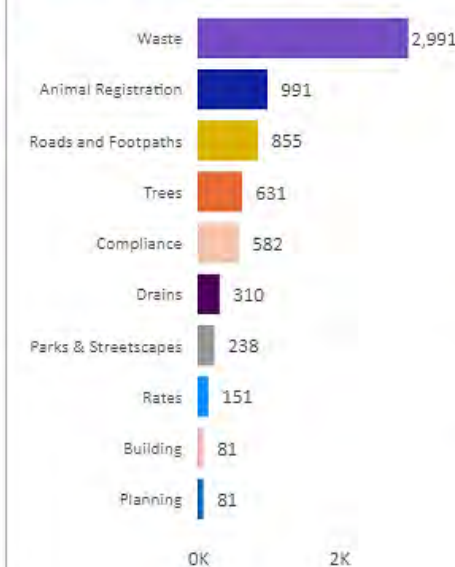
Volume of emails actioned



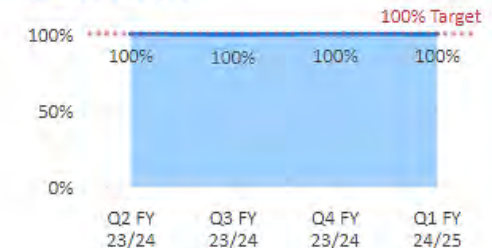
Volume of chats answered



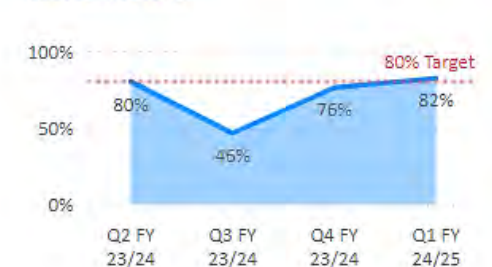
Volume of digital work by enquiry type



Email service level



Chat service level





Customer Support After Hours Call Performance

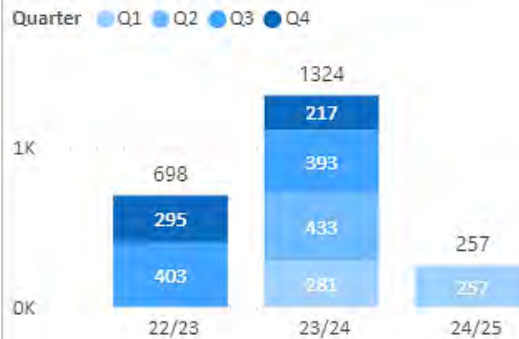
Q1 JUL – SEP 2024

PERFORMANCE METRICS



CALL STATISTICS

Call volumes (Answered and Abandoned)

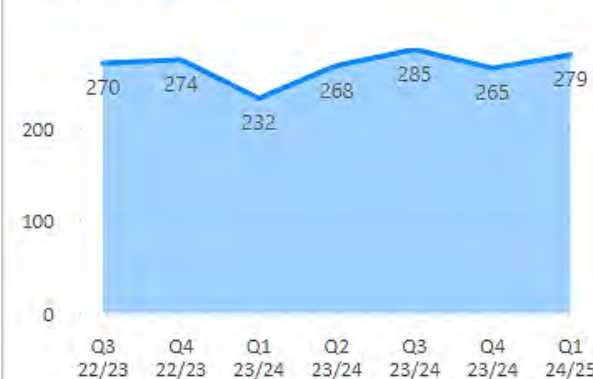


WHAT DOES SERVICE LEVEL MEAN?

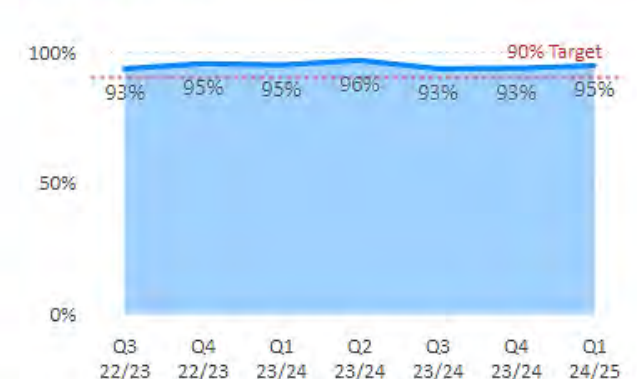
Service Level, or Grade of Service (GOS), is a measure that displays the percentage of calls answered within a time period.

The Service Level displayed on this report is measured as the percentage of calls that were answered within 14 seconds.

Average Handling Time (Seconds)



Service Level* Trend



*Percentage of calls answered within 14 seconds

Customer Support After Call Survey

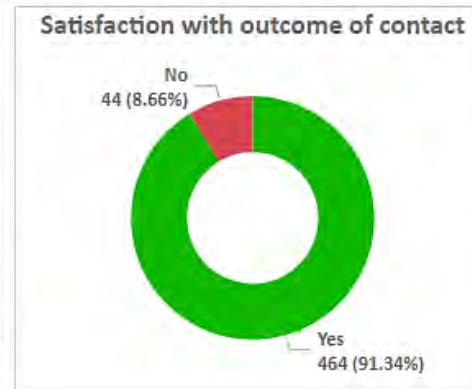


Q1 JUL – SEP 2024

SURVEY METRICS



SURVEY RESULTS



HOW IS THE SURVEY DONE?

Surveys are offered after calls and chats and invite customers to give feedback on how they felt the interaction went. The questions we ask are:

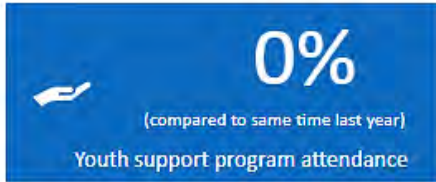
- Using a scale of 1 to 5 where 5 is Very Satisfied, how satisfied were you with the time you waited on hold before speaking with an officer?
- Using a scale of 1 to 5 where 5 is Very Satisfied, how satisfied were you with our officer's level of knowledge about your inquiry?
- Using a scale of 1 to 5 where 5 is Very Satisfied, how satisfied were you with our officer's professionalism and the time they took to handle your inquiry?
- Are you satisfied with the outcome of your call? Yes or No.



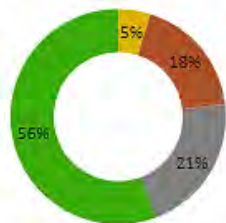
Youth Engagement Performance

Q1 JUL – SEP 2024

PERFORMANCE METRICS



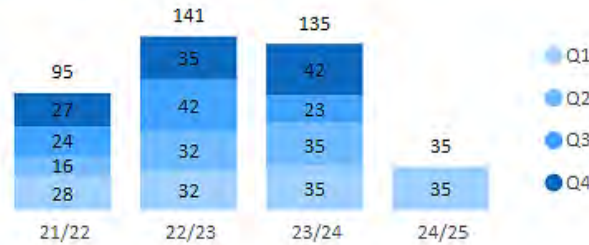
HOW DO OUR YOUTH INTERACT WITH US?



○ My Place ○ In-School Programs
○ After School Programs ○ School Holiday Programs

YOUTH PROGRAM SUPPORT STATISTICS

Number of young people offered support

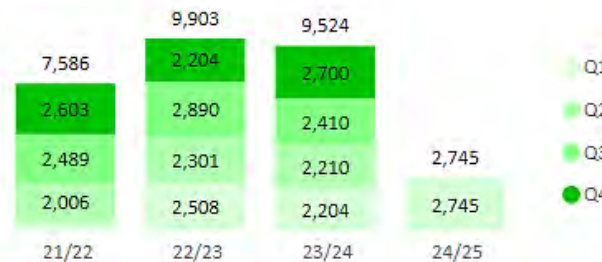


The Youth Support Program is a free and confidential service which offers young people with information, advice and practical support (short- and medium-term). The program is flexible, accessible to all young people and is respectful of race, gender, sexuality or religion.

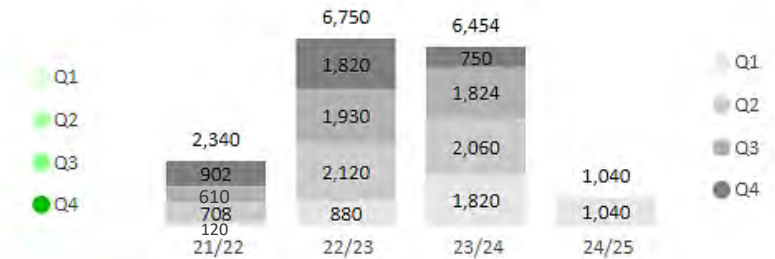
The graph illustrates the number of young people provided with more than one episode of support from a dedicated Youth Support Officer.

INTERACTION STATISTICS

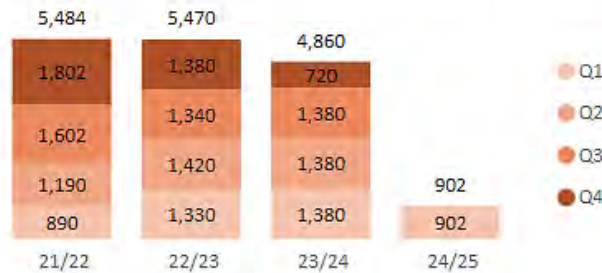
My Place volumes



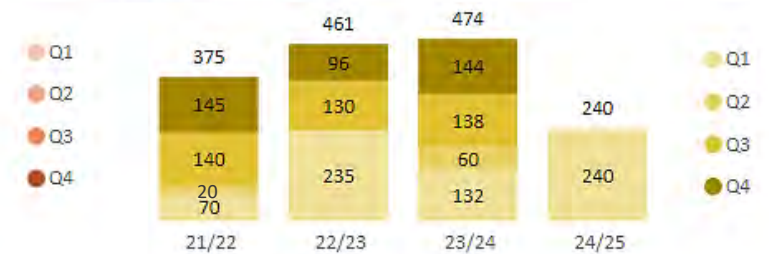
In-School program/workshops volumes



After school program volumes



School holiday program



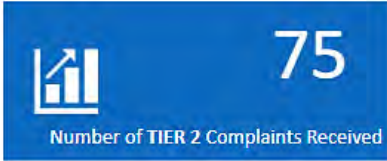
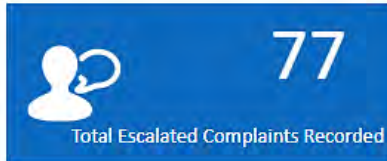
† Compared to last quarter's result

Escalated complaints (Tier 2 and above) recorded in CRMS



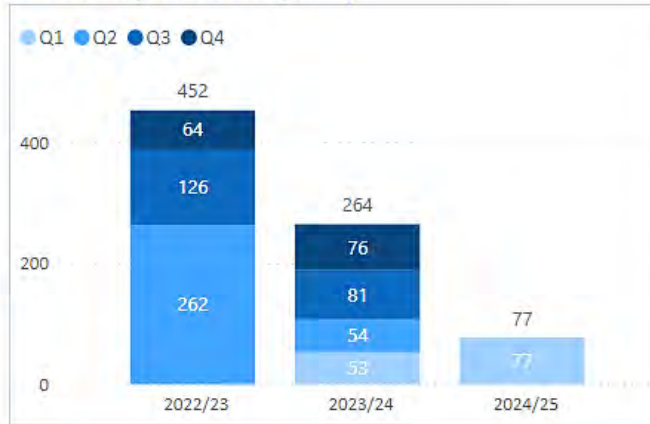
Q1 JUL – SEP 2024

PERFORMANCE METRICS

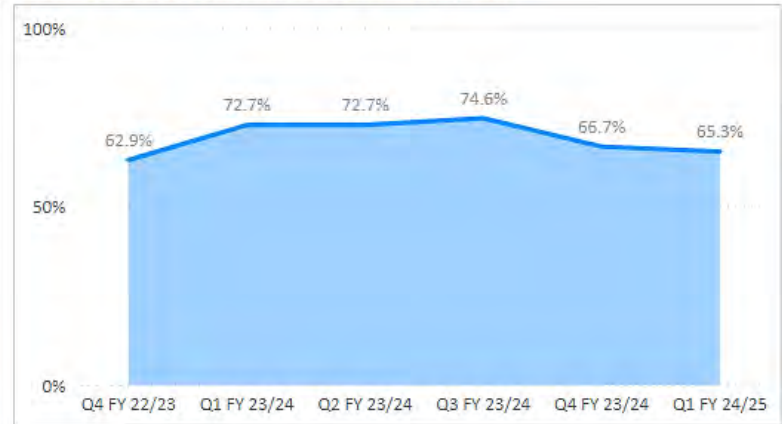


ESCALATED COMPLAINTS STATISTICS

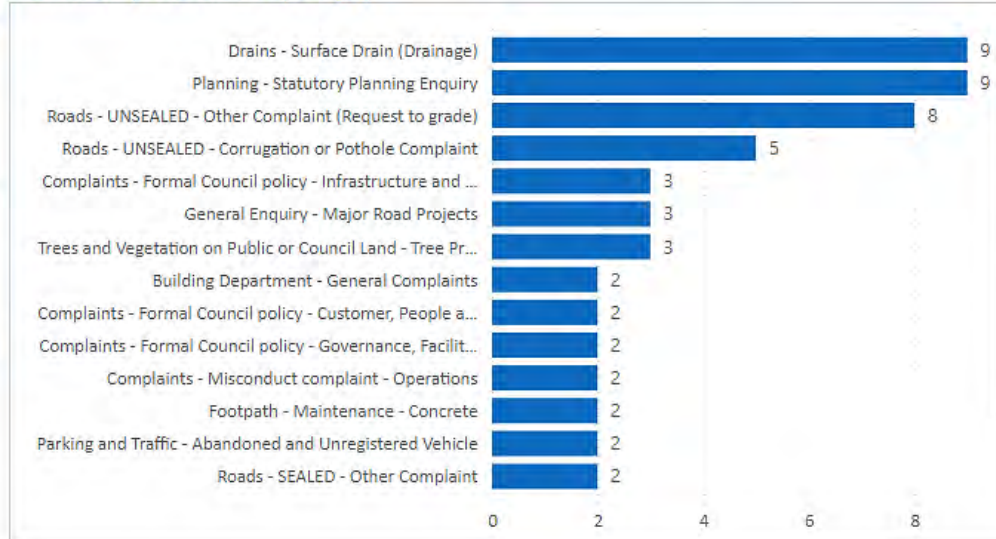
Escalated complaints received quarterly



Percent of escalated complaints closed in time by quarter



Escalated complaints received by Category



A complaint can be assigned to the relevant or approved Council Officer/Contractor tasked with managing and responding to the complaint.

All Tier 2, 3 & 4 complaints must be acknowledged within **5 business days** and an outcome letter (if a substantial investigation is required) is issued to the complainant within **20 business days** of recording the complaint.

The Local Government ACT 2020 has redefined a complaint as a written or oral expression of dissatisfaction with the;

- Quality of an action taken, decision made, or service provided by a member of Council staff or contractor engaged by the Council; or
- Delay by a member of Council staff or contractor engaged by the Council in taking an action, making a decision, or providing a service; or
- Policy or decision made by a Council, member of Council staff or a contractor.

LGPRF Service Measures



Q1 JUL – SEP 2024

The Local Government Performance Reporting Framework (LGPRF) is a platform for key local government service and financial measures. The measures are reported annually in Council Annual Reports and published on the *Know Your Council* website. Below is a selection of LGPRF service measures that are able to be reported on a quarterly basis.



Legend: Actual results Target

LGPRF Service Measures



Q1 JUL – SEP 2024

The Local Government Performance Reporting Framework (LGPRF) is a platform for key local government service and financial measures. The measures are reported annually in Council Annual Reports and published on the *Know Your Council* website. Below is a selection of LGPRF service measures that are able to be reported on a quarterly basis.



Legend: Actual results Target

* Key Ages and Stages (KAS)

CRMS Service Standards



Q1 JUL – SEP 2024

A service request is recorded in Council's Customer Relationship Management System (CRMS) when a call is taken through the call centre or sent via web mail. Each request is assigned a **service standard** which is a target for completion within a certain timeframe. The Service Level is the in-time completion rate for requests based on it's service standard.

The table below lists the service standards for the service areas detailed in this report. A full list of request types and their service standards can be found on the Performance Report dashboard on Council's website. (cardinia.vic.gov.au/dashboard)

Request Category	Request Type	Details	Service Standard (days)
Waste - Kerbside Bin Issue	Damaged Garden 120L	Request for the replacement or repair of a 120L garden bin that has been damaged.	10
Waste - Kerbside Bin Issue	Damaged Garden 240L Damaged Recycling 240L Damaged Rubbish 120L Damaged Rubbish 80L	Request for the replacement or repair of any size waste, recycling or green bin that has been damaged.	15
Waste - Kerbside Bin Issue	Missing Garden 120L	Request for the replacement of a 120L garden bin that has gone missing.	10
Waste - Kerbside Bin Issue	Missing Garden 240L Missing Recycling 240L Missing Rubbish 120L Missing Rubbish 80L	Request for the replacement of any size waste, recycling or green bin that has gone missing.	15
Waste - Kerbside Bin Issue	Not Emptied Garden Bin Not Emptied Recycling Bin Not Emptied Rubbish Bin	Request for contractor to return to empty any size waste, recycling or green bin that was not emptied on the scheduled bin collection day by fault of contractor.	3
Waste - Kerbside Bin Information	Service Information Enquiry	Request for general bin information from the Waste Collection team.	15
Waste - Kerbside Bin Issue	Driver issues, Speeding, Damage Claims	Service performance issues related to the waste and recycling contractor, including driver issues and damage to property.	3
Waste – New Additional or Cancelled Service	Service Issue - Driver issues, Speeding, Damage Claims	Service performance issues related to the green waste contractor, including driver issues and damage to property.	15
Waste – Kerbside Bin Change	Request for free additional medical	Based on medical grounds, free bins can be provided to residents who require extra bin capacity.	5
Roads - UNSEALED	Corrugation or Pothole Complaint	Request to repair an unsealed due to corrugation or pothole(s).	8
Roads - UNSEALED	Other Complaint	Request to grade an unsealed road.	8
Roads - UNSEALED	Slippery Surface Complaint	Request to safeguard and repair unsealed road.	8
Drains	Pits	Request to investigate and rectify drainage pit issue.	15
Drains	Surface Drain	Request to investigate and rectify drainage pit issue.	15
Drains	Underground Drain	Request to investigate and rectify drainage pit issue.	15

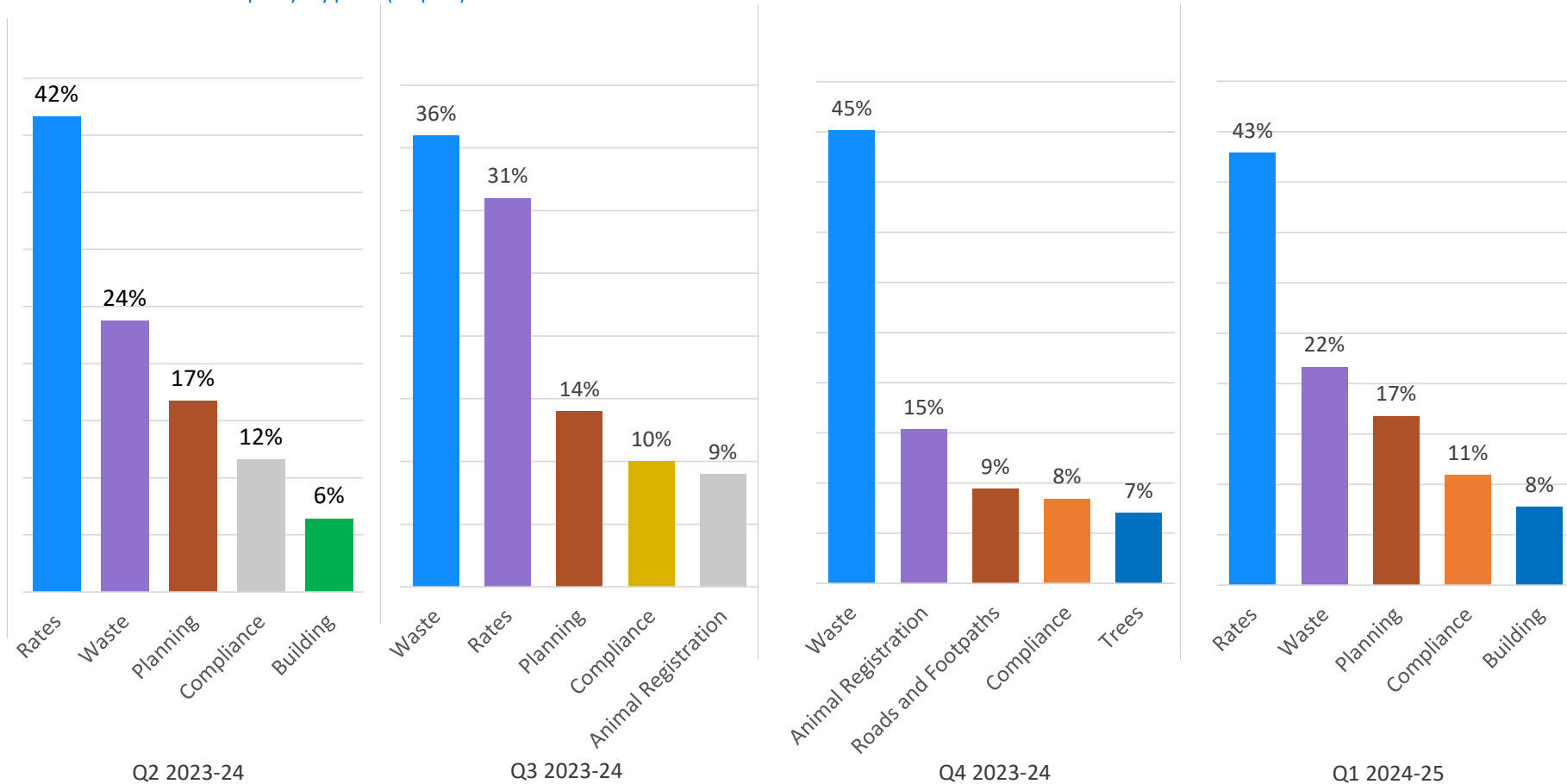
Customer Support Call Performance



Q1 JUL – SEP 2024

ENQUIRY TYPE TREND OVER TIME

Distribution of enquiry types (top 5)



* Enquiry types displayed on above graphs represent 80% or more of classified incoming calls.





Cardinia Initiative Performance Report

Cardinia Shire Council

cammsstrategy

Print Date: 25-Nov-2024

Applied Filters
Date Select: 04-Jul-2024 - 30-Sep-2024
Hierarchy: Planning
Hierarchy Level: Focus Area
Hierarchy Node: All
Initiative Filter: Council Plan Initiatives

INITIATIVE SUMMARY

BY PERFORMANCE

0 OFF TRACK

27 ON TRACK



0 NO TARGET SET




1 Strong Communities

1.1 We empower our communities to be healthy, connected and resilient.

1.1.1 Plan for, and support the delivery of, accessible health and social services that address critical gaps in provision.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
<p>1.1.1.76 CPI - Implement the endorsed Liveability Plan Action Agenda 2021-25</p> <p>Progress Comments: 23/9/2024 Liveability Plan action agendas continue to be implemented through the respective action teams. Governance and oversight is provided through the action team leads and the Liveability Partnership Steering Group. The Liveability Plan annual snapshot and 4 year review are in progress.</p>	Community and Family Services	01-07-2024	30-06-2025	In Progress	50	 GREEN
<p>1.1.1.77 CPI - Continue to drive the Services for Success initiative to attract health and social services, including mental health services</p> <p>Progress Comments: 23/9/2024 The services for success initiatives continues. Council are identifying novel methods for service attraction including providing access to the Civic Centre for agencies to deliver services from and are considering mixed usage of council assets for service provision in the design of new infrastructure.</p>	Community and Family Services	01-07-2024	30-06-2025	In Progress	50	 GREEN

1.1.2 Enrich local identity and opportunities for the community to connect through art, history and cultural expression.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
<p>1.1.2.4 CPI - Support the delivery of an annual calendar of events and programs that celebrate our diverse community, its arts and culture</p> <p>Progress Comments: Cardinia Cultural Centre (CCC) offers a yearly programme of events celebrating our diverse community through arts and culture. The Grow exhibition was a great success, welcoming over 80 guests to the opening night. The diverse community groups represented in the exhibition, brought their friends and families along to celebrate. CCC welcomed over at least 600 community members through the exhibition. The Grow exhibition was funded by VicHealth.</p>	Arts, Advocacy and Economy	01-07-2024	30-06-2025	In Progress	25	 GREEN



1.1.4 Facilitate a partnership approach to create safer communities.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
<p>1.1.4.13 CPI - Implement and monitor the Safer Communities Strategy</p> <p>Progress Comments: Council has established the Safer Communities Partnership Committee to guide implementation of the Cardinia Safer Communities Strategy. The committee meet bi-monthly and comprises approximately 21 stakeholders across government and non-government sector, including Victoria Police, Crime Stoppers, Department of Justice and Community Safety and Neighbourhood Watch. The Safer Communities Partnership Committee closely monitors quarterly statistics from a range of data sources, including the Crime Statistics Agency, to formulate yearly action items based on the objectives outlined in the Safer Communities strategy.</p>	Community and Family Services	01-07-2024	30-06-2025	In Progress	25	 GREEN


2 Liveable Places

2.1 We support the creation of liveable spaces and places.


2.1.1 Advocate, plan for and deliver accessible community infrastructure and services that address community needs.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
<p>2.1.1.15 CPI - Plan and deliver accessible and inclusive recreation and community facilities</p> <p>Progress Comments: • Torongo Park – in progress. • Garfield North Community Centre – in progress. • Alma Treloar Amphitheatre – in progress. • Jim Parkes Reserve upgrade - in progress. • Boollam Boollam Integrated Child and Family Centre – in progress. • Toun Nun Integrated Child and Family Centre – completed. • Avonsleigh Kindergarten upgrade project – in progress. • Koo Wee Rup Bowls Pavilion – in progress. • Worrell Recreation Reserve skate park and youth plaza – in progress. • Cora Lynn Recreation Reserve Pavilion – in progress. • Upper Beaconsfield Recreation Reserve Pavilion – in progress. • Lang Lang Community Recreation Reserve cricket nets – completed. • Gembrook Recreation Reserve cricket nets – completed. • Bunyip Recreation Reserve universal facility upgrade design – in progress. Funding agreement with Club to deliver. • Recreation reserve lighting upgrades (Mountain Road Recreation Reserve, Upper Beaconsfield Recreation Reserve, Toomuc Recreation Reserve, Lang Lang Tennis Club, Perc Allison Recreation Reserve) – in progress. • Upper Beaconsfield Reserve Master Plan – In progress • Garfield Netball Pavilion – Completed. • Fair Access Policy Endorsed • Pakenham pool minor facility improvements – in progress. • IYU - temp facilities - in progress. • Chandler Reserve Cricket Nets – in progress. • Holm Park oval 2 resurfacing – design. Community Capital Works Grant Program Funding is used to support community groups to upgrade and enhance facilities, improving accessibility and participation. • Pakenham Cricket Club – Minor facility improvements • Pakenham Lions Netball Club – Sports Lighting improvements. • Cockatoo and District Pony Club – Upgrade of arena.</p>	Active and Connected Communities	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>2.1.1.24 CPI - Advocate to the State and Federal Governments for increased investment for all transport modes, including road safety treatments</p> <p>Progress Comments: Council will be making an application to the Department of Transport for funding under the Safe Local Streets Program for funding Local Area Traffic Treatments. The location proposed is Barrington Drive, Pakenham</p>	Community Infrastructure Delivery	01-07-2024	30-06-2025	In Progress	25	 GREEN


2.1.2 Plan and maintain safe, inclusive and connected open spaces, places and active travel routes.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
2.1.2.4 CPI - Develop and upgrade shared pathways and walking tracks across the shire	Community Infrastructure Delivery	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>Progress Comments: Council officers have been working with Major Roads Projects Victoria and the Level Crossing Removal Authority on the provision of shared use paths. A nine kilometer shared use path, located on the east side of Healseville Koo Wee Rup Road, was handed over to Council this year. A shared path has also been provided along Brunt Road, Beaconsfield and north of the railway line in Officer. Another SUP is to be provided along/ under the rail way alignment in Pakenham.</p>						



2.1.3 Plan for housing diversity that meets community need, is affordable and delivers environmental sustainability, safety and healthy living outcomes.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
2.1.3.3 CPI - Work with the Victorian Government and relevant stakeholders to encourage sustainable supply of social and affordable housing across the shire	Community and Family Services	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>Progress Comments: Regular meetings with SA4 funded Housing Provider WAYYS to identify opportunities to increase the supply of Local social and affordable housing. Council continues to manage and maintain 10 seniors housing units. Council has participated in the inception of the Southeast Housing and Homelessness, the fist meeting of the new alliance to commence 3 October, 2024.</p>						

2.1.4 Advocate for increased and more connected public transport options.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
2.1.4.3 CPI - Advocate for increased public transport services, frequency and multi-modal connectivity within the shire and greater south east region	Community Infrastructure Delivery	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>Progress Comments: In addition to the ten recommendations put forward to the state government last year Council officers continue to advocate for improved public transport through out the municipality. This includes more frequent bus services in rural areas, better access to car parking at railway stations and improved bicycle facilities at bus stops and railway stations.</p>						


2.1.5 Upgrade Council’s road network to improve safety and connectivity while considering traffic demand and freight transport needs.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
2.1.5.4 CPI - Complete Pakenham town centre streetscape upgrades	Major Projects	01-07-2024	30-06-2025	Not Started	0	 GREEN
Progress Comments: Delivery of these upgrades has been recalibrated to match the timeframes of the State, with commencement to align with funding availability and State construction works within the activity centre, the whole of program review for Pakenham Revitalisation is currently underway.						
2.1.5.5 CPI - Plan and deliver infrastructure upgrades to our road network to meet the needs of the current and future population	Community Infrastructure Delivery	01-07-2024	30-06-2025	In Progress	25	 GREEN
Progress Comments: Delivery of 24/25 capital works plan in progress. Major Roads Projects: Dore Road complete, Mt Lyall Road nearing completion, PH intersections nearing completion, STH Package 11 in progress, with Phases 1 and 3 at or near PC. Phase 2 to be complete by December 24. Package 19 ready for award, Package 17 ready to be tendered in late September. Projects in development: Brunt Rd/Ricks Rd, Pink Hill Blvd, PH/Arena Parade Intersection, McGregor Road/Henty intersection, Huxtable Road, STH unfunded packages, Officer South Road upgrade.						



3 Thriving Environments

3.1 We value our natural assets and support our biodiversity to thrive.

3.1.2 Actively move towards zero waste through increasing waste recovery and reuse.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
3.1.2.12 CPI - Implement the five-year action plan for the Waste and Resource Recovery Strategy	Infrastructure Services	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>Progress Comments: Five year action plan covers 2022-2026 inclusive. Actions align to the current Waste and Resource Recovery Strategy (2017-2026) and cover the latter half of the strategy period. Completed actions are to schedule and to date major achievements include; support and implementation of State Governments Recycling Victoria policy and action plan, standardisation of kerbside bin lid colours, support introduction of a container deposit scheme, continue to seek alternatives to landfill, provide alternative options to reduce burning off, continue to advocate and lead improvements and efficiencies in the waste sector that impact our community etc. Full action plan available on Council website.</p>						


3.1.3 Work with community to improve and manage our natural assets, biodiversity and cultural heritage.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
<p>3.1.3.9 CPI - Implement initiatives in the Aspirational Energy Strategy</p> <p>Progress Comments: In the first quarter of the year council has:</p> <ul style="list-style-type: none"> - Continued to partner and participate in SECCCA projects - Identify degasification pathways to replace electric heating and hot water - Undertook facility energy audits to identify opportunities for appliance and energy efficiency upgrades and degasification. - Commenced the review of the Aspirational Energy Transition Plan. - Application was made for funding under AusNet’s Energy Resilience Community Fund (ERCF) to deliver bill and energy efficiency workshops with the community. 	Environment and Heritage	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>3.1.3.10 CPI - Implement initiatives in the Biodiversity Conservation Strategy</p> <p>Progress Comments: In the first quarter of the year council has:</p> <ul style="list-style-type: none"> - Delivered 3 biodiversity education sessions and lead a guided nature walk - Developed a Pest Animal Local Action Plan to guide operational decision making - Supported the delivery of a community planting day - Coordinated Cardinia’s involvement in the 2024 Biodiversity Blitz. - Commenced the Mid-term (5 year) review of the Biodiversity Conservation Strategy - Finalised threatened species monitoring surveys for Powerful Owl, Yellow Bellied Glider and Swamp Skink habitat. - Delivered the Trust For Nature Rate rebate program supporting 63 properties. - Reviewed the Plant Giveaway program - Continued support for the inception of a new Landcare group with support from DEECA, community and Monash University. - Coordinated the delivery of Biodiversity Incentive Scheme grants providing support to 4 applications. 	Environment and Heritage	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>3.1.3.11 CPI - Implement initiatives in the Integrated Water Management Plan</p> <p>Progress Comments: In the first quarter of the year council has:</p> <ul style="list-style-type: none"> - Commenced the review of the Integrated Water Management Strategy, a ten-year document will shortly come to an end of its implementation life. - Liaised with external agencies to discuss the green and connected corridors aligned to Melbourne Waters Healthy Waterways Strategy. - Progressed the Officer South PSP that includes leading edge integrated water management measures to meet water cycle and healthy waterway targets. - Ongoing involvement in the Westernport Integrated Water Management Forum. 	Environment and Heritage	01-07-2024	30-06-2025	In Progress	25	 GREEN

4 Prosperous Economies

4.1 We support our productive land and employment land to grow local industries.

4.1.1 Facilitate better planning for our agricultural land to support industry, innovation, local food economy and local job growth.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
4.1.1.2 CPI - Implement the Cardinia Community Food Strategy and Action Plan	Community and Family Services	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>Progress Comments: The food strategy continues to progress. Funding from for the food movement was reduced and the network are no longer active. Despite this, work continues, a benchmarking activity relating to community gardens local government policy has commenced.</p> <p>After the successful GROW exhibit, an artistic display of the local agriculture sector showcasing opportunities for employment through photography and video, the future proofing farming project is moving into the next phase with the development of a resource toolkit and distribution of the video.</p>						



4.1.2 Plan for sustainable employment precincts to entice new industries to the region and support new business.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
4.1.2.11 CPI - Advocate for a South East Melbourne Airport	Arts, Advocacy and Economy	01-07-2024	30-06-2025	In Progress	26	 GREEN
<p>Progress Comments: Council has lodged an Urban Precincts and Partnership Grant application on behalf of the GSEM group of Councils to support the development of the South East Melbourne Airport business case.</p>						
4.1.2.12 CPI - Facilitate investment in our townships to support businesses and vibrant communities	Arts, Advocacy and Economy	01-07-2024	30-06-2025	In Progress	25	 GREEN
<p>Progress Comments: Cardinia Shire's Investment Attraction Plan is almost complete and will provide a clear blueprint for what investment will be best suited to the area. Investment attraction is currently focused on activating undeveloped commercial and industrial land, as well as supporting and expanding Cardinia's existing high value industries like construction and agriculture.</p>						

4.1.3 Improve local learning and employment pathway opportunities through strategic partnerships.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
4.1.3.3 CPI - Advocate for the growth of local education opportunities that improve skills and employment pathways	Planning and Design	01-07-2024	30-06-2025	In Progress	90	 GREEN
<p>Progress Comments: Council has advocated to the State Government and made submissions to the Standing Advisory Committee (SAC) process for the Officer South Employment Precinct Structure Plan (OSEPSP) for the inclusion of a Centre for Excellence within the OSEPSP. The SAC commenced on the 6 March 2024 and concluded 19 April 2024. Council is awaiting SAC report and will continue advocate for investment in local education to improve skills and employment pathways.</p>						


4.1.5 Strengthen and promote our shire’s unique identity and visitor attractions.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
4.1.5.4 CPI - Actively protect key heritage sites within the shire Progress Comments: In the first quarter of the year council has: - Coordinated the assessment of the 2024 Heritage grants providing support to four applications. - Commenced the planning of the Conservation Management Plan for the Koo Wee Rup Hall. - Recruitment of the Emerald Museum Officer to assist with the management, promotion and drive the implementation of the Emerald Museum Strategic Plan. - Continued to advocate for improved signage, activation and events to Nobelius Heritage Park.	Environment and Heritage	01-07-2024	30-06-2025	In Progress	25	 GREEN
4.1.5.4 CPI - Develop and deliver initiatives within the Economic Development Strategy, including the visitor economy and tourism Progress Comments: Regular engagement with local businesses has continued, including with businesses impacted by ongoing roadworks and infrastructure disruptions. One business workshop was hosted this quarter, with three more scheduled for Q2. Preparation for a business coaching program is in its final stages, with the program to be launched and available to businesses next quarter.	Arts, Advocacy and Economy	01-07-2024	30-06-2025	In Progress	25	 GREEN


5 Responsible Leaders

5.1 We practise responsible leadership.


5.1.1 Build trust through meaningful community engagement and transparent decision-making.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
5.1.1.6 CPI - Implement the Community Engagement Policy in a way that meets legislative requirements for community engagement. Progress Comments: Planning underway for the community engagement on the Council Plan and other key strategic documents using a deliberative engagement approach.	Communications and Engagement	01-07-2024	30-06-2025	In Progress	25	 GREEN



5.1.2 Manage our finances responsibly and leave a positive legacy for future generations.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
5.1.2.30 CPI - Develop a long-term financial plan that ensures financial sustainability Progress Comments: 4/10/24 - this will be included as part of the 25/26 budget process leading to a new 10 year financial plan to be adopted by October 2025.	Finance	01-07-2024	30-06-2025	In Progress	10	 GREEN


5.1.3 Strive to be a customer-focused organisation and be a great place to work.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
5.1.3.4 CPI - Publicly report the organisation’s performance on a quarterly basis, including customer service outcomes Progress Comments: 04/10/2024 - as at time of writing, progress for 1st quarter reporting is on track for completion.	Business Transformation and Customer	01-07-2024	30-06-2025	In Progress	27	 GREEN

5.1.4 Maximise value for our community through efficient service delivery, innovation, strategic partnerships and advocacy.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
5.1.4.6 CPI - Implement the Cardinia Shire Advocacy Plan and work with strategic partners on shared advocacy initiatives Progress Comments: Guidelines for the Business Group Support Grants have been prepared and the team is in the process of seeking its endorsement from SLT. A comms plan is also being prepared to promote the grants following the caretaker period.	Arts, Advocacy and Economy	01-07-2024	30-06-2025	In Progress	25	 GREEN
5.1.4.16 CPI - Implement the strategy aimed at alternative revenue streams Progress Comments: 4/10/24 - with 25/26 budget planning currently underway, this will also include maximising current alternative revenue streams as well as identifying further opportunities.	Finance	01-07-2024	30-06-2025	In Progress	10	 GREEN

5.1.5 Champion the collective values of the community through the councillors’ governance of the shire.

Initiative	Business Unit	Start Date	End Date	Status	% Complete	Performance
5.1.5.38 CPI - Publicly report on Council decisions made and their implementation to demonstrate transparent decision making	Governance, Safety and Property	01-07-2024	30-06-2025	In Progress	25	 GREEN
Progress Comments: Council decisions are reported quarterly to Council. The report for Quarter One is being prepared and will be reported to the next Ordinary Council Meeting on 16 December 2024. This is delayed due to Council Elections.						



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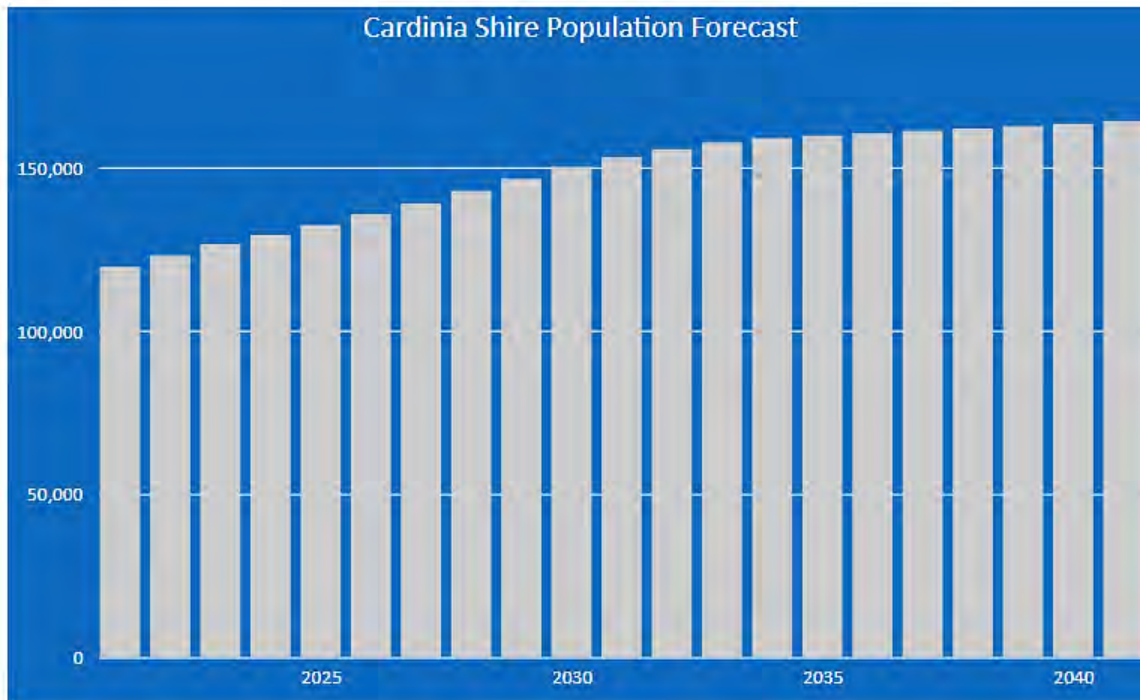
Growth Projections

Q1 JUL – SEP 2024

POPULATION FORECAST



Cardinia Shire is a growing community. It is important therefore that we forecast our population growth to ensure that there are adequate services and infrastructure provisions for our residence in the future.

Population 2024 129,248	Population 2041 164,083	Change 2024-41 26.95 %
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HOUSEHOLD GROWTH

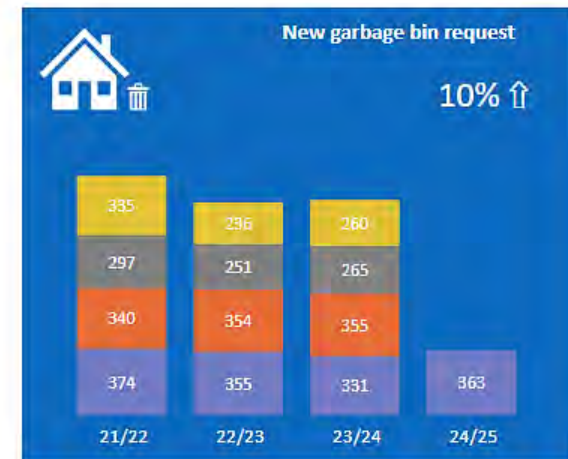
YTD comparison to last year

Growth Indicator  

Number of households moving into the Shire per day

A new household garbage service is requested predominantly when a new home has been completed and ready to be occupied.

This indicator can therefore represent the growth of new households within the Shire.



Source: <https://forecast.id.com.au/cardinia>

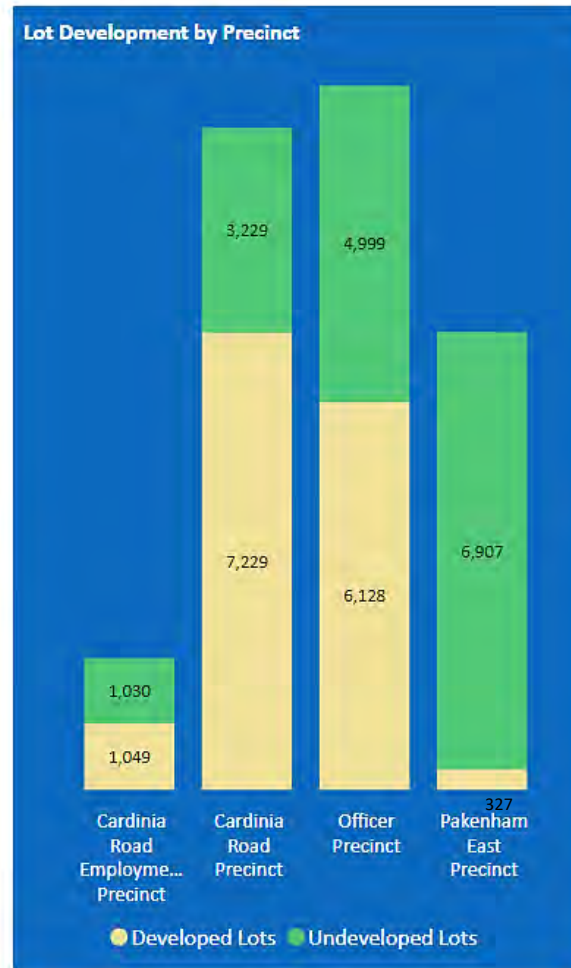
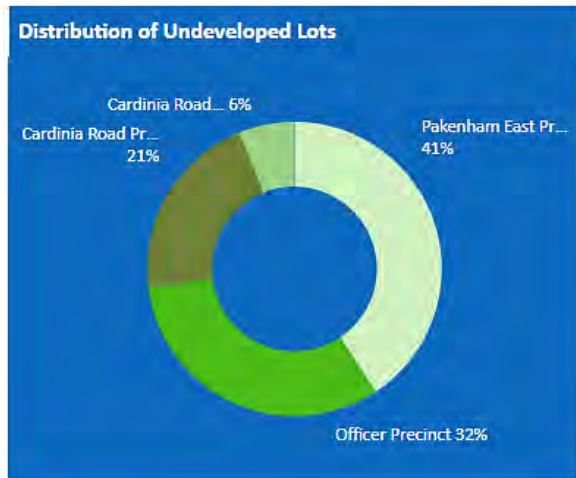
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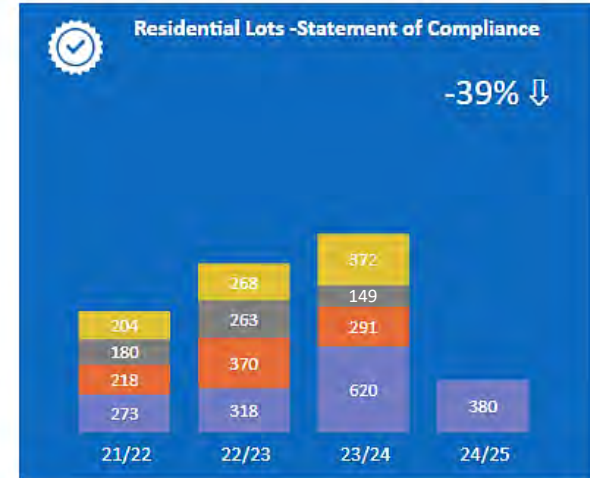
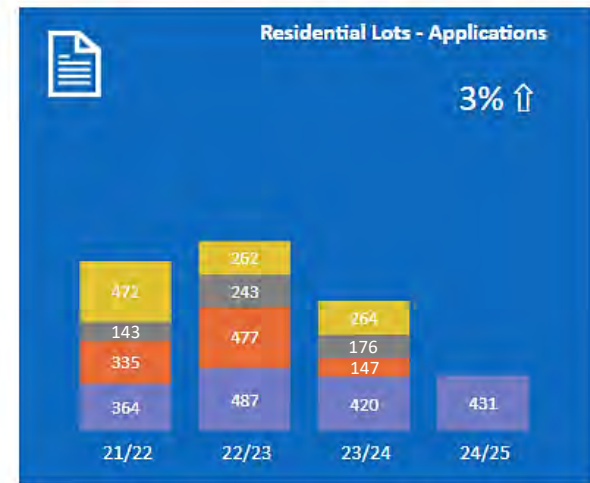
Future Development

Q1 JUL – SEP 2024

RESIDENTIAL LAND ACTIVITY METRICS *YTD comparison to last year*



SUBDIVISION METRICS *YTD comparison to last year*



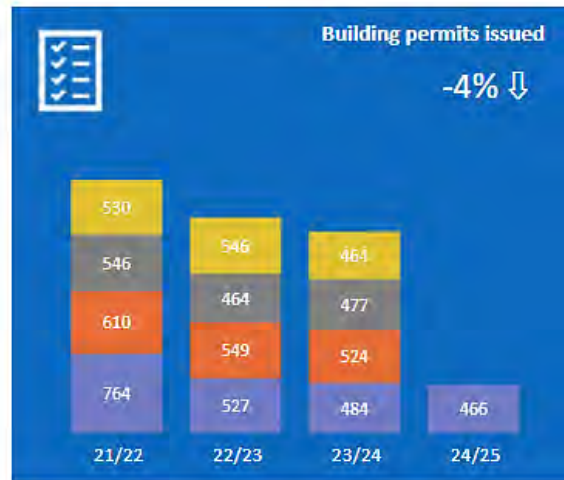
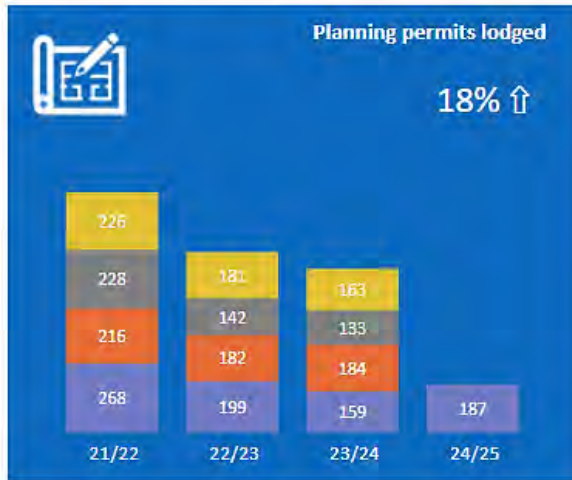
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Current Activity

Q1 JUL – SEP 2024

PROPERTY METRICS *YTD comparison to last year*

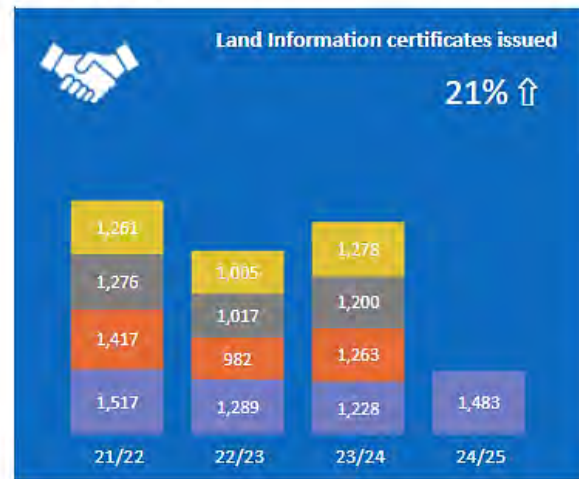
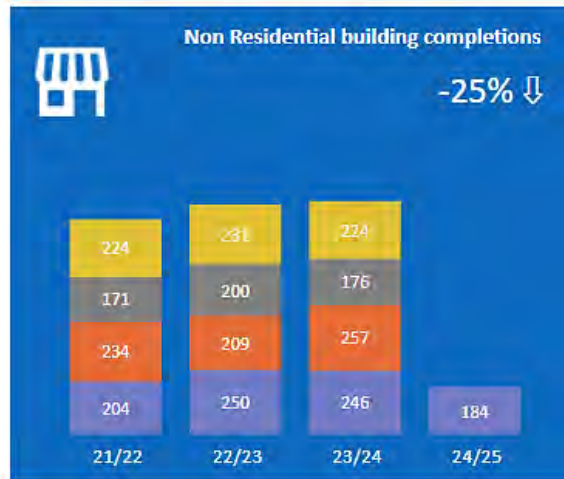
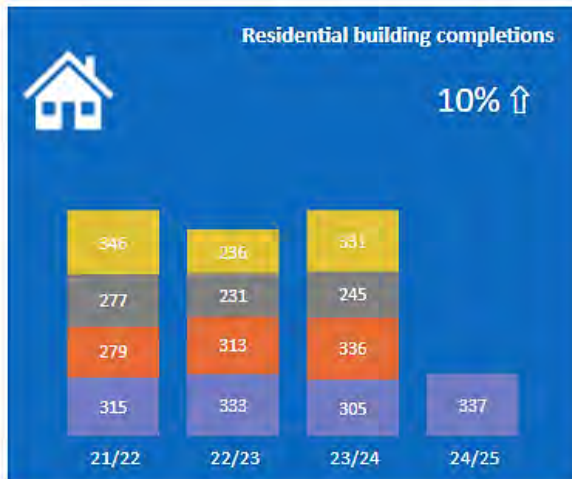


Activity within the property sector can help determine the growth rate within a municipality and therefore assist with future decision making.

Planning permits are required to make changes to a property. Changes are dependent on location, zones, overlays and particular provisions affecting a property.

Building permits are required for both new buildings and alterations to existing buildings.

Land Information Certificates are required whenever a property changes owners. This figure includes both first home buyers and subsequent owners. It shows both growth and churn in the property market.



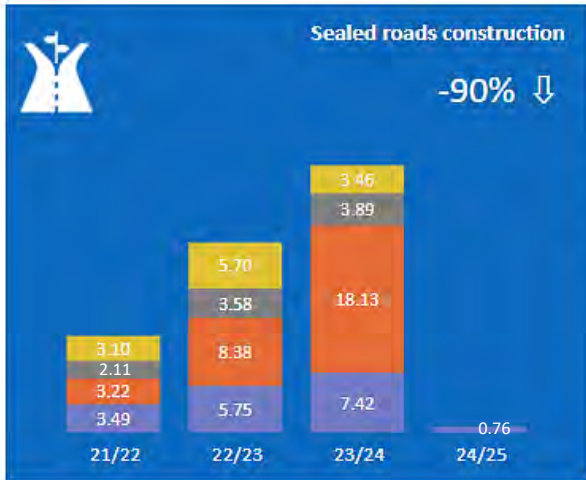
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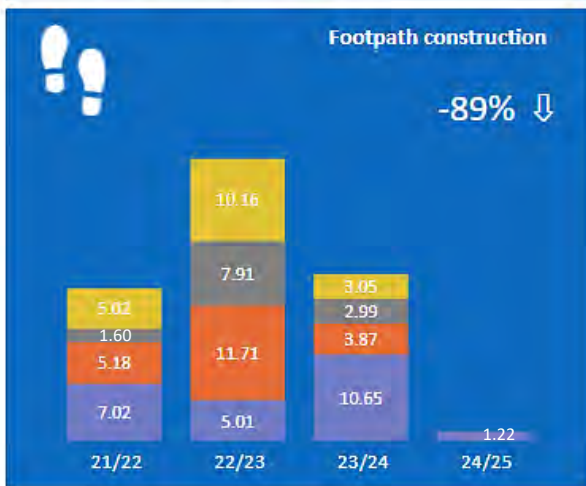
Current Activity

Q1 JUL – SEP 2024

INFRASTRUCTURE METRICS *YTD comparison to last year*

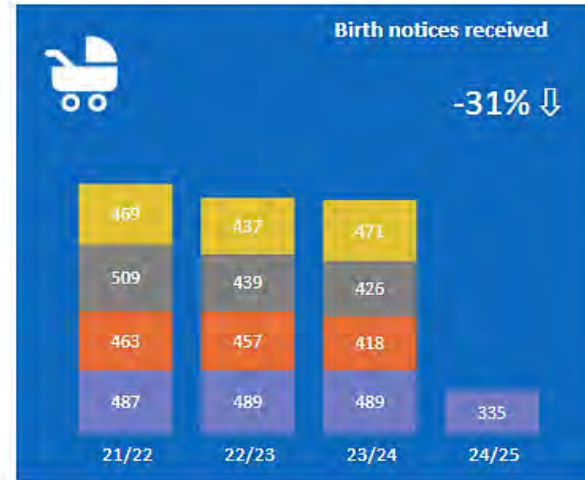


Sealed road growth is due to a combination of subdivision development and Council's sealing of unsealed roads through special charge schemes or other external funding such as Roads to Recovery.

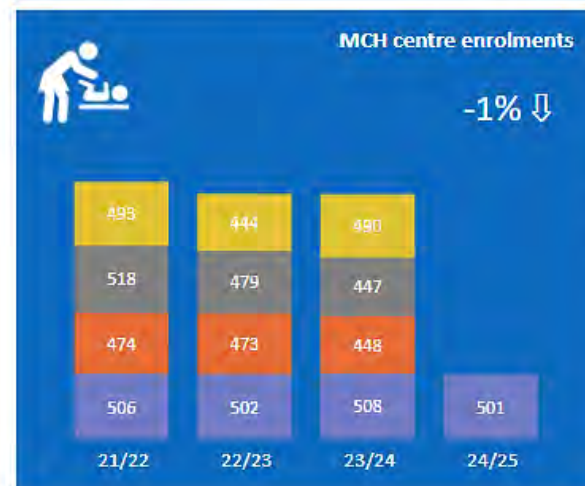


Footpath growth is due to a combination of footpaths constructed from subdivision development and Council's capital works program.

MATERNAL AND CHILD HEALTH METRICS *YTD comparison to last year*



Birth notices are the number of notifications received from hospitals, for newborn babies in the municipality.



Total enrolments is the number of babies and children, from birth to school age, that visit and enrol at an MCH centre, including both new born babies and children of families moving to Cardinia Shire.

Legend Q1 Q2 Q3 Q4



Council report – Q1 2024-25

The following outlines progress against the actions outlined in the key focus areas of the Cardinia Shire Gender Equality Action Plan (GEAP) 2021 – 2025.

Unconscious Bias

- The September 2024 Our Voice engagement survey had positive results regarding **Diversity & Inclusion** including:
“I’m satisfied with Cardinia Shire Council efforts to support diversity and inclusion (for example, in terms of gender, ethnicity, disability, socio-economic status)” - resulted in an organisation wide score of 8.2 (out of 10) meeting industry benchmark.

Sexual Harassment at Cardinia

- New and existing Contact Officers attended **Contact Officer training** 30 July. The first quarterly meeting with Contact Officers will occur Oct 2024. These quarterly meetings enable HR to provide any updates on internal processes & reporting or changes in legislation.
- **Respectful Workplace Behaviours** and **Managing Underperformance** refresher training currently in development. Update to include sexual harassment as “serious misconduct” and roll out to include casual workforce in the upcoming quarter.
- **People Matter survey** occurs biannually (next round approx. May 2025). The 2024 Our Voice engagement survey occurred in September. There was a 68% participation rate. The survey results presented no findings of sexual harassment in the workplace via sensitive comments or written feedback.

Gender pay gap

- Council’s **Gender Equality Progress Report** shows in 2023 the mean base salary pay gap decreased to -1.7% and the mean total remuneration pay gap -0.2%. The current -1.7% mean base salary pay gap for women means for every \$100 paid to a man, \$102 is paid to a woman. The current -0.2% mean total remuneration pay gap for women means for every \$100 paid to a man, \$100 is paid to a woman.

Business Intelligence & Data Gaps

- All leaders can now access the People & Culture report via **PowerBI** that includes real time information regarding headcount by gender in the Employee Breakdown section and current FY turnover by gender in the Employee Turnover Analysis
- The opportunity to develop new ways of **collecting intersectional data** and formal flexible leave arrangements via our payroll systems continues to be explored.
- Meetings scheduled with Payroll and HR teams to understand HRIS capabilities to gather more data to improve the next workplace gender audit included in the GEAP reporting to CGEPs.

Other

- Council received outcome from The Commission for Gender Equality in the Public Sector (CGEPS) on its **2023 Gender Equality Progress Report** (submitted in February 2024):
 - Council has been deemed compliant for its **workplace gender audit**.
 - Council achieved compliance for 3 out of 4 key measures of the **progress report**. The single non-compliance item was surrounding gender impact assessments (GIAs) actions not being clearly evidenced (noting we are compliant in 2 out of 3 sub criterion). Council is not required to make any changes or resubmit this component of the reporting. It is

simply feedback to support Council in meeting future obligations and is not a formal compliance notice under the Act. It should be noted significant progress has been made in council officers conducting GIAs since the report was submitted in February.

- **GIA resources** on Council's Cardistats page have been updated for GIA champion and council officer's use. This reorganisation and ease of access to data enables desktop research to be conducted that is part of providing context for a Gender Impact Assessment.
- **GIA app** currently in development. The app will enable a more streamlined approach to completing GIAs and improvements in effective reporting.

Gender Impact Assessments (GIAs) completed

- Universal Design Policy (Access & Ageing)
- Recreation Asset Prioritisation Framework (Sports and Recreation)
- Commemoration Guidelines (Sports and Recreation)
- Upper Beaconsfield Reserve Masterplan (Active Connected Communities)
- Community Engagement Policy and Staff Guidelines (Communications & Engagement)

8 Reports By Councillors

9 Presentation Of Petitions

10 Notices Of Motion

10.1 Notice of Motion 1108 - Cr Paton

Motion

I hereby give notice of my intention to move the following motion at the Council Meeting to be held at 7.00pm on Monday 16 December 2024:

That Council:

1. Confirms in principle support for the Riding for the Disabled Association of Australia (RDA) to be granted a 20 year lease for its use of 775 Five Mile Road Pakenham.
2. Commences community engagement under section 115 of the Local Government Act 2020 for this lease, noting that the community engagement would not occur over the Christmas and New Year period.
3. Requests a report be brought to Council, at the earliest possible date, with the results of the community engagement and recommendation delivered in time for a Motion to be put to the Council Meeting in March 2025.

11 Urgent Business

12 Councillor Questions

13 Mayoral Minute

14 Confidential Business

Nil Confidential Items to consider.

15 Meeting Closure